

**CALIFORNIA COASTAL COMMISSION**

South Coast Area Office  
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# Th6a

Filed: 12/29/2014  
180th Day: 06/27/2015  
Staff: Erin Prahler-LB  
Staff Report: 02/25/2015  
Hearing Date: 03/12/2015

## STAFF REPORT: CONSENT CALENDAR

**Application No.:** 5-14-1635

**Applicant:** Jim Previti

**Agent:** Todd Balicki

**Location:** 2152 East Oceanfront, Newport Beach, Orange County  
(APN 048-282-23)

**Project Description:** Demolition of an existing 2 story, single family dwelling with 2 car garage and existing landscaping and hardscape. Construction of a new 3 story, 28 foot high, 4,019 square foot single family residence with 3 car garage, and 300 cubic yards of grading. New hardscape and landscaping is proposed using non-invasive, drought tolerant plants. Unpermitted development located on the sandy beach fronting the property, including a brick pad, ornamental vegetation, irrigation system and any electrical and associated conduit, will be removed from the beach between a projection of the eastern and western property lines out to a distance of 40 feet from the seaward property line. A landscape architect with experience identifying native vegetation will oversee the removal of the unpermitted development.

**Staff Recommendation:** Approval with conditions

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### SUMMARY OF STAFF RECOMMENDATION:

The applicant is proposing the demolition of an existing single family residence and construction of a new single-family residence on a beach fronting lot. The major issues raised by this proposed development concern beachfront development that could be affected by waves, erosion, storm

conditions, sea level rise or other natural hazards in the future and potential adverse impacts from private encroachments on a public beach.

Due to its oceanfront location, the project site may be exposed to the hazard of waves, erosion, storm conditions, sea level rise or other natural hazards. However, the project is consistent with previous Commission approvals in the area and conditions have been imposed in order to minimize potential adverse impacts from the development consistent with the Coastal Act.

Unpermitted development has occurred on the public sandy beach immediately adjacent to the project site, including installation of a brick pad, irrigation system, electrical utilities and ornamental vegetation. The applicant proposes to remove all unpermitted development as part of this application and resolve the violation of the Coastal Act.

Staff is recommending **approval** of the proposed coastal development permit with **seven (7)** special conditions. The special conditions would: **1) Assumption of Risk, Waiver of Liability and Indemnity; 2) No Future Shoreline Protective Device; 3) Storage of Construction Materials, Mechanized Equipment and Removal of Construction Debris; 4) Future Development; 5) Conformance with the Submitted Grading, Drainage, and Erosion Control Plan; 6) Removal of Unpermitted Development; and 7) Deed Restriction.**

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### APPENDICES

Appendix A - Substantive File Documents

### EXHIBITS

Exhibit 1 – Location Maps

Exhibit 2 – Site Plan

Exhibit 3 – Floor Plans

Exhibit 4 – Elevation Plans

## I. MOTION AND RESOLUTION

### Motion:

*I move that the Commission **approve** the coastal development permit applications included on the consent calendar in accordance with the staff recommendations.*

Staff recommends a **YES** vote. Passage of this motion will result in approval of all of the permits included on the consent calendar. The motion passes only by affirmative vote of a majority of the Commissioners present.

### Resolution:

*The Commission hereby approves a coastal development permit for the proposed development and adopts the findings set forth below on grounds that the development as conditioned will be in conformity with the policies of Chapter 3 of the Coastal Act and will not prejudice the ability of the local government having jurisdiction over the area to prepare a Local Coastal Program conforming to the provisions of Chapter 3. Approval of the permit complies with the California Environmental Quality Act because either 1) feasible mitigation measures and/or alternatives have been incorporated to substantially lessen any significant adverse effects of the development on the environment, or 2) there are no further feasible mitigation measures or alternatives that would substantially lessen any significant adverse impacts of the development on the environment.*

## II. STANDARD CONDITIONS:

This permit is granted subject to the following standard conditions:

1. **Notice of Receipt and Acknowledgment.** The permit is not valid and development shall not commence until a copy of the permit, signed by the permittee or authorized agent, acknowledging receipt of the permit and acceptance of the terms and conditions, is returned to the Commission office.
2. **Expiration.** If development has not commenced, the permit will expire two years from the date on which the Commission voted on the application. Development shall be pursued in a diligent manner and completed in a reasonable period of time. Application for extension of the permit must be made prior to the expiration date.
3. **Interpretation.** Any questions of intent of interpretation of any condition will be resolved by the Executive Director or the Commission.
4. **Assignment.** The permit may be assigned to any qualified person, provided assignee files with the Commission an affidavit accepting all terms and conditions of the permit.



5. **Terms and Conditions Run with the Land.** These terms and conditions shall be perpetual, and it is the intention of the Commission and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.

### III. SPECIAL CONDITIONS:

This permit is granted subject to the following special conditions:

1. **Assumption of Risk, Waiver of Liability and Indemnity.** By acceptance of this permit, the applicant acknowledges and agrees (i) that the site may be subject to hazards from waves, erosion, storm conditions, liquefaction, flooding, and sea level rise; (ii) to assume the risks to the applicant and the property that is the subject of this permit of injury and damage from such hazards in connection with this permitted development; (iii) to unconditionally waive any claim of damage or liability from such hazards; and (iv) to indemnify and hold harmless the Commission, its officers, agents, and employees with respect to the Commission's approval of the project against any and all liability, claims, demands, damages, costs (including costs and fees incurred in defense of such claims), expenses, and amounts paid in settlement arising from any injury or damage due to such hazards.
2. **No Future Shoreline Protective Device.**
  - A. By acceptance of this permit, the applicant agrees, on behalf of himself and all other successors and assigns, that no shoreline protective device(s) shall ever be constructed to protect the development approved pursuant to Coastal Development Permit No. 5-14-1635 including, but not limited to, the residence, garage, patio, foundations, and any future improvements, in the event that the development is threatened with damage or destruction from waves, erosion, storm conditions, liquefaction, flooding, sea level rise, or any other coastal hazards in the future. By acceptance of this permit, the applicant hereby waives, on behalf of himself and all successors and assigns, any rights to construct such devices that may exist under Public Resources Code Section 30235.
  - B. By acceptance of this permit, the applicant further agrees, on behalf of himself and all successors and assigns, that the landowner(s) shall remove the development authorized by this permit, including, but not limited to, the residence, garage, patio and foundations if any government agency has ordered that the structure is not to be occupied due to any of the hazards identified above. In the event that portions of the development fall to the beach before they are removed, the landowner(s) shall remove all recoverable debris associated with the development from the beach and ocean and lawfully dispose of the material in an approved disposal site. Such removal shall require a coastal development permit.
3. **Storage of Construction Materials, Mechanized Equipment and Removal of Construction Debris.** The permittee shall comply with the following construction-related requirements:
  - A. No demolition or construction materials, debris, or waste shall be placed or stored where it may enter sensitive habitat, receiving waters or a storm drain, or be subject to wave, wind, rain, or tidal erosion and dispersion.

- B. No demolition or construction equipment, materials, or activity shall be placed in or occur in any location that would result in impacts to environmentally sensitive habitat areas, streams, wetlands or their buffers.
  - C. Any and all debris resulting from demolition or construction activities shall be removed from the project site within 24 hours of completion of the project.
  - D. Demolition or construction debris and sediment shall be removed from work areas each day that demolition or construction occurs to prevent the accumulation of sediment and other debris that may be discharged into coastal waters.
  - E. All trash and debris shall be disposed in the proper trash and recycling receptacles at the end of every construction day.
  - F. The applicant shall provide adequate disposal facilities for solid waste, including excess concrete, produced during demolition or construction.
  - G. Debris shall be disposed of at a legal disposal site or recycled at a recycling facility. If the disposal site is located in the coastal zone, a coastal development permit or an amendment to this permit shall be required before disposal can take place unless the Executive Director determines that no amendment or new permit is legally required.
  - H. All stock piles and construction materials shall be covered, enclosed on all sides, shall be located as far away as possible from drain inlets and any waterway, and shall not be stored in contact with the soil.
  - I. Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. Thinners or solvents shall not be discharged into sanitary or storm sewer systems.
  - J. The discharge of any hazardous materials into any receiving waters shall be prohibited.
  - K. Spill prevention and control measures shall be implemented to ensure the proper handling and storage of petroleum products and other construction materials. Measures shall include a designated fueling and vehicle maintenance area with appropriate berms and protection to prevent any spillage of gasoline or related petroleum products or contact with runoff. The area shall be located as far away from the receiving waters and storm drain inlets as possible.
  - L. Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) designed to prevent spillage and/or runoff of demolition or construction-related materials, and to contain sediment or contaminants associated with demolition or construction activity, shall be implemented prior to the on-set of such activity.
  - M. All BMPs shall be maintained in a functional condition throughout the duration of construction activity.
4. **Future Development.** This permit is only for development described in Coastal Development Permit No. 5-14-1635. Pursuant to Title 14 California Code of Regulations Section 13250(b)(6), the exemptions otherwise provided in Public Resources Code Section 30610(a) shall not apply to the development governed by Coastal Development Permit No. 5-14-1635. Accordingly, any future improvements to the single-family house authorized by this permit, including, but not limited to, repair and maintenance identified as requiring a permit in Public Resources Section 30610(d) and Title 14 California Code of Regulations Sections 13252(a)-(b), shall require an amendment to Permit No. 5-14-1635 from the Commission or shall require an additional coastal development permit from the Commission or from the applicable certified local government.

5. **Conformance with the Submitted Grading, Drainage, and Erosion Control Plan.** The applicant shall conform to the Grading, Drainage and Erosion Control Plan received December 5, 2014, showing roof drainage and runoff from all impervious areas directed to gutters, downspouts, and drains at the front end of the house (alley side). Erosion control measures consist of sandbags around the perimeter of the property during the construction phase. Any proposed changes to the approved plan shall be reported to the Executive Director. No changes to the approved plan shall occur without a Commission amendment to this coastal development permit unless the Executive Director determines that no amendment is legally required.
  
6. **Removal of Unpermitted Development.** WITHIN 90 DAYS OF ISSUANCE OF THE COASTAL DEVELOPMENT PERMIT, or within such additional time as the Executive Director may grant for good cause, the applicant shall remove the unpermitted brick pad, ornamental vegetation, irrigation system, and any existing electrical and associated conduit located on the sandy beach fronting the property between a projection of the eastern and western property lines out to a distance of 40 feet from the seaward property line. A landscape architect with experience identifying native vegetation will oversee the removal of the unpermitted development.
  
7. **Deed Restriction.** PRIOR TO ISSUANCE OF THE COASTAL DEVELOPMENT PERMIT, the applicant shall submit to the Executive Director for review and approval documentation demonstrating that the applicant has executed and recorded against the parcel(s) governed by this permit a deed restriction, in a form and content acceptable to the Executive Director: (1) indicating that, pursuant to this permit, the California Coastal Commission has authorized the development on the subject property, subject to terms and conditions that restrict the use and enjoyment of that property; and (2) imposing the Special Conditions of this permit as covenants, conditions and restrictions on the use and enjoyment of the Property. The deed restriction shall include a legal description of the entire parcel or parcels governed by this permit. The deed restriction shall also indicate that, in the event of an extinguishment or termination of the deed restriction for any reason, the terms and conditions of this permit shall continue to restrict the use and enjoyment of the subject property so long as either this permit or the development it authorizes, or any part, modification, or amendment thereof, remains in existence on or with respect to the subject property.

#### **IV. FINDINGS AND DECLARATIONS:**

##### **A. PROJECT LOCATION & DESCRIPTION**

The applicant is proposing to demolish a two-story, single family residence on the site and construct a new three-story, approximately 29-foot high single family residence with a 665 square foot three-car garage and 523 square feet of covered deck area on the second and third floors. The deck railing systems will consist of bird safe glass (Ornilux or similar) which will help reduce the potential for bird strikes. Hardscape and landscaping work is also proposed, including the use of non-invasive, drought-tolerant plants. Grading consists of 100 cubic yards of cut and 200 cubic yards of fill. The project includes an on-site drainage system to minimize runoff from the site. The drainage system

includes surface drains, subsurface drainage pipes, gutters, and downspouts, which will direct runoff towards drains at the alley. The City of Newport Beach issued an Approval-in-Concept (No. AIC2014-051) for the proposed project on September 17, 2014. The proposed project is consistent with the City's required 10-foot setback for primary structures from the seaward property line.

The beach immediately adjacent to the property is owned by the City of Newport Beach. Encroachment of landscaping or development is not permitted on the sandy beach in the vicinity of the subject site, including placement of landscaping, hardscape, and other structures. The applicant proposes to remove existing unpermitted development seaward of the property line on the public beach, including an approximately 3 foot by 5 foot brick pad, landscaping (varying from approximately 700 square feet to 1,120 square feet of ornamental vegetation, depending on the season) and an irrigation system. There may also be electrical utilities on the beach that, if present, the applicant proposes to remove. All existing unpermitted development will be removed from the area of the public beach located between a projection of the eastern and western property lines out to a distance of 40 feet from the seaward property line. Some native vegetation is established among the unpermitted ornamental vegetation. A landscape architect with experience identifying native vegetation will oversee the removal of the unpermitted development to ensure that existing native vegetation remains in place and is not damaged by the removal activities. Finally, the applicant will obtain any necessary City approvals to remove the unpermitted development on the public beach.

The subject site is a residential lot located at 2152 East Oceanfront (APN: 048-282-23) in the City of Newport Beach, Orange County. The rectangular parcel is approximately 3,375 square feet. The city's certified Land Use Plan (LUP) designates the lot as Single-Unit Residential and the proposed single-family residence adheres to this designation. The oceanfront site is located in an existing residential area near the southeastern end of the Balboa Peninsula. Vertical access to the public beach is available approximately 200 feet east of the subject site at the end of East Oceanfront.

The subject site consists of a single lot located between the first public road and the sea. According to the Coastal Hazard Evaluation Report, dated November 25, 2014, prepared by William Simpson & Associates, Inc. for this property, there is a wide sandy beach (approximately 540 feet wide) between the subject property and the Pacific Ocean. Due to its oceanfront location, the project site may be exposed to the hazard of wave run-up during a severe storm event.

## **B. HAZARDS**

Development adjacent to the ocean is inherently hazardous. Development which may require a protective device in the future cannot be allowed due to the adverse impacts such devices have upon, among other things, public access, visual resources and shoreline processes. To minimize the project's impact on shoreline processes, and to minimize risks to life and property, the development has been conditioned to: require an appropriate set-back from the water; require a drainage and runoff control plan to direct, treat, and minimize the flow of water offsite; prohibit construction of protective devices (such as a seawall) in the future; and to require that the landowner and any successor-in-interest assume the risk of undertaking the development. As conditioned, the Commission finds that the development conforms to the requirements of Sections 30235 and 30253 of the Coastal Act regarding the siting of development in hazardous locations.

## C. DEVELOPMENT

The development is located within an existing developed area and is compatible with the character and scale of the surrounding area. However, the proposed project raises concerns that the future development of the project site potentially may result in a development which is not consistent with the Chapter 3 policies of the Coastal Act. To assure that future development is consistent with the Chapter 3 policies of the Coastal Act, the Commission finds that a Future Development **Special Condition 4** must be imposed. As conditioned the development conforms to the Chapter 3 policies of the Coastal Act.

## D. PUBLIC ACCESS

The proposed development will not affect the public's ability to gain access to, and/or to use the coast and nearby recreational facilities. Therefore, the proposed development, as conditioned, conforms to Sections 30210 through 30214, Sections 30220 through 30224, and 30252 of the Coastal Act.

## E. WATER QUALITY

The proposed development has a potential for a discharge of polluted runoff from the project site into coastal waters. The development, as proposed and as conditioned, incorporates design features to minimize the effect of construction and post-construction activities on the marine environment. These design features include, but are not limited to, the appropriate management of equipment and construction materials, reducing runoff through the use of permeable surfaces, the use of non-invasive drought tolerant vegetation to reduce and treat the runoff discharged from the site, and for the use of post-construction best management practices to minimize the project's adverse impact on coastal waters. Therefore, the Commission finds that the proposed development, as conditioned, conforms to Sections 30230 and 30231 of the Coastal Act regarding the protection of water quality to promote the biological productivity of coastal waters and to protect human health.

## F. DEED RESTRICTION

To ensure that any prospective future owners of the property are made aware of the applicability of the conditions of this permit, the Commission imposes **Special Condition 7** requiring that the property owner record a deed restriction against the property, referencing all of the above Special Conditions of this permit and imposing them as covenants, conditions and restrictions on the use and enjoyment of the property. Thus, as conditioned, this permit ensures that any prospective future owner will receive actual notice of the restrictions and/or obligations imposed on the land use and enjoyment of the land in connection with the authorized development, including the risks of the development and/or hazards to which the site is subject, and the Commission's immunity from liability.

## G. UNPERMITTED DEVELOPMENT

Unpermitted development has occurred on the public sandy beach that is immediately adjacent to the property subject to this Coastal Development Permit application. The unpermitted development

includes installation of an irrigation system that originates on the subject property and extends onto the sandy beach, and construction of a brick patio located on the public beach immediately adjacent to the private property. In addition, ornamental shrubs and groundcover have been placed on the public beach without a coastal development permit. This vegetation is irrigated by the irrigation system noted above, and thus, is clearly maintained by the owner of the subject property, although located on the adjacent public land. The placement of a patio, vegetation and irrigation system on the public beach constitutes development under the Coastal Act and, therefore, requires a coastal development permit. Any non-exempt development activity (which is the case here) conducted in the Coastal Zone without a valid coastal development permit, or which does not substantially conform to a previously issued permit, constitutes a violation of the Coastal Act.

Commission staff notified the applicant of the unpermitted development described above in the Notice of Incomplete Application letter dated October 22, 2014. In that letter, staff explained that to resolve the violation and avoid future enforcement action, the applicant could include a proposal for the removal of the unpermitted development and restoration of the site as part of this permit application. The applicant elected to expand the application by adding a proposal to remove the unpermitted development described above, and thus resolve the violation in that manner. The applicant also advised that there may also be electrical utilities extending from the property onto the public beach, and if present, proposes to remove any electrical and associated conduit.

Encroachments onto public beach, such as the brick pad and ornamental vegetation, reduce the amount of sandy beach area available to the general public - thereby decreasing areas available for coastal recreation, in direct conflict with public access protection policies of the Coastal Act, including Sections 30210, 30211, 30220 and 30221. In order to ensure removal of the unpermitted development in a timely manner, **Special Condition 6** requires removal of the brick pad, ornamental vegetation, irrigation system and any electrical and associated conduit as proposed by the applicant, within 90 days of issuance of this coastal development permit. The removal shall be overseen by a landscape architect with experience identifying native vegetation to ensure that existing native vegetation within the removal area is not disturbed or removed.

Although unpermitted development occurred prior to the submission of this permit application, consideration of this application by the Commission has been based solely upon the Chapter 3 policies of the Coastal Act. Commission review and action on this permit application will constitute a waiver of legal action with regard to the alleged violations once they are removed pursuant to this approval.

## **H. LOCAL COASTAL PROGRAM (LCP)**

Coastal Act Section 30604(a) states that, prior to certification of a local coastal program (“LCP”), a coastal development can only be issued upon a finding that the proposed development is in conformity with Chapter 3 of the Act and that the permitted development will not prejudice the ability of the local government to prepare an LCP that is in conformity with Chapter 3. The Land Use Plan for the City of Newport Beach was effectively certified on May 19, 1982. The certified LUP was updated in October 2009. As conditioned, the proposed development is consistent with Chapter 3 of the Coastal Act with the certified Land Use Plan for the area. Approval of the project, as conditioned, will not prejudice the ability of the local government to prepare an LCP that is in conformity the provisions of Chapter 3 of the Coastal Act.

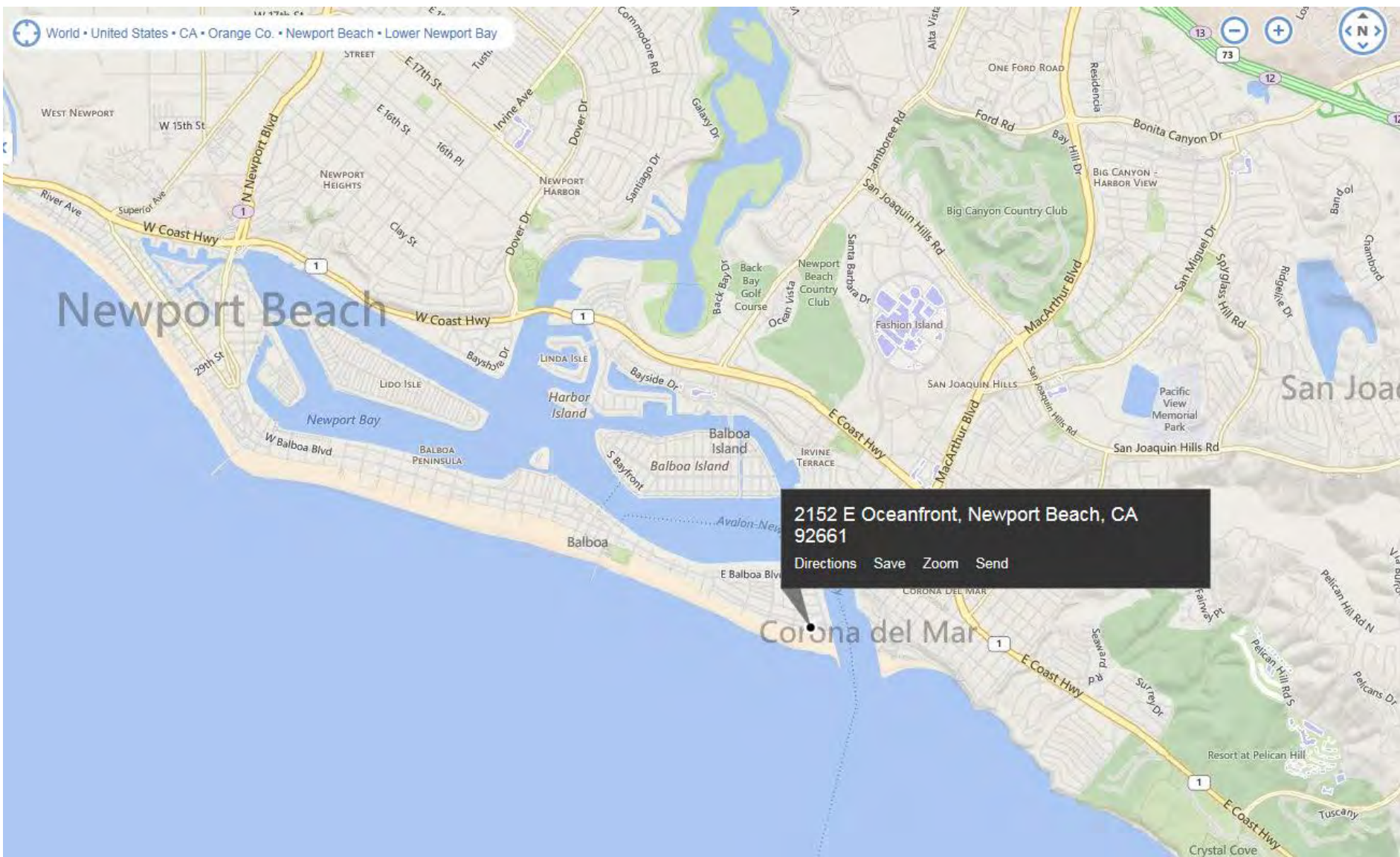
## **I. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)**

As conditioned, there are no feasible alternatives or additional feasible mitigation measures available that would substantially lessen any significant adverse effect that the activity may have on the environment. Therefore, the Commission finds that the proposed project, as conditioned to mitigate the identified impacts, is the least environmentally damaging feasible alternative and can be found consistent with the requirements of the Coastal Act to conform to CEQA.

## **Appendix A - Substantive File Documents**

- City of Newport Beach Certified Land Use Plan
- City of Newport Beach Approval-in-Concept No. AIC2014-051, dated September 17, 2014
- Coastal Development Permit Application No. 5-14-1635
- Geotechnical Evaluation for Proposed New Residence 2152 E. Oceanfront, City of Newport Beach, California, dated July 11, 2014, prepared by GeoTek, Inc. of Corona, California
- Coastal Hazard Evaluation Report, dated November 25, 2014, prepared by William Simpson & Associated, Inc. of Lake Forest, California





2152 E Oceanfront, Newport Beach, CA 92661  
[Directions](#) [Save](#) [Zoom](#) [Send](#)





# TOPOGRAPHIC SURVEY

2152 E. OCEANFRONT  
NEWPORT BEACH, CALIFORNIA

### CURVE DATA:

C1 - $\Delta = 00^{\circ}16'01''$ R = 8590.00' L = 40.02'	C6 - $\Delta = 00^{\circ}18'02''$ R = 3710.00' L = 19.47'	C11 - $\Delta = 01^{\circ}49'08''$ R = 3720.00' L = 118.09'
C2 - $\Delta = 00^{\circ}36'39''$ R = 3720.00' L = 39.66'	C7 - $\Delta = 00^{\circ}34'56''$ R = 3710.00' L = 37.69'	
C3 - $\Delta = 00^{\circ}14'43''$ R = 3710.00' L = 15.87'	C8 - $\Delta = 02^{\circ}35'47''$ R = 3710.00' L = 168.12'	
C4 - $\Delta = 00^{\circ}19'52''$ R = 3710.00' L = 21.45'	C9 - $\Delta = 00^{\circ}36'37''$ R = 3720.00' L = 39.63'	$\Delta = 00^{\circ}36'38''$ R = 3720.00' R1/R2 L = 39.64'
C5 - $\Delta = 00^{\circ}16'50''$ R = 3710.00' L = 18.16'	C10 - $\Delta = 00^{\circ}35'52''$ R = 3720.00' L = 38.80'	

### LINE DATA:

L1 - N09°06'55"E 9.70' (RADIAL, TIE ONLY)
L2 - N10°54'32"E 10.01' (10.01' R1)
L3 - N08°32'20"E 9.95' (RADIAL, TIE ONLY)
L4 - N10°38'41"E 10.01' (10.01' R1/R2)
L5 - N07°57'28"E 8.96' (RADIAL, TIE ONLY)
L6 - N07°03'24"E 1.17' (RADIAL, TIE ONLY)
L7 - N07°22'32"E 8.93' (RADIAL, TIE ONLY)

### LEGEND:

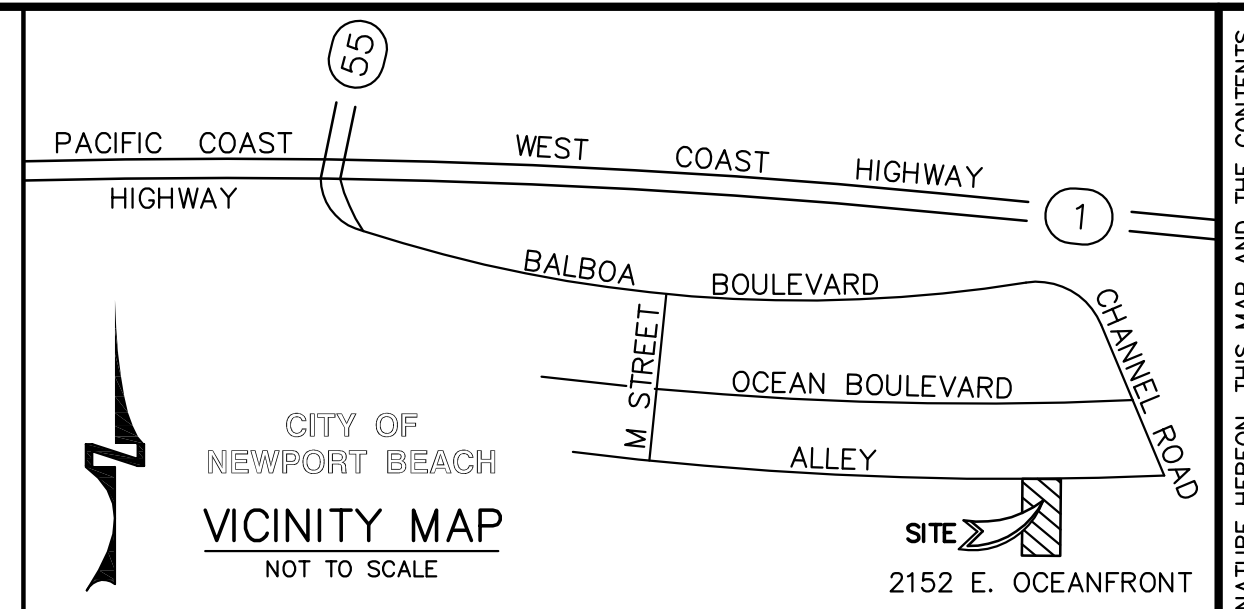
BR	BRICK
B.M.	BENCHMARK
CO	CONCRETE
DT	DIRT
E	EAST
FF	FINISH FLOOR
FL	FLOW LINE
LIP	LIP OF GUTTER
MTP	MULTI-TRUNK PALM TREE
N	NORTH
NE	NORTHEAST
NW	NORTHWEST
PA	PLANTER AREA
P.L.	PROPERTY LINE
S	SOUTH
SE	SOUTHEAST
SW	SOUTHWEST
TW	TOP OF WALL
(TYP)	TYPICAL
W	WEST
CL	CENTERLINE
CP	CONCRETE PAVEMENT
BP	BRICK PAVEMENT
BP	BRICK PAVEMENT
SD	SURFACE DRAINAGE FLOW

### RECORD OWNER:

JAMES L. PREVITI, A SINGLE MAN PER GRANT DEED  
RECORDED OCTOBER 24, 2014 AS INSTRUMENT NO.  
2014000433749, OFFICIAL RECORDS.

### LAND AREA:

3,379 SQUARE FEET  
0.08 ACRES



### LEGAL DESCRIPTION

THE LAND DESCRIBED HEREON IS SITUATED IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

LOT 14, BLOCK E, TRACT NO. 518 AS PER MAP RECORDED IN BOOK 17, PAGE 22 TO 36 INCLUSIVE OF MISCELLANEOUS MAPS, RECORDS OF ORANGE COUNTY, CALIFORNIA.

### BASIS OF BEARINGS:

THE BEARING OF N81°22'48"W ALONG THE CHORD OF THE ALLEY WAS CALCULATED PER RECORD OF SURVEY NO. 2006-1010, RECORD OF SURVEY BOOK 226, PAGE 46, IN THE CITY OF NEWPORT BEACH, COUNTY OF ORANGE, STATE OF CALIFORNIA, WAS USED AS THE BASIS OF BEARINGS FOR THIS SURVEY.

### SURVEYOR'S NOTES:

THE BOUNDARY SHOWN HEREON WAS BASED ON A FIELD SURVEY AND WILL BE FILED AS A RECORD OF SURVEY WITH THE COUNTY OF ORANGE, CALIFORNIA, UNLESS CHESTER RALSTON, LS 5174, FILES A CORNER RECORD OR RECORD OF SURVEY WITH SAID COUNTY. IF THE MONUMENTS AT THE PROPERTY CORNERS ARE DESTROYED DURING DEMOLITION THEY WILL BE REPLACED WITH PERMANENT MONUMENTS AT THE CORNERS OR OFFSET PRIOR TO GRADING.

### MONUMENT DESCRIPTIONS:

- FOUND LEAD, NAIL AND BRASS TAG STAMPED "LS 5174", NO REFERENCE, FLUSH IN CONCRETE.
  - FOUND 1" INSIDE DIAMETER IRON PIPE FILLED WITH CONCRETE, NO TAG, NO REFERENCE, FLUSH IN CONCRETE.
  - FOUND LEAD, TACK AND TAG STAMPED "LS 4653" PER RECORD OF SURVEY 2006-1010, R.S.B. 226/46, FLUSH IN BRICK ALLEY. N07°39'16"E 0.91' FROM RIGHT OF WAY, RADIAL TIE ONLY.
  - FOUND LEAD, NAIL AND BRASS TAG STAMPED "RP LS 5174", NO REFERENCE, FLUSH IN BRICK ALLEY. ACCEPTED AS PROD OF BOUNDARY, N10°54'32"E 1.00' FROM CORNER. ALSO FOUND LEAD WITH HOLE, NO REFERENCE, S40°25'53"E 0.10' FROM THE MONUMENT.
  - FOUND LEAD, TACK AND BRASS TAG STAMPED "LS 5295" PER CORNER RECORD 2011-3835, FLUSH IN CONCRETE CURB.
  - FOUND LEAD, TACK AND BRASS TAG STAMPED "LS 6902" PER CORNER RECORD 2011-3835, FLUSH IN BRICK ALLEY.
  - FOUND LEAD, TACK AND TAG STAMPED "LS 4653" PER RECORD OF SURVEY 2006-1010, R.S.B. 226/46, FLUSH IN CONCRETE GUTTER.
  - FOUND 1" INSIDE DIAMETER IRON PIPE WITH BRASS TACK AND TAG STAMPED "LS 5174", NO REFERENCE, FLUSH IN DIRT. ACCEPTED AS BOUNDARY CORNER.
  - FOUND NAIL AND BRASS TAG STAMPED "LS 5174", NO REFERENCE, FLUSH IN TOP OF WALL. ACCEPTED AS BOUNDARY CORNER.
  - FOUND LEAD, TACK AND TAG STAMPED "LS 4653" PER RECORD OF SURVEY 2006-1010, R.S.B. 226/46, FLUSH IN BRICK ALLEY. ACCEPTED AS PROD OF BOUNDARY, N10°38'41"E 0.91' FROM CORNER.
- - INDICATES MONUMENTS FOUND AS NOTED HEREON.

### RECORD REFERENCES:

- (R1) - INDICATES RECORD OR CALCULATED DATA PER TRACT NO. 518, FILED IN BOOK 17, PAGES 22-36 OF MISCELLANEOUS MAPS.
- (R2) - INDICATES RECORD OR CALCULATED DATA PER RECORD OF SURVEY NO. 2006-1010, FILED IN BOOK 226, PAGE 46 OF RECORDS OF SURVEY.
- (R3) - INDICATES RECORD DATA PER CORNER RECORD 2011-3835.

### BENCHMARK:

COUNTY OF ORANGE B.M. NO. NB1-4-71 ELEVATION = 7.828 FEET  
DATUM: NAVD88, YEAR LEVELED 1989, 1995 ADJUSTMENT.  
DESCRIBED BY OCS 2002 - FOUND 3-3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "NB1-4-71", SET IN THE TOP OF A 4 IN. BY 4 IN. CONCRETE POST. MONUMENT IS LOCATED IN THE SOUTHEAST CORNER OF THE INTERSECTION OF F STREET AND BALBOA BOULEVARD, 81 FT. SOUTHEASTERLY OF THE CENTERLINE OF F STREET AND 27.3 FT. NORTHEASTERLY OF THE CENTERLINE OF BALBOA BOULEVARD. MONUMENT IS SET LEVEL WITH THE SIDEWALK.  
THE SITE WAS TIED TO SAID BENCHMARK BY DIFFERENTIAL LEVELING.

### SURVEYORS STATEMENT:

THIS MAP CORRECTLY REPRESENTS A SURVEY MADE BY ME OR UNDER MY DIRECTION AT THE REQUEST OF RICH MUNKVOLD IN JUNE, 2014.

SURVEY COMPLETED ON: NOVEMBER 18, 2014

THIS DOCUMENT WAS DIGITALLY TRANSMITTED AND IS THE SAME AS THE SIGNED ORIGINAL.

DAVID E. WOOLLEY DATE: 12/02/14  
P.L.S. NO. 7304

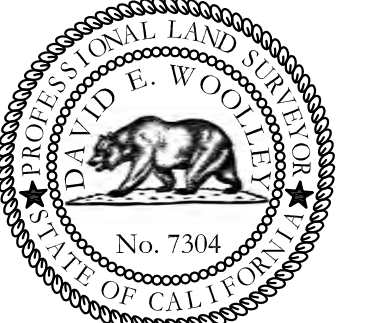
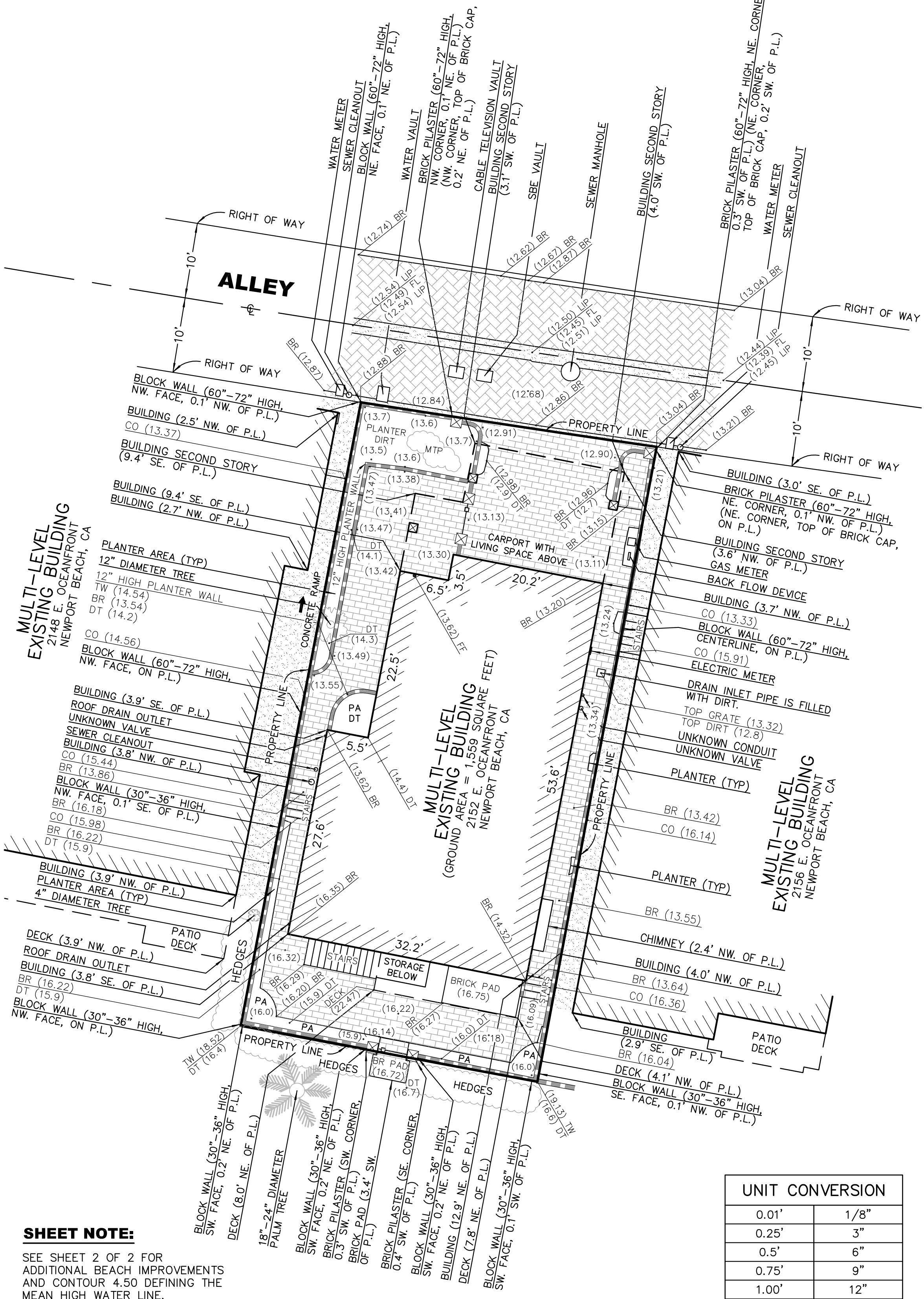


Exhibit 2

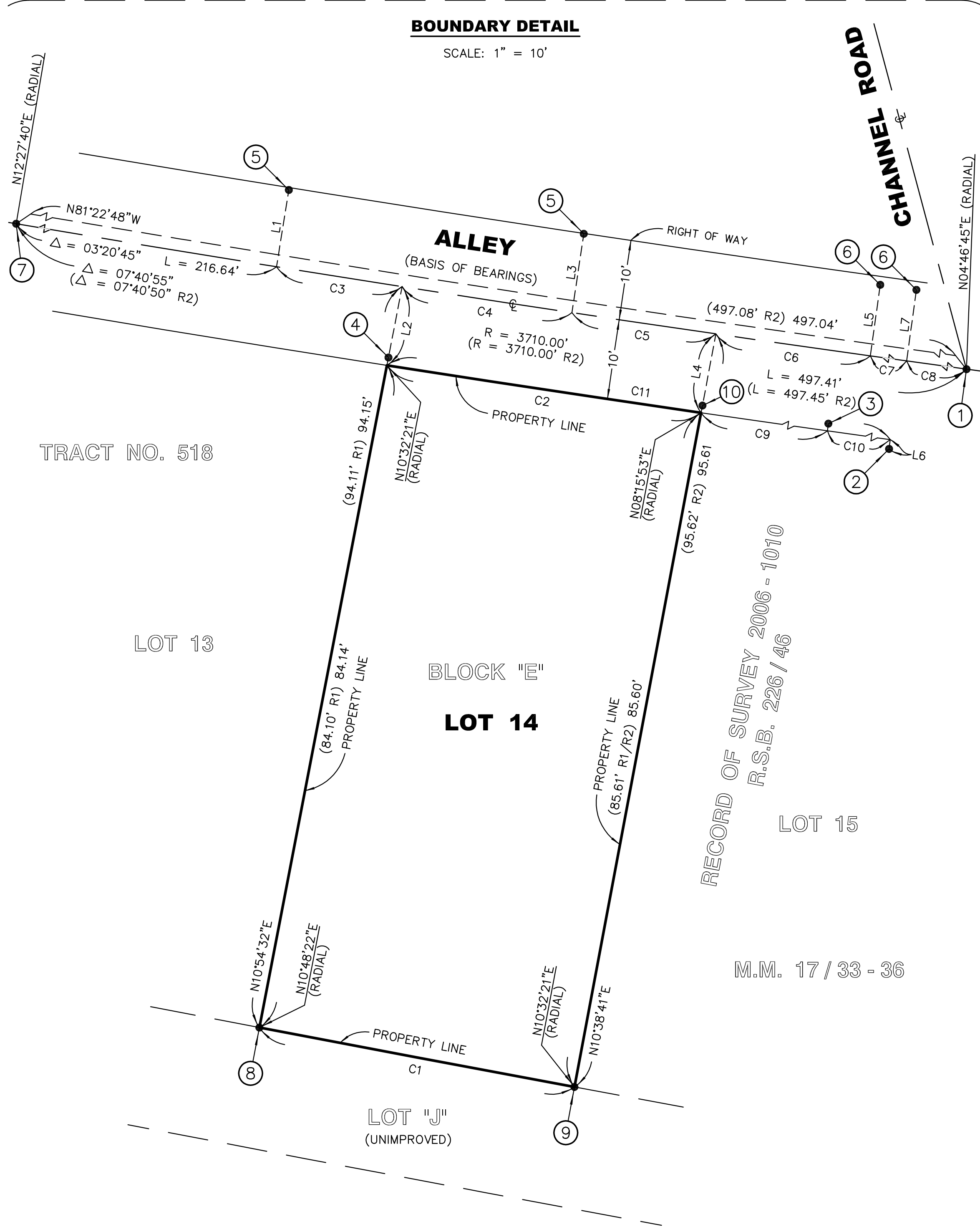
### TOPOGRAPHY DETAIL

SCALE: 1" = 10'



0.01'	1/8"
0.25'	3"
0.5'	6"
0.75'	9"
1.00'	12"

**SHEET NOTE:**  
SEE SHEET 2 OF 2 FOR ADDITIONAL BEACH IMPROVEMENTS AND CONTOUR 4.50 DEFINING THE MEAN HIGH WATER LINE.



### BOUNDARY DETAIL

SCALE: 1" = 10'

IF THERE IS AN SURVEYOR'S SIGNATURE HEREON, THIS MAP AND THE CONTENTS CONTAINED HEREIN ARE CONSIDERED PRELIMINARY AND SUBJECT TO CHANGE.

REVISIONS:  
09/15/14: ADDED WALL HEIGHTS, SPOT ELEVATIONS AND TREES/HEDGES.  
11/19/14: ADDED FEATURES ON THE BEACH ADJACENT TO THE PROPERTY. NEIGHBORING BALCONIES AND DETERMINED THE MEAN HIGH WATER LINE.

**D. Woolley & Associates**  
2832 WALNUT AVENUE, SUITE A  
TUSTIN, CA 92780  
(714) 734-8462 FAX (714) 508-7521

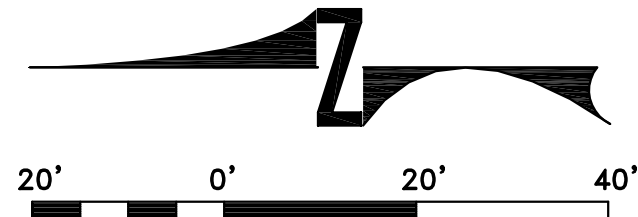
**TOPOGRAPHIC SURVEY**  
SCALE: 1" = 10'  
DATE: 11/20/14  
DRAWN BY: TDR  
CHKD. BY: DEW

2152 E. OCEANFRONT  
NEWPORT BEACH, CALIFORNIA  
FRONTIER ENTERPRISES

SHEET 1 OF 2  
FILE NO. 14093

# TOPOGRAPHIC SURVEY

2152 E. OCEANFRONT  
NEWPORT BEACH, CALIFORNIA



SCALE: 1" = 20'

### ACCURACY NOTE:

THIS MAP MEETS OR EXCEEDS THE UNITED STATES NATIONAL MAPPING ACCURACY STANDARDS FOR VERTICAL ACCURACY SUCH THAT NOT MORE THAN 10 PERCENT OF THE ELEVATIONS SHALL BE IN ERROR BY MORE THAN ONE-HALF THE CONTOUR INTERVAL STATED IN THE DETAIL.

### MHW ELEVATION ESTABLISHMENT:

THE ELEVATION OF THE MEAN HIGH WATER (MHW) LINE IS DETERMINED TO BE 4.50' IN TERMS OF NAVD88, TIDAL EPOCH 1983-2001, PER VALUES PUBLISHED BY THE NATIONAL OCEANIC AND ATMOSPHERIC ADMINISTRATION (NOAA) FOR THE NEAREST TIDE STATION (NEWPORT BEACH, CA - 9410580), AT THE NEWPORT BAY ENTRANCE.

### ESTABLISHMENT NOTES:

(A) MEAN HIGH WATER ELEVATION = 4.50 FEET. MEASUREMENTS WERE TAKEN NOVEMBER 18, 2014 AT APPROXIMATELY 10:00 IN THE MORNING. SEE MHW ELEVATION ESTABLISHMENT NOTE HEREON.

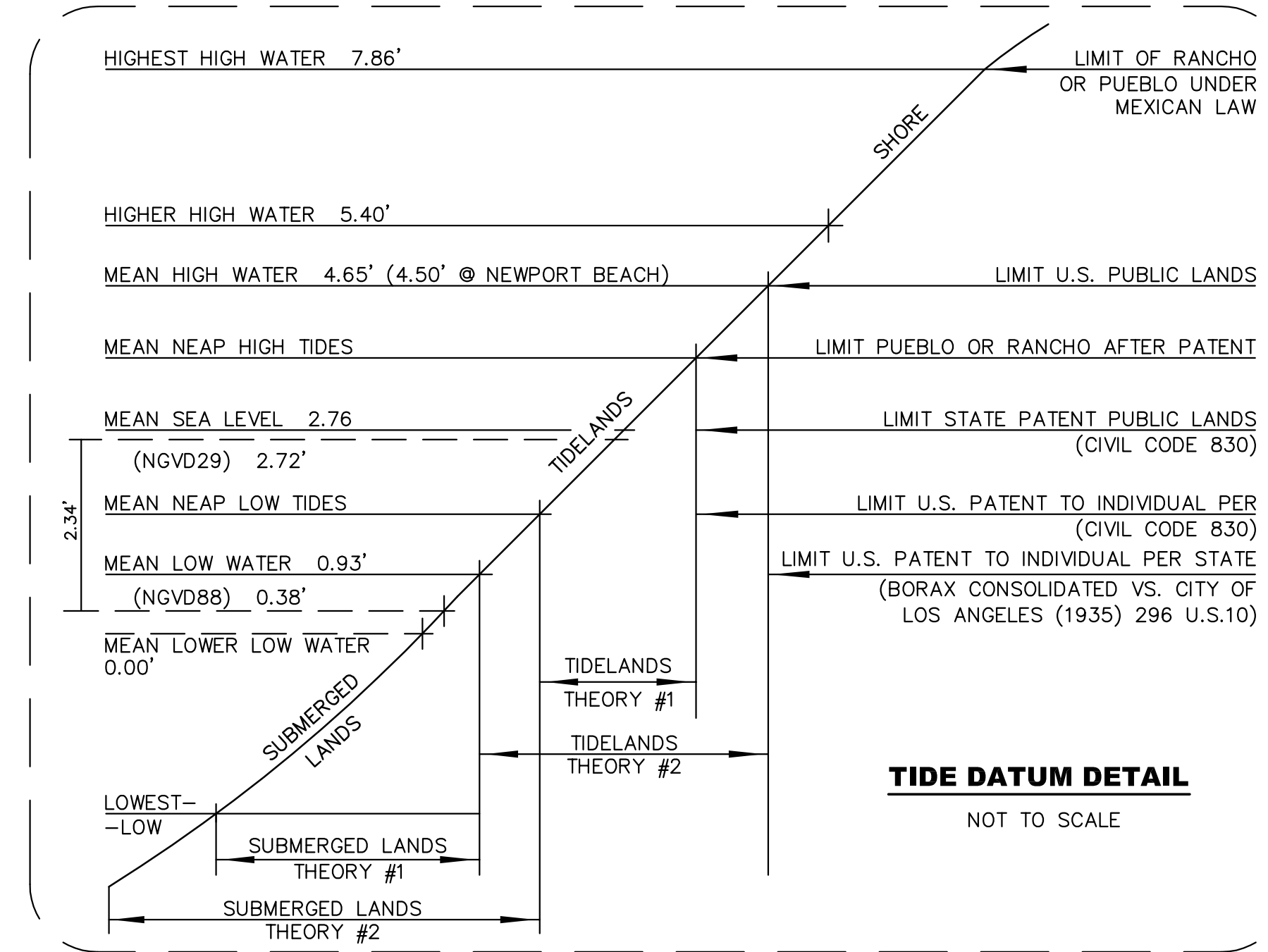
### BENCHMARK:

COUNTY OF ORANGE B.M. NO. NB1-4-71 ELEVATION = 7.828 FEET  
DATUM: NAVD88, YEAR LEVELED 1989, 1995 ADJUSTMENT.  
DESCRIBED BY OCS 2002 - FOUND 3-3/4" OCS ALUMINUM BENCHMARK DISK STAMPED "NB1-4-71", SET IN THE TOP OF A 4 IN. BY 4 IN. CONCRETE POST. MONUMENT IS LOCATED IN THE SOUTHEAST CORNER OF THE INTERSECTION OF F STREET AND BALBOA BOULEVARD, 81 FT. SOUTHEASTERLY OF THE CENTERLINE OF F STREET AND 27.3 FT. NORTHEASTERLY OF THE CENTERLINE OF BALBOA BOULEVARD. MONUMENT IS SET LEVEL WITH THE SIDEWALK.

THE SITE WAS TIED TO SAID BENCHMARK BY DIFFERENTIAL LEVELING.

### SHEET NOTE:

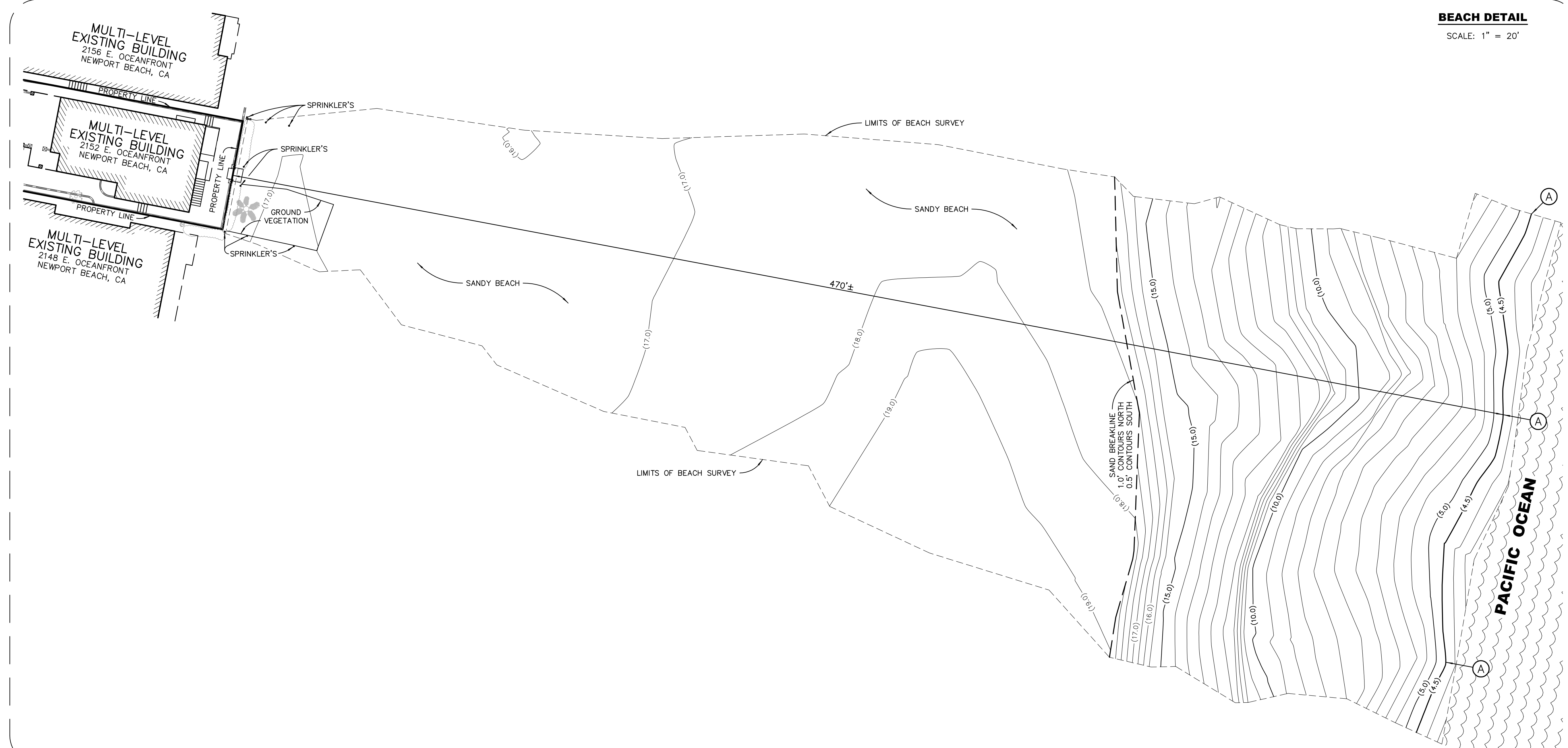
SEE SHEET 1 OF 2 FOR TOPOGRAPHY DETAIL, BOUNDARY DETAIL, LAND AREA, RECORD OWNER, VICINITY MAP, LEGAL DESCRIPTION, BASIS OF BEARINGS, SURVEYOR'S NOTES, MONUMENT DESCRIPTIONS, RECORD REFERENCES AND SURVEYOR'S STATEMENT.



**TIDE DATUM DETAIL**  
NOT TO SCALE

### BEACH DETAIL

SCALE: 1" = 20'



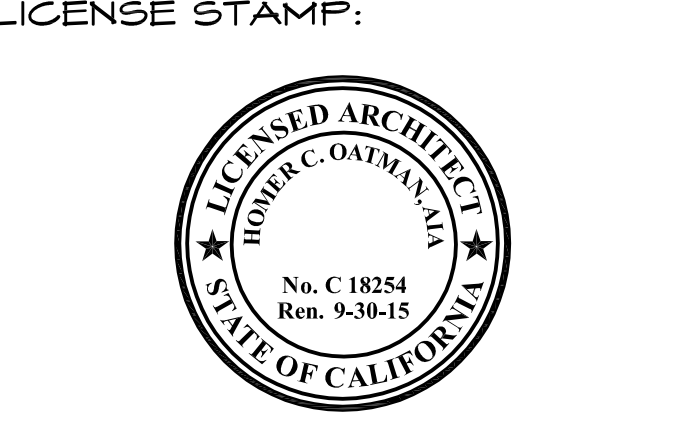
SHEET 2	OF 2	FILE NO. 14093	TOPOGRAPHIC SURVEY		D. Woolley & Associates™
			SCALE: 1" = 20'	DATE: 11/20/14	
ADDRESS: 2152 E. OCEANFRONT NEWPORT BEACH, CALIFORNIA			REVISIONS:		
CLIENT: FRONTIER ENTERPRISES			09/15/14: ADDED WALL HEIGHTS, SPOT ELEVATIONS AND TREES/HEDGES.		
DRAWN BY: TDR			11/19/14: ADDED FEATURES ON THE BEACH ADJACENT TO THE PROPERTY, NEIGHBORING BALCONIES AND DETERMINED THE MEAN HIGH WATER LINE.		
CHKD. BY: DEW			2832 WALNUT AVENUE, SUITE A TUSTIN, CA 92780 (714) 734-8462 FAX (714) 508-7521		

**Exhibit 2** THIS DOCUMENT WAS DIGITALLY TRANSMITTED AND IS THE SAME AS THE SIGNED ORIGINAL.





**PROJECT TEAM:**  
PROJECT CONTACT: HOMER OATMAN  
E-MAIL: hoatman@oatmanarchitects.com  
hoatman@oatmanarchitects.com  
PRINCIPAL: HOMER OATMAN  
PROJECT DIRECTOR: HOMER OATMAN  
PROJECT DESIGNER: HOMER OATMAN  
PROJECT MANAGER: TODD BALICKI



NO.	DATE	DESCRIPTION
7-30-14	CITY A.I.C. SUBMITTAL	
9-5-14	CITY A.I.C. RESUBMIT	

NO.	DATE	DESCRIPTION
1		
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Owner: JIM PREVITI  
2152 E OCEANFRONT  
NEWPORT BEACH, CA

**PROJECT:**  
JIM PREVITI  
2152 E OCEANFRONT  
NEWPORT BEACH, CA  
APN: 048-282-23  
CITY A.I.C. NO.: AIC2014-051  
CITY PLAN CHECK NO.: 2191-2014

Project No: 2014-006

THESE DRAWINGS ARE THE PROPERTY OF OATMAN ARCHITECTS AND SHALL NOT BE REPRODUCED OR COPIED ON ANY OTHER PROJECT OR SITE WITHOUT WRITTEN PERMISSION.  
IT IS THE OWNER'S AND ITS GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND TO OBTAIN CONSTRUCTION TO KEEP THE ARCHITECT'S DRAWINGS AND ANY POSSIBLE REVISIONS IN ACCORDANCE WITH THE BUILDING CODES AND MEANS METHODS OF CONSTRUCTION. THE ARCHITECT'S DRAWINGS ARE NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE ARCHITECT'S WRITTEN PERMISSION. THE OWNER SHALL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

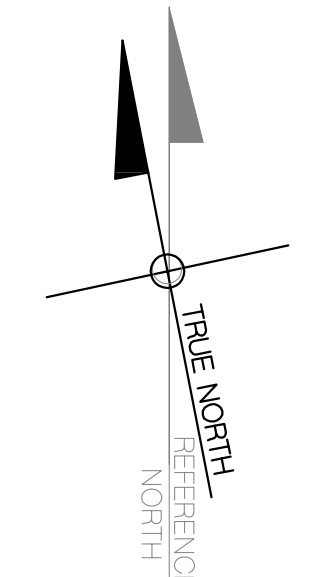
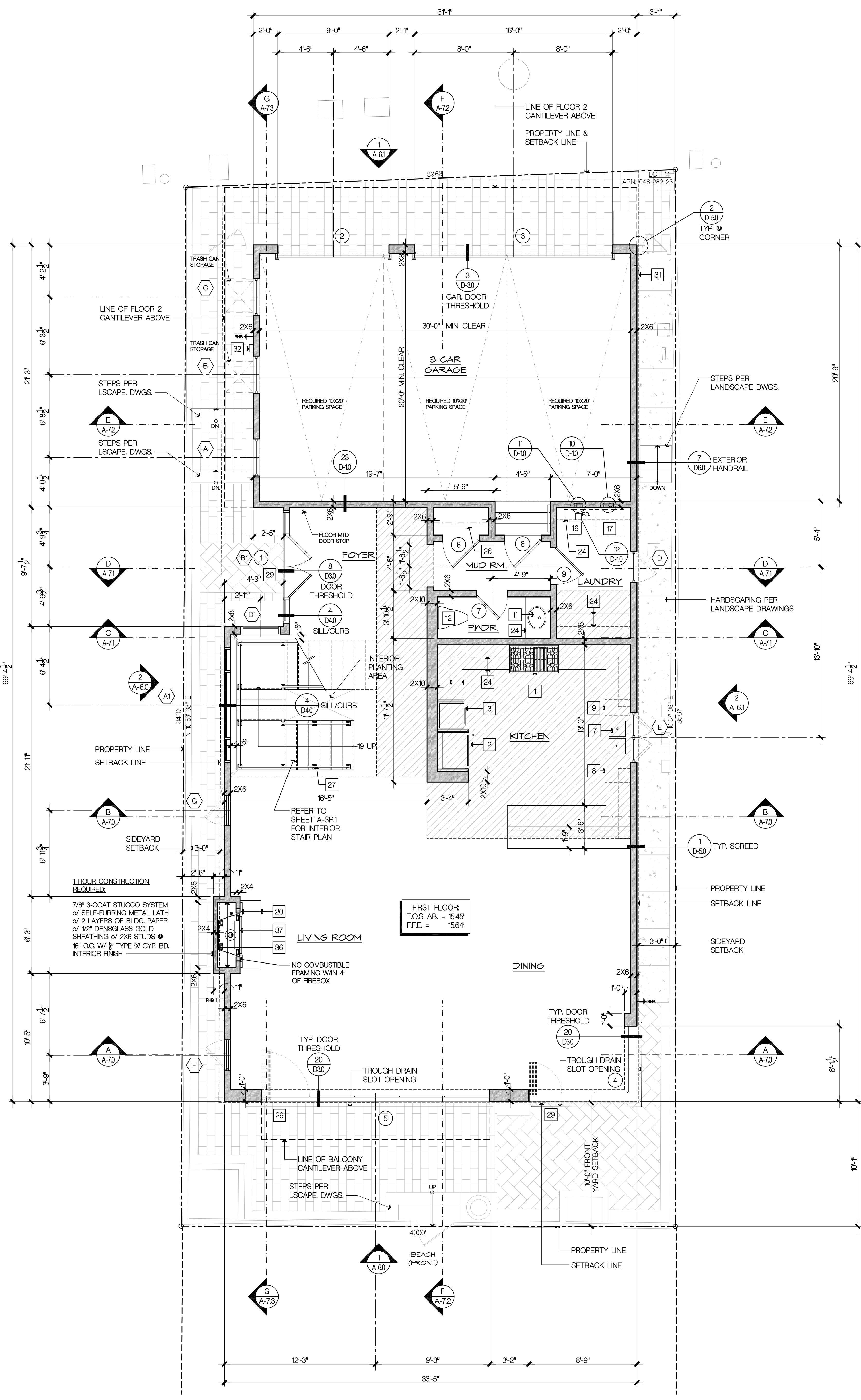
SHEET TITLE:  
**FIRST LEVEL FLOOR PLAN**  
SHEET NO.:  
**A-4.0**

**FLOOR PLAN NOTES**

- DO NOT SCALE DRAWINGS.
- REFER TO GENERAL NOTES FOR ADDITIONAL REQUIRED INFORMATION.
- REFER TO INTERIOR DESIGN DRAWINGS FOR ALL PLUMBING FIXTURES, APPLIANCES, CABINETS, AND INTERIOR FINISH SCHEDULES. VERIFY DIMENSIONS OF ALL PLUMBING FIXTURES AND APPLIANCES WITH MFGR. SPECIFICATIONS AND COORDINATE WITH CABINET INSTALLER.
- REFER TO INTERIOR DESIGN DRAWINGS FOR LOCATION(S) AND HEIGHT(S) OF ALL ART NICHS AND BATHROOM ACCESSORIES (IE. TOWEL BARS, TOILET PAPER DISPENSERS, MIRRORS, ETC.). PROVIDE 2X BLOCKING FOR NECESSARY SUPPORT.
- REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND FRAMING REQUIREMENTS ALONG WITH ANY CITY REQUIRED (STRUCTURAL OBSERVATIONS, SPECIAL INSPECTION CERTIFICATIONS), AND/OR TESTING FORMS.
- REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR EXTERIOR DOOR LANDINGS AND STAIRS. PROVIDE A MIN. 36" IN DIRECTION OF TRAVEL. SLOPE AWAY 1/4" PER 12" FOR DRAINAGE. DOORS LANDINGS TO COMPLY WITH 2013 C.R.C. SECTION R313.
- REFER TO THE REFLECTED CEILING PLANS FOR CEILING AND SOFFIT HEIGHTS.
- REFER TO THE DOOR AND WINDOW SCHEDULE ON SHEET (SCH-1) FOR ALL DOOR AND WINDOW TYPES, SIZES, AND REQUIRED LOCATIONS OF GLAZING WHICH ARE TO BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC, PER 2013 C.R.C. SECTION R608.
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH A BARRIER AND/OR DOOR ALARMS COMPLIANT WITH STATE AND LOCAL POOL BARRIER ORDINANCE. THE MOST STRINGENT CODE REQUIREMENT SHALL PREVAIL.
- INSULATION:**  
- ROOF/CEILINGS (R-30)  
- EXTERIOR WALLS (R-19)  
- FRAMED FLOORS (R-30)  
- BATHROOM AND LAUNDRY ROOM WALLS (R-13) USE ABOVE NOTED VALUES IN LIEU OF TITLE-24 MINIMUMS.
- REFER TO SHEET (T-240) FOR THE TITLE-24 ENERGY CALCULATION FORMS AND MANDATORY REQUIREMENTS (CP-R AND MF-R) FOR ENERGY COMPLIANCE.
- PLUMBING FIXTURE REQUIREMENTS AND FLOW RATES PER 2103 C.G.S.C. TABLE 4303.2:**  
A. ALL WATER CLOSETS AND ASSOCIATED FLUSHMETER VALVES SHALL HAVE A MAXIMUM FLOW RATE OF 128 GPF, AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS H. & S. CODE, SECTION 1792.3(B) AND BY THE CALIFORNIA ENERGY COMMISSION. PROVIDE A MIN. CLEAR FLOOR SPACE OF 30" WIDE X 24" DEEP CLEAR IN FRONT AND CENTERED ON WATER CLOSET PER 2013 C.P.C.  
B. ALL SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF 2.0 GPM @ 80 PSI. PER STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION. CONTROL VALVES TO BE PRESSURE-BALANCED OR THERMOSTATIC MIXING VALVE PER 2103 C.P.C. SECTION 418. THE COMBINED FLOW OF MULTIPLE SHOWER HEADS SERVING A SINGLE SHOWER SHALL NOT EXCEED MAXIMUM ALLOWABLE FLOW RATE FOR A SINGLE SHOWER. SHOWER OR THE CONTROL VALVES SHALL BE ARRANGED TO ONLY ALLOW ONE SHOWER HEAD TO OPERATE AT A TIME.  
C. LAUNDRY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 18 GPM @ 60 PSI. PER STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION.  
D. ALL KITCHEN (SINK) FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 18 GPM @ 60 PSI. PER STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION.  
E. ALL LAVATORY (SINK) FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 15 GPM @ 60 PSI. PER STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION.
- SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 57 SQ. FT. WITH THE MINIMUM OPENABLE WIDTH OF 20" AND THE MINIMUM OPENABLE HEIGHT OF 24". THE EMERGENCY DOOR OR WINDOW SHALL BE PROVIDED FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE, PER 2103 C.R.C. SECTION R310.  
14. THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW LOCATED MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 24" ABOVE THE FINISH FLOOR. GLAZING BETWEEN THE FLOOR AND A HEIGHT OF 24" SHALL BE FIXED OR HAVE AN OPENING SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS, PER 2103 C.R.C. SECTION R612.2 OR BE PROVIDED WITH A WINDOW GUARD THAT COMPLIES WITH ASTM F 2090.
- SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE DRAIN INLET, PER 2103 C.R.C. SECTION R307.2.
- THE NET AREA OF THE SHOWER ENCLOSURE(S) SHALL BE 1024 SQ. INCHES (71 SF) OR MORE IN CLEAR FLOOR AREA, AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE, PER 2103 C.P.C. SECTION 4117.
- ALL HABITABLE SPACES INTENDED FOR HUMAN OCCUPANCY SHALL COMPLY WITH 2103 C.R.C. SECTION R303 FOR NATURAL VENTILATION AND LIGHTING, OR OTHERWISE PROVIDED BY THE FOLLOWING EXCEPTIONS:  
A. APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR OF 15 CFM PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM. PROVIDED ARTIFICIAL LIGHTING CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOT-CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL.  
B. PROVIDE 5/8" TYPE "X" GYP. BOARD AT WALLS AND CEILING AT USABLE SPACE UNDER STAIRS BEYOND MIN. REQ. PER 2103 C.R.C. SECTION R302.7.
- ALL INTERIOR WALL FINISHES SHALL COMPLY WITH 2103 C.R.C. SECTION R702. INSPECTION OF NAILING IS REQUIRED FOR ALL DRYWALL AND LATH WHEN IN PLACE. CORNER BEADS ARE TO BE NAILED. DRYWALL BOARD SHALL BE SPACED AT A MAXIMUM OF 3/8".
- AT ALL AREAS WITHIN THE ROOF ATTIC THAT EXCEED 30 SQUARE FEET AND WITH 30" MIN. CLEAR HEADROOM, PROVIDE A 22"X30" MIN. ATTIC ACCESS TO THOSE AREAS, PER 2103 C.R.C. SECTION R907. ATTICS WITH APPLIANCES OR FAULT UNITS INSTALLED IN THEM PROVIDE A 30"X30" MIN. ATTIC ACCESS. (PROVIDED FAULT MAY PASS THROUGH) WITH 30" MIN. CLEAR HEADROOM. PROVIDE WEATHER STRIPS AT PANEL TO PREVENT BACK DRAFT.
- AT ALL AREAS BETWEEN THE PRIVATE GARAGE (I) AND LIVING (R-3) WALLS, PROVIDE A MINIMUM OF 1/2" GYP. BOARD ON GARAGE SIDE OF WALLS ADJACENT TO LIVING AREAS AND AT ELEMENTS SUPPORTING SEPARATION ABOVE. CEILING(S) SHALL RECEIVE A MINIMUM OF 1 LAYER 5/8" TYPE "X" GYP. BD. ON 1" SPACED JOISTS, TRUSSES, OR R/C CHANNEL, BASED ON OCCUPANCY SEPARATION, PER 2103 C.R.C. SECTION R302.6.
- A MINIMUM OF TWO LAYERS OF GRADE "D" BUILDING PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING PER 2103 C.R.C. SECTION R703.2.
- EXTERIOR HOSE BIBBS AND LAWN SPRINKLER SYSTEM SHALL HAVE AN APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICE, PER 2103 C.P.C. SECTION 603.
- PROVIDE "QUICKFLASH" WEATHERPROOFING FLASHING PANELS AT ALL EXTERIOR WALL PENETRATIONS. FLASHING PANELS SYSTEMS VARY BASED ON PENETRATION TYPE PER MANUFACTURER.
- OWNER TO RETAIN THE SERVICES OF AN INDEPENDENT QUALIFIED WATERPROOFING CONSULTANT TO FIELD INSPECT AND APPROVE ALL WATERPROOFING SYSTEMS INSTALLATIONS.

SEPARATE STRUCTURALLY ENGINEERED SHOP DRAWINGS OF WINDOWS A1, B1 & D1 SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY OF NEWPORT BEACH BUILDING AND SAFETY DEPARTMENT. PRIOR TO SUBMITTAL TO THE CITY, THE SHOP DRAWINGS SHALL BE REVIEWED, CERTIFIED, AND APPROVED BY THE ARCHITECT & STRUCTURAL ENGINEER OF RECORD.

SEPARATE STRUCTURALLY ENGINEERED SHOP DRAWINGS OF THE INTERIOR STAIR SYSTEM SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. THE SHOP DRAWINGS SHALL BE REVIEWED, CERTIFIED, AND APPROVED BY THE ARCHITECT & STRUCTURAL ENGINEER OF RECORD.



**Exhibit 3**  
**Page 1 of 4**

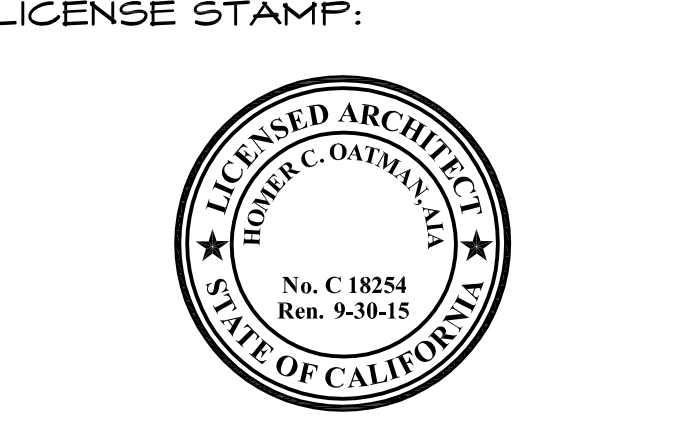




**PROJECT TEAM:**

**PROJECT CONTACT:** HOMER OATMAN  
**E-MAIL:** hoatman@oatmanarchitects.com  
toatman@oatmanarchitects.com

**PRINCIPAL:** HOMER OATMAN  
**PROJECT DIRECTOR:** HOMER OATMAN  
**PROJECT DESIGNER:** HOMER OATMAN  
**PROJECT MANAGER:** TODD BALICKI



**LICENSE STAMP:**

NO.	DATE	DESCRIPTION
7-30-14	CITY A.I.C. SUBMITTAL	
9-5-14	CITY A.I.C. RESUBMIT	

**Owner:** JIM PREVITI  
2152 E OCEANFRONT  
NEWPORT BEACH, CA

**PROJECT:**

**JIM PREVITI**  
**2152 E OCEANFRONT**  
**NEWPORT BEACH, CA**  
**APN: 048-282-23**

**CITY A.I.C. NO.: AIC2014-051**  
**CITY PLAN CHECK NO.: 2191-2014**

**Project No: 2014-006**

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IT IS THE OWNER'S AND ITS GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND TO OBTAIN CONSENTS TO WORK FROM THE APPLICABLE AGENCIES AND TO PROVIDE FOR ALL NECESSARY UTILITIES AND TO VERIFY THE ACCURACY OF ALL INFORMATION PROVIDED TO THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE BUILDING AND ITS MEANS AND METHODS OF CONSTRUCTION. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THE WORK. THE OWNER SHALL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

NOTE: THE ORIGINAL SIZE OF THE DRAWING SHEET IS 30"X42"

**SHEET TITLE:**

**SECOND FLOOR PLAN**

**SHEET NO.:**

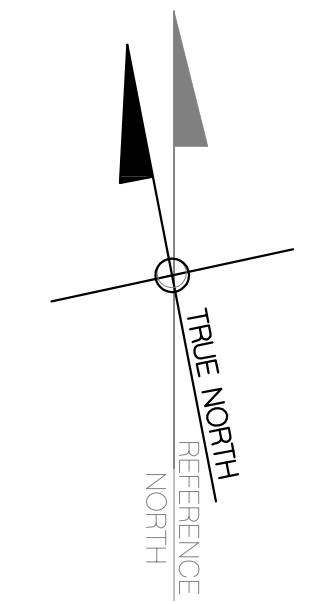
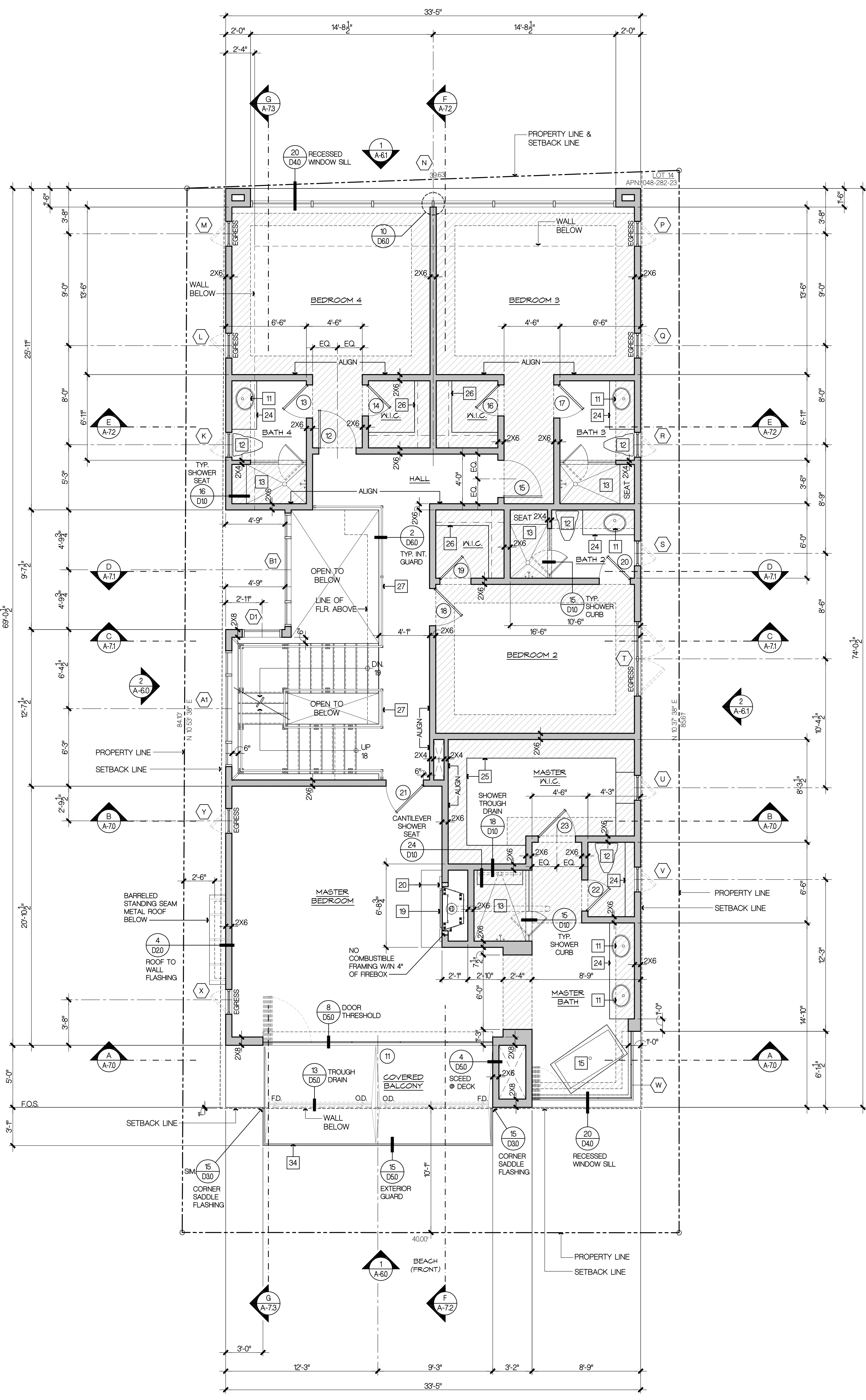
**A-4.1**

**FLOOR PLAN NOTES**

- DO NOT SCALE DRAWINGS.
- REFER TO GENERAL NOTES FOR ADDITIONAL REQUIRED INFORMATION.
- REFER TO INTERIOR DESIGN DRAWINGS FOR ALL PLUMBING FIXTURES, APPLIANCES, CABINETS, AND INTERIOR FINISH SCHEDULES. VERIFY DIMENSIONS OF ALL PLUMBING FIXTURES AND APPLIANCES WITH MFG. SPECIFICATIONS AND COORDINATE WITH CABINET INSTALLER.
- REFER TO INTERIOR DESIGN DRAWINGS FOR LOCATIONS(S) AND HEIGHT(S) OF ALL ART NICHE(S) AND BATHROOM ACCESSORIES (IE. TOWEL BARS, TOILET PAPER DISPENSERS, MIRRORS, ETC). PROVIDE 2X BLOCKING FOR NECESSARY SUPPORT.
- REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND FRAMING REQUIREMENTS ALONG WITH ANY CITY REQUIRED STRUCTURAL OBSERVATIONS, SPECIAL INSPECTION CERTIFICATIONS, AND/OR TESTING FORMS.
- REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR EXTERIOR DOOR LANDINGS(S) AND STAIRS(S). PROVIDE A MIN. 36" IN DIRECTION OF TRAVEL. SLOPE AWAY 1/4" PER 12" FOR DRAINAGE. DOORS LANDINGS TO COMPLY WITH 2013 C.R.C. SECTION R313.
- REFER TO THE REFLECTED CEILING PLANS FOR CEILING AND SOFFIT HEIGHTS.
- REFER TO THE DOOR AND WINDOW SCHEDULE ON SHEET (SCH-1) FOR ALL DOOR AND WINDOW TYPES, SIZES, AND REQUIRED LOCATIONS(S) OF GLAZING WHICH ARE TO BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC, PER 2013 C.R.C. SECTION R606.
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH A BARRIER AND/OR DOOR ALARMS COMPLIANT WITH STATE AND LOCAL POOL BARRIER ORDINANCE. THE MOST STRINGENT CODE REQUIREMENT SHALL PREVAIL.
- INSULATION:**
  - ROOF/CEILINGS (R-30)
  - EXTERIOR WALLS (R-19)
  - FRAMED FLOORS (R-30)
  - BATHROOM AND LAUNDRY ROOM WALLS (R-13) USE ABOVE NOTED VALUES IN LEU OF TITLE-24 MINIMUMS.
- REFER TO SHEET (T-240) FOR THE TITLE-24 ENERGY CALCULATION FORMS AND MANDATORY REQUIREMENTS (CP-R AND MF-R) FOR ENERGY COMPLIANCE.
- PLUMBING FIXTURE REQUIREMENTS AND FLOW RATES PER 2103 C.G.S.C. TABLE 4303.2:**
  - ALL WATER CLOSETS AND ASSOCIATED FLUSHMETER VALVES SHALL HAVE A MAXIMUM FLOW RATE OF 128 GPF. AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS H. & S. CODE, SECTION 1792.3(B) AND BY THE CALIFORNIA ENERGY COMMISSION. PROVIDE A MIN. CLEAR FLOOR SPACE OF 30" WIDE X 24" DEEP CLEAR IN FRONT AND CENTERED ON WATER CLOSET PER 2013 C.P.C.
  - ALL SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF 20 GPM @ 80 PSI. PER STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION. CONTROL VALVES TO BE PRESSURE BALANCED MIXING PER 2013 C.P.C. SECTION 418. THE COMBINED FLOW OF MULTIPLE SHOWER HEADS SERVING A SINGLE SHOWER SHALL NOT EXCEED MAXIMUM ALLOWABLE FLOW RATE FOR A SINGLE SHOWER. SHOWER OR THE CONTROL VALVES SHALL BE ARRANGED TO ONLY ALLOW ONE SHOWER HEAD TO OPERATE AT A TIME.
  - LAUNDRY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 18 GPM @ 60 PSI. PER STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION.
  - ALL KITCHEN (SINK) FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 18 GPM @ 60 PSI. PER STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION.
  - ALL LAVATORY (SINK) FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 15 GPM @ 60 PSI. PER STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION.
- SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 57 SQ. FT. WITH THE MINIMUM OPENABLE WIDTH OF 20" AND THE MINIMUM OPENABLE HEIGHT OF 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE, PER 2103 C.R.C. SECTION R310.
- THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW LOCATED MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 24" ABOVE THE FINISH FLOOR. GLAZING BETWEEN THE FLOOR AND A HEIGHT OF 24" SHALL BE FIXED OR HAVE AN OPENING SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS, PER 2103 C.R.C. SECTION R612.2 OR BE PROVIDED WITH A WINDOW GUARD THAT COMPLIES WITH ASTM F 2090.
- SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE DRAIN INLET, PER 2103 C.R.C. SECTION R307.2.
- THE NET AREA OF THE SHOWER ENCLOSURE(S) SHALL BE 1024 SQ. INCHES (71 SF) OR MORE IN CLEAR FLOOR AREA, AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE, PER 2103 C.P.C. SECTION 4117.
- ALL HABITABLE SPACES INTENDED FOR HUMAN OCCUPANCY SHALL COMPLY WITH 2103 C.R.C. SECTION R303 FOR NATURAL VENTILATION AND LIGHTING, OR OTHERWISE PROVIDED BY THE FOLLOWING EXCEPTIONS:
  - APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR OF 15 CFM PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM. PROVIDED ARTIFICIAL LIGHTING CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOTCANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL.
  - PROVIDE 5/8" TYPE "X" GYP. BOARD AT WALLS AND CEILING AT USABLE SPACE UNDER STAIRS BEYOND MIN. REQ. PER 2103 C.R.C. SECTION R302.7.
- ALL INTERIOR WALL FINISHES SHALL COMPLY WITH 2103 C.R.C. SECTION R702. INSPECTION OF NAILING IS REQUIRED FOR ALL DRYWALL AND LATH WHEN IN PLACE. CORNER BEADS ARE TO BE NAILED. DRYWALL BOARD SHALL BE SPACED AT A MAXIMUM OF 3/8".
- AT ALL AREAS WITHIN THE ROOF ATTIC THAT EXCEED 30 SQUARE FEET AND WITH 30" MIN. CLEAR HEADROOM, PROVIDE A 22"X30" MIN. ATTIC ACCESS TO THOSE AREAS, PER 2103 C.R.C. SECTION R907. ATTICS WITH APPLIANCES OR FAU UNITS INSTALLED IN THEM PROVIDE A 30"X30" MIN. ATTIC ACCESS. (PROVIDED FAU MAY PASS THROUGH) WITH 30" MIN. CLEAR HEADROOM. PROVIDE WEATHER STRIPS AT PANEL TO PREVENT BACK DRAFT.
- AT ALL AREAS BETWEEN THE PRIVATE GARAGE (U) AND LIVING (R-3) WALLS, ADJACENT TO LIVING AREAS AND AT ELEMENTS SUPPORTING SEPARATION ABOVE. CEILING(S) SHALL RECEIVE A MINIMUM OF 1 LAYER 5/8" TYPE "X" GYP. BD ON 1" SPACED JOISTS, TRUSSES, OR R/C CHANNEL, BASED ON OCCUPANCY SEPARATION, PER 2103 C.R.C. SECTION R302.6.
- A MINIMUM OF TWO LAYERS OF GRADE "D" BUILDING PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING PER 2103 C.R.C. SECTION R703.2.
- EXTERIOR HOSE BIBBS AND LAWN SPRINKLER SYSTEM SHALL HAVE AN APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICE, PER 2103 C.P.C. SECTION 603.
- PROVIDE "QUICKFLASH" WEATHERPROOFING FLASHING PANELS AT ALL EXTERIOR WALL PENETRATIONS. FLASHING PANELS SYSTEMS VARY BASED ON PENETRATION TYPE PER MANUFACTURER.
- OWNER TO RETAIN THE SERVICES OF AN INDEPENDENT QUALIFIED WATERPROOFING CONSULTANT TO FIELD INSPECT AND APPROVE ALL WATERPROOFING SYSTEMS INSTALLATIONS.

SEPARATE STRUCTURALLY ENGINEERED SHOP DRAWINGS OF WINDOWS A1 & D1 SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY OF NEWPORT BEACH BUILDING AND SAFETY DEPARTMENT. PRIOR TO SUBMITTAL TO THE CITY, THE SHOP DRAWINGS SHALL BE REVIEWED, CERTIFIED, AND APPROVED BY THE ARCHITECT & STRUCTURAL ENGINEER OF RECORD.

SEPARATE STRUCTURALLY ENGINEERED SHOP DRAWINGS OF THE INTERIOR STAIR SYSTEM SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. THE SHOP DRAWINGS SHALL BE REVIEWED, CERTIFIED, AND APPROVED BY THE ARCHITECT & STRUCTURAL ENGINEER OF RECORD.



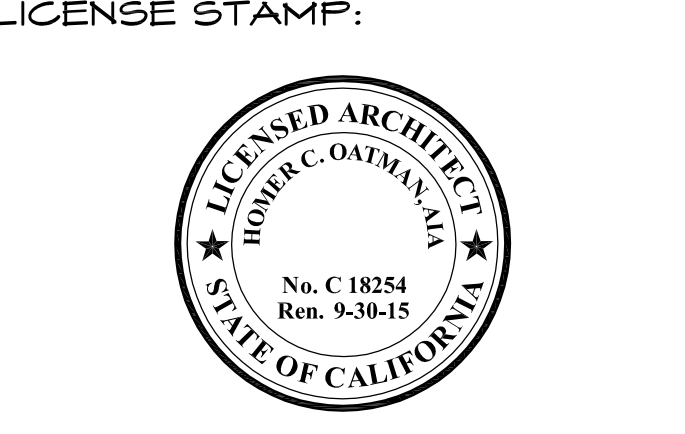




**PROJECT TEAM:**

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PRINCIPAL: HOMER OATMAN  
PROJECT DIRECTOR: HOMER OATMAN  
PROJECT DESIGNER: HOMER OATMAN  
PROJECT MANAGER: TODD BALICKI



NO.	DATE	DESCRIPTION
7-30-14	CITY A.I.C. SUBMITTAL	
9-5-14	CITY A.I.C. RESUBMIT	

NO.	DATE	DESCRIPTION
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Owner: JIM PREVITI  
2152 E OCEANFRONT  
NEWPORT BEACH, CA

**PROJECT:**

**JIM PREVITI**  
2152 E OCEANFRONT  
NEWPORT BEACH, CA  
APN: 048-282-23

CITY A.I.C. NO.: AIC2014-051  
CITY PLAN CHECK NO.: 2191-2014

**Project No:** 2014-006

THESE DRAWINGS ARE THE PROPERTY OF OATMAN ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED ON ANY OTHER PROJECT OR SITE WITHOUT WRITTEN PERMISSION.

IT IS THE OWNER'S AND ITS GENERAL CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND TO OBTAIN CONSENTS TO WORK FROM THE APPLICABLE AGENCIES AND TO PROVIDE FOR ANY NECESSARY PROTECTIVE MEASURES. OATMAN ARCHITECTS SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK AND SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE WORK. THE OWNER SHALL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

**SHEET TITLE:**

**THIRD FLOOR PLAN**

**SHEET NO.:**

**A-4.2**

**FLOOR PLAN NOTES**

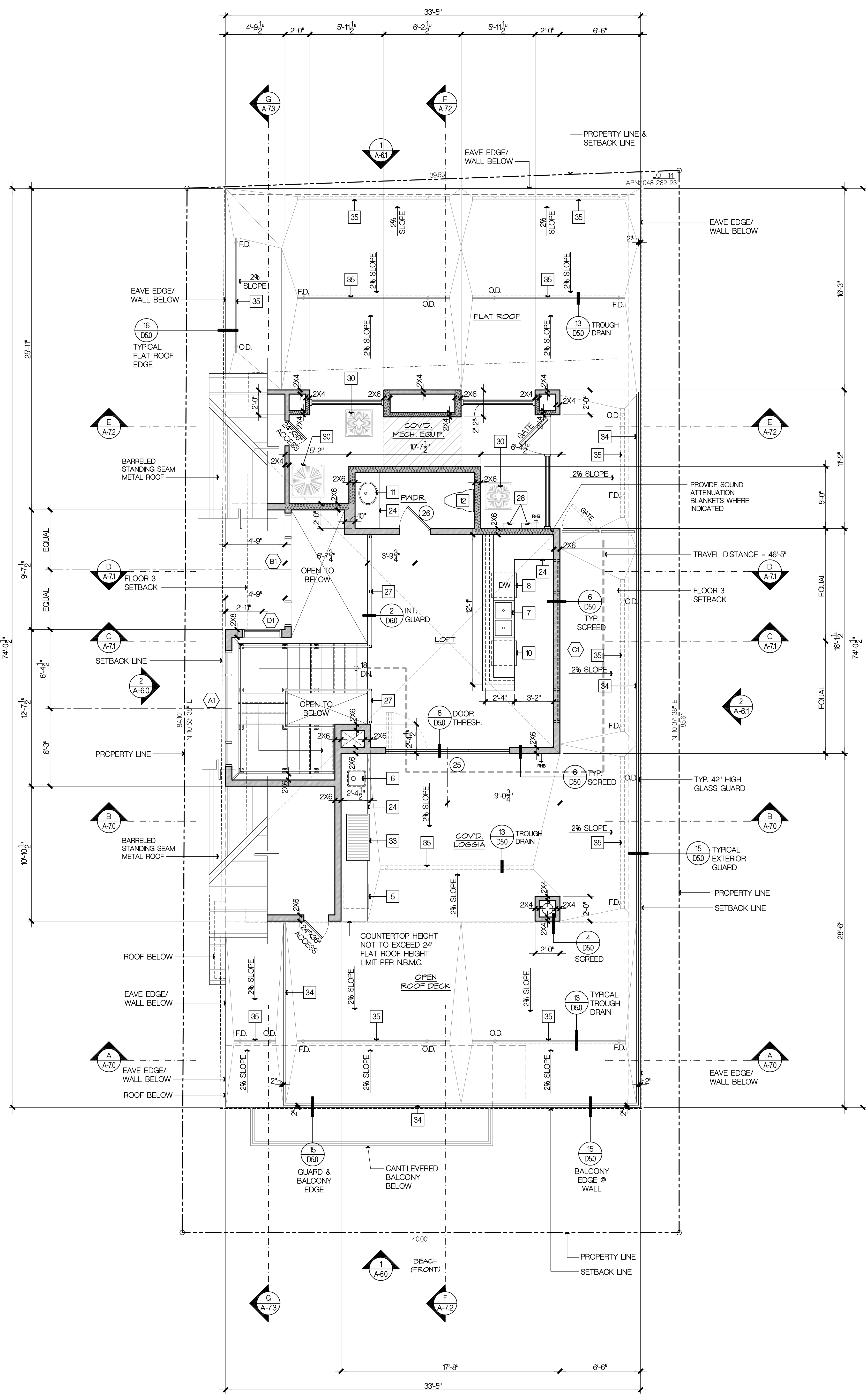
- DO NOT SCALE DRAWINGS.
- REFER TO GENERAL NOTES FOR ADDITIONAL REQUIRED INFORMATION.
- REFER TO INTERIOR DESIGN DRAWINGS FOR ALL PLUMBING FIXTURES, APPLIANCES, CABINETS, AND INTERIOR FINISH SCHEDULES. VERIFY DIMENSIONS OF ALL PLUMBING FIXTURES AND APPLIANCES WITH MFGR SPECIFICATIONS AND COORDINATE WITH CABINET INSTALLER.
- REFER TO INTERIOR DESIGN DRAWINGS FOR LOCATION(S) AND HEIGHT(S) OF ALL ART NICHES AND BATHROOM ACCESSORIES (IE. TOWEL BARS, TOILET PAPER DISPENSERS, MIRRORS, ETC). PROVIDE 2X BLOCKING FOR NECESSARY SUPPORT.
- REFER TO STRUCTURAL DRAWINGS FOR ALL FOUNDATION AND FRAMING REQUIREMENTS WITH ANY CITY REQUIRED (STRUCTURAL OBSERVATIONS, SPECIAL INSPECTION CERTIFICATIONS), AND/ OR TESTING FORMS.
- REFER TO LANDSCAPE ARCHITECT DRAWINGS FOR EXTERIOR DOOR LANDINGS AND STAIRS. PROVIDE A MIN 36" IN DIRECTION OF TRAVEL. SLOPE AWAY 1/4" PER 12" FOR DRAINAGE. DOORS LANDINGS TO COMPLY WITH 2013 CRC SECTION R313.
- REFER TO THE REFLECTED CEILING PLANS FOR CEILING AND SOFFIT HEIGHTS.
- REFER TO THE DOOR AND WINDOW SCHEDULE ON SHEET (SCH-1) FOR ALL DOOR AND WINDOW TYPES, SIZES, AND REQUIRED LOCATION(S) OF GLAZING WHICH ARE TO BE FULLY TEMPERED, LAMINATED SAFETY GLASS OR APPROVED PLASTIC, PER 2013 CIRC. SECTION R606.
- DOORS THAT PROVIDE DIRECT ACCESS TO THE SWIMMING POOL SHALL BE PROVIDED WITH A BARRIER AND/OR DOOR ALARMS COMPLIANT WITH STATE AND LOCAL POOL BARRIER ORDINANCE. THE MOST STRINGENT CODE REQUIREMENT SHALL PREVAIL.
- INSULATION:**
  - ROOF/ CEILINGS (R-30)
  - EXTERIOR WALLS (R-10)
  - FRAMED FLOORS (R-30)
  - BATHROOM AND LAUNDRY ROOM WALLS (R-13) USE ABOVE NOTED VALUES IN LIEU OF TITLE-24 MINIMUMS.
- REFER TO SHEET (T-240) FOR THE TITLE-24 ENERGY CALCULATION FORMS AND MANDATORY REQUIREMENTS (CP-R AND MF-R) FOR ENERGY COMPLIANCE.
- PLUMBING FIXTURE REQUIREMENTS AND FLOW RATES PER 2103 C.G.S.C. TABLE 4303.2:**
  - ALL WATER CLOSETS AND ASSOCIATED FLUSHMETER VALVES SHALL HAVE A MAXIMUM FLOW RATE OF 128 GPF, AND SHALL MEET PERFORMANCE STANDARDS ESTABLISHED BY THE AMERICAN NATIONAL STANDARDS H. & S. CODE, SECTION 1792.3(B) AND BY THE CALIFORNIA ENERGY COMMISSION. PROVIDE A MIN CLEAR FLOOR SPACE OF 30" WIDE X 24" DEEP CLEAR IN FRONT AND CENTERED ON WATER CLOSET PER 2013 C.P.C.
  - ALL SHOWER HEADS SHALL HAVE A MAXIMUM FLOW RATE OF 20 GPM @ 80 PSI. PER STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION. CONTROL VALVES TO BE PRESSURE BALANCED OR THERMALLY STABLE PER 2013 C.P.C. SECTION 418. THE COMBINED FLOW OF MULTIPLE SHOWER HEADS SERVING A SINGLE SHOWER SHALL NOT EXCEED MAXIMUM ALLOWABLE FLOW RATE FOR A SINGLE FIXTURE SHOWER OR THE CONTROL VALVES SHALL BE ARRANGED TO ONLY ALLOW ONE SHOWER HEAD TO OPERATE AT A TIME.
  - LAUNDRY FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 18 GPM @ 60 PSI PER STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION.
  - ALL KITCHEN (SINK) FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 18 GPM @ 60 PSI PER STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION.
  - ALL LAVATORY (SINK) FAUCETS SHALL HAVE A MAXIMUM FLOW RATE OF 15 GPM @ 60 PSI PER STANDARDS SET BY THE CALIFORNIA ENERGY COMMISSION.
- SLEEPING ROOMS SHALL HAVE A WINDOW OR EXTERIOR DOOR FOR EMERGENCY ESCAPE. SILL HEIGHT SHALL NOT EXCEED 44" ABOVE THE FLOOR. WINDOWS MUST HAVE AN OPENABLE AREA OF AT LEAST 57 SQ. FT. WITH THE MINIMUM OPENABLE WIDTH OF 20" AND THE MINIMUM OPENABLE HEIGHT OF 24". THE EMERGENCY DOOR OR WINDOW SHALL BE OPERABLE FROM THE INSIDE TO PROVIDE A FULL, CLEAR OPENING WITHOUT THE USE OF KEYS, TOOLS, OR SPECIAL KNOWLEDGE, PER 2103 CIRC. SECTION R310.
- THE OPENING OF THE SILL PORTION OF AN OPERABLE WINDOW LOCATED MORE THAN 72" ABOVE FINISH GRADE SHALL BE A MINIMUM OF 24" ABOVE THE FINISH FLOOR. GLAZING BETWEEN THE FLOOR AND A HEIGHT OF 24" SHALL BE FIXED OR HAVE AN OPENING SUCH THAT A 4" DIAMETER SPHERE CANNOT PASS, PER 2103 CIRC. SECTION R612.2 OR BE PROVIDED WITH A WINDOW GUARD THAT COMPLIES WITH ASTM F 2090.
- SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 72" ABOVE THE DRAIN INLET, PER 2103 CIRC SECTION R307.2.
- THE NET AREA OF THE SHOWER ENCLOSURE(S) SHALL BE 1024 SQ. INCHES (71 SF) OR MORE IN CLEAR FLOOR AREA, AND SHALL ALSO BE CAPABLE OF ENCOMPASSING A 30" DIAMETER CIRCLE, PER 2103 CIRC SECTION 4117.
- ALL HABITABLE SPACES INTENDED FOR HUMAN OCCUPANCY SHALL COMPLY WITH 2103 CIRC. SECTION R303 FOR NATURAL VENTILATION AND LIGHTING; OR OTHERWISE PROVIDED BY THE FOLLOWING EXCEPTIONS:
  - APPROVED MECHANICAL VENTILATION SYSTEM CAPABLE OF PRODUCING 0.35 AIR CHANGE PER HOUR IN THE ROOM OR A WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM CAPABLE OF SUPPLYING OUTDOOR VENTILATION AIR OF 15 CFM PER OCCUPANT COMPUTED ON THE BASIS OF TWO OCCUPANTS FOR THE FIRST BEDROOM AND ONE OCCUPANT FOR EACH ADDITIONAL BEDROOM. PROVIDED ARTIFICIAL LIGHTING CAPABLE OF PRODUCING AN AVERAGE ILLUMINATION OF 6 FOOTCANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL.
  - PROVIDE 5/8" TYPE "X" GYP. BOARD AT WALLS AND CEILING AT USABLE SPACE UNDER STAIRS BEYOND MIN. REQ. PER 2103 CIRC. SECTION R302.7.
  - ALL INTERIOR WALL FINISHES SHALL COMPLY WITH 2103 CIRC. SECTION R702. INSPECTION OF NAILING IS REQUIRED FOR ALL DRYWALL AND LATH WHEN IN PLACE. CORNER BEADS ARE TO BE NAILED. DRYWALL BOARD SHALL BE SPACED AT A MAXIMUM OF 3/8".
  - AT ALL AREAS WITHIN THE ROOF ATTIC THAT EXCEED 30 SQUARE FEET AND WITH 30" MIN. CLEAR HEADROOM, PROVIDE A 22"x30" MIN. ATTIC ACCESS TO THOSE AREAS, PER 2103 CIRC. SECTION R807. ATTICS WITH APPLIANCES OR FAU UNITS INSTALLED IN THEM PROVIDE A 30"x30" MIN. ATTIC ACCESS. (PROVIDED FAU MAY PASS THROUGH) WITH 30" MIN. CLEAR HEADROOM. PROVIDE WEATHER STRIPS AT PANEL TO PREVENT BACK DRAFT.
  - AT ALL AREAS BETWEEN THE PRIVATE GARAGE (J) AND LIVING (R-3) WALLS ADJACENT TO LIVING AREAS AND AT ELEMENTS SUPPORTING SEPARATION ABOVE. CEILING SHALL RECEIVE A MINIMUM OF 1 LAYER 5/8" TYPE "X" GYP. BD ON 1" SPACED JOISTS, TRUSSES, OR RC CHANNEL, BASED ON OCCUPANCY SEPARATION, PER 2103 CIRC. SECTION R302.6.
  - A MINIMUM OF TWO LAYERS OF GRADE "D" BUILDING PAPER SHALL BE APPLIED OVER ALL WOOD BASE SHEATHING PER 2103 CIRC. SECTION R703.2.
  - EXTERIOR HOSE BIBBS AND LAWN SPRINKLER SYSTEM SHALL HAVE AN APPROVED NON-REMOVABLE BACKFLOW PREVENTION DEVICE, PER 2103 C.P.C. SECTION 603.
  - PROVIDE "QUICKFLASH" WEATHERPROOFING FLASHING PANELS AT ALL EXTERIOR WALL PENETRATIONS. FLASHING PANELS SYSTEMS VARY BASED ON PENETRATION TYPE PER MANUFACTURER.
  - OWNER TO RETAIN THE SERVICES OF AN INDEPENDENT QUALIFIED WATERPROOFING CONSULTANT TO FIELD INSPECT AND APPROVE ALL WATERPROOFING SYSTEMS INSTALLATIONS.

PER CITY OF NEWPORT BEACH:

- THE COVERED MECHANICAL EQUIPMENT AREA SHALL NOT CONTAIN ANY AIR SUPPLY REGISTERS, ELECTRICAL OUTLETS OR LIGHTING OTHER THAN THOSE REQUIRED BY THE CRC AND C.B.C. THE COVERED MECHANICAL EQUIPMENT AREA SHALL ALSO NOT CONTAIN ANY INSULATION, DRYWALL OR ANY OTHER INTERIOR FINISH MATERIALS.
- NO ROOF DECK ACCESSORIES SHALL EXCEED THE 24" HIGH LIMIT.

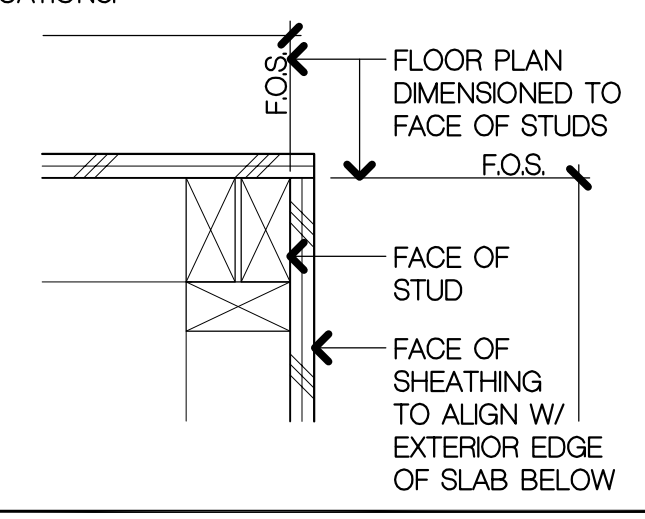
SEPARATE STRUCTURALLY ENGINEERED SHOP DRAWING(S) OF WINDOWS A1 B1 & D1 SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE CITY OF NEWPORT BEACH BUILDING AND SAFETY DEPARTMENT. PRIOR TO SUBMITTAL TO THE CITY, THE SHOP DRAWING(S) SHALL BE REVIEWED, CERTIFIED, AND APPROVED BY THE ARCHITECT & STRUCTURAL ENGINEER OF RECORD.

SEPARATE STRUCTURALLY ENGINEERED SHOP DRAWING(S) OF THE INTERIOR STAIR SYSTEM SHALL BE SUBMITTED FOR REVIEW AND APPROVAL. THE SHOP DRAWING(S) SHALL BE REVIEWED, CERTIFIED, AND APPROVED BY THE ARCHITECT & STRUCTURAL ENGINEER OF RECORD.

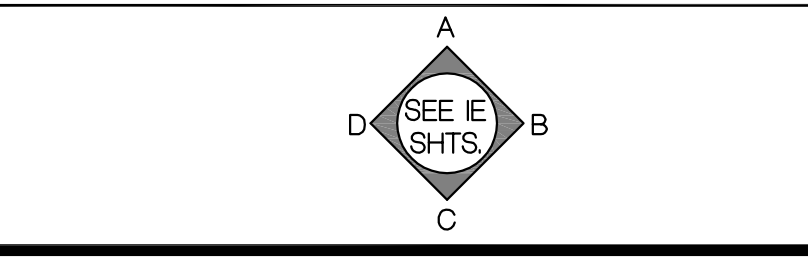


**DIMENSIONAL NOTE**

DIMENSIONS INDICATED ARE TO THE FACE OF FRAMING (STUDS). SET THE FACE OF STUDS 3/8" FROM THE EXTERIOR EDGE OF SLAB IN ORDER TO ALIGN THE EXTERIOR FACE OF SHEATHING WITH THE EXTERIOR EDGE OF SLAB. SEE STRUCTURAL FOUNDATION PLAN FOR ANCHOR & HOLD DOWN LOCATIONS.



**INTERIOR ELEVATION KEY**



**Exhibit 3**  
**Page 3 of 4**











EXTERIOR ELEVATION NOTES

- DO NOT SCALE DRAWINGS.
- REFER TO GENERAL NOTES FOR ADDITIONAL REQUIRED INFORMATION.
- ALL RIDGE ELEVATIONS ARE TO TOP OF FINISH MATERIAL.
- PROVIDE MOCK-UP OF ROOFING, EXTERIOR PLASTER FINISH COLOR AND TEXTURE, GUTTER AND DOWN SPOUT PAINT COLOR, AND EXTERIOR WINDOW AND DOOR FRAME FINISH FOR ARCHITECTS APPROVAL PRIOR TO CONSTRUCTION.
- BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET AND BEACHFRONT AND TO BE A MINIMUM OF 4" HIGH X 1" WIDE NONCOMBUSTIBLE, CONTRASTING MATERIALS OR PER LOCAL CITY AND FIRE DEPARTMENT REQUIREMENTS.
- REFER TO LANDSCAPE DRAWINGS FOR THE HARDSCAPE PAVING MATERIAL PLAN, SOFTSCAPE PLANTING PLAN, IRRIGATION PLAN, GARDEN WALLS, EXTERIOR GUARDRAILS AND HANDRAILS, FENCES, GATES, SWIMMING POOL AND SPA PLAN, ETC.
- OWNER TO RETAIN THE SERVICES OF AN INDEPENDENT QUALIFIED WATERPROOFING CONSULTANT TO FIELD INSPECT AND APPROVE ALL WATERPROOFING SYSTEMS INSTALLATIONS.

EXTERIOR ELEVATION KEYNOTES

- A** ROOFING MATERIAL:  
FACTORY FINISHED STANDING SEAM METAL  
ROOFING, 24 GAUGE MINIMUM BASIS OF DESIGN;  
"BERTRIDGE" CURVED TEE-PANEL.  
  
CLASS "A" ASSEMBLY - UL-730 & UL-90  
  
NOTE: ROOF COLOR SHALL BE UNIFORM AND FINAL  
COLOR TO BE SELECTED BY THE ARCHITECT.
- B** WINDOWS  
MANUFACTURE: KAWNEER OR APPROVED EQUAL  
FINISH: ALUMINUM SASH  
COLOR: POLISHED ALUMINUM
- C** MAIN ENTRY DOOR  
MATERIAL: ALUMINUM CLAD  
FINISH: POLISHED ALUMINUM  
NOTE: FINAL DESIGN MAY VARY FROM  
PROPOSED DESIGN.
- D** EXTERIOR PLASTER  
MANUFACTURE: OMEGA  
FINISH: SMOOTH STEEL TROWEL  
COLOR: #35 "CLOUD GREY" (OR APPROVED EQUAL)  
NOTE: EXTERIOR LATH AND PLASTER SHALL CONFORM TO  
2013 CRC SECTIONS 7036 THRU 7036.5. PROVIDE  
FIBERGLASS ANTI-CRACKING MESH WITH DRYBOND  
CEMENTIOUS BINDER COAT AND TOP COAT OF POLYBOND  
CEMENT ACRYLIC COATING.
- E** GARAGE DOORS  
MANUFACTURE: MARTIN "ATHENA" OR EQUAL  
MATERIAL: ALUMINUM AND WHITE LAMINATED GLASS  
FINISH: POLISHED METALLIC ALUMINUM BY FACTORY
- F** DOORS  
MANUFACTURE: KAWNEER OR APPROVED EQUAL  
FINISH: ALUMINUM FRAMED TEMPERED GLASS  
COLOR: POLISHED ALUMINUM
- G** GUTTERS AND DOWNSPOUTS:  
MATERIAL: GALV. METAL  
FINISH: PAINTED TO MATCH ROOFING  
GUTTER SIZE: 6" CONTINUOUS, HALF-ROUND,  
NON-EXTRUDED  
DOWNSPOUTS SIZE: 4" ROUND W/ SWEEPING CURVES  
NOTE: ALL GUTTERS TO HAVE GUTTER GUARDS PER  
2013 CRC R3275.4
- H** BALCONY RAILING  
MATERIAL: STRUCTURAL BRD SAFE GLASS  
FINISH: CLEAR  
NOTE: ORNLUX OR APPROVED EQUAL
- J** EXTERIOR LIGHT FIXTURES:  
MATERIAL: PAINTED METAL  
STYLE: WALL BRACKET AND LANTERN



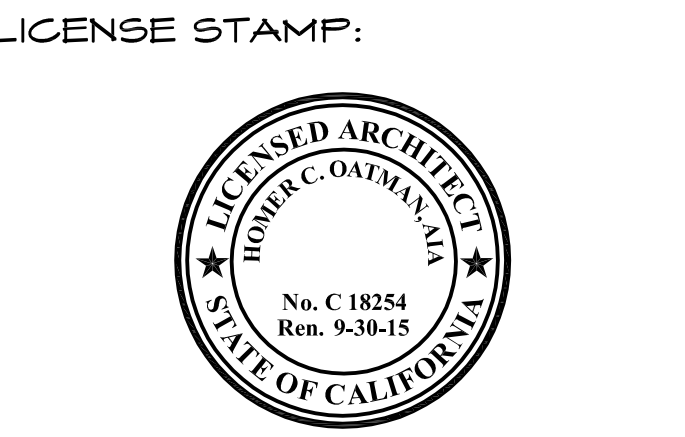
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ARCHITECTS - PLANNING

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**PROJECT TEAM:**

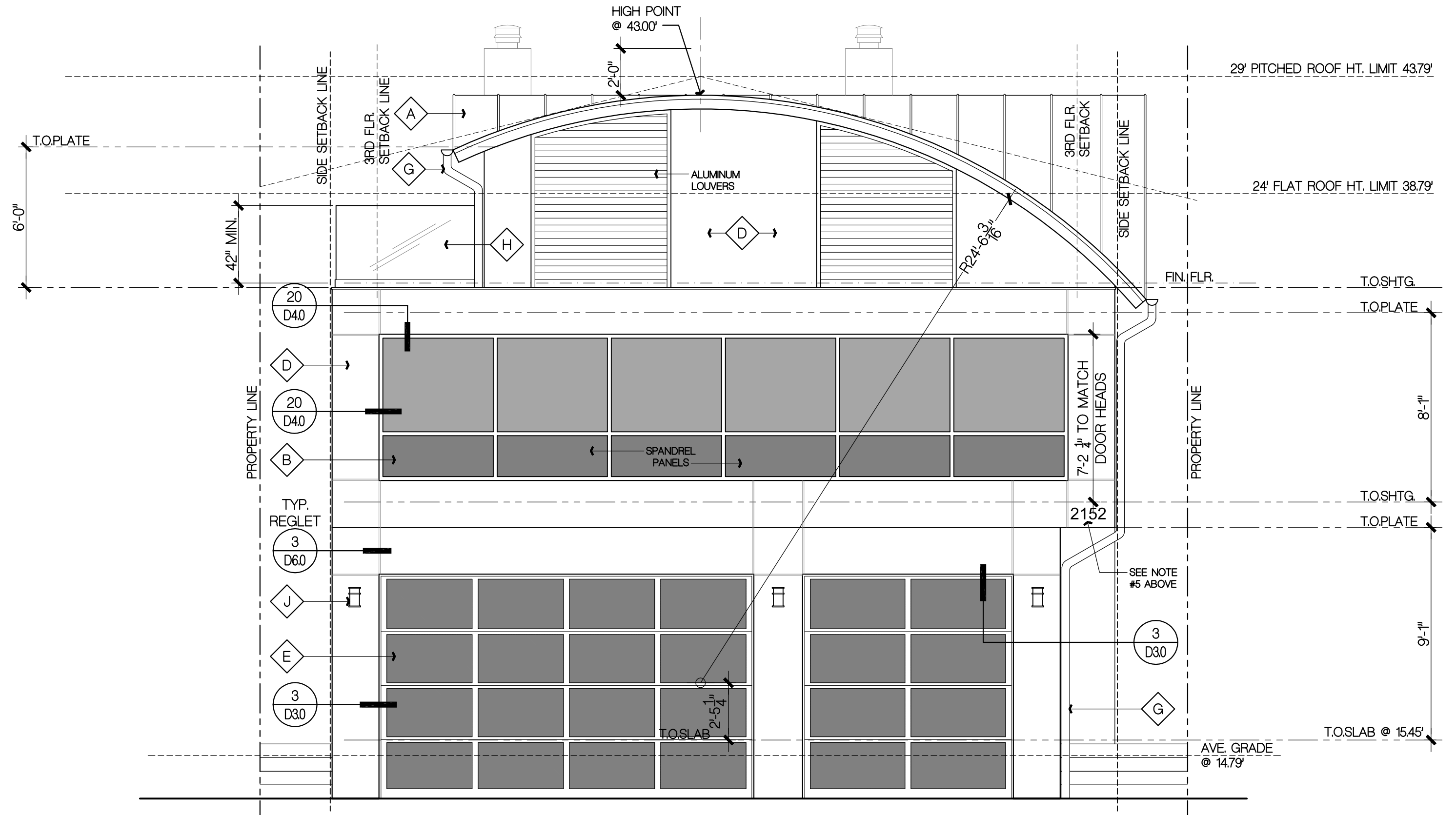
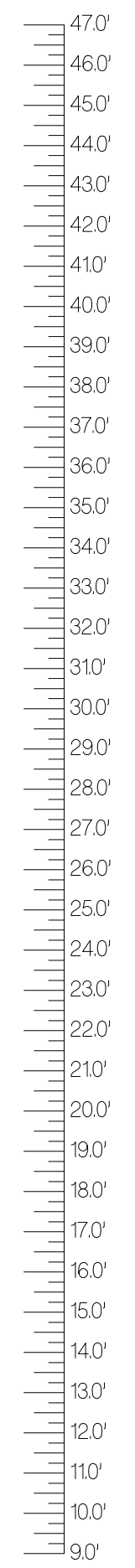
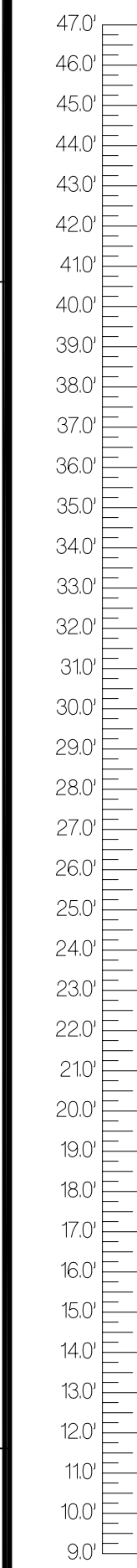
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PRINCIPAL: HOMER OATMAN  
PROJECT DIRECTOR: HOMER OATMAN  
PROJECT DESIGNER: HOMER OATMAN  
PROJECT MANAGER: TODD BALICKI

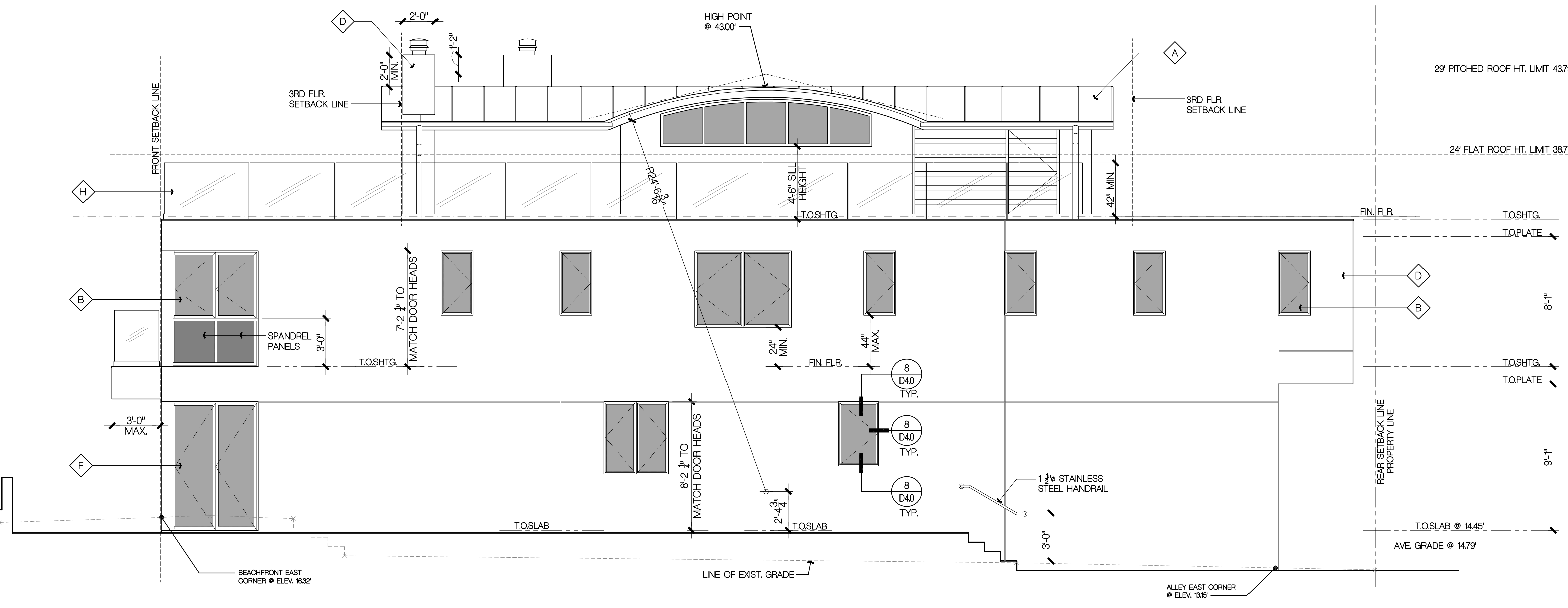
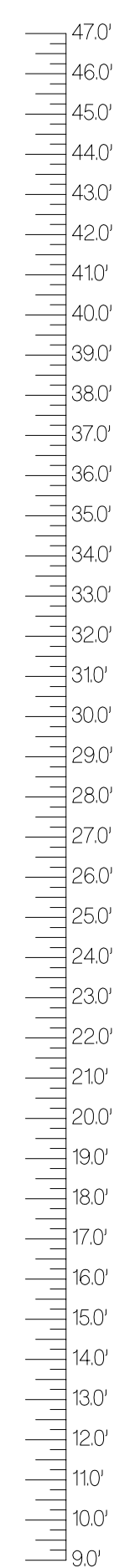
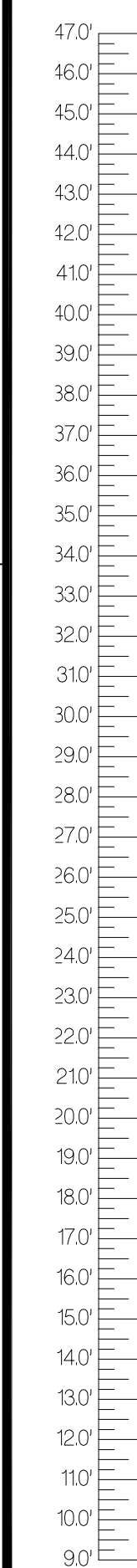


NO.	DATE	DESCRIPTION
7-30-14	CITY A.I.C.	SUBMITTAL
9-5-14	CITY A.I.C.	RESUBMIT

Owner:  
JIM PREVITI  
2152 E OCEANFRONT  
NEWPORT BEACH, CA



REAR (NORTH) EXTERIOR ELEVATION SCALE: 1/4" = 1'-0" 1



RIGHT (EAST) EXTERIOR ELEVATION SCALE: 1/4" = 1'-0" 2

**Exhibit 4**  
**Page 2 of 2**

PROJECT:

**JIM PREVITI**  
**2152 E OCEANFRONT**  
**NEWPORT BEACH, CA**  
APN: 048-282-23

CITY A.I.C. NO.: AIC2014-051  
CITY PLAN CHECK NO.: 2191-2014

Project No: 2014-006

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IT IS THE OWNER AND ITS GENERAL CONTRACTORS RESPONSIBILITY, PRIOR TO OR DURING CONSTRUCTION, TO NOTIFY THE ARCHITECT IMMEDIATELY OF ANY DISCREPANCIES OR INADEQUACIES WITH THE BUILDING CODES AND MEANS METHODS OF CONSTRUCTION. SINGLE CONTRACTOR SHALL BE AWARE, WITHIN REASONABLE LIMITS, OF ANY DISCREPANCIES OR INADEQUACIES WITH THE BUILDING CODES AND MEANS METHODS OF CONSTRUCTION. ERRORS OR OMISSIONS SHALL BE NOTICED FROM THE ARCHITECT PRIOR TO THE OWNER OR OWNER CONTRACTOR PROCEEDING WITH THE WORK. THE OWNER SHALL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

NOTE: THE ORIGINAL SIZE OF THE DRAWING SHEET IS 30"x42"

SHEET TITLE:  
**EXTERIOR ELEVATIONS**

SHEET NO:  
**A-6.1**