

CALIFORNIA COASTAL COMMISSION

South Coast Area Office
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Filed: May 18, 2011
 49th Day: July 6, 2011
 180th Day: November 14, 2011
 Staff: Liliana Roman-LB
 Staff Report: August 18, 2011
 Hearing Date: September 7-9, 2011
 Commission Action:

ITEM W7a**STAFF REPORT: CONSENT CALENDAR**

APPLICATION NUMBER: 5-11-126

APPLICANT: San Clemente Inn Vacation Plan Owners Association

AGENT: The Trettin Company

PROJECT LOCATION: 2600 Avenida del Presidente, San Clemente, CA 92672

PROJECT DESCRIPTION: Construction of two below grade drilled pier retaining walls (128' long around Building One and 178' long around Building Two) with a reinforced shotcrete mat and placement of underpinning piles beneath the foundation of two existing time-share unit buildings; new exterior concrete slab with surface drainage improvements and slope re-vegetation plan.

LOCAL APPROVALS RECEIVED: City of San Clemente Approval in Concept dated 5/18/2011

SUBSTANTIVE FILE DOCUMENTS: *Updated Foundation Underpinning Recommendations, Repairs to Distressed Buildings 1 & 2 and Site Retaining Walls, San Clemente Inn – 2600 Avenida Del Presidente, San Clemente, CA 92672* dated April 19, 2011 prepared by Soil Engineering Construction Inc.; *Addendum to Geotechnical Reports/Response to Comments Proposed Grouting of Buildings 1 & 2 and Retaining Wall, San Clemente Inn, 2600 Avenida del Presidente, San Clemente, CA* dated March 31, 2010, Project No. 09-3032 prepared by Anthony-Taylor Consultants; *Limited Geotechnical Evaluation of Building Distress – Building 2, San Clemente Inn, 2600 Avenida del Presidente, San Clemente, CA 92672* dated December 16, 2008, prepared by Anthony-Taylor Consultants project No. 04-2426; *Limited Geotechnical Evaluation of Building Distress – Building 1, San Clemente Inn, 2600 Avenida del Presidente, San Clemente, CA 92672* dated October 6, 2008, prepared by Anthony-Taylor Consultants; project No. 04-2426; City of San Clemente LUP

SUMMARY OF STAFF RECOMMENDATION:

Staff recommends approval of the proposed project with **Ten (10) Special Conditions** regarding: 1) Construction Responsibilities and Debris Removal; 2) Location of Debris Site; 3) Staging Plan; 4) Conformance of Design/Construction Plans to Geotechnical Report; 5) Assumption of Risk, Waiver of Liability and Indemnity; 6) Compliance with Proposed Coastal Canyon Re-Vegetation Plan; 7) Retaining Wall Color and Texture Plan; 8) Future Soldier Pile/Grade Beam Exposure Plans, 9) Erosion and Runoff Control Plan; and 10) Future Development.

The proposed project is the construction of two below grade drilled pier retaining walls with a reinforced shotcrete mat along two existing time-share unit buildings along the site's western property line at the top of canyon slopes in response to a slight sinkage on the rear side of the buildings. No work is proposed to the other three buildings or other amenities on the rest of the site. Each proposed retaining wall will be constructed of a concrete grade beam and 24" diameter stitch piers. The length of the proposed retaining wall around the three-story Building One is approximately 128 feet and 178 feet long around the two-story Building Two within the San Clemente Inn's western property line. The project also includes placement of underpinning piles beneath the foundation of Buildings 1 and 2, new exterior concrete slab with surface drainage improvements and a canyon slope restoration plan involving invasive species removal and native plant re-vegetation plan.

The primary issues associated with this development are hazards, biological resources, and water quality.

LIST OF EXHIBITS:

1. Location Map
2. Coastal Canyon Map
3. Coastal Access Points Map
4. Project Plans
5. Slope Restoration/Re-Vegetation Plan
6. Letter in Support from CA State Parks

I. STAFF RECOMMENDATION:

Staff recommends that the Commission adopt the following resolution to **APPROVE** the coastal development permit application:

MOTION: *I move that the Commission approve coastal development permit applications included on the consent calendar in accordance with the staff recommendations.*

Staff recommends a **YES** vote. Passage of this motion will result in approval of all permits included on the consent calendar. An affirmative vote of a majority of the Commissioners present is needed to pass the motion.

RESOLUTION TO APPROVE THE PERMIT:

The Commission hereby approves a permit, subject to the conditions below, for the proposed development and adopts the findings set forth below on grounds that the development as conditioned will be in conformity with the provisions of Chapter 3 of the California Coastal Act and will not prejudice the ability of the local government having jurisdiction over the area to prepare a local coastal program conforming to the provisions of Chapter 3. Approval of the permit complies with the California Environmental Quality Act because either 1) feasible mitigation measures and/or alternatives have been incorporated to substantially lessen any significant adverse effects of the development on the environment, or 2) there are no further feasible mitigation measures or alternative that would substantially lessen any significant adverse impacts of the development on the environment.

II. STANDARD CONDITIONS:

1. Notice of Receipt and Acknowledgment. The permit is not valid and development shall not commence until a copy of the permit, signed by the permittee or authorized agent, acknowledging receipt of the permit and acceptance of the terms and conditions, is returned to the Commission office.
2. Expiration. If development has not commenced, the permit will expire two years from the date on which the Commission voted on the application. Development shall be pursued in a diligent manner and completed in a reasonable period of time. Application for extension of the permit must be made prior to the expiration date.
3. Interpretation. Any questions of intent or interpretation of any condition will be resolved by the Executive Director or the Commission.
4. Assignment. The permit may be assigned to any qualified person, provided assignee files with the Commission an affidavit accepting all terms and conditions of the permit.
5. Terms and Conditions Run with the Land. These terms and conditions shall be perpetual, and it is the intention of the Commission and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.

III. SPECIAL CONDITIONS

1. **STORAGE OF CONSTRUCTION MATERIALS, MECHANIZED EQUIPMENT, EROSION SEDIMENT CONTROL AND REMOVAL OF CONSTRUCTION DEBRIS**

The permittee shall comply with the following construction-related requirements:

- A. No construction materials, debris, or waste shall be placed or stored where it may enter the storm drain system leading to the Pacific Ocean;
- B. Any and all debris resulting from construction activities shall be removed from the project site within 24 hours of completion of the project;

- C. Erosion control/sedimentation Best Management Practices (BMP's) shall be used to control sedimentation impacts to coastal waters during construction. BMPs shall include, but are not limited to: placement of sand bags around drainage inlets to prevent runoff/sediment transport into the storm drain system and a pre-construction meeting to review procedural and BMP guidelines. Selected BMPs shall be maintained in a functional condition throughout the duration of the project;
- D. Appropriate Best Management Practices (BMPs) designed to control erosion from the disturbed area and prevent silt and sediment from contaminating any downstream drainages and intact native habitat plant communities during construction activities, shall be installed prior to or concurrent with construction operations, and maintained throughout the development;
- E. Construction debris and sediment shall be removed from construction areas on a regular basis during construction to prevent the accumulation of sediment debris which may be discharged into coastal waters. Debris shall be disposed of at a debris disposal site outside the coastal zone, pursuant to **Special Condition 2**.
- F. Concrete trucks and tools used for construction of the approved development shall be rinsed off-site;
- G. Staging and storage of construction machinery, material stockpiling and storage of debris shall not take place on the toe of the canyon or within sensitive habitat areas.

2. LOCATION OF DEBRIS DISPOSAL SITE

The applicant shall dispose of all demolition and construction debris resulting from the proposed project at an appropriate location outside the coastal zone. If the disposal site is located within the coastal zone, a coastal development permit or an amendment to this permit shall be required before disposal can take place.

3. CONSTRUCTION STAGING AREA

- A. **PRIOR TO ISSUANCE OF THE COASTAL DEVELOPMENT PERMIT**, the permittee shall submit a plan for the review and approval of the Executive Director which indicates that the construction staging area(s) and construction corridor(s) will avoid impacts to public access, to beach areas or to sensitive habitat areas.
 - 1. The plan shall demonstrate that:
 - (a) Construction equipment and materials shall not be placed outside the immediate construction area, outside the staging area and construction corridor identified on the site plan required by this condition;
 - (b) Construction activity shall not occur outside of the immediate construction zone;
 - (c) Adverse impacts to streams, wetlands and other sensitive habitat shall be avoided;
 - (d) Public parking areas shall not be used for staging or storage of equipment;

2. The plan shall include, at a minimum, the following components:

- (a) A site plan that depicts:
 - (1) Limits of the staging area(s)
 - (2) Construction corridor(s)
 - (3) Construction site
 - (4) Location of construction fencing and temporary job trailers, if any

B. The permittee shall undertake development in accordance with the approved final plans. Any proposed changes to the approved final plans shall be reported to the Executive Director. No changes to the approved final plans shall occur without a Commission amendment to this coastal development permit unless the Executive Director determines that no amendment is legally required.

4. **CONFORMANCE OF DESIGN/CONSTRUCTION PLANS TO GEOTECHNICAL REPORT**

A. All final design and construction plans, including foundations, grading and drainage plans, shall be consistent with all recommendations contained in the *Updated Foundation Underpinning Recommendations, Repairs to Distressed Buildings 1 & 2 and Site Retaining Walls, San Clemente Inn – 2600 Avenida Del Presidente, San Clemente, CA 92672* dated April 19, 2011 prepared by Soil Engineering Construction Inc. **PRIOR TO THE ISSUANCE OF THE COASTAL DEVELOPMENT PERMIT**, the applicant shall submit, for the Executive Director's review and approval, evidence that an appropriate licensed professional has reviewed and approved all final design and construction plans and certified that each of those final plans is consistent with all of the recommendations specified in the above-referenced geologic evaluation approved by the California Coastal Commission for the project site.

B. The permittee shall undertake development in accordance with the approved final plans. Any proposed changes to the approved final plans shall be reported to the Executive Director. No changes to the approved final plans shall occur without a Commission amendment to this coastal development permit unless the Executive Director determines that no amendment is legally required.

5. **ASSUMPTION OF RISK, WAIVER OF LIABILITY AND INDEMNITY**

A. By acceptance of this permit, the applicant acknowledges and agrees (i) that the site may be subject to hazards from erosion, landslide, slope retreat, and earth movement; (ii) to assume the risks to the applicant and the property that is the subject of this permit of injury and damage from such hazards in connection with this permitted development; (iii) to unconditionally waive any claim of damage or liability against the Commission, its officers, agents, and employees for injury or damage from such hazards; and (iv) to indemnify and hold harmless the Commission, its officers, agents, and employees with respect to the Commission's approval of the project against any and all liability, claims, demands, damages, costs (including costs and fees incurred in defense of such claims), expenses, and amounts paid in settlement arising from any injury or damage due to such hazards.

6. **COMPLIANCE WITH PROPOSED COASTAL CANYON RE-VEGETATION PLAN**

The applicant shall conform to the proposed slope re-vegetation plan prepared by ATC Design Group dated 9/29/2010 and submitted to this office on 7/7/11.

7. RETAINING WALL COLOR AND TEXTURE PLAN

A. **PRIOR TO ISSUANCE OF THE COASTAL DEVELOPMENT PERMIT**, the applicant shall submit, for the review and approval of the Executive Director, a plan demonstrating that the color and texture of the structure will be compatible with the adjacent bluff. The plan shall demonstrate that:

1. the entire face of the proposed retaining wall structure (both above and below finished grades) will receive the architectural/sculpted treatment should the underground components become exposed by future erosion
2. the retaining wall structure will be colored/constructed with concrete that has been colored with earth tones that are compatible with the adjacent bluff,
2. white and black tones will not be used,
3. the color will be maintained through-out the life of the structure,
4. the structure will be textured for a natural look that better blends with the canyon slope
5. native vegetation appropriate to the habitat type may also be used if feasible to cover and camouflage the structure.

B. The permittee shall undertake development in accordance with the approved final color and texture plan. Any proposed changes to the approved final plan shall be reported to the Executive Director. No changes to the approved final plan shall occur without a Commission amendment to this coastal development permit unless the Executive Director determines that no amendment is legally required.

8. FUTURE SOLDIER PILE/GRADE BEAM EXPOSURE PLANS

In the event any subsurface project features subsequently become exposed to public view from the public street or public park below the site, the applicant shall submit plans to the Executive Director, for his review and concurrence, that provide for visual and aesthetic treatment plans similar to those required in conjunction with this coastal development permit. The aesthetic treatment shall provide that exposed materials match the surrounding terrain to the extent feasible and minimize visual impact of the exposed features. The applicant shall identify proposed materials, colors, monitoring, and maintenance plans, in conjunction with their submittal. The Executive Director shall determine whether the proposed work will require an amendment to this coastal development permit, a new coastal development permit, or whether no amendment or new permit is legally required.

9. EROSION AND RUNOFF CONTROL PLAN

A. **PRIOR TO ISSUANCE OF THE COASTAL DEVELOPMENT PERMIT**, the applicant shall submit, for review and approval of the Executive Director, a plan for erosion and run-off control for the construction phase of the project to avoid adverse impacts on the adjacent property and coastal resources. The plan shall include, at a minimum, the following components:

- (1) A narrative report describing all temporary run-off and erosion control measures to be used during construction and all permanent erosion control measures to be installed for permanent erosion control.
- (2) A site plan showing the location of all temporary erosion control measures.
- (3) A schedule for installation and removal of the temporary erosion control measures.
- (4) A site plan showing the location of all permanent erosion control measures.
- (5) A schedule for installation and maintenance of the permanent erosion control measures.

B. The permittee shall undertake development in accordance with the approved final plans. Any proposed changes to the approved final plans shall be reported to the Executive Director. No changes to the approved final plans shall occur without a Commission amendment to this coastal development permit unless the Executive Director determines that no amendment is legally required.

10. FUTURE IMPROVEMENTS

This permit is only for the development described in coastal development permit 5-11-126. Except as provided in Public Resources Code section 30610 and applicable regulations, any future development as defined in PRC section 30106, including, but not limited to, a change in the density or intensity of use land, shall require an amendment to coastal development permit 5-11-126 from the California Coastal Commission or shall require an additional coastal development permit from the California Coastal Commission or from the applicable certified local government.

IV. FINDINGS AND DECLARATIONS:

The Commission hereby finds and declares:

A. PROJECT LOCATION AND DESCRIPTION

The project location is the San Clemente Inn, a private timeshare resort on an inland lot adjacent to Calafia Canyon located at 2600 Avenida del Presidente in the City of San Clemente, Orange County (Exhibits 1 & 2). The site is designated as Community Serving in the City's Certified Land Use Plan. Surrounding development consists of the San Clemente State Beach to the southeast, Interstate 5 to the north and high-density residential area to the west. The nearest public access to the beach is available at the San Clemente State Beach, approximately 1,500 feet southeast of the subject site (Exhibit 4).

The proposed project is the construction of two below grade drilled pier retaining walls with a reinforced shotcrete mat along two existing three-story time-share unit buildings along the site's western property line at the top of canyon slopes in response to a slight sinkage on the rear side of the buildings. No work is proposed to the other three buildings or other amenities on the rest of the site. Each proposed retaining wall will be constructed of a concrete grade beam and 24"

diameter stitch piers. The total length of the proposed retaining wall around Building One is approximately 128 feet and 178 feet long around Building Two within the San Clemente Inn's western property line. The project also includes placement of underpinning piles beneath the foundation of Buildings 1 and 2, new exterior concrete slab with surface drainage improvements and a slope re-vegetation plan.

The San Clemente Inn was built around the late 1960's before passage of the Coastal Act and therefore does not conform to current canyon setback policies in the certified LUP. Buildings 1 and 2 are built right up to the canyon edge with a small approximately 3 foot concrete slab walkway between the buildings and the canyon slope. The proposed work is on the canyon facing side of the lot and incursion into the adjacent State Department of Parks and Recreation's property at San Clemente State Beach will be necessary in order to access and repair the foundations of the canyon facing structures. The applicant has acquired permission from the State Department of Parks and Recreation to utilize an 8'-10' swath of land comprised mostly of disturbed canyon slope for access to the rear site of Buildings 1 and 2. Furthermore, the applicant proposes to restore the disturbed slope by removing existing invasive plants and to re-vegetate the area with native plants.

San Clemente's certified LUP advocates the preservation of native vegetation and discourages the introduction of non-native vegetation in coastal canyons. While no rare or endangered species have been reported to exist within the coastal canyon habitat of San Clemente, the City has designated all coastal canyons, including Calafia Canyon, as environmentally sensitive habitat areas, as depicted in Exhibit 3. The coastal canyons act as open space and potential wildlife habitat, as well as corridors for native fauna. Decreases in the amount of native vegetation due to displacement by non-native vegetation have resulted in cumulative adverse impacts upon the habitat value of the canyons. As such, the quality of canyon habitat must be assessed on a site-by-site basis. No information has been provided to indicate that the site or any portion thereof qualifies as ESHA. The site is currently covered with non-native shrubs and grasses. The canyon adjacent to the subject site is considered degraded due to the presence of both native and non-native plant species. However, there is existing riparian vegetation on the San Clemente State Park property approximately 20 feet from the San Clemente Inn's Building 1 and approximately 10 feet from Building 2. This existing riparian vegetation is proposed to be protected in place and not disturbed during construction. Furthermore, as the applicant will require access into an 8'-10' swath of land of the adjacent property for access to the rear of the buildings requiring the foundation work, the applicant proposes to restore the canyon slopes affected by construction activities by removal of existing invasive species and re-vegetation of the canyon slopes with native plants such as California Oat Grass, Prickly Pear Cactus, Mexican Elderberry, Purple Foothill Needlegrass, Yellow Bush Lupine, Monkey Flower and Coyote Bush. The applicant has worked closely with the State Department of Parks and Recreation on the native plant palette for the re-vegetation plan and has the Department's approval on the proposed re-vegetation plan. The existing drainage at the bottom of the canyon floor will not be disturbed during construction activities.

The geotechnical reports submitted by the applicant state that the slab on grade foundation of both Building 1 and 2 has sustained floor movement and distress generally considered to range from minor to moderate. The distress to rear portions of all lower floor units on both buildings appears to result from a combination of normal concrete cracking and movement of the buildings foundation and slab associated with soil movement, most likely soil settlement as well as possible minor slope creep, soil saturation due to poor drainage conditions, and possible issues of

workmanship with respect to the original construction. It appears that the distress to the subject buildings corresponds to the differential fill thickness, which generally increases to the south and west across the site as well as the overall surficial stability of the adjacent slopes. The study found that the floor levels for Buildings 1 and 2 appear to be sloping downward in elevation toward the adjacent descending canyon slope by a measurement of 2.8 inches.

The geotechnical reports recommend that the buildings be structurally underpinned using driven/drilled pipe piles extending through the compressible fill materials and extending into the underlying formational materials to stop future movement and further recommends a new retaining wall system adjacent to the slope for greater lateral support to the existing structures and implementation of improved site surface drainage along with low-water use irrigation practices.

During construction, the applicant will be required to implement best management practices (BMPs) designed to minimize erosion and prevent debris from entering the storm drain system leading to the ocean. Permanent drainage control measures are essential in order to decrease irrigation or rain runoff from flowing over the canyon slope. After construction, drainage from the rear of the two buildings will be directed away from the canyon slopes and into new area drains along the 3' wide walkway between the buildings and the canyon slope, the drains will collect and direct runoff into two new proposed pipe outfall with a rip rap energy dissipater at the bottom of the canyon slope at an existing drainage, per City requirements.

B. DEVELOPMENT (HAZARDOUS AREAS)

Development adjacent to slopes such as those found on canyons or hillsides is inherently hazardous. New development which may require a protective device in the future can not be allowed due to the adverse impacts such devices have upon natural landform alteration, public access and visual resources. To minimize risks to life and property the development has been conditioned to: conform with geotechnical report recommendations, an erosion and runoff control plan to minimize percolation of runoff water into the canyon slope and that future improvements must come back to the Commission for review. As conditioned, the Commission finds that the development conforms to the requirements of Sections 30235 and 30253 of the Coastal Act regarding the siting of development in hazardous locations.

C. HABITAT, RECREATION AND PARK IMPACTS

As conditioned and proposed, the development will not result in significant degradation of adjacent habitat, recreation areas, or parks and is compatible with the continuance of those habitat, recreation, or park areas. Therefore, the Commission finds that the project, as conditioned, conforms to Section 30240(b) of the Coastal Act.

D. WATER QUALITY

The proposed work will be occurring in a location where there is a potential for a discharge of polluted runoff from the project site into coastal waters. The storage or placement of construction material, debris, or waste in a location where it could be carried into coastal waters would result in an adverse effect on the marine environment. Furthermore, uncontrolled runoff from the

project site and the percolation of water would also affect the structural stability of the canyon. To reduce the potential for construction and post-construction related impacts on water quality, the Commission imposes special conditions requiring, but not limited to, the appropriate storage and handling of construction equipment and materials to minimize the potential of pollutants to enter coastal waters and for the use of on-going best management practices following construction. As conditioned, the Commission finds that the development conforms to Sections 30230 and 30231 of the Coastal Act regarding the protection of water quality to promote the biological productivity of coastal waters and to protect human health.

E. PUBLIC ACCESS

The proposed development will not affect the public's ability to gain access to, and/or to use the coast and nearby recreational facilities. Therefore, as proposed, the development conforms to Sections 30210 through 30214, Sections 30220 through 30224, and 30252 of the Coastal Act.

F. LOCAL COASTAL PROGRAM

The Commission certified the Land Use Plan for the City of San Clemente on May 11, 1988, and certified an amendment approved in October 1995. On April 10, 1998, the Commission certified with suggested modifications the Implementation Plan portion of the Local Coastal Program. The suggested modifications expired on October 10, 1998. The City re-submitted on June 3, 1999, but withdrew the submittal on October 5, 2000. Therefore, there is no certified LCP for the area and the standard of review is the Coastal Act. The certified LUP serves as guidance. As conditioned, the proposed development is consistent with Chapter 3 of the Coastal Act and with the certified Land Use Plan for the area. Approval of the project, as conditioned, will not prejudice the ability of the local government to prepare a Local Coastal Program that is in conformity with the provisions of Chapter 3.

G. CALIFORNIA ENVIRONMENTAL QUALITY ACT

As conditioned, there are no feasible alternatives or feasible mitigation measures available which would substantially lessen any significant adverse effect which the activity may have on the environment. Therefore, the Commission finds that the proposed project, as conditioned to mitigate the identified impacts, is the least environmentally damaging feasible alternative and can be found consistent with the requirements of the Coastal Act to conform to CEQA.

COASTAL COMMISSION

EXHIBIT # _____
PAGE 1 OF 1

- SITE A E2
1. OCEAN BEACH
 2. TULLY BEACH
 3. SANDY BEACH
 4. SANDY BEACH
 5. SANDY BEACH
 6. SANDY BEACH
 7. SANDY BEACH
 8. SANDY BEACH

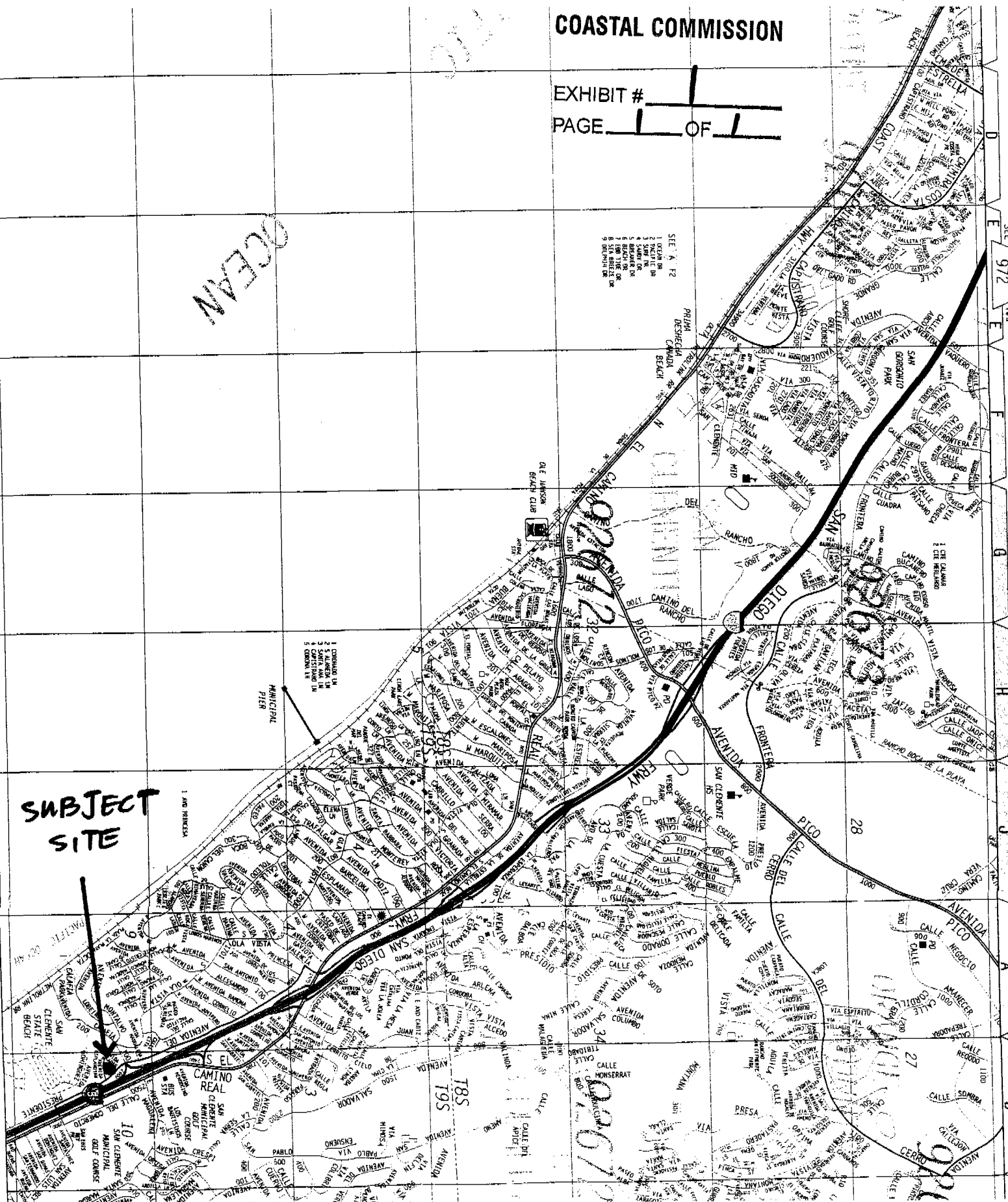
- MUNICIPAL PIERS
1. COMBINED 1A
 2. 5 ALBERTA 1A
 3. COMBINED 1B
 4. COMBINED 1B
 5. COMBINED 1B

SUBJECT SITE

OCEAN

SEE V1 MAP

SEE 972 MAP



Coastal Zone Boundary

- Pallizada Canyon
- Trafalgar Canyon
- Toledo Canyon
- Lobos Marinos Canyon
- Riviera Canyon
- Montalvo Canyon
- Calafia Canyon

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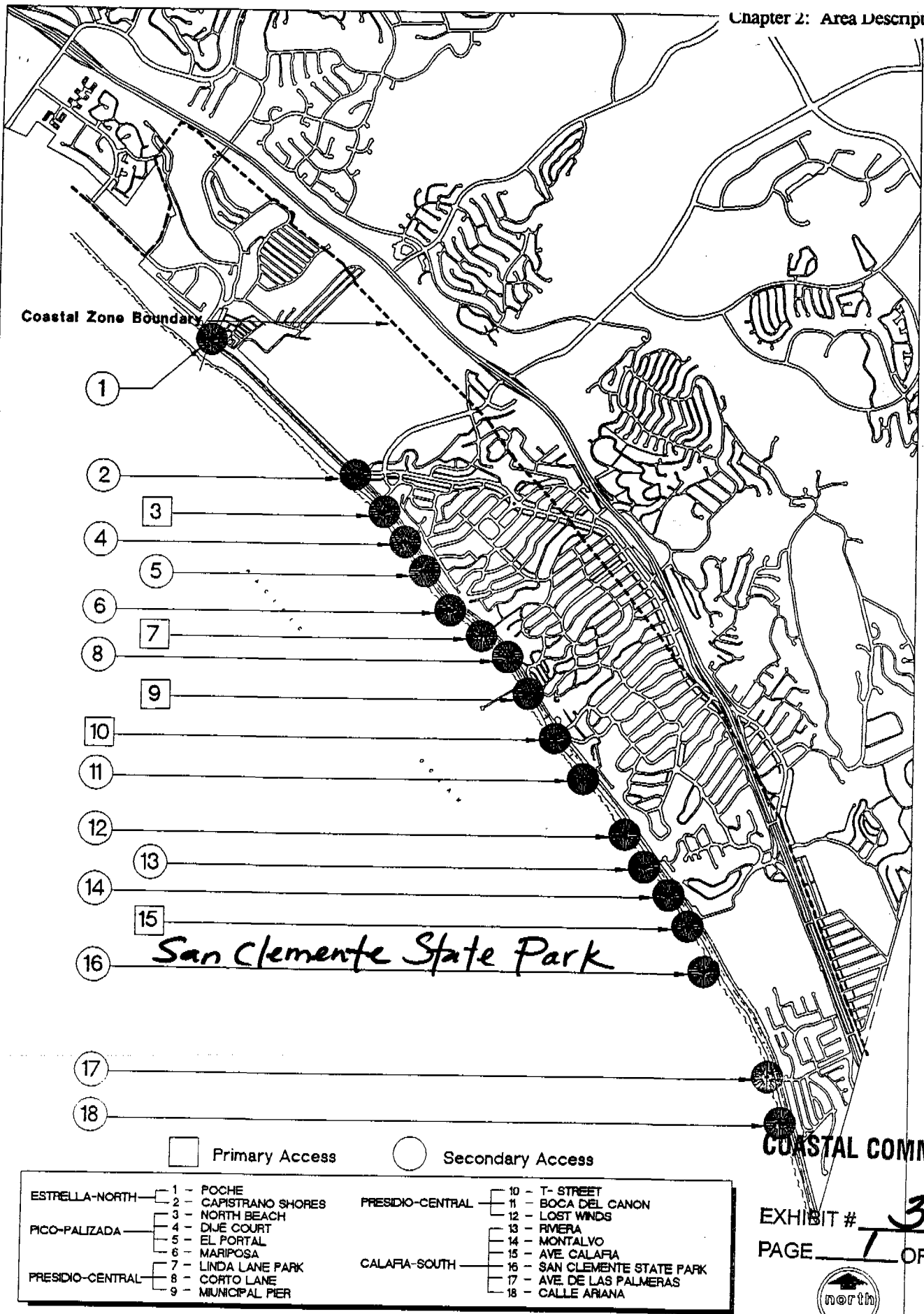
EXHIBIT # 2
PAGE 1 OF 1



FIGURE 2-1



CITY OF SAN CLEMENTE
COASTAL CANYONS/ ENVIRONMENTALLY SENSITIVE HABITAT AREAS



San Clemente State Park

COASTAL COMMISSION

EXHIBIT # 3
 PAGE 1 OF 1



FIGURE 2-5



**CITY OF SAN CLEMENTE
 COASTAL ACCESS POINTS**

BUILDINGS 1 & 2 FOUNDATION UNDERPINNING SYSTEM & DRILLED PIER RETAINING WALL / SLOPE STABILIZATION

- SHEET INDEX:**
- 1. COVER SHEET—AERIAL VIEW AND VICINITY MAP
 - 2. BUILDING 1—BUILDING SITE PLAN, ADDITIONAL SITE REPAIRS AND DRAINAGE IMPROVEMENTS
 - 3. BUILDING 2—BUILDING SITE PLAN, ADDITIONAL SITE REPAIRS AND DRAINAGE IMPROVEMENTS
 - 4. SOFC MINIMUM CONSTRUCTION STANDARDS, CITY OF SAN CLEMENTE SPECIAL INSPECTION FORMS
 - 5. SITE PLAN—DRILLED PIER RETAINING WALL / SLOPE STABILIZATION AND PLAT PLAN
 - 6. RETAINING WALL ELEVATIONS
 - 7. RETAINING WALL CONSTRUCTIONS—SECTIONS, DETAILS AND NOTES
 - 8. RETAINING WALL CONSTRUCTION—18" DIA. PIERS—SECTIONS, DETAILS AND NOTES
 - 9. PLAN—FOUNDATION UNDERPINNING SYSTEM
 - 10. FOUNDATION UNDERPINNING SYSTEM—SECTIONS, DETAILS AND NOTES, SHEET 1 OF 2
 - 11. FOUNDATION UNDERPINNING SYSTEM—SECTIONS, DETAILS AND NOTES, SHEET 2 OF 2
 - 12. GENERAL NOTES AND TABLES
 - 13. STATEMENT OF SPECIAL INSPECTIONS, 2010 CBC, SHEET 1 OF 2
 - 14. STATEMENT OF SPECIAL INSPECTIONS, 2010 CBC, SHEET 2 OF 2

PREPARED FOR:

MS. LISA FRANCESCONI,
GENERAL MANAGER
SAN CLEMENTE INN
2600 AVENIDA DEL PRESIDENTE,
SAN CLEMENTE, CALIFORNIA 92672

PROJECT ADDRESS:

SAN CLEMENTE INN
2600 AVENIDA DEL PRESIDENTE,
SAN CLEMENTE, CALIFORNIA 92672
RSB 114/22

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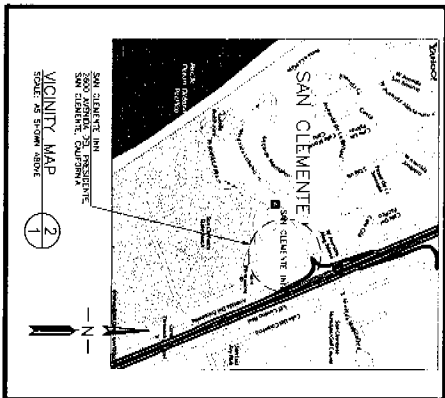
ROBERT J. MAHONY, P.E., C.E., C.E.G.
REGISTERED PROFESSIONAL ENGINEER
STATE OF CALIFORNIA 34353
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SECTION 33071

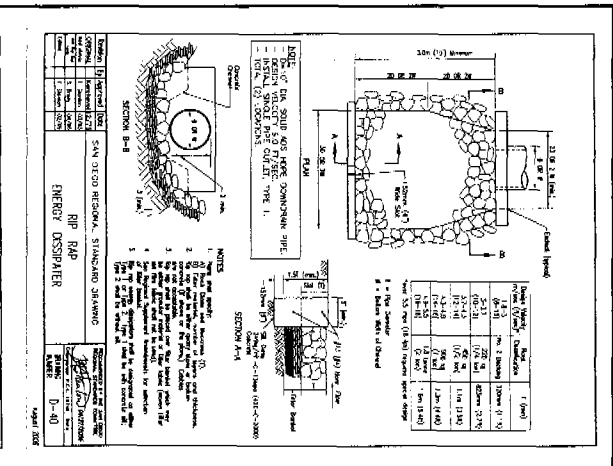
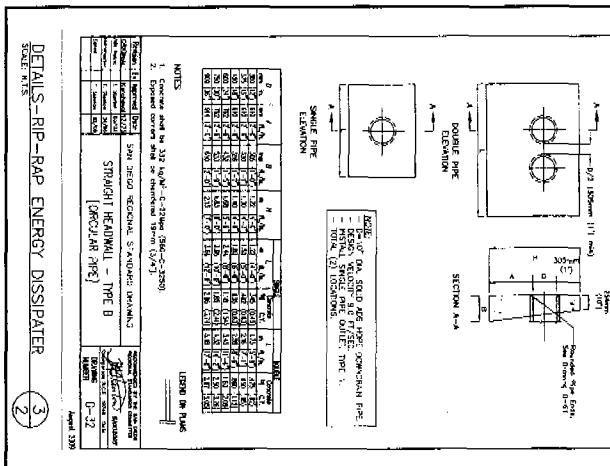
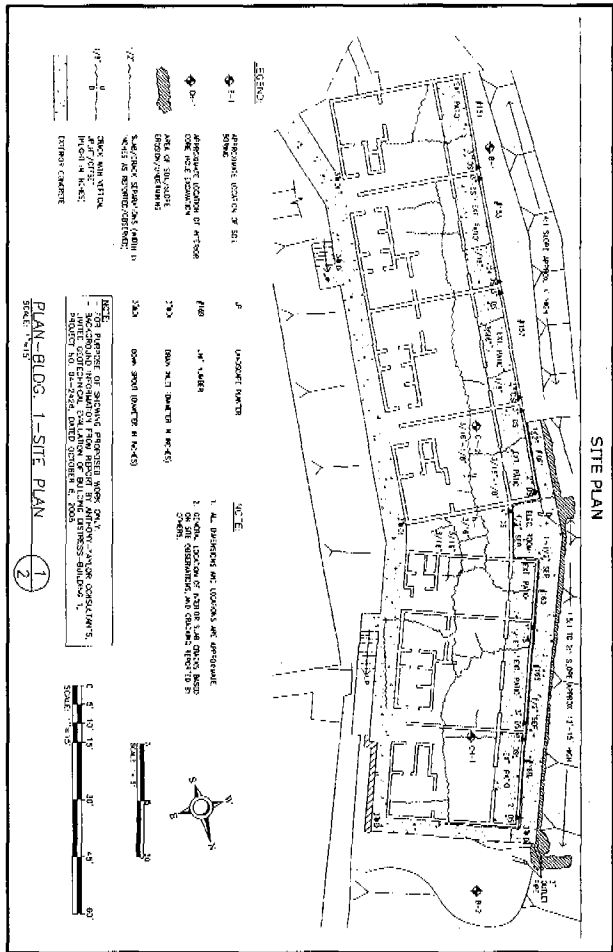
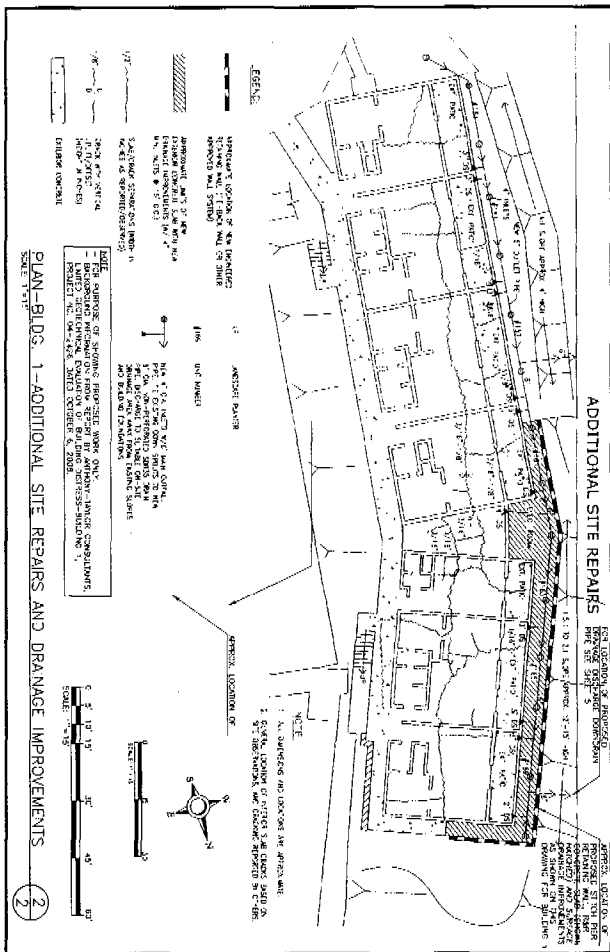
PROTECTION OF ADJOINING PROPERTY
33071 Protection required. Adjacent public and private property shall be protected from damage during construction, including but not limited to, utility lines, structures, trees, fences, foundations, earth walls, channels, septic tanks and roads. Protection shall be made to avoid water runoff and erosion during construction or excavation activities. The presence of any existing structures or utilities shall be the responsibility of the contractor. The contractor shall be responsible for identifying and protecting all existing structures and utilities that may be affected by the excavation. Soil stabilization shall be performed as shown on 10 sheets of the excavation shoring plan of the extension.

COASTAL COMMISSION

EXHIBIT # 4
PAGE 1 OF 15



LICENSED PROFESSIONAL ENGINEER No. 31488 Soils Robert J. Mahony State of California	SOIL ENGINEERING CONSTRUCTION, INC. LICENSE # 11-200602 560 N. HIGHWAY 101, SUITE 5, DANFORTH, CA 93024 PHONE (760) 633-3470 FAX (760) 633-3477	BUILDINGS 1 & 2 FOUNDATION UNDERPINNING SYSTEM & DRILLED PIER RETAINING WALL / SLOPE STABILIZATION	COVER SHEET— AERIAL VIEW AND VICINITY MAP
		SAN CLEMENTE INN 2600 AVENIDA DEL PRESIDENTE, SAN CLEMENTE, CALIFORNIA 92672	
		SHEET NO. 1 OF 14	
		DATE: 11/22	



ABBREVIATIONS:

CC - CONCRETE
 CMU - CONCRETE MASONRY UNIT
 M - MASONRY
 S - STRUCTURE
 F - FINISH
 T - TERRACE
 G - GRAVEL
 R - RIP-RAP
 S.S. - STAINLESS STEEL
 S.C. - SCHEDULE 40 STEEL CHANNEL
 S.P. - SLOPE PROTECTION
 S.W. - SLOPE WALL
 S.W.P. - SLOPE WALL PILE

NOTE:
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COASTAL COMMISSION

EXHIBIT # 4

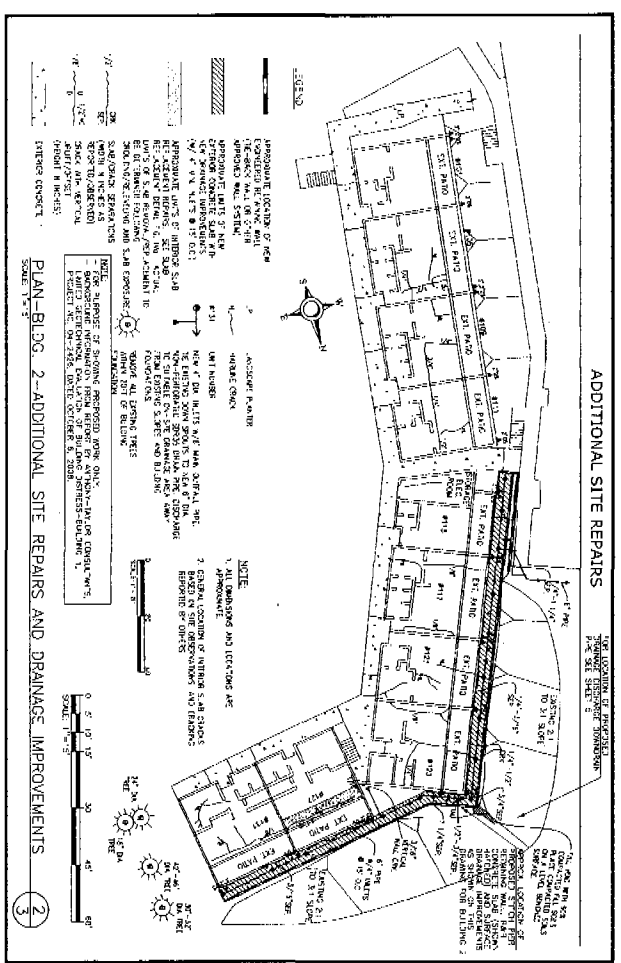
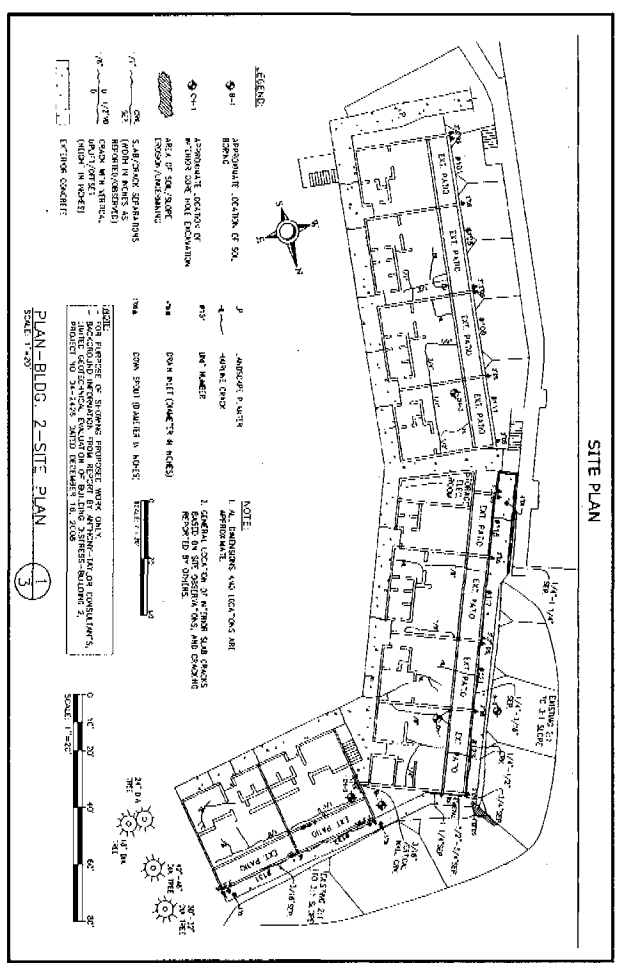
PAGE 2 OF 15

BUILDINGS 1 & 2 FOUNDATION UNDERPINNING SYSTEM & DRILLED PIER RETAINING WALL / SLOPE STABILIZATION

SAN CLEMENTE INN
 2600 AVENIDA DEL PRESIDENTE,
 SAN CLEMENTE, CALIFORNIA 92672

BUILDING 1 - BUILDING SITE PLAN, ADDITIONAL SITE REPAIRS AND DRAINAGE IMPROVEMENTS

SOIL ENGINEERING CONSTRUCTION, INC.
 LICENSE # A-20002
 380 N. HIGHWAY 101, SUITE 8, ENCINITAS, CA 92024
 PHONE (760) 633-3470 FAX (760) 633-3477



COASTAL COMMISSION

EXHIBIT # 4

PAGE 3 OF 15

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ABBREVIATIONS:

C.C.	CLAY CENTER
C.M.	CLAY MUD
C.P.	CLAY PIT
E.C.	EXISTING CONCRETE
E.M.	EXISTING MASONRY
E.S.	EXISTING STEEL
F.C.	FOUNDATION
F.M.	FOUNDATION MASONRY
F.S.	FOUNDATION STEEL
F.U.	FOUNDATION UNDERPINNING
F.V.	FOUNDATION VIBRATION
F.W.	FOUNDATION WALL
F.Y.	FOUNDATION YIELD

BUILDINGS 1 & 2 FOUNDATION UNDERPINNING SYSTEM & DRILLED PIER RETAINING WALL / SLOPE STABILIZATION

SAN CLEMENTE INN
2600 AVENIDA DEL PRESIDENTE,
SAN CLEMENTE, CALIFORNIA 92672

BUILDING 2-BUILDING SITE PLAN, ADDITIONAL SITE REPAIRS AND DRAINAGE IMPROVEMENTS



SOIL ENGINEERING CONSTRUCTION, INC.

300 N. HIGHWAY 101, SUITE B, ENCINITAS, CA 92024
PHONE (760) 933-3470 FAX (760) 933-3472

Project Name: **SOIL ENGINEERING CONSULTANTS, INC. SOIL ENGINEERING CONSULTANTS, INC.**
 Project Location: **2600 AVENIDA DEL PRESIDENTE, SAN CLEMENTE, CA 92662**
 Inspector: **ROBERT J. MADON** License No. **1085**
 Date: **10/15/2013**

Special Inspection: **SOIL ENGINEERING CONSULTANTS, INC.**

Inspector: **ROBERT J. MADON** License No. **1085**

Project No. **1085**

Page No. **1**

1. **GENERAL**
 a. **PROJECT INFORMATION**
 1. Name of Project: **SOIL ENGINEERING CONSULTANTS, INC.**
 2. Location: **2600 AVENIDA DEL PRESIDENTE, SAN CLEMENTE, CA 92662**
 3. Description of Project: **SOIL ENGINEERING CONSULTANTS, INC.**
 4. Date of Inspection: **10/15/2013**

2. **INSPECTION**
 a. **GENERAL**
 1. Name of Inspector: **ROBERT J. MADON**
 2. License No.: **1085**
 3. Date of Inspection: **10/15/2013**

Project Name: **SOIL ENGINEERING CONSULTANTS, INC. SOIL ENGINEERING CONSULTANTS, INC.**
 Project Location: **2600 AVENIDA DEL PRESIDENTE, SAN CLEMENTE, CA 92662**
 Inspector: **ROBERT J. MADON** License No. **1085**
 Date: **10/15/2013**

Special Inspection: **SOIL ENGINEERING CONSULTANTS, INC.**

Inspector: **ROBERT J. MADON** License No. **1085**

Project No. **1085**

Page No. **1**

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 4. Date of Inspection: **10/15/2013**

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 a. **GENERAL**
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 2. License No.: **1085**
 3. Date of Inspection: **10/15/2013**

COASTAL COMMISSION

EXHIBIT # **4**

PAGE **4** OF **15**

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Special Requirements and Minimum Construction Standards

BA-5

1. **GENERAL**
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2. **INSPECTION**
 a. **GENERAL**
 1. Name of Inspector: **ROBERT J. MADON**
 2. License No.: **1085**
 3. Date of Inspection: **10/15/2013**

Minimum Requirements for Keeping Our Ocean Waters Clean

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Minimum Requirements for Keeping Our Ocean Waters Clean

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Minimum Requirements for Keeping Our Ocean Waters Clean

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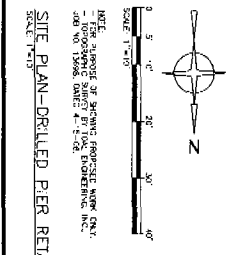
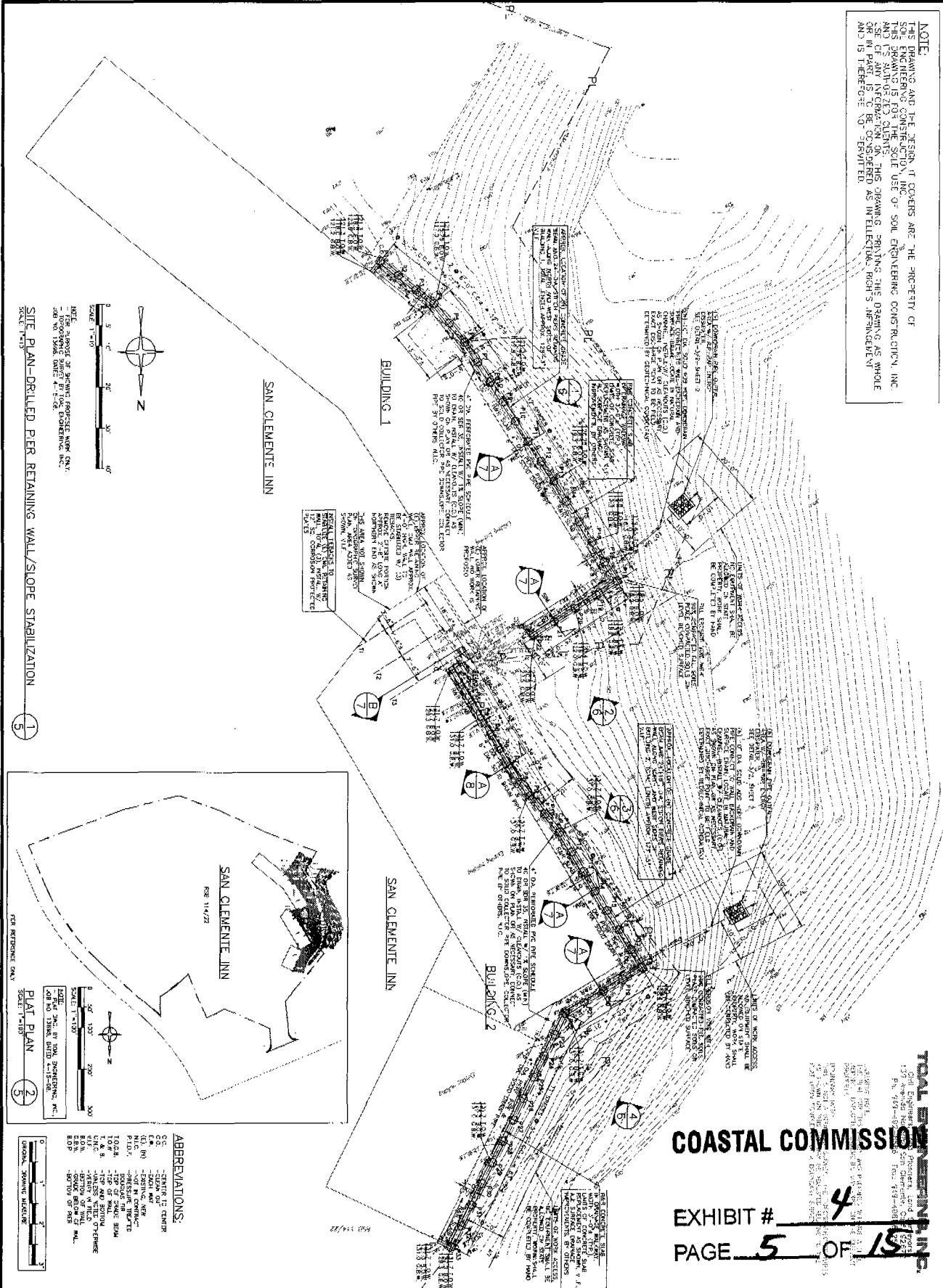
BUILDINGS 1 & 2 FOUNDATION UNDERPINNING SYSTEM & DRILLED PIER RETAINING WALL / SLOPE STABILIZATION

SAN CLEMENTE INN
 2600 AVENIDA DEL PRESIDENTE,
 SAN CLEMENTE, CALIFORNIA 92672

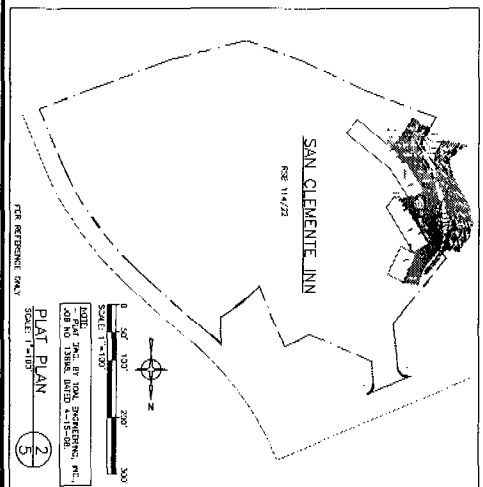
SCMC MINIMUM CONSTRUCTION STANDARDS, CITY OF SAN CLEMENTE SPECIAL INSPECTION FORMS

REGISTERED PROFESSIONAL ENGINEER
 SOIL ENGINEERING CONSULTANTS, INC.
 LICENSE # A-90682
 550 N. HIGHWAY 101, SUITE 3, DENTON, CA 92621
 PHONE (760) 433-3470 FAX (760) 433-3472

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SITE PLAN-DRILLED PIER RETAINING WALL/SLOPE STABILIZATION
 SCALE: 1"=20'



PLAT PLAN
 SCALE: 1"=100'

ABBREVIATIONS:

CC	CENTER TO CENTER
CL	CENTER LINE
CS	CURB SIDE
DEL. (N)	EXISTING NEW
PLC.	PROPOSED IN CONCRETE
LOGS	PROPOSED IN SOIL
LOGS	TOP OF WALL
LOGS	BASE OF WALL
LOGS	TOP OF FILL
LOGS	BASE OF FILL
LOGS	TOP OF GRADE
LOGS	BASE OF GRADE
LOGS	TOP OF CURB
LOGS	BASE OF CURB
LOGS	TOP OF DRIVEWAY
LOGS	BASE OF DRIVEWAY
LOGS	TOP OF SIDEWALK
LOGS	BASE OF SIDEWALK
LOGS	TOP OF PAVEMENT
LOGS	BASE OF PAVEMENT
LOGS	TOP OF ASPHALT
LOGS	BASE OF ASPHALT
LOGS	TOP OF GRAVEL
LOGS	BASE OF GRAVEL
LOGS	TOP OF SAND
LOGS	BASE OF SAND
LOGS	TOP OF CLAY
LOGS	BASE OF CLAY
LOGS	TOP OF SILT
LOGS	BASE OF SILT
LOGS	TOP OF MUD
LOGS	BASE OF MUD
LOGS	TOP OF WATER
LOGS	BASE OF WATER
LOGS	TOP OF AIR
LOGS	BASE OF AIR
LOGS	TOP OF VACUUM
LOGS	BASE OF VACUUM

COASTAL COMMISSION

EXHIBIT # 4
 PAGE 5 OF 15

SOIL ENGINEERING INC.
 1575 AVENUE OF THE STARS, SUITE 100, COSTA MESA, CA 92626
 (714) 440-1111
 FAX (714) 440-1112

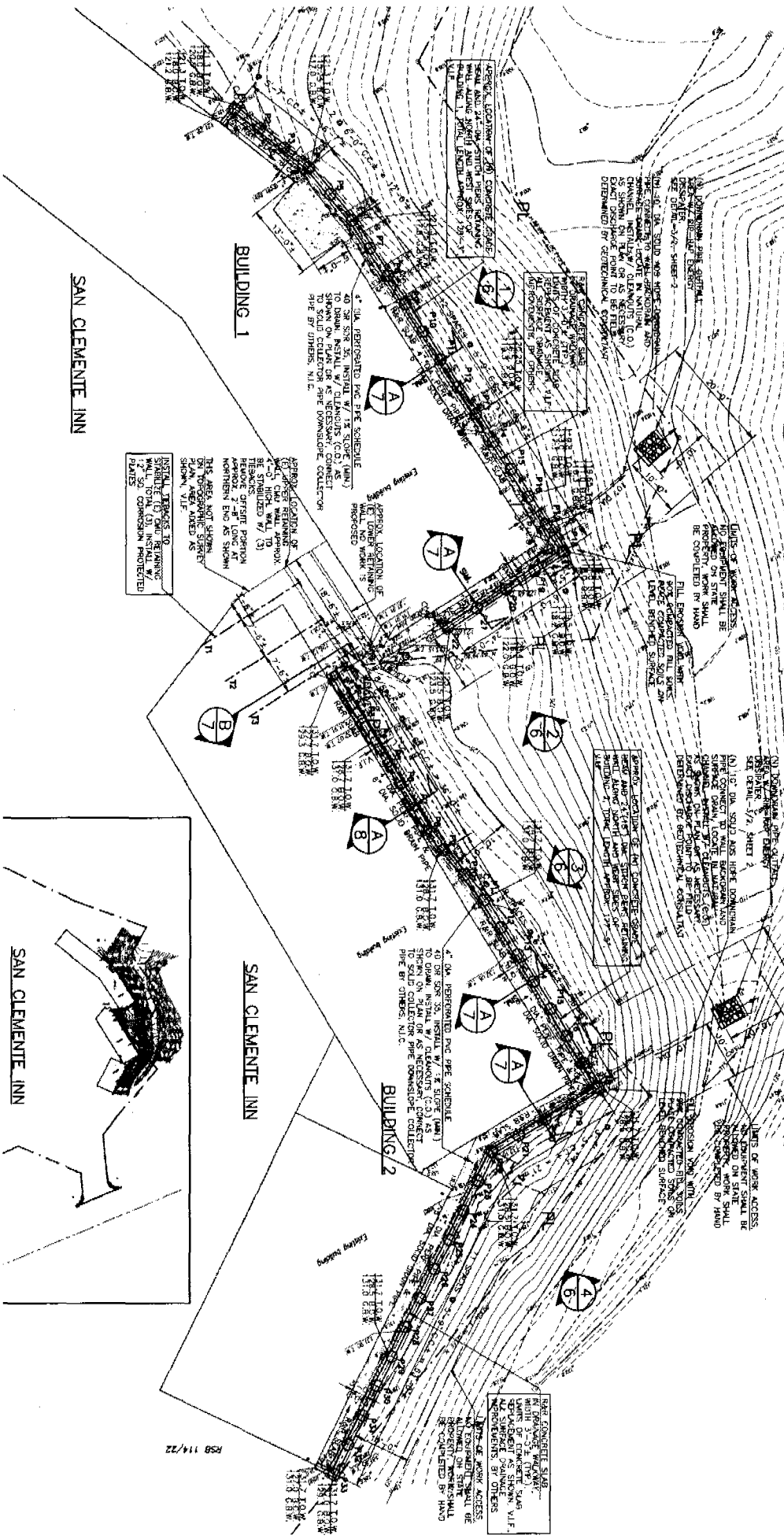
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2	ISSUED FOR PERMITS	11/14/22	MM	MM
3	ISSUED FOR PERMITS	11/14/22	MM	MM
4	ISSUED FOR PERMITS	11/14/22	MM	MM
5	ISSUED FOR PERMITS	11/14/22	MM	MM

BUILDINGS 1 & 2 FOUNDATION UNDERPINNING SYSTEM & DRILLED PIER RETAINING WALL / SLOPE STABILIZATION

SAN CLEMENTE INN
 2600 AVENIDA DEL PRESIDENTE,
 SAN CLEMENTE, CALIFORNIA 92672

SITE PLAN-DRILLED PIER RETAINING WALL / SLOPE STABILIZATION AND PLAT PLAN

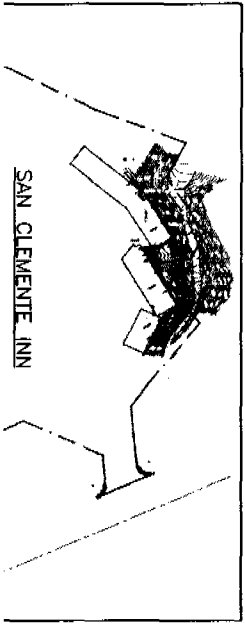
SOIL ENGINEERING CONSTRUCTION, INC.
 LICENSE # A-18600
 500 N. HIGHWAY 101, SUITE 3, ORLANDO, FL 32804
 PHONE: (760) 633-3470 FAX: (760) 633-3472



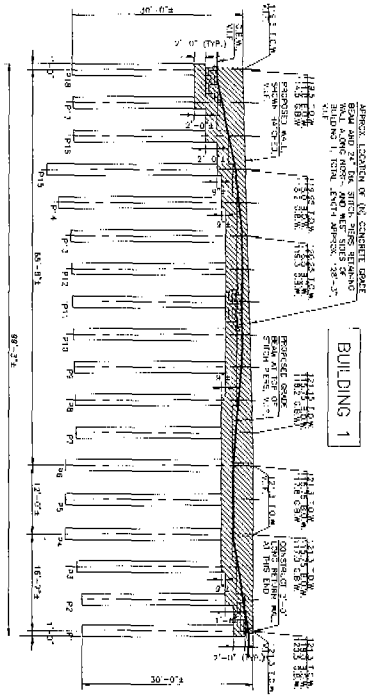
Enlarged
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Sheet 5

COASTAL COMMISSION

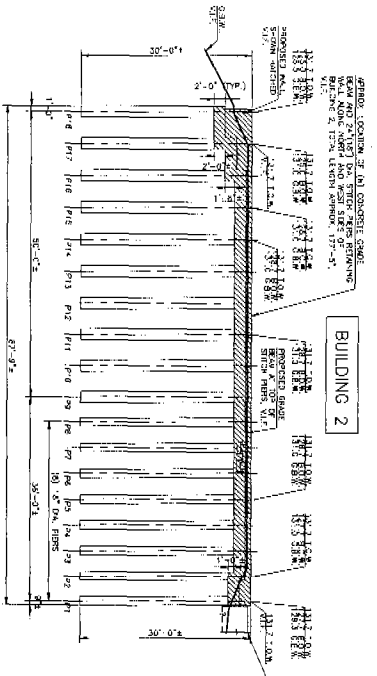
EXHIBIT # 4
PAGE 6 OF 15



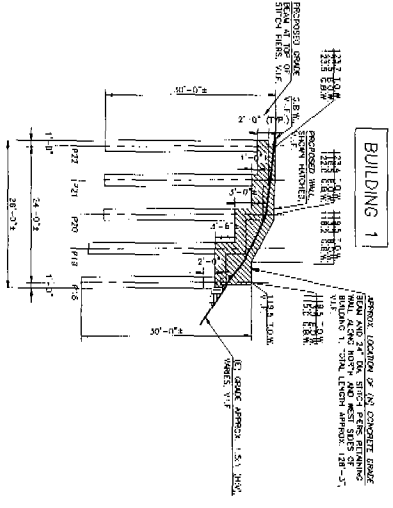
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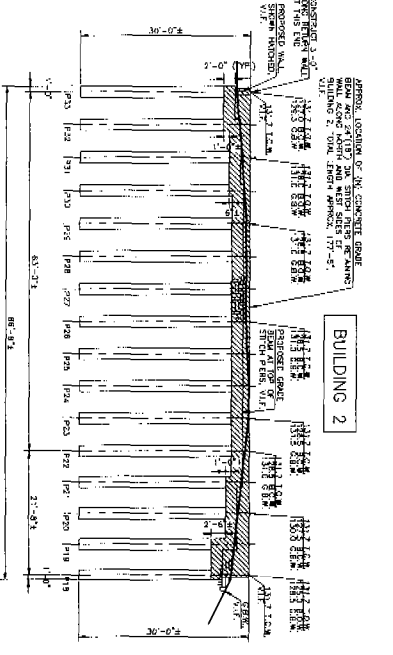
ELEVATION-BLDG. 1-RETAINING WALL FROM WEST 1/8



ELEVATION-BLDG. 2-RETAINING WALL FROM WEST 3/8



ELEVATION-BLDG. 1-RETAINING WALL FROM NORTH 2/8



ELEVATION-BLDG. 2-RETAINING WALL FROM NORTH 4/8

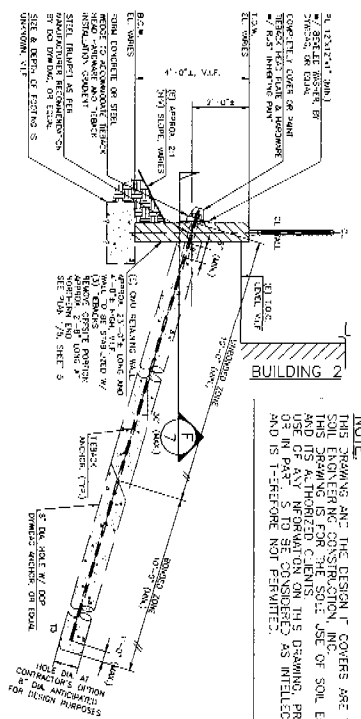
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ABBREVIATIONS:

CC	-CENTER TO CENTER
CL	-CLEAR
CLD	-CLEAR DIM.
CLD (N)	-CLEAR DIM. NEW
CLD (E)	-CLEAR DIM. EXIST.
CLD (O)	-CLEAR DIM. OLD
CLD (R)	-CLEAR DIM. RECON.
CLD (S)	-CLEAR DIM. SURV.
CLD (T)	-CLEAR DIM. TYP.
CLD (U)	-CLEAR DIM. UNK.
CLD (V)	-CLEAR DIM. VARY.
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CLD (T)	-CLEAR DIM. T-REF.
CLD (U)	-CLEAR DIM. U-REF.
CLD (V)	-CLEAR DIM. V-REF.
CLD (W)	-CLEAR DIM. W-REF.
CLD (X)	-CLEAR DIM. X-REF.
CLD (Y)	-CLEAR DIM. Y-REF.
CLD (Z)	-CLEAR DIM. Z-REF.

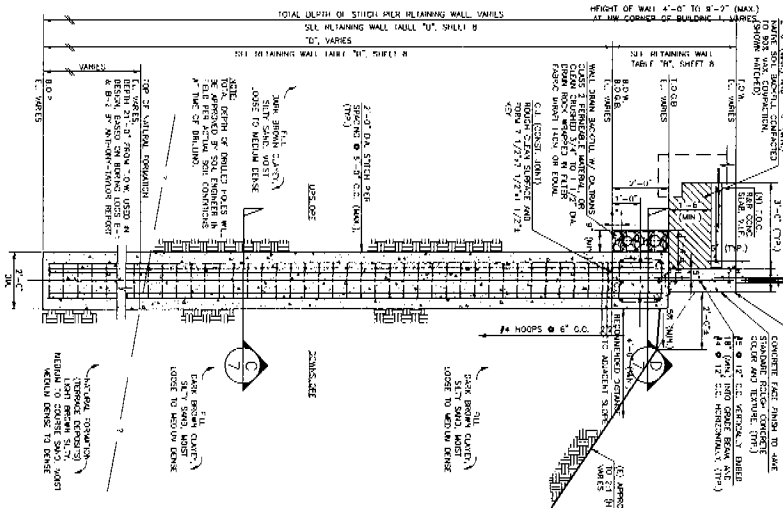
COASTAL COMMISSION
EXHIBIT # 4
PAGE 7 OF 15

<p>BUILDINGS 1 & 2 FOUNDATION UNDERPINNING SYSTEM & DRILLED PIER RETAINING WALL / SLOPE STABILIZATION</p> <p>SAN CLEMENTE INN 2600 AVENIDA DEL PRESIDENTE, SAN CLEMENTE, CALIFORNIA 92672</p>	<p>RETAINING WALL ELEVATIONS</p>	<p>SOIL ENGINEERING CONSTRUCTION, INC. LICENSE # 34899 540 N. HIGHWAY 101, SUITE 9, ENCINITAS, CA 92024 PHONE (760) 833-3470 FAX (760) 833-3472</p>
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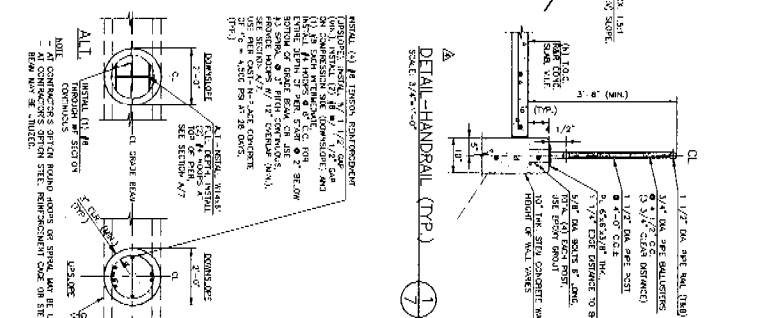


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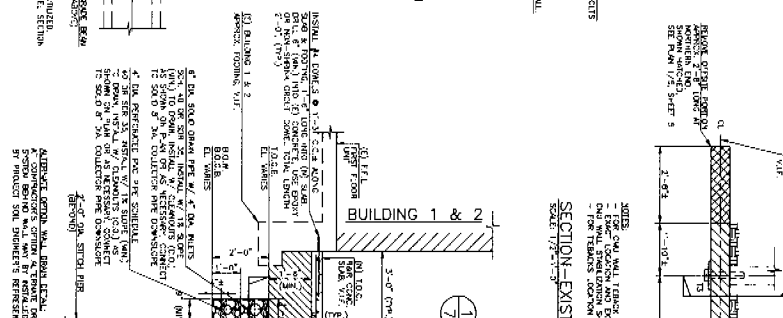
SECTION-EXISTING CMU RETAINING WALL W/ TIEBACK (TYP.)



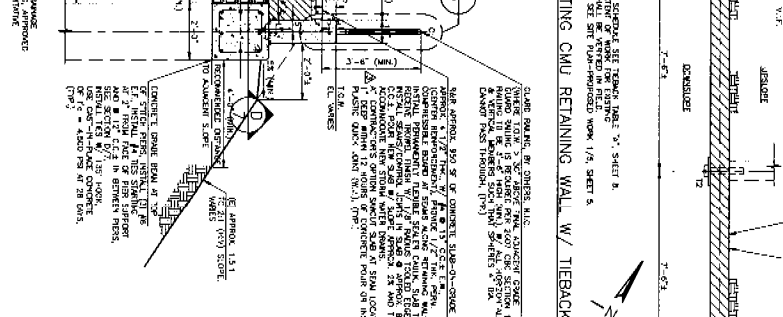
SECTION-STITCH PIER RETAINING WALL (TYP.)



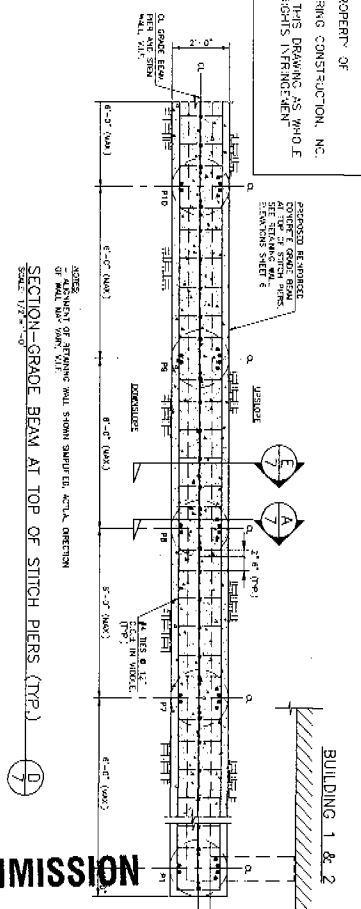
DETAIL-HANDRAIL (TYP.)



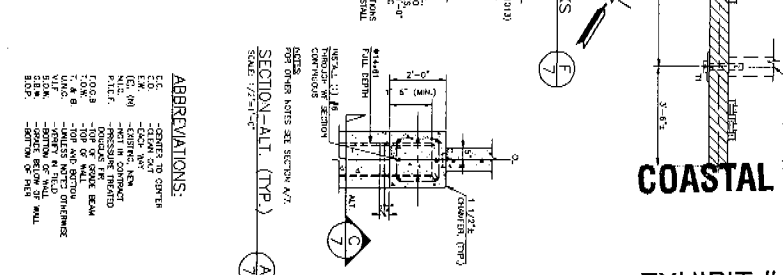
SECTION-STITCH PIER (TYP.)



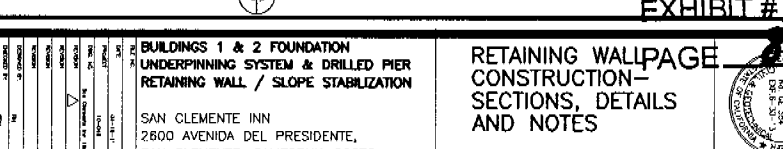
SECTION-GRADE BEAM AND STEM WALL (TYP.)



SECTION-GRADE BEAM AT TOP OF STITCH PIERS (TYP.)



SECTION-EXISTING CMU RETAINING WALL W/ TIEBACKS



SECTION-ALT. (TYP.)

ABBREVIATIONS:
 C.C. - CONCRETE
 C.M.U. - CONCRETE MASONRY UNIT
 F.C. - FIBER CONCRETE
 G.C. - GRANULAR CONCRETE
 G.C.P. - GRANULAR CONCRETE PAVEMENT
 G.C.S. - GRANULAR CONCRETE SURFACE
 G.C.T. - GRANULAR CONCRETE TOPPING
 G.C.V. - GRANULAR CONCRETE VENEER
 G.C.W. - GRANULAR CONCRETE WALL
 G.C.X. - GRANULAR CONCRETE EXPOSED
 G.C.Y. - GRANULAR CONCRETE YIELD
 G.C.Z. - GRANULAR CONCRETE ZONE
 G.C.A. - GRANULAR CONCRETE AREA
 G.C.B. - GRANULAR CONCRETE BENCH
 G.C.C. - GRANULAR CONCRETE CURB
 G.C.D. - GRANULAR CONCRETE DRAINAGE
 G.C.E. - GRANULAR CONCRETE EDGE
 G.C.F. - GRANULAR CONCRETE FACE
 G.C.G. - GRANULAR CONCRETE GROUND
 G.C.H. - GRANULAR CONCRETE HOLE
 G.C.I. - GRANULAR CONCRETE ISLAND
 G.C.J. - GRANULAR CONCRETE JUNCTION
 G.C.K. - GRANULAR CONCRETE KICK
 G.C.L. - GRANULAR CONCRETE LANDING
 G.C.M. - GRANULAR CONCRETE MOUND
 G.C.N. - GRANULAR CONCRETE NEST
 G.C.O. - GRANULAR CONCRETE OUTFLET
 G.C.P. - GRANULAR CONCRETE PAVEMENT
 G.C.Q. - GRANULAR CONCRETE QUARRY
 G.C.R. - GRANULAR CONCRETE RAMP
 G.C.S. - GRANULAR CONCRETE SURFACE
 G.C.T. - GRANULAR CONCRETE TOPPING
 G.C.U. - GRANULAR CONCRETE UNDERLAYMENT
 G.C.V. - GRANULAR CONCRETE VENEER
 G.C.W. - GRANULAR CONCRETE WALL
 G.C.X. - GRANULAR CONCRETE EXPOSED
 G.C.Y. - GRANULAR CONCRETE YIELD
 G.C.Z. - GRANULAR CONCRETE ZONE

COASTAL COMMISSION

EXHIBIT # 4

BUILDINGS 1 & 2 FOUNDATION UNDERPINNING SYSTEM & DRILLED PIER RETAINING WALL / SLOPE STABILIZATION

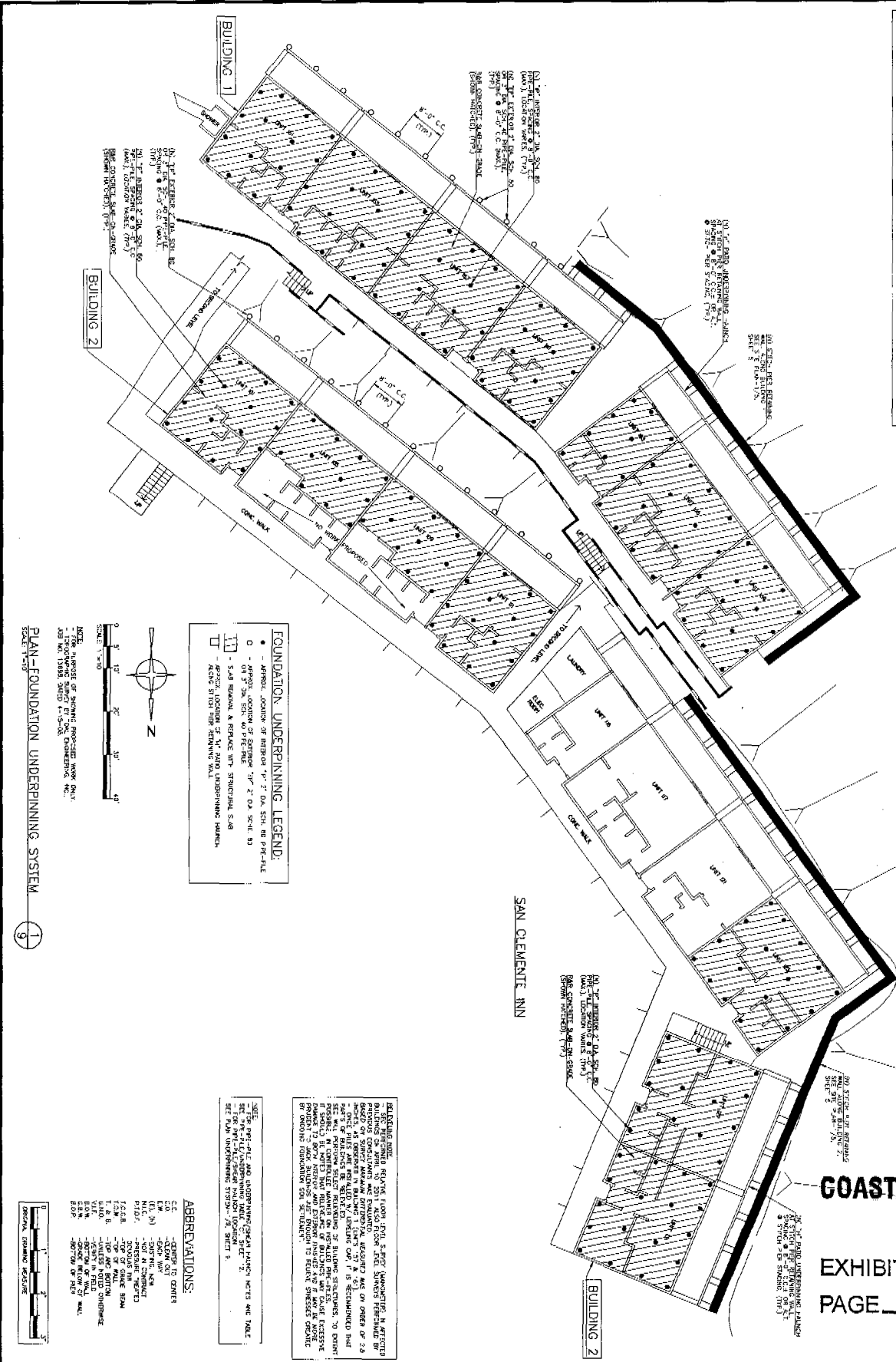
RETAINING WALLPAGE 8 OF 15

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SOIL ENGINEERING CONSTRUCTION, INC.

7 OF 14

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FOUNDATION UNDERPINNING LEGEND:

- APPROX. LOCATION OF INTERIOR 16" x 24" DIA. SCL. BE PIER-PILE
- APPROX. LOCATION OF EXTERIOR 16" x 24" DIA. SCL. BE PIER-PILE
- 3-3/4" DIA. SCL. BE PIER-PILE
- 3-3/4" DIA. SCL. BE PIER-PILE WITH STRUCTURAL SCL. BE
- 3-3/4" DIA. SCL. BE PIER-PILE WITH UNDERPINNING MATCH
- 3-3/4" DIA. SCL. BE PIER-PILE WITH UNDERPINNING MATCH



PLAN-FOUNDATION UNDERPINNING SYSTEM

COASTAL COMMISSION

EXHIBIT # 4

PAGE 10 OF 15

REVISIONS:

NO.	DATE	DESCRIPTION
1	11/15/88	ISSUED FOR PERMIT
2	11/15/88	ISSUED FOR PERMIT
3	11/15/88	ISSUED FOR PERMIT
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ABBREVIATIONS:

CC	CONCRETE
CL	CLAY
CMU	CONCRETE MASONRY UNIT
CS	CONCRETE SLAB
DL	DRILL
EL	ELEVATION
FL	FINISH
GL	GRADE
HL	HIGH LEVEL
IL	INTERIOR LEVEL
OL	ORIGINAL
PL	PROPOSED
RL	REAR LEVEL
SL	SLAB
TL	TOP LEVEL
UL	UNDERPINNING
WL	WATER LEVEL
YL	YARD LEVEL

BUILDINGS 1 & 2 FOUNDATION UNDERPINNING SYSTEM & DRILLED PIER RETAINING WALL / SLOPE STABILIZATION

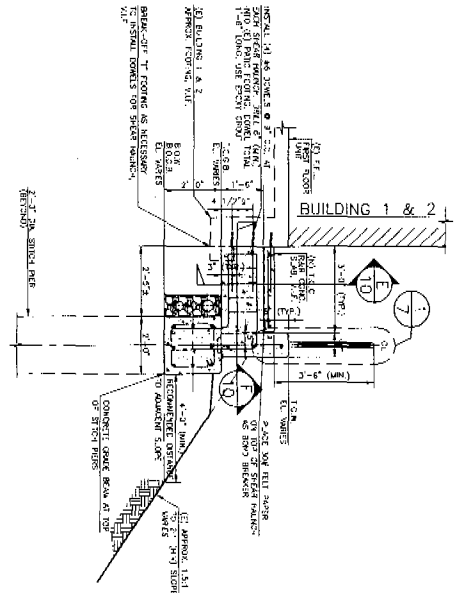
SAN CLEMENTE INN
 2600 AVENIDA DEL PRESIDENTE,
 SAN CLEMENTE, CALIFORNIA 92672

PLAN-FOUNDATION UNDERPINNING SYSTEM

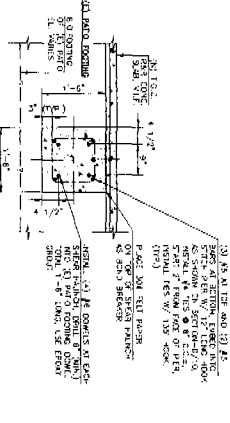
SOIL ENGINEERING CONSTRUCTION, INC.

10000 WILSON AVENUE, SUITE 100
 SAN CLEMENTE, CALIFORNIA 92672
 PHONE (714) 633-3470 FAX (714) 633-3472

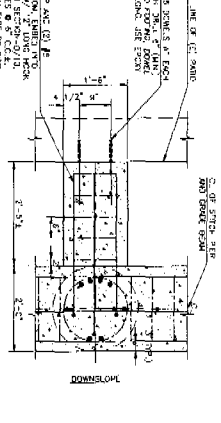
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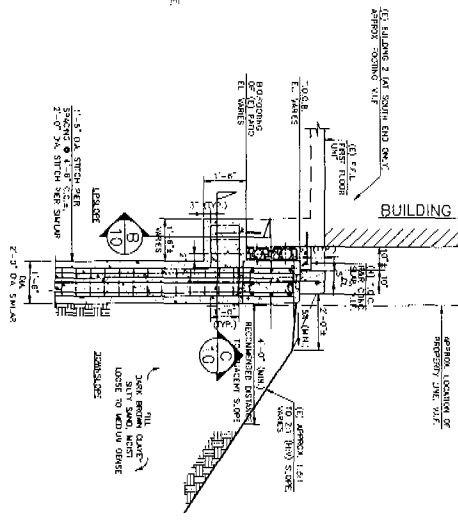
SECTION - GRADE BEAM & SHEAR HAUNCH (D)
 SCALE: 1/2" = 1'-0"



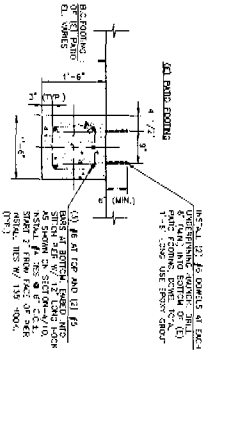
SECTION - SHEAR HAUNCH (E)
 SCALE: 1/2" = 1'-0"



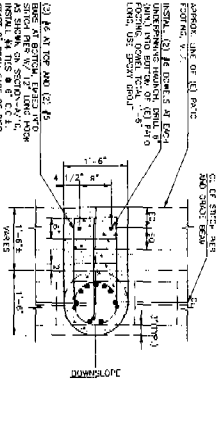
SECTION - SHEAR HAUNCH (F)
 SCALE: 1/2" = 1'-0"



SECTION - PIER & UNDERPINNING HAUNCH (A)
 SCALE: 1/2" = 1'-0"



SECTION - UNDERPINNING HAUNCH (B)
 SCALE: 1/2" = 1'-0"



SECTION - UNDERPINNING HAUNCH (C)
 SCALE: 1/2" = 1'-0"

COASTAL COMMISSION

EXHIBIT # 4
 PAGE 11 OF 15

NOTE:
 SEE PERI-PER AND UNDERPINNING-SHEAR HAUNCH NOTES AND TABLE FOR PERI-PER AND UNDERPINNING-SHEAR HAUNCH SYSTEM-1/9 SHEET 1.
 SEE FOUNDATION UNDERPINNING SYSTEM-1/9 SHEET 1.

ABBREVIATIONS:

CC	CONCRETE
CS	STEEL
EL	ELEVATION
EL (H)	ELEVATION - HORIZONTAL
EL (V)	ELEVATION - VERTICAL
FIN	FINISH
FR	FOUNDATION
FR (H)	FOUNDATION - HORIZONTAL
FR (V)	FOUNDATION - VERTICAL
FR (S)	FOUNDATION - SLOPE
FR (T)	FOUNDATION - TILT
FR (W)	FOUNDATION - WALL
FR (B)	FOUNDATION - BEAM
FR (C)	FOUNDATION - COLUMN
FR (F)	FOUNDATION - FOOTING
FR (P)	FOUNDATION - PIER
FR (U)	FOUNDATION - UNDERPINNING
FR (S)	FOUNDATION - SHEAR
FR (H)	FOUNDATION - HAUNCH
FR (R)	FOUNDATION - REINFORCING
FR (L)	FOUNDATION - LATH
FR (M)	FOUNDATION - METAL
FR (N)	FOUNDATION - NAIL
FR (O)	FOUNDATION - OTHER

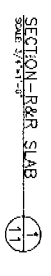
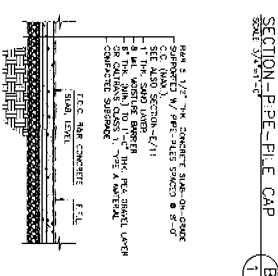
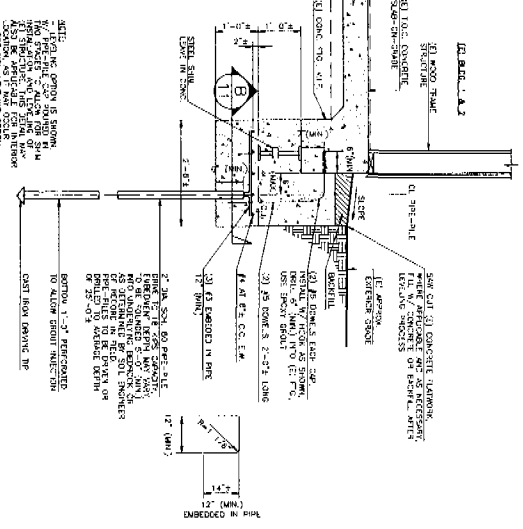
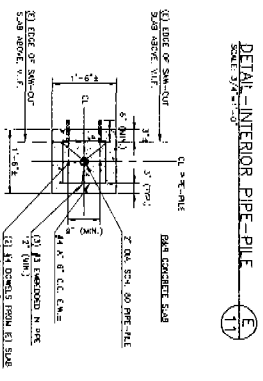
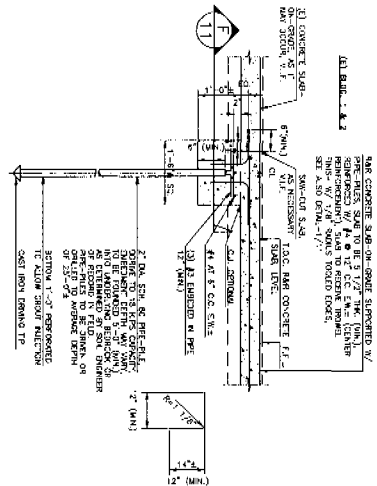
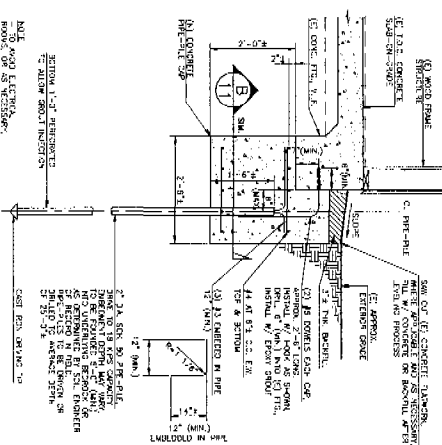
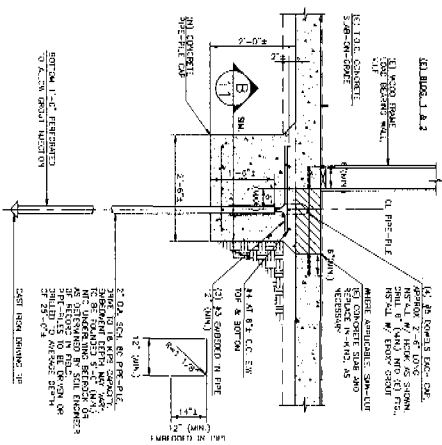
BUILDINGS 1 & 2 FOUNDATION UNDERPINNING SYSTEM & DRILLED PIER RETAINING WALL / SLOPE STABILIZATION

PROJECT	BUILDINGS 1 & 2 FOUNDATION UNDERPINNING SYSTEM & DRILLED PIER RETAINING WALL / SLOPE STABILIZATION
CLIENT	SAN CLEMENTE INN
ADDRESS	2600 AVENIDA DEL PRESIDENTE, SAN CLEMENTE, CALIFORNIA 92672
DATE	11/14/13
SCALE	AS SHOWN
DESIGNER	SOIL ENGINEERING CONSTRUCTION, INC.
CHECKED BY	SOIL ENGINEERING CONSTRUCTION, INC.
APPROVED BY	SOIL ENGINEERING CONSTRUCTION, INC.
DATE	11/14/13
SCALE	AS SHOWN
PROJECT	BUILDINGS 1 & 2 FOUNDATION UNDERPINNING SYSTEM & DRILLED PIER RETAINING WALL / SLOPE STABILIZATION
CLIENT	SAN CLEMENTE INN
ADDRESS	2600 AVENIDA DEL PRESIDENTE, SAN CLEMENTE, CALIFORNIA 92672
DATE	11/14/13
SCALE	AS SHOWN
DESIGNER	SOIL ENGINEERING CONSTRUCTION, INC.
CHECKED BY	SOIL ENGINEERING CONSTRUCTION, INC.
APPROVED BY	SOIL ENGINEERING CONSTRUCTION, INC.
DATE	11/14/13
SCALE	AS SHOWN

FOUNDATION UNDERPINNING SYSTEM - SECTIONS, DETAILS AND NOTES, SHEET 1 OF 2

SOIL ENGINEERING CONSTRUCTION, INC.
 LICENSE # A-200002
 860 N. HIGHWAY 101, SUITE 5, DUBLINO, CA 92024
 PHONE (760) 633-8470 FAX (760) 833-3472

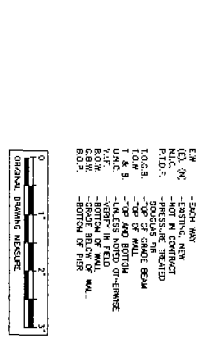
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AND SHALL BE HELD HARMLESS THEREFROM.



COASTAL COMMISSION
EXHIBIT # 4
PAGE 12 OF 15

NOTES:
1. PRE-CAST CONCRETE PILES SHALL BE SET TO A MINIMUM OF 12" BELOW FINISH FLOOR SLAB TOP SURFACE.
2. ALL PILES SHALL BE SET TO THE SAME DEPTH.
3. THE TOP SURFACE OF ALL PILES SHALL BE FINISHED TO BE 2" FROM FINISH FLOOR SLAB TOP SURFACE.
4. ALL PILES SHALL BE SET TO THE SAME DEPTH.
5. THE TOP SURFACE OF ALL PILES SHALL BE FINISHED TO BE 2" FROM FINISH FLOOR SLAB TOP SURFACE.
6. ALL PILES SHALL BE SET TO THE SAME DEPTH.
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8. ALL PILES SHALL BE SET TO THE SAME DEPTH.
9. THE TOP SURFACE OF ALL PILES SHALL BE FINISHED TO BE 2" FROM FINISH FLOOR SLAB TOP SURFACE.
10. ALL PILES SHALL BE SET TO THE SAME DEPTH.
11. THE TOP SURFACE OF ALL PILES SHALL BE FINISHED TO BE 2" FROM FINISH FLOOR SLAB TOP SURFACE.

ABBREVIATIONS:
SC - SECTION
C - COLUMN
F - FOOTING
P - PILE
S - SLAB
TR - TRUSS
W - WALL
R - ROOF
D - DRILL
L - LEVEL
A - ANCHOR
B - BRACE
G - GUY
M - MEMBER
P - PILE
S - SLAB
TR - TRUSS
W - WALL
R - ROOF
D - DRILL
L - LEVEL
A - ANCHOR
B - BRACE
G - GUY
M - MEMBER



Statement of Special Inspections, 2010 CBC

Project: 090-2010-001, PRESIDENTE, SAN CLEMENTE, CALIFORNIA

Special Inspection: Foundation, Soil Conditions, Slope Stability, Retention Wall, and Slope Stabilization

1. List of the Special Inspections to be performed in accordance with the approved plans and specifications. The Special Inspection shall be performed in accordance with the approved plans and specifications. The Special Inspection shall be performed in accordance with the approved plans and specifications. The Special Inspection shall be performed in accordance with the approved plans and specifications.

2. The Special Inspection shall be performed in accordance with the approved plans and specifications. The Special Inspection shall be performed in accordance with the approved plans and specifications. The Special Inspection shall be performed in accordance with the approved plans and specifications.

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13. The Special Inspection shall be performed in accordance with the approved plans and specifications. The Special Inspection shall be performed in accordance with the approved plans and specifications. The Special Inspection shall be performed in accordance with the approved plans and specifications.

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Schedule of Inspection, Testing Agencies, and Inspectors

Item No.	Item Description	Inspection Agency	Inspector Name	Inspector License No.	Inspector License State
1	Foundation	ROBERT D. WARDEN, R.E.C.E., C.E.	ROBERT D. WARDEN, R.E.C.E., C.E.	18274	CA
2	Soil Conditions	ROBERT D. WARDEN, R.E.C.E., C.E.	ROBERT D. WARDEN, R.E.C.E., C.E.	18274	CA
3	Slope Stability	ROBERT D. WARDEN, R.E.C.E., C.E.	ROBERT D. WARDEN, R.E.C.E., C.E.	18274	CA
4	Retention Wall	ROBERT D. WARDEN, R.E.C.E., C.E.	ROBERT D. WARDEN, R.E.C.E., C.E.	18274	CA
5	Slope Stabilization	ROBERT D. WARDEN, R.E.C.E., C.E.	ROBERT D. WARDEN, R.E.C.E., C.E.	18274	CA

Verification and Inspection

Item No.	Item Description	Inspector Name	Inspector License No.	Inspector License State
1	Foundation	ROBERT D. WARDEN, R.E.C.E., C.E.	18274	CA
2	Soil Conditions	ROBERT D. WARDEN, R.E.C.E., C.E.	18274	CA
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FOR STATEMENT OF SPECIAL INSPECTIONS
CONTINUATION OF SHEET 14.

NOTICE:
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COASTAL COMMISSION
EXHIBIT # 4
PAGE 14 OF 15



SOIL ENGINEERING CONSTRUCTION, INC.
1900 N. HIGHWAY 101, SUITE 200, ENCINITAS, CA 92024
PHONE: (760) 941-2000 FAX: (760) 941-2472

STATEMENT OF SPECIAL INSPECTIONS,
2010 CBC,
SHEET 1 OF 2

BUILDINGS 1 & 2 FOUNDATION
UNDERPINNING SYSTEM & DRILLED PIER
RETAINING WALL / SLOPE STABILIZATION

SAN CLEMENTE INN
2600 AVENIDA DEL PRESIDENTE,
SAN CLEMENTE, CALIFORNIA 92672

DATE: 11-14-10
DRAWN BY: [Signature]
CHECKED BY: [Signature]
SCALE: AS SHOWN
SHEET NO.: 14 OF 15

Verification and Inspection	C	P	Notes
1. Verify foundation design per geotechnical report.	X		
2. Confirm pile and soil test results per geotechnical report.	X		
3. Verify foundation design per geotechnical report.	X		
4. Verify foundation design per geotechnical report.	X		
5. Verify foundation design per geotechnical report.	X		
6. Verify foundation design per geotechnical report.	X		
7. Verify foundation design per geotechnical report.	X		
8. Verify foundation design per geotechnical report.	X		
9. Verify foundation design per geotechnical report.	X		
10. Verify foundation design per geotechnical report.	X		
11. Verify foundation design per geotechnical report.	X		
12. Verify foundation design per geotechnical report.	X		
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Verification and Inspection	C	P	Notes
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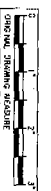
Verification and Inspection	C	P	Notes
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2. Verify foundation design per geotechnical report.	X		
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FOR STATEMENT OF SPECIAL INSPECTIONS
SEE INSTRUCTION SET SHEET 1.

COASTAL COMMISSION

EXHIBIT # 4
PAGE 15 OF 15

NOTE:
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SOIL ENGINEERING CONSTRUCTION, INC.
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AND IS HEREOFRE NOT PERMITTED.



**BUILDINGS 1 & 2 FOUNDATION
UNDERPINNING SYSTEM & DRILLED PIER
RETAINING WALL / SLOPE STABILIZATION**

SAN CLEMENTE INN
2600 AVENIDA DEL PRESIDENTE,
SAN CLEMENTE, CALIFORNIA 92672

DATE: 10/14/14
SCALE: AS SHOWN
DRAWN BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

14 OF 14

**STATEMENT OF
SPECIAL INSPECTIONS
2010 CBC,
SHEET 2 OF 2**

REGISTERED PROFESSIONAL ENGINEER
No. 41869
EXPIRES 12/31/15

SOIL ENGINEERING CONSTRUCTION, INC.
740 N. HIGHWAY 101, SUITE 5, OCEANA, CA 92656
PHONE (760) 833-3470 FAX (760) 833-3473

SOIL ENGINEERING CONSTRUCTION, INC.
740 N. HIGHWAY 101, SUITE 5, OCEANA, CA 92656
PHONE (760) 833-3470 FAX (760) 833-3473

NOTE:
CONTRACTOR TO REPAIR/RESTORE
LANDSCAPING ON ALL ROOFS AND
SLOPE STABILIZATION WORK.

LANDSCAPE MAINTENANCE CONTRACTOR WILL
LANDSCAPE MAINTENANCE CONTRACTOR WILL
THROUGH THE SOLOPS MAINTENANCE SYSTEM
AFTER THE "REPAIR/RESTORE PERIOD" FOR ALL
PLANTINGS. ALL PLANTINGS ARE CALIFORNIA
SPECIFIC AND MUST BE INSTALLED AND MAINTAINED
WITHOUT SUPPLEMENTAL IRRIGATION IN THE
FUTURE DURING EXTREME DROUGHT PERIODS.
THE SYSTEM MAY BE TUNED ON THE ANNUALITY.

PLANT LEGEND

SYM	BOTANICAL NAME	COMMON NAME	HT & SIZE	PLANT	ASPECT
1	DAUBENYAN CALIFORNIA	California oak leaf	20' - 40' H	1' x 1' x 1'	20' H
2	OPUNTIA MISSILLI	Prickly pear cactus	18" - 6" DIA	8" x 8"	20' H
3	ADONIS MONSIEUR	Medicinal leucanthemum	11" - 5" DIA	10' x 10'	20' H
4	PRODRACIS PASCALIA	Prodracis pascalia	4' - 6' H	1' x 1'	20' H
5	CESTRUM SPICATUM	Yucca mini cactus	1' - 4" H	1' x 1'	20' H
6	HELIOPSIS SCUTELLARIA	Yucca mini cactus	1' - 4" H	1' x 1'	20' H
7	HELIOPSIS SCUTELLARIA	Yucca mini cactus	1' - 4" H	1' x 1'	20' H

NOTE:
IT IS RECOMMENDED THAT CROSSERS AND
EXAMINERS OF PLANS 5-10' DIA.

NOTE:
THE PROPOSED PLAN & PLANTS SPECIFIED HAVE
BEEN COORDINATED & APPROVED BY THE STATE
PLANT DEPT. CALIFORNIA. FOR ALL PLANTS
SEE THE PLANT MATERIAL LISTINGS IN THE PLAN.

SAN CLEMENTE INN



GENERAL NOTES

1. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE PLANTING PLAN AND THE PLANT MATERIAL LISTINGS.
2. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE PLANTING PLAN AND THE PLANT MATERIAL LISTINGS.
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MINIMUM INSPECTIONS NOTE:

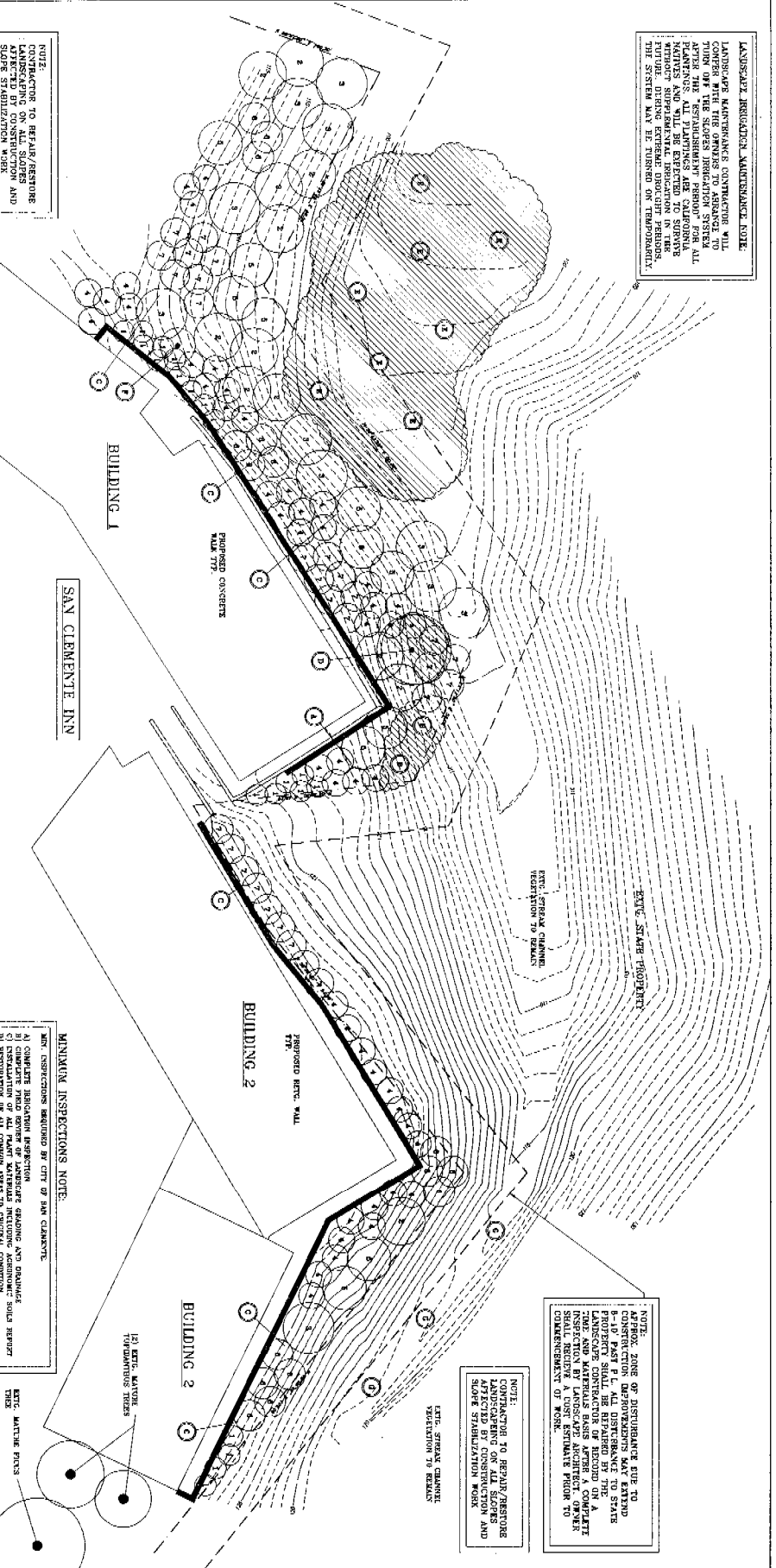
1. COMPLETE IRRIGATION INSPECTION.
2. COMPLETE FIBER OPTIC INSPECTION AND DIAGNOSIS.
3. COMPLETE IRRIGATION INSPECTION AND DIAGNOSIS.
4. COMPLETE IRRIGATION INSPECTION AND DIAGNOSIS.
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9. COMPLETE IRRIGATION INSPECTION AND DIAGNOSIS.
10. COMPLETE IRRIGATION INSPECTION AND DIAGNOSIS.

GENERAL NOTES:

1. REMOVAL OF ALL EXISTING PLANTS AND SOILS TO BE REMOVED.
2. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE PLANTING PLAN AND THE PLANT MATERIAL LISTINGS.
3. ALL PLANTINGS TO BE INSTALLED IN ACCORDANCE WITH THE PLANTING PLAN AND THE PLANT MATERIAL LISTINGS.
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PLANTING PLAN

SCALE: 1/10" = 1'-0"



NOTE:
THE OWNER OF DISBURSMENT OF THE
CONSTRUCTION APPROVEMENTS MAY EXTEND
6-10 P.M. P.M. ALL DISBURSMENT TO STATE
LANDSCAPE CONTRACTOR OF RECORD OR A
JULIE AND MATERIALS BASE AFTER A COMPLETE
INSPECTION BY LANDSCAPE ARCHITECT OWNER
AND CONTRACTOR. THE OWNER SHALL BE
RESPONSIBLE FOR THE COST OF THE
DISBURSMENT OF WORK.

NOTE:
CONTRACTOR TO REPAIR/RESTORE
LANDSCAPING ON ALL ROOFS AND
SLOPE STABILIZATION WORK.

REVISIONS			
NO.	DESCRIPTION	DATE	APP'D

PLANTING SPECIFICATIONS

A) PLANT MATERIALS

1. ALL PLANTS SHALL BE SET IN A WATERING BASK WHICH SHALL BE 10% LARGER THAN THE PLANT. THE BASK SHALL BE 1 TO 4 INCHES DEEP - BOTTOM OF THE BASK SHALL BE AT 5% SLOPE FOR DRAINAGE.
2. ALL PLANTS SHALL BE SET IN A WATERING BASK WHICH SHALL BE 10% LARGER THAN THE PLANT. THE BASK SHALL BE 1 TO 4 INCHES DEEP - BOTTOM OF THE BASK SHALL BE AT 5% SLOPE FOR DRAINAGE.
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B) SOIL PREPARATION & PLANTING

1. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT NUMBER OF EMPLOYEES & APPROPRIATE EQUIPMENT TO WORK FASTER SCHEDULED PLANT WATERING WORK SHALL COMPREHEND OF: WATERING, WEEDING, PRUNING, PLANTING, FERTILIZING, CONTROL OF PESTS & DISEASES.
2. DAMAGE TO ANY PLANTED AREAS SHALL BE REPAIRED IMMEDIATELY WITHIN 10 DAYS OF THE OCCURRENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OF ANY DAMAGE TO ANY PLANTED AREAS.
3. THE CONTRACTOR SHALL BE SO CAREFUL FOR THAT A NEAT & CLEAN CONDITION SHALL BE MAINTAINED AT ALL TIMES TO THE SATISFACTION OF THE OWNER & THE CONTRACTOR'S ARCHITECT.

C) MAINTENANCE

1. THE CONTRACTOR SHALL MAINTAIN A SUFFICIENT NUMBER OF EMPLOYEES & APPROPRIATE EQUIPMENT TO WORK FASTER SCHEDULED PLANT WATERING WORK SHALL COMPREHEND OF: WATERING, WEEDING, PRUNING, PLANTING, FERTILIZING, CONTROL OF PESTS & DISEASES.
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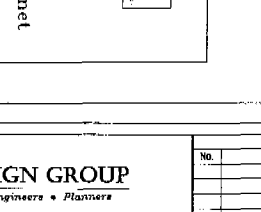
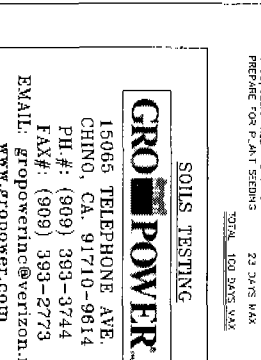
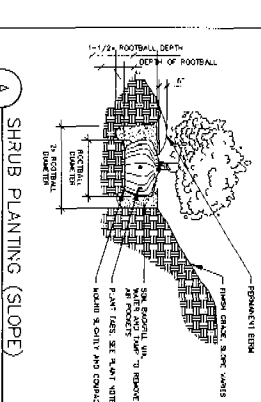
D) WEED ABATEMENT PROGRAM

- UPON COMPLETION OF THE IRRIGATION SYSTEM & AFTER ALL EXISTING WEEDS HAVE BEEN REMOVED FROM THE PLANTING AREAS, THE FOLLOWING WEED PREVENTION SHALL BE USED:
- APPLY PRE-EMERGENT WEEDING AS RECOMMENDED BY A LICENSED PEST CONTROL ADVISOR TO BE COMPATIBLE WITH THE SEEDED PLANT VARIETIES APPLY WEEDS PER THE FOLLOWING TIME SCHEDULE:
- | | |
|-----------------------|-----------|
| PRE-EMERGENT WEEDING | 2 DAYS |
| POST-EMERGENT WEEDING | 7-10 DAYS |
| POST-EMERGENT WEEDING | 14 DAYS |
| POST-EMERGENT WEEDING | 14 DAYS |
| POST-EMERGENT WEEDING | 7 DAYS |
- PREPARE FOR PLANT SEEDS TO BE PLANTED 22 DAYS MAX

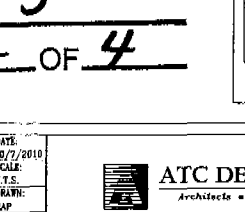
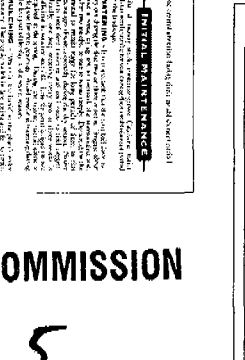
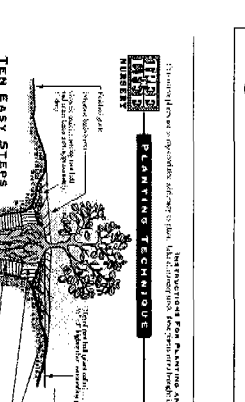
E) SOIL TESTING

- SOIL TESTING
- 15065 TELEPHONE AVE.
CHINO, CA. 91710-9614
PH #: (909) 393-3744
FAX #: (909) 393-2773
EMAIL: gtopowerinc@verizon.net
www.gtopower.com

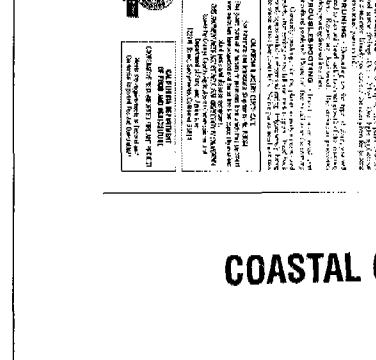
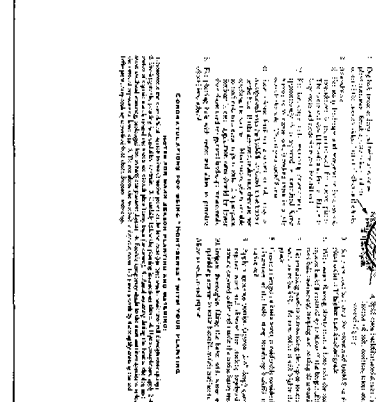
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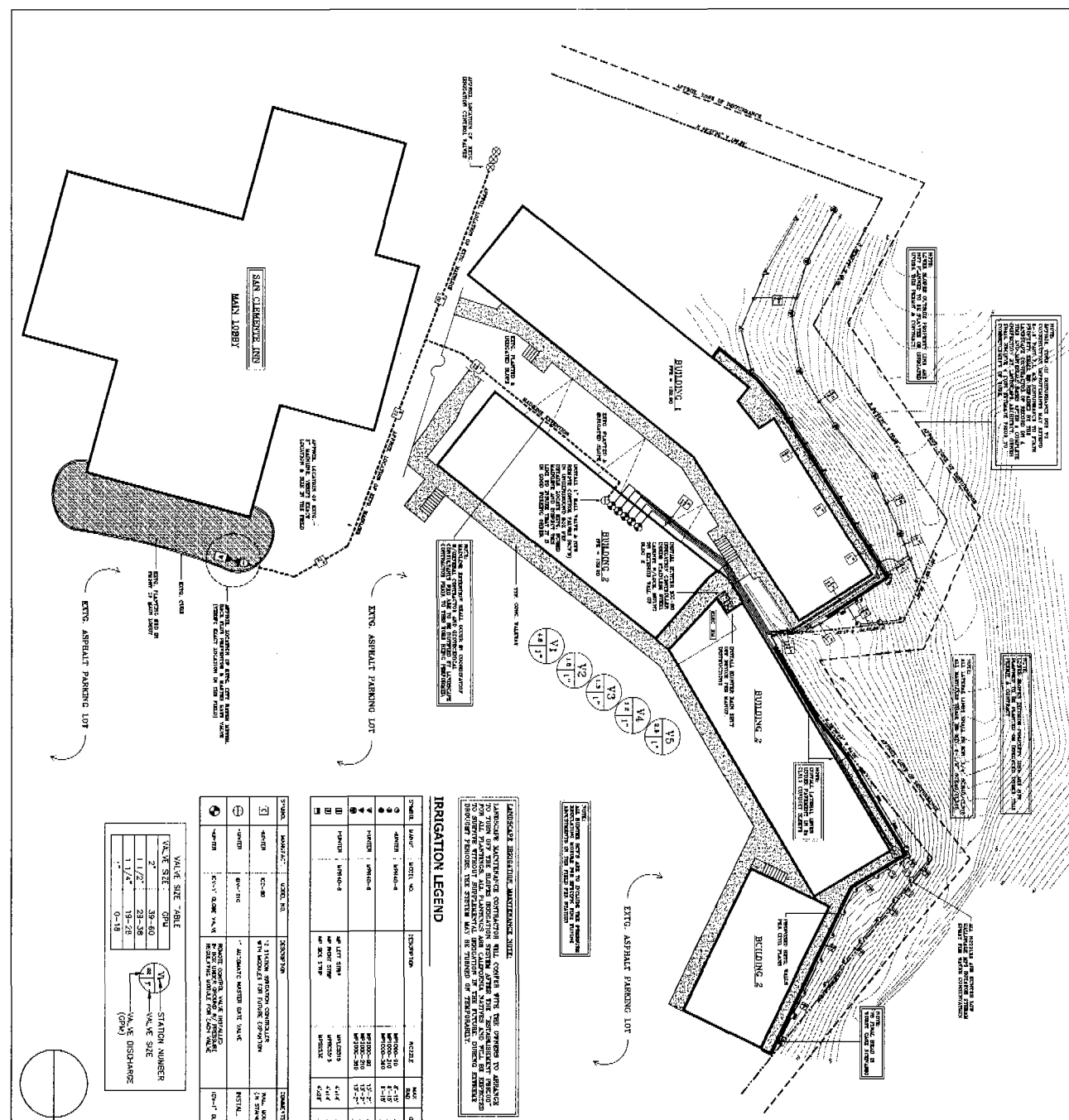
COASTAL COMMISSION
EXHIBIT # 5
PAGE 2 OF 4

EROSION CONTROL - PLANTING PLAN
DATE: 10/2/2010
SCALE: N.T.S.
DRAWN: [Name]
CHECKED: [Name]
PROJECT: SAN CLEMENTE INN BLDG #1+2
2600 AVENUE DEL PRESIDENTE SAN CLEMENTE, CA 92672

ATC DESIGN GROUP
Architects • Engineers • Planners

REVISIONS
NO. DESCRIPTION DATE APP'D.

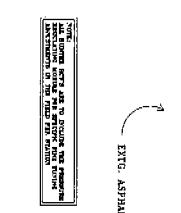
12a



NOTE: ALL IRRIGATION SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH THE IRRIGATION CONTRACT DOCUMENTS AND THE IRRIGATION CONTRACT SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL WATER AGENCY AND THE COASTAL COMMISSION.

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IRRIGATION LEGEND

SYMBOLS: VALVE, FLOW CONTROL DEVICE, PIPE, FITTING, EQUIPMENT.

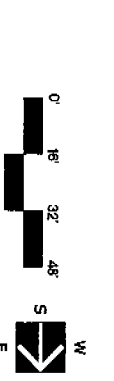
IRIGATION LEGEND

SYMBOLS: VALVE, FLOW CONTROL DEVICE, PIPE, FITTING, EQUIPMENT.

SYMBOL	MANUFACTURER	MODEL NO.	DESCRIPTION	SIZE	QTY	UNIT	TOTAL
1	1/2"	1/2"	1/2" NPT VALVE	1/2"	40	PC	40
2	1/2"	1/2"	1/2" NPT VALVE	1/2"	40	PC	40
3	1/2"	1/2"	1/2" NPT VALVE	1/2"	40	PC	40
4	1/2"	1/2"	1/2" NPT VALVE	1/2"	40	PC	40
5	1/2"	1/2"	1/2" NPT VALVE	1/2"	40	PC	40
6	1/2"	1/2"	1/2" NPT VALVE	1/2"	40	PC	40
7	1/2"	1/2"	1/2" NPT VALVE	1/2"	40	PC	40
8	1/2"	1/2"	1/2" NPT VALVE	1/2"	40	PC	40
9	1/2"	1/2"	1/2" NPT VALVE	1/2"	40	PC	40
10	1/2"	1/2"	1/2" NPT VALVE	1/2"	40	PC	40

PIPE SIZE	LENGTH	QTY	UNIT	TOTAL
1/2"	1000	40	PC	40
1/2"	1000	40	PC	40
1/2"	1000	40	PC	40
1/2"	1000	40	PC	40
1/2"	1000	40	PC	40
1/2"	1000	40	PC	40
1/2"	1000	40	PC	40
1/2"	1000	40	PC	40
1/2"	1000	40	PC	40
1/2"	1000	40	PC	40

VALVE SIZE	QTY	UNIT	TOTAL
1/2"	40	PC	40
1/2"	40	PC	40
1/2"	40	PC	40
1/2"	40	PC	40
1/2"	40	PC	40
1/2"	40	PC	40
1/2"	40	PC	40
1/2"	40	PC	40
1/2"	40	PC	40
1/2"	40	PC	40



IRRIGATION PLAN

SCALE: 1/16" = 1'-0"

PRESSURE CALCULATIONS FOR IRRIGATION SYSTEM

PROJECT: SAN CLEMENTE INN, DATE: 3/16/2010

DESIGNER: ATC DESIGN GROUP

LOCAL WATER AGENCY: ...

THE FOLLOWING CALCULATIONS ARE FOR THE IRRIGATION SYSTEM:

1. FLOW RATE: 2.8 GPM (IRRIGATION FLOW RATE)

2. CITY WATER PRESSURE: 50 PSI

3. CITY WATER METER SIZE: 1/2"

4. METER LOSS: 1.5 PSI

5. PIPE LOSS: 1.5 PSI

6. FRICTION LOSS: 1.5 PSI

7. PRESSURE AT VALVE: 45.5 PSI

8. PRESSURE AT END OF PIPE: 44.0 PSI

9. PRESSURE AT END OF PIPE: 44.0 PSI

10. PRESSURE AT END OF PIPE: 44.0 PSI

11. PRESSURE AT END OF PIPE: 44.0 PSI

12. PRESSURE AT END OF PIPE: 44.0 PSI

13. PRESSURE AT END OF PIPE: 44.0 PSI

14. PRESSURE AT END OF PIPE: 44.0 PSI

15. PRESSURE AT END OF PIPE: 44.0 PSI

16. PRESSURE AT END OF PIPE: 44.0 PSI

17. PRESSURE AT END OF PIPE: 44.0 PSI

18. PRESSURE AT END OF PIPE: 44.0 PSI

19. PRESSURE AT END OF PIPE: 44.0 PSI

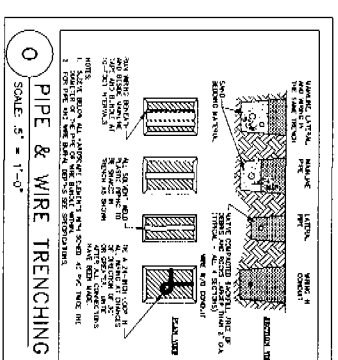
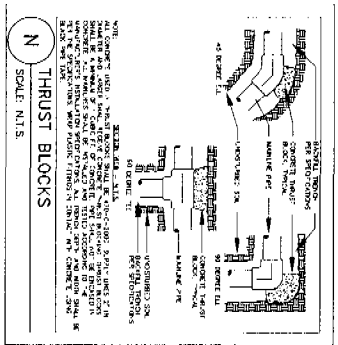
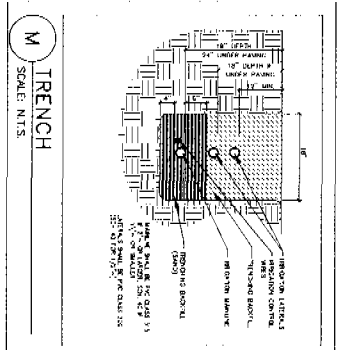
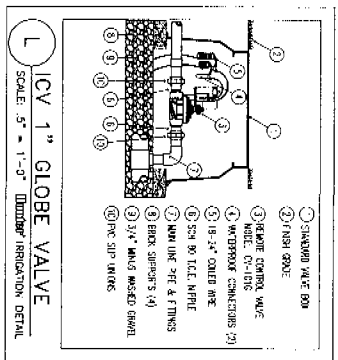
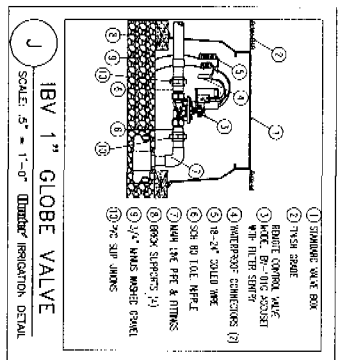
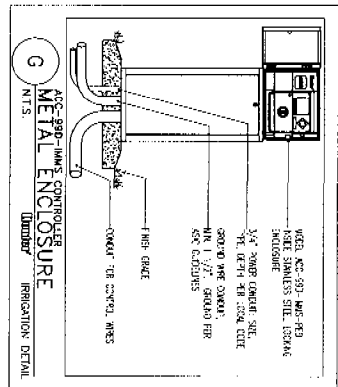
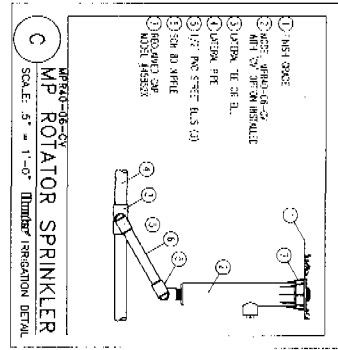
20. PRESSURE AT END OF PIPE: 44.0 PSI

COASTAL COMMISSION

NO.	DESCRIPTION	DATE	APP'D.
1	ISSUED FOR PERMITTING	3/16/2010	
2	REVISED PER PERMITTING	3/16/2010	
3	REVISED PER PERMITTING	3/16/2010	
4	REVISED PER PERMITTING	3/16/2010	
5	REVISED PER PERMITTING	3/16/2010	

DATE	BY	SCALE	PROJECT
9/29/2010	AS	1/8" = 1'-0"	IRRIGATION PLAN
	SA		
	EA		
	CK		

NO.	DESCRIPTION	DATE	APP'D.
1	ISSUED FOR PERMITTING	3/16/2010	
2	REVISED PER PERMITTING	3/16/2010	
3	REVISED PER PERMITTING	3/16/2010	
4	REVISED PER PERMITTING	3/16/2010	
5	REVISED PER PERMITTING	3/16/2010	



COASTAL COMMISSION

EXHIBIT # 5
PAGE 4 OF 4



SHEET 14	GREET TITLE PLANTING AND IRRIGATION DETAILS	DATE: 5/29/2010
	PROJECT SAN CLEMENTE INN BLDG # 1 + 2 2800 AVENIDA DEL PRESIDENTE SAN CLEMENTE, CA 92672	SCALE: N.T.S. DRAWN: RAP CHECKED: CK



NO.	REVISIONS DESCRIPTION	DATE	APP'D



Orange Coast District
3030 Avenida del Presidente
San Clemente CA 92672
949 492-0802

October 21, 2010

Jim Pechous, City Planner
City of San Clemente
100 Avenida Presidio
San Clemente CA 92672

Subject: San Clemente Inn Building # 1 & 2 Project

Dear Mr. Pechous:

The San Clemente Inn's building 1 & 2 have subsided and caused breakage to foundations and flooring. Their planned project will fix the broken sections, and add support under the buildings. Some final pieces of the project will replace landscaping, and direct site drainage to the small ravine below these two buildings.

The Orange Coast District of the Department of Parks and Recreation has reviewed their site plans and worked closely with their team on a California native plant palette and details of the drainage pipe as small portions of these two additions end up on State Park Property. While we agree they are planning the right work to protect their facility from further damage, we also have approved all work plans that will be conducted on our property.

The native plant restoration will match that of our open space area adjacent to their property, and the drain pipe with energy dissipater will prevent erosion damage on both properties. Before the project starts, we will issue a Right of Entry Permit for all work on our property, while concurrently working on a longer-lead time permanent drainage easement.

If you have any questions regarding this project, please give me a call at 949 497-1421.

Sincerely,

David Pryor
Sr. Environmental Scientist

COASTAL COMMISSION

EXHIBIT # 6

PAGE 1 OF 1