

CALIFORNIA COASTAL COMMISSION

South Coast Area Office
200 Oceangate, Suite 1000
Long Beach, CA 90802-4302
(562) 590-5071



Th6a

Filed: 04/04/2016
180th Day: 10/01/2016
Staff: M. Alvarado-LB
Staff Report: 04/21/2016
Hearing Date: 05/12/2016

STAFF REPORT: CONSENT CALENDAR

Application No.: 5-15-2096

Applicant: Adam Stokes

Agent: Shiv Talwar

Location: 614 W. Oceanfront, Newport Beach (Orange County)
(APN 048-024-07)

Project Description: Construction of an approximately 2,284 sq. ft., 29 ft. high three-story single-family residence with an attached 333 sq. ft. two-car garage, a 66 sq. ft. balcony, a 149 sq. ft. covered deck, and hardscape improvements on a vacant beachfront lot.

SUMMARY OF STAFF RECOMMENDATION:

The proposed residential project raises issues regarding hazards concerning beachfront development, compatibility with the existing character of the area, impact to public access, and water quality.

The proposed development has been conditioned to assure that the proposed project is consistent with the Chapter 3 policies of the Coastal Act. The conditions are: **1)** final revised plans; **2)** assumption of risk; **3)** no future shoreline protective device; **4)** future improvements; **5)** geotechnical recommendations; **6)** construction-related requirements and best management practices; **7)** conformance with drainage and run-off control plan; **8)** bird strike protection; and **9)** deed restriction.

Staff is recommending **APPROVAL** of the proposed coastal development permit as conditioned.

Section 30600(c) of the Coastal Act provides for the issuance of coastal development permits directly by the Commission in regions where the local government having jurisdiction does not have a certified Local Coastal Program. The City of Newport Beach only has a certified Land Use Plan and has not exercised the options provided in 30600(b) or 30600.5 to issue its own permits.

5-15-2096 (Stokes)

Therefore, the Coastal Commission is the permit issuing entity and the standard of review is Chapter 3 of the Coastal Act. The certified Land Use Plan may be used for guidance.

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EXHIBITS

Exhibit 1 – Project Location
Exhibit 2 – Aerial
Exhibit 3 – Plans and Elevations

I. MOTION AND RESOLUTION

Motion:

*I move that the Commission **approve** the coastal development permit applications included on the consent calendar in accordance with the staff recommendations.*

Staff recommends a **YES** vote. Passage of this motion will result in approval of all of the permits included on the consent calendar. The motion passes only by affirmative vote of a majority of the Commissioners present.

Resolution:

The Commission hereby approves a coastal development permit for the proposed development and adopts the findings set forth below on grounds that the development as conditioned will be in conformity with the policies of Chapter 3 of the Coastal Act and will not prejudice the ability of the local government having jurisdiction over the area to prepare a Local Coastal Program conforming to the provisions of Chapter 3. Approval of the permit complies with the California Environmental Quality Act because either 1) feasible mitigation measures and/or alternatives have been incorporated to substantially lessen any significant adverse effects of the development on the environment, or 2) there are no further feasible mitigation measures or alternatives that would substantially lessen any significant adverse impacts of the development on the environment.

II. STANDARD CONDITIONS:

This permit is granted subject to the following standard conditions:

1. **Notice of Receipt and Acknowledgment.** The permit is not valid and development shall not commence until a copy of the permit, signed by the permittee or authorized agent, acknowledging receipt of the permit and acceptance of the terms and conditions, is returned to the Commission office.
2. **Expiration.** If development has not commenced, the permit will expire two years from the date on which the Commission voted on the application. Development shall be pursued in a diligent manner and completed in a reasonable period of time. Application for extension of the permit must be made prior to the expiration date.
3. **Interpretation.** Any questions of intent of interpretation of any condition will be resolved by the Executive Director or the Commission.
4. **Assignment.** The permit may be assigned to any qualified person, provided assignee files with the Commission an affidavit accepting all terms and conditions of the permit.

5. **Terms and Conditions Run with the Land.** These terms and conditions shall be perpetual, and it is the intention of the Commission and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.

III. SPECIAL CONDITIONS:

This permit is granted subject to the following special conditions:

1. **Final Plans and Sea Level Rise Adaptation Measures.** PRIOR TO ISSUANCE OF THE COASTAL DEVELOPMENT PERMIT, the applicant shall submit, for the review and approval of the Executive Director, two (2) sets of final plans. The final project plans shall incorporate plans and accompanying analysis of potential adaptation measures to minimize hazards to life and property from potential flooding from sea level rise (up to 5.5 feet) including but not limited to, flood proofing the first floor, elevating the structure, sand bags and, if the site is flooded regularly during routine high tides, possibly converting the lowest building level to non-habitable uses. The final project plans shall be in substantial conformance with the plans submitted December 15, 2015 to the South Coast District Office. The revised plans submitted to the Executive Director shall bear evidence of Approval-in-Concept of the revised design from the City of Newport Beach Community Development Department.

The applicant shall undertake development in accordance with the approved final plans. Any proposed changes to the approved final plans shall be reported to the Executive Director. No changes to the approved final plans shall occur without a Commission amendment to this Coastal Development Permit unless the Executive Director determines that no amendment is legally required.

2. **Assumption of Risk, Waiver of Liability and Indemnity.** By acceptance of this permit, the applicant(s) acknowledges and agrees (i) that the site may be subject to hazards from waves, erosion, storm conditions, liquefaction, flooding and sea level rise; (ii) to assume the risks to the applicant(s) and the property that is the subject of this permit of injury and damage from such hazards in connection with this permitted development; (iii) to unconditionally waive any claim of damage or liability against the Commission, its officers, agents, and employees for injury or damage from such hazards; and (iv) to indemnify and hold harmless the Commission, its officers, agents, and employees with respect to the Commission's approval of the project against any and all liability, claims, demands, damages, costs (including costs and fees incurred in defense of such claims), expenses, and amounts paid in settlement arising from any injury or damage due to such hazards.
3. **No Future Shoreline Protective Device.**
- A. By acceptance of this permit, the applicant(s) agrees, on behalf of himself and all other successors and assigns, that no shoreline protective device(s) shall ever be constructed to protect the development approved pursuant to Coastal Development Permit No. 5-15-2096 including, but not limited to, the residence, garage, foundations, and patio, and any future improvements, in the event that the development is threatened with damage or destruction from waves, erosion, storm conditions, liquefaction, flooding, sea level rise, or other natural hazards in the future. By acceptance of this permit, the applicant(s) and

landowner(s) hereby waives, on behalf of himself and all successors and assigns, any rights to construct such devices that may exist under Public Resources Code Section 30235.

- B. By acceptance of this permit, the applicant(s) further agrees, on behalf of himself and all successors and assigns that the landowners shall remove the development authorized by this permit, including the residence, garage, foundations, and patio, if any government agency has ordered that the structure is not to be occupied due to any of the hazards identified above. In the event that portions of the development fall to the beach before they are removed, the landowner(s) shall remove all recoverable debris associated with the development from the beach and ocean and lawfully dispose of the material in an approved disposal site. Such removal shall require a coastal development permit.

- 4. Future Development.** This permit is only for the development described in Coastal Development Permit No. 5-15-2096. Pursuant to Title 14 California Code of Regulations Section 13250(b)(6), the exemptions otherwise provided in Public Resources Code Section 30610(a) shall not apply to the development governed by Coastal Development Permit No. 5-15-2096. Accordingly, any future improvements to the single-family house authorized by this Coastal Development Permit No. 5-15-2096, including but not limited to repair and maintenance identified as requiring a permit in Public Resources Section 30610(d) and Title 14 California Code of Regulations Sections 13252(a)-(b), shall require an amendment to Permit No. 5-15-2096 from the Commission or shall require an additional coastal development permit from the Commission or from the applicable certified local government.
- 5. Recommendations of the Geotechnical Report.** All final design and construction plans shall be consistent with all recommendations contained in the *Geotechnical Investigation Report, 614 West Oceanfront, Newport Beach, California* prepared by Geoboden, Inc., dated October 26, 2015. Any proposed changes to the approved plan shall be reported to the Executive Director. No changes to the approved plan shall occur without a Commission amendment to this coastal development permit unless the Executive Director determines that no amendment is legally required.
- 6. Storage of Construction Materials, Mechanized Equipment and Removal of Construction Debris**

The permittee shall comply with the following construction-related requirements:

- (a) No demolition or construction materials, debris, or waste shall be placed or stored where it may enter sensitive habitat, receiving waters or a storm drain, or be subject to wave, wind, rain, or tidal erosion and dispersion.
- (b) No demolition or construction equipment, materials, or activity shall be placed in or occur in any location that would result in impacts to environmentally sensitive habitat areas, streams, wetlands or their buffers.
- (c) Any and all debris resulting from demolition or construction activities shall be removed from the project site within 24 hours of completion of the project.

- (d) Demolition or construction debris and sediment shall be removed from work areas each day that demolition or construction occurs to prevent the accumulation of sediment and other debris that may be discharged into coastal waters.
- (e) All trash and debris shall be disposed in the proper trash and recycling receptacles at the end of every construction day.
- (f) The applicant(s) shall provide adequate disposal facilities for solid waste, including excess concrete, produced during demolition or construction.
- (g) Debris shall be disposed of at a legal disposal site or recycled at a recycling facility. If the disposal site is located in the coastal zone, a coastal development permit or an amendment to this permit shall be required before disposal can take place unless the Executive Director determines that no amendment or new permit is legally required.
- (h) All stock piles and construction materials shall be covered, enclosed on all sides, shall be located as far away as possible from drain inlets and any waterway, and shall not be stored in contact with the soil.
- (i) Machinery and equipment shall be maintained and washed in confined areas specifically designed to control runoff. Thinners or solvents shall not be discharged into sanitary or storm sewer systems.
- (j) The discharge of any hazardous materials into any receiving waters shall be prohibited.
- (k) Spill prevention and control measures shall be implemented to ensure the proper handling and storage of petroleum products and other construction materials. Measures shall include a designated fueling and vehicle maintenance area with appropriate berms and protection to prevent any spillage of gasoline or related petroleum products or contact with runoff. The area shall be located as far away from the receiving waters and storm drain inlets as possible.
- (l) Best Management Practices (BMPs) and Good Housekeeping Practices (GHPs) designed to prevent spillage and/or runoff of demolition or construction-related materials, and to contain sediment or contaminants associated with demolition or construction activity, shall be implemented prior to the on-set of such activity.
- (m) All BMPs shall be maintained in a functional condition throughout the duration of construction activity.

7. Conformance with the submitted Drainage and Run-Off Control Plan. The applicant(s) shall conform to the drainage and run-off control plan submitted on October 15, 2015 to the South Coast Region office showing roof drainage and paved walkways designed to slope into French drains at the front and back sides of the property. Any proposed changes to the approved plan shall be reported to the Executive Director. No changes to the approved plan shall occur without a Commission amendment to this coastal development permit unless the Executive Director determines that no amendment is required.

8. Bird Strike Prevention.

Ocean front deck railing systems, fences, screen walls and gates subject to this permit shall use materials designed to minimize bird-strikes with the deck railing, fence, or gate. Such materials may consist, all or in part, of wood; wrought iron; frosted or partially-frosted glass, Plexiglas or other visually permeable barriers that are designed to prevent creation of a bird strike hazard. Clear glass or Plexiglas shall not be installed unless they contain UV-reflective glazing that is visible to birds or appliques (e.g. stickers/decals) designed to reduce bird-strikes by reducing reflectivity and transparency are also used. Any appliques used shall be installed to provide coverage consistent with manufacturer specifications (e.g. one applique for every 3 foot by 3 foot area) and the recommendations of the Executive Director. Use of opaque or partially opaque materials is preferred to clean glass or Plexiglas and appliques. All materials and appliques shall be maintained throughout the life of the development to ensure continued effectiveness at addressing bird strikes and shall be maintained at a minimum in accordance with manufacturer specifications and as recommended by the Executive Director.

A. PRIOR TO ISSUANCE OF THE COASTAL DEVELOPMENT PERMIT, the permittee shall submit final revised plans showing the location, design, height and materials of fences, screen walls and gates, and reflecting the requirements of this special condition for the review and approval of the Executive Director.

B. The permittee shall undertake development in accordance with the approval final plans. Any proposed changes to the approved final plans shall be reported to the Executive Director. No changes to the approved final plans shall occur without a Commission amendment to this coastal development permit unless the Executive Director determines that no amendment is legally required.

9. Deed Restriction PRIOR TO ISSUANCE OF THE COASTAL DEVELOPMENT

PERMIT, the applicant(s) shall submit to the Executive Director for review and approval documentation demonstrating that the landowner(s) have executed and recorded against the parcel(s) governed by this permit a deed restriction, in a form and content acceptable to the Executive Director: (1) indicating that, pursuant to this permit, the California Coastal Commission has authorized development on the subject property, subject to terms and conditions that restrict the use and enjoyment of that property; and (2) imposing the Special Conditions of this permit as covenants, conditions and restrictions on the use and enjoyment of the Property. The deed restriction shall include a legal description of the entire parcel or parcels governed by this permit. The deed restriction shall also indicate that, in the event of an extinguishment or termination of the deed restriction for any reason, the terms and conditions of this permit shall continue to restrict the use and enjoyment of the subject

property so long as either this permit or the development it authorizes, or any part, modification, or amendment thereof, remains in existence on or with respect to the subject property.

IV. FINDINGS AND DECLARATIONS:

A. PROJECT DESCRIPTION & LOCATION

The applicant proposes to construct an approximately 2,284 sq. ft., 29 ft. high three-story single-family residence with an attached 333 sq. ft. two-car garage, a 66 sq. ft. balcony, a 149 sq. ft. covered deck, and hardscape improvements on a vacant beachfront lot (**Exhibit 3**). Hardscape improvements include fencing and new concrete paving. No landscaping is proposed. To address water quality concerns, the applicant proposes to direct site drainage and runoff from roof drains, gutters, and downspouts to rain barrels and direct the overflow to a continuous trench drain at the side of the property fronting the alley for onsite retention and infiltration. The applicant has indicated that the project will comply with the applicable water efficiency and conservation measures of the City of Newport Beach's adopted CALGreen standards concerning efficient fixtures and appliances.

The subject site is located at 614 W. Oceanfront within the City of Newport Beach, Orange County (**Exhibit 1 & 2**). The lot area is 2,100 sq. ft. and the City of Newport Beach Land Use Plan (LUP) designates use of the site for Single-Unit Residential Detached (RSD). The proposed project adheres to this designation. The project site is on a beachfront lot located within an existing urban residential area, between the Newport Pier and Balboa Pier, and between the first public road and the sea (**Exhibit 1 & 2**). There is an approximately 500-foot wide sandy beach between the subject property and the Pacific Ocean.

The plans for the proposed project show that the finished floor elevation of the residence will be at 11.75 feet. The project has been designed to be above the maximum observed water elevation of +7.51 feet NAVD88 and above the City of Newport Beach design flood height of +9.0 feet NAVD88. While the finished floor will be at 11.75 feet, 4.24 feet above the maximum highest water elevation, the proposed development has been designed for a 3 foot rise in sea level which is the National Research Council's projection for Los Angeles for the year 2100. A 3 foot rise in sea level would result in still water level of 10.51 feet NAVD88 (7.51 feet NAVD88 + 3 feet = 10.51 feet NAVD88). However, the proposed finished floor would be below the upper range (maximum) of sea level rise projections by 2100, which based on the 2012 National Research Council Report, is 5.5 feet. If there were to be 5.5 feet of sea level rise, an extreme high tide water level of 13.01 feet (7.51 feet + 5.5 feet = 13.01 feet MLLW) would flood the entire site and even an average high tide could exceed the elevation of the proposed finished floor elevation.

To minimize risks to life and property from sea level rise-related flood hazards, **Special Condition 1** also requires the applicant identify adaptation measures to deal with potential flooding in the event that the foundation is overtopped. Such adaptation may not result in the installation of or reliance upon shoreline armoring. Acceptable adaptation options could include implementing measures such as flood proofing the first floor, elevating the structure, temporary barriers such as sand bagging, converting the lower floor to non-habitable uses, etc. In the future, other flood-

reduction options may have been developed; however it is important to demonstrate now that there are options other than shoreline armoring for future adaptation. Also, **Special Condition 2** requires the applicant to accept responsibility for all hazards associated with coastal development.

Given that the applicant has chosen to implement the project on a beachfront lot despite risks from liquefaction, wave attack, erosion, sea level rise, and storm flooding, the applicant must assume the risks and agree to no future shoreline protective devices. Therefore, the Commission imposes **Special Conditions 2 and 3**. Any future improvements to the single-family house authorized by this Coastal Development Permit No. 5-15-2096, including but not limited to repair and maintenance identified as requiring a permit, will require an amendment to Permit No. 5-15-2096 from the Commission as imposed by **Special Condition 4**. The Commission imposes **Special Condition 5** to ensure consistency with the geotechnical recommendations. In addition, because the project site is on a beachfront lot and in proximity to coastal waters, the Commission imposes construction-related requirements and best management practices under **Special Condition 6**, and to address water quality, imposes **Special Condition 7** to prevent pollution of the coast.

The proposed project will not have an adverse effect on public access. The project site is located on the inland portion of Oceanfront fronted by the City's paved public lateral access way (boardwalk). The Commission has found through previous permit actions in this area that the City's setback in this area is acceptable for maintaining public access. The proposed project is consistent with the City's 5-foot required setback from the seaward property line. Vertical public access to this beach is available to the adjacent north at the end of 7th street and to the adjacent south at the end of 6th street. Lateral public access is available along the boardwalk and wide sandy beach seaward of the subject site (**Exhibit 1 & 2**).

Due to the oceanfront location of the proposed development, there is a substantial risk of bird strikes. Clear glass walls are known to have adverse impacts upon a variety of bird species. Birds are known to strike glass walls causing their death or stunning them, which exposes them to predation. Birds strike the glass because they either do not see the glass, or there is some type of reflection in the glass which attracts them (such as the reflection of bushes or trees that the bird might use for habitat.). To ensure that bird strike prevention measures are implemented, Commission Staff recommends **Special Condition 8**.

The Commission imposes **Special Condition 9** requiring the applicant to record a Deed Restriction acknowledging that, pursuant to this permit (CDP No. 5-15-2096), the California Coastal Commission has authorized development on the subject property, subject to terms and conditions that restrict the use and enjoyment of that property; and (2) imposing the Special Conditions of this permit as covenants, conditions and restrictions on the use and enjoyment of the Property.

B. HAZARDS

Development adjacent to the ocean is inherently hazardous. Development which may require a protective device in the future cannot be allowed due to the adverse impacts such devices have upon, among other things, public access, visual resources and shoreline processes. To minimize the project's impact on shoreline processes, and to minimize risks to life and property, the development has been conditioned to: require an appropriate set-back from the water; adherence to the geotechnical recommendations; prohibit construction of protective devices (such as a seawall) in the future; and to require that the landowner and any successor-in-interest assume the risk of

undertaking the development. As conditioned, the Commission finds that the development conforms to the requirements of Sections 30235 and 30253 of the Coastal Act regarding the siting of development in hazardous locations.

C. DEVELOPMENT

The development is located within an existing developed area and is compatible with the character and scale of the surrounding area. However, the proposed project raises concerns that future development of the project site potentially may result in a development which is not consistent with the Chapter 3 policies of the Coastal Act. To assure that future development is consistent with the Chapter 3 policies of the Coastal Act, the Commission finds that a future improvements special condition must be imposed. As conditioned the development conforms with the Chapter 3 policies of the Coastal Act.

D. PUBLIC ACCESS

The proposed development will not affect the public's ability to gain access to, and/or to use the coast and nearby recreational facilities. Therefore, as proposed the development, as conditioned, conforms to Sections 30210 through 30214, Sections 30220 through 30224, and 30252 of the Coastal Act.

E. WATER QUALITY

The proposed development has a potential for a discharge of polluted runoff from the project site into coastal waters. The development, as proposed and as conditioned, incorporates design features to minimize the effect of construction and post-construction activities on the marine environment. These design features include, but are not limited to, one or more of the following: the appropriate management of equipment and construction materials, reducing runoff through installation of roof drains, gutters, downspouts, and a drainage system to rain barrels and storm water runoff to trench drains. Post-construction best management practices should minimize the project's potential adverse impact on coastal waters. Therefore, the Commission finds that the proposed development, as conditioned, conforms to Sections 30230 and 30231 of the Coastal Act regarding the protection of water quality to promote the biological productivity of coastal waters and to protect human health.

F. DEED RESTRICTION

To ensure that any prospective future owners of the property are made aware of the applicability of the conditions of this permit, the Commission imposes one additional condition requiring that the property owner record a deed restriction against the property, referencing all of the above Special Conditions of this permit and imposing them as covenants, conditions and restrictions on the use and enjoyment of the Property. Thus, as conditioned, this permit ensures that any prospective future owner will receive actual notice of the restrictions and/or obligations imposed on the use and enjoyment of the land in connection with the authorized development, including the risks of the development and/or hazards to which the site is subject, and the Commission's immunity from liability.

G. LOCAL COASTAL PROGRAM (LCP)

Coastal Act section 30604(a) states that, prior to certification of a local coastal program ("LCP"), a coastal development permit can only be issued upon a finding that the proposed development is in conformity with Chapter 3 of the Act and that the permitted development will not prejudice the

ability of the local government to prepare an LCP that is in conformity with Chapter 3. The Land Use Plan for the City of Newport Beach was effectively certified on May 19, 1982. The certified LUP was updated on October 2005. As conditioned, the proposed development is consistent with Chapter 3 of the Coastal Act and with the certified Land Use Plan for the area. Approval of the project, as conditioned, will not prejudice the ability of the local government to prepare an LCP that is in conformity with the provisions of Chapter 3 of the Coastal Act.

H. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

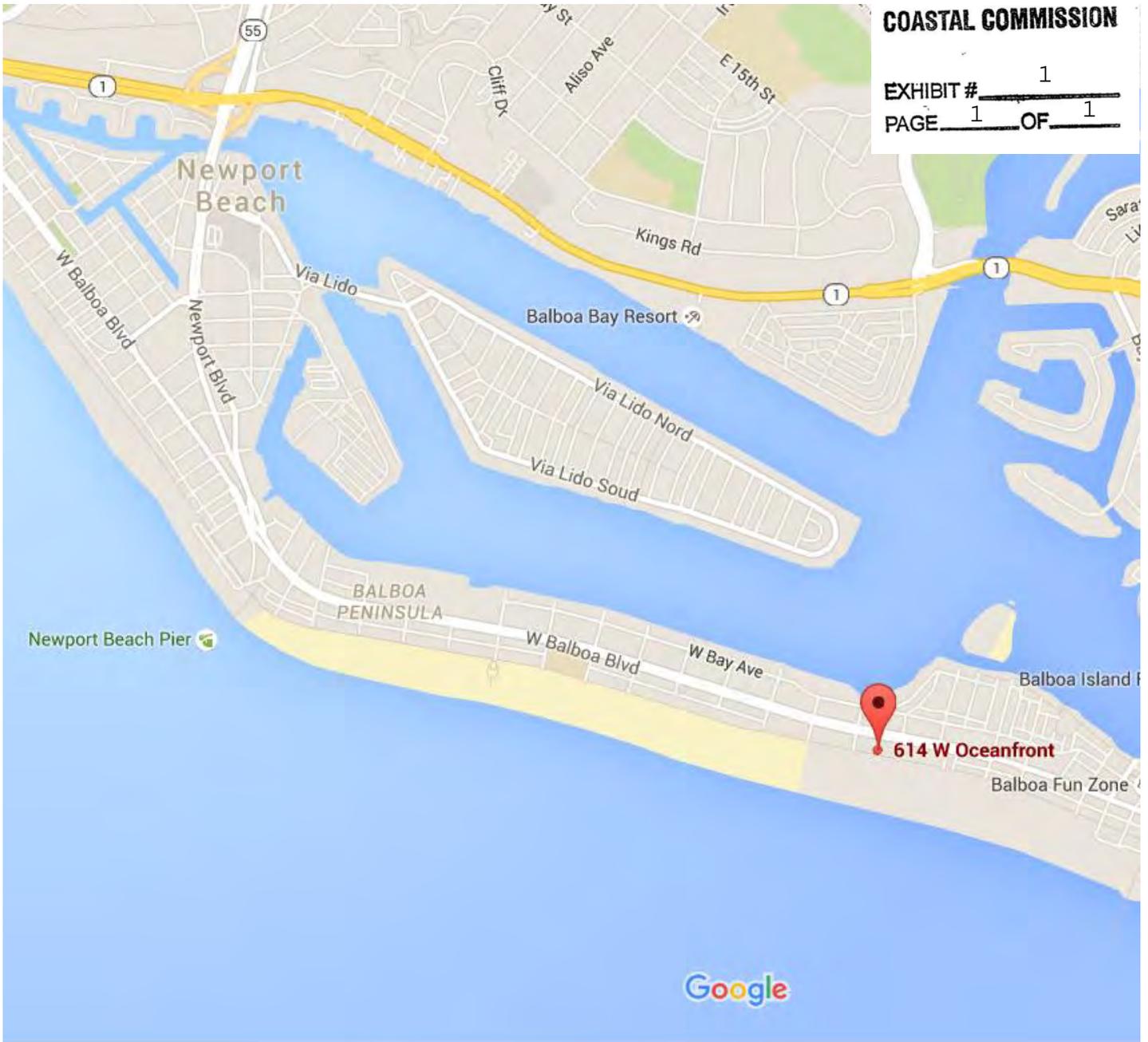
As conditioned, there are no feasible alternatives or additional feasible mitigation measures available that would substantially lessen any significant adverse effect that the activity may have on the environment. Therefore, the Commission finds that the proposed project, as conditioned to mitigate the identified impacts, is the least environmentally damaging feasible alternative and can be found consistent with the requirements of the Coastal Act to conform to CEQA.

Appendix A - Substantive File Documents

- City of Newport Beach certified Land Use Plan
- *Report of Coastal Hazards Analysis, Proposed Residential Development, 614 West Oceanfront, Newport Beach, California* by Geoboden, Inc. dated 02/08/2016.
- *Addendum to Report of Coastal Hazards Analysis, Proposed Residential Development, 614 West Oceanfront, Newport Beach, California (Geoboden Project Oceanfront 2-01)* by Geoboden, Inc. dated 04/04/2016.
- City of Newport Beach Approval-in-Concept No. AIC2015078, dated 12/10/2015
- Coastal Development Permit Application No. 5-15-2096
- *Geotechnical Investigation Report, 614 West Oceanfront, Newport Beach, California* prepared by Geoboden, Inc., dated October 26, 2015

COASTAL COMMISSION

EXHIBIT # 1
PAGE 1 OF 1



COASTAL COMMISSION

EXHIBIT # 2
PAGE 1 OF 1

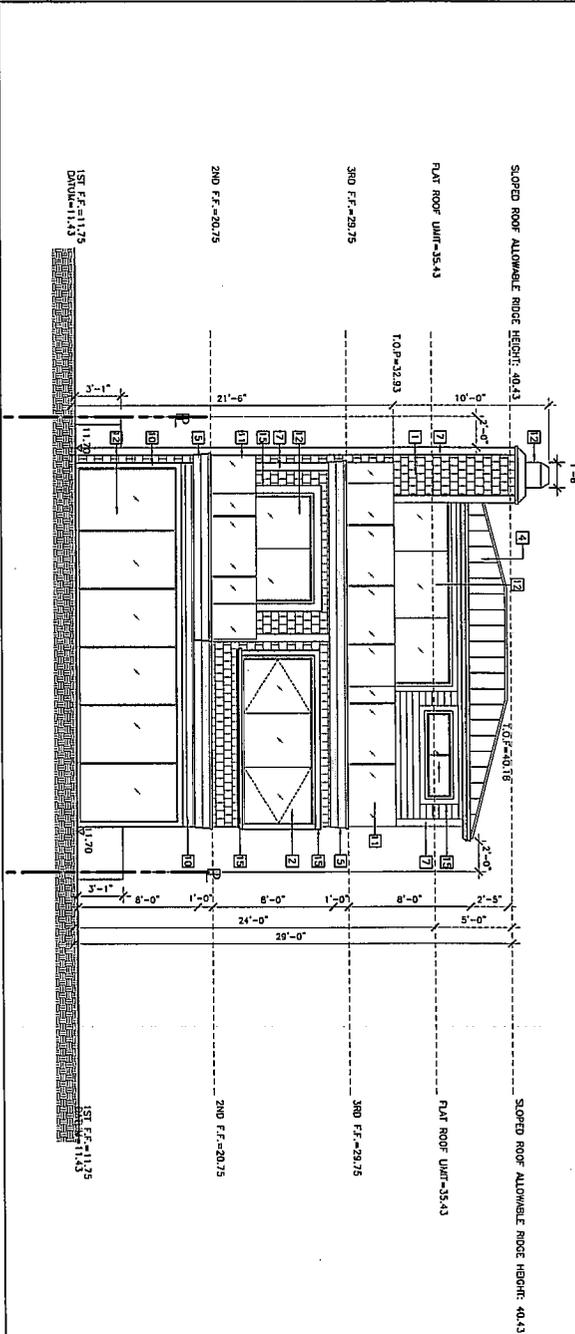


ELEVATION KEYNOTES

1. SHINGLE SIDING
2. SHINGLE SIDING
3. SHINGLE SIDING
4. SHINGLE SIDING
5. SHINGLE SIDING
6. SHINGLE SIDING
7. SHINGLE SIDING
8. SHINGLE SIDING
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13. SHINGLE SIDING
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17. SHINGLE SIDING
18. SHINGLE SIDING
19. SHINGLE SIDING

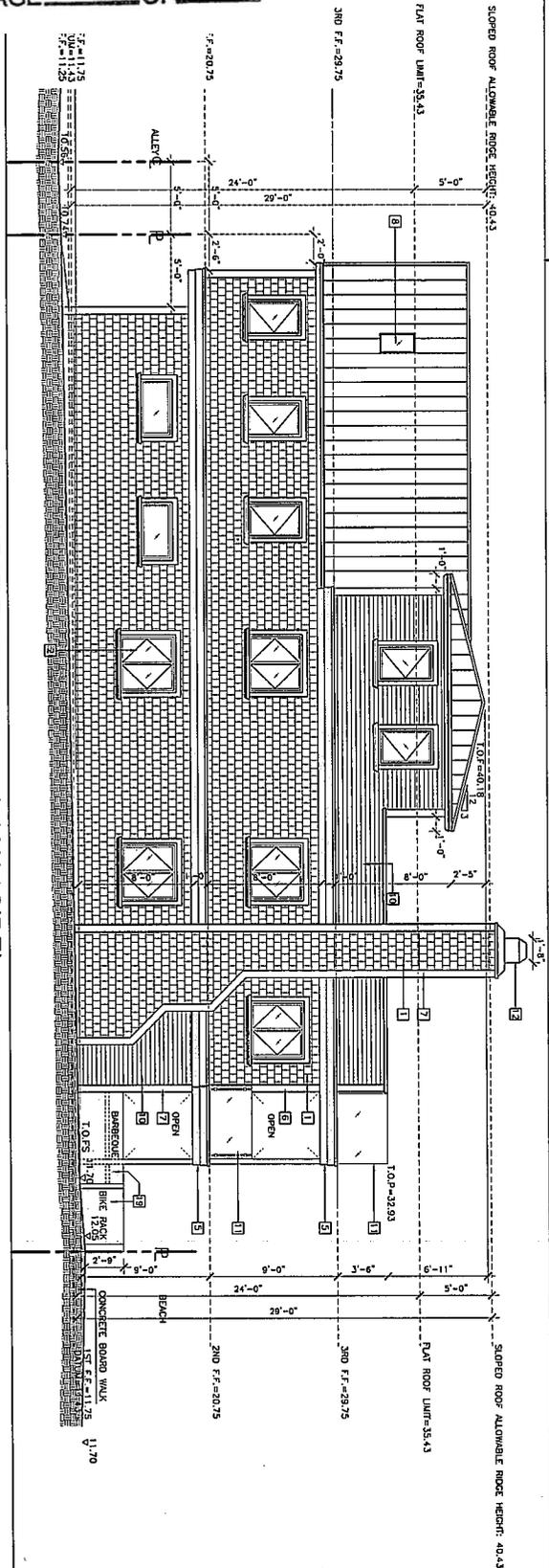
SOUTH ELEVATION (OCEAN SIDE)

SCALE: 1/4"=1'-0"



WEST ELEVATION (RIGHT SIDE)

SCALE: 1/4"=1'-0"



DESIGN CONCEPTS
SHIV TALWAR, ARCHITECT AIA
3340 RIVERSIDE DR. #M, CHINO, CA 91710
TEL: 909-591-3939 Email: dsignconcepts@yahoo.com

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NO.	DATE	ISSUED

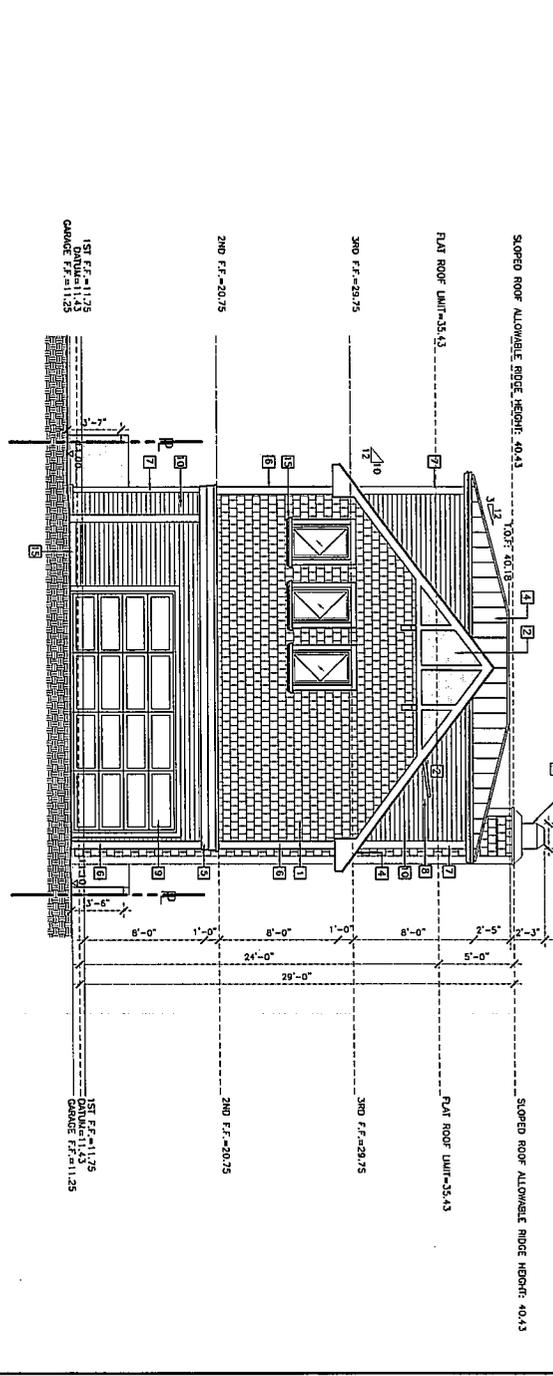
DRAWING TITLE: PROPOSED ELEVATIONS
JOB TITLE: STOKES RESIDENCE
JOB ADDRESS: 814 W OCEANFRONT NEWPORT BEACH CA 92661
JOB NO: 2015-21
DATE: 2015-21
DWG NO: A3

ELEVATION KEYNOTES

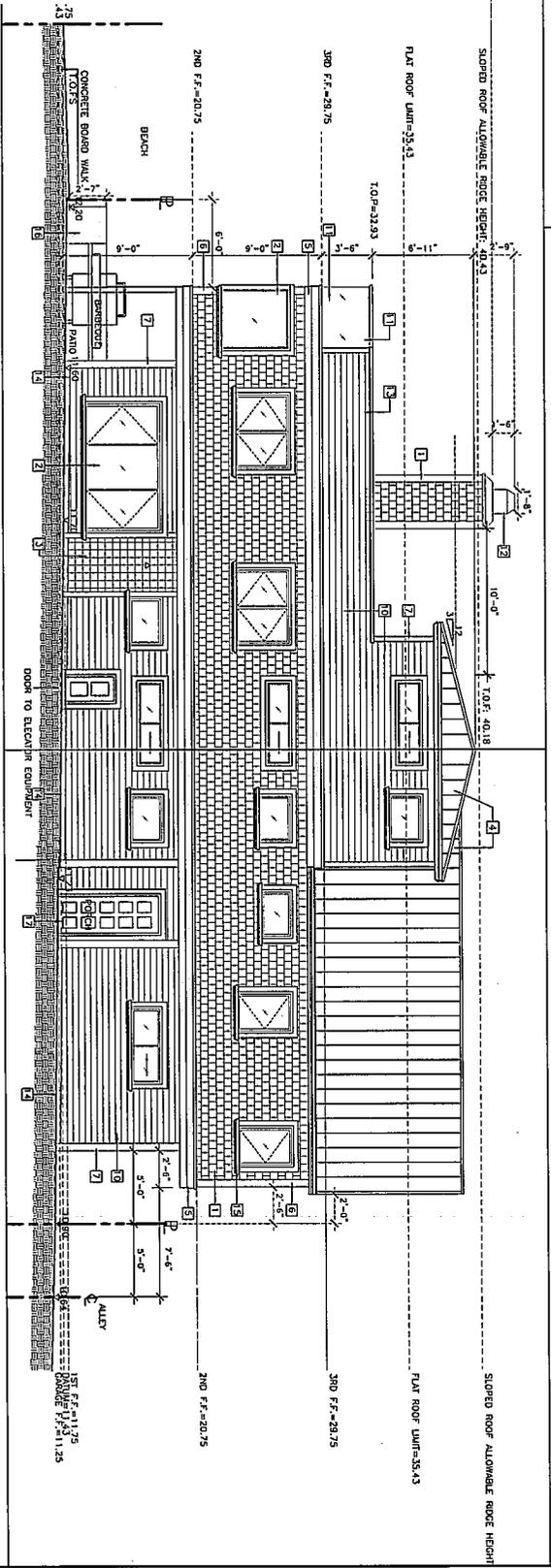
1. SINGLE SIDING
2. MANUFACTURER: CERTAINTED CORPORATION
3. STYLE: CEDAR IMPRESSIONS 6 1/4" H&F-RAMP SIDING
4. COLOR: BLACK
5. LOW ENERGY EFFICIENT WINDOW
6. DUAL GLAZE
7. LOW E ENERGY EFFICIENT WINDOW
8. APPROVED SEAMLESS METAL ROOFING SYSTEM
9. CEILING: TILE WALL AND FLOOR FINISH AT THE EXTERIOR SHOWER AREA
10. MANUFACTURER: PARAL, MODEL NUMBER: 172 SSR SERIES
11. MANUFACTURER: PARAL, MODEL NUMBER: 172 SSR SERIES
12. MANUFACTURER: CERTAINTED CORPORATION
13. MANUFACTURER: CERTAINTED CORPORATION
14. CERTAINTED TRIMBORNS PAINT CO. MODEL NUMBER: 172 SSR SERIES
15. CERTAINTED TRIMBORNS PAINT CO. MODEL NUMBER: 172 SSR SERIES
16. CERTAINTED TRIMBORNS PAINT CO. MODEL NUMBER: 172 SSR SERIES
17. CERTAINTED TRIMBORNS PAINT CO. MODEL NUMBER: 172 SSR SERIES
18. CERTAINTED TRIMBORNS PAINT CO. MODEL NUMBER: 172 SSR SERIES

LEGEND

1. T.O.F. TOP OF ROOF
2. F.F. FINISH FLOOR
3. F.F. FINISH CEILING
4. T.O.F.S. TOP OF FINISH SURFACE
5. F.G. FINISH GRADE
6. N.G. NATIVE GRADE



NORTH ELEVATION (REAR SIDE)
SCALE: 1/4"=1'-0"



EAST ELEVATION (LEFT SIDE)
SCALE: 1/4"=1'-0"

DWG. NO.	REVISION NO.	NO.	DATE	ISSUED
A4				

DESIGN CONCEPTS
SHIV TALWAR, ARCHITECT AIA
3340 RIVERSIDE DR. #M, CHINO, CA 91710
TEL: 909-591-3939 Email: dsignconcepts@yahoo.com

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DRAWING TITLE
PROPOSED ELEVATIONS
JOB TITLE
STOKES RESIDENCE
JOB ADDRESS
614 W. OCEANFRONT
NEWPORT BEACH CA 92661

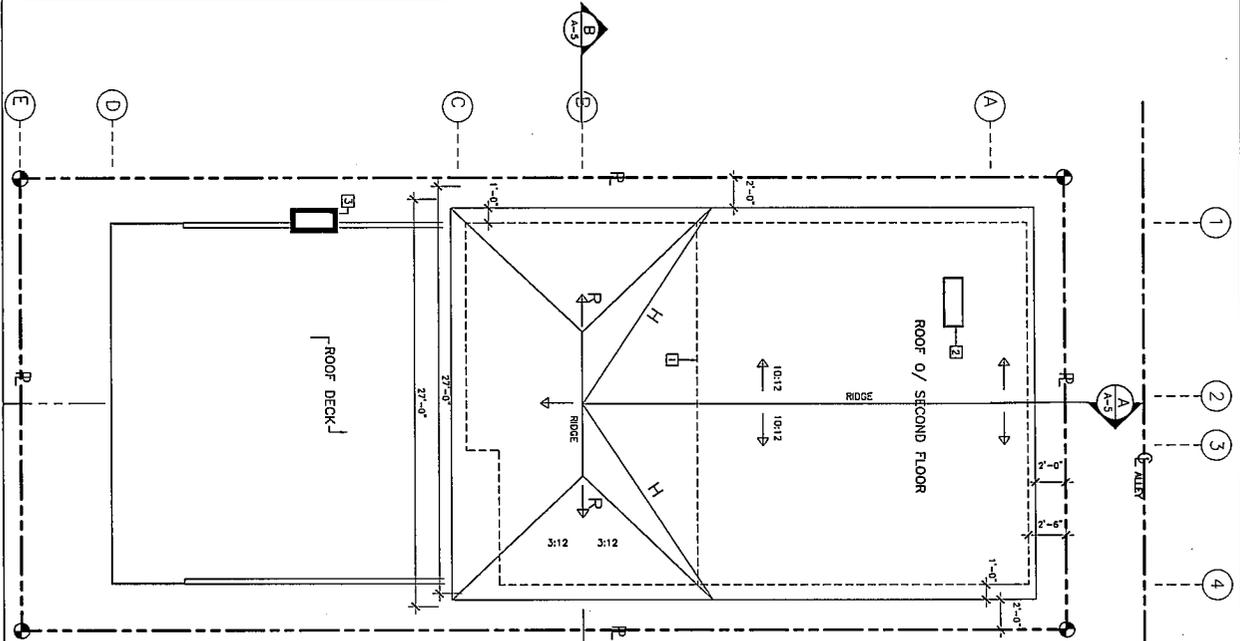
JOB NO. 2015-21
A4

ROOF PLAN KEYNOTES

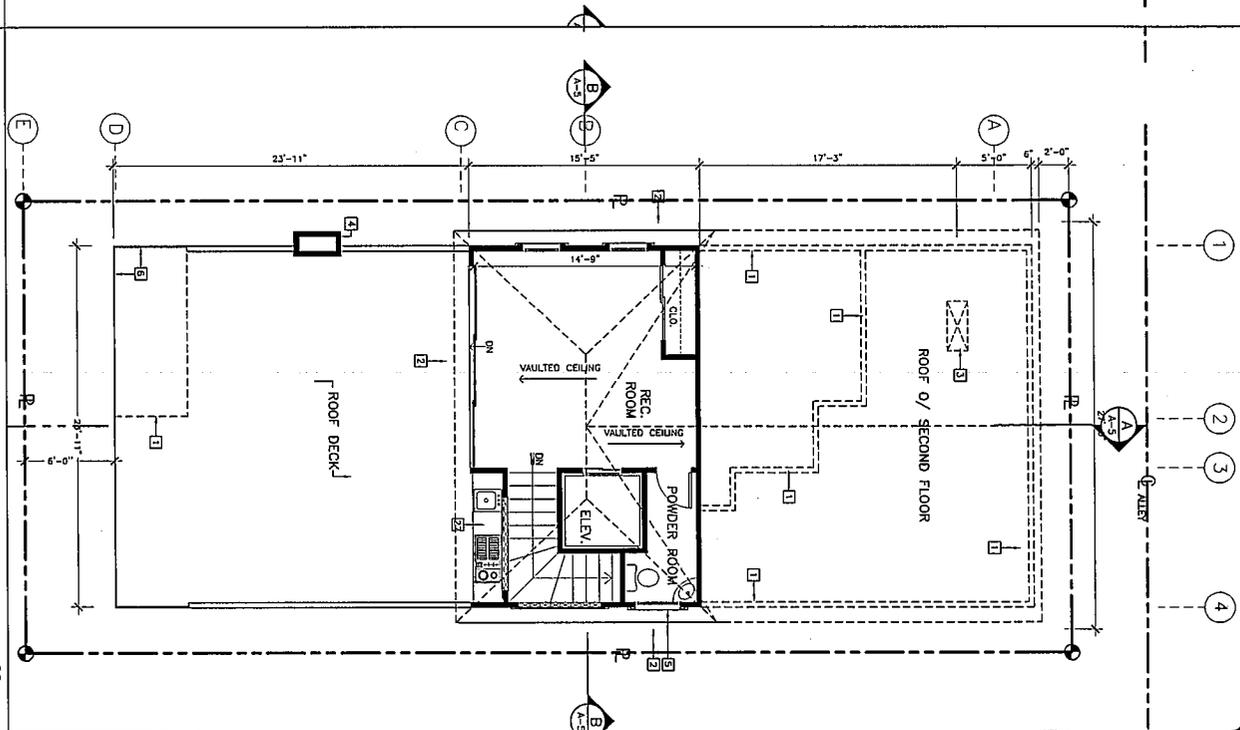
1. WALL BELOW THE CEILING
2. (N) SKYLIGHT
3. MODEL-ELECTRIC FRESH AIR SKYLIGHTS
4. CHIMNEY

THIRD FLOOR PLAN KEYNOTES

1. WALL BELOW THE CEILING
2. (N) SKYLIGHT
3. MANUFACTURER VELLUX MODEL-ELECTRIC FRESH AIR SKYLIGHTS
4. 36" HIGH BARBECUE COUNTER
5. 42" HIGH PRE-FABRICATED APPROVED FRAMELESS GUARDRAIL



ROOF PLAN
SCALE: 1/4"=1'-0"



THIRD FLOOR PLAN
SCALE: 1/4"=1'-0"

NO.	DATE	ISSUED

DRAWING TITLE
PROPOSED FLOOR PLANS
THIRD FLOOR AND ROOF PLANS

JOB TITLE:
STOKES RESIDENCE

JOB ADDRESS:
614 W OCEANFRONT
NEWPORT BEACH CA 92661

JOB NO. 2015-21
REV. NO. A2

DESIGN CONCEPTS
SHIV TALWAR, ARCHITECT AIA

3340 RIVERSIDE DR. #M, CHINO, CA 91710
TEL: 909-591-3939 Email: dsignconcepts@yahoo.com

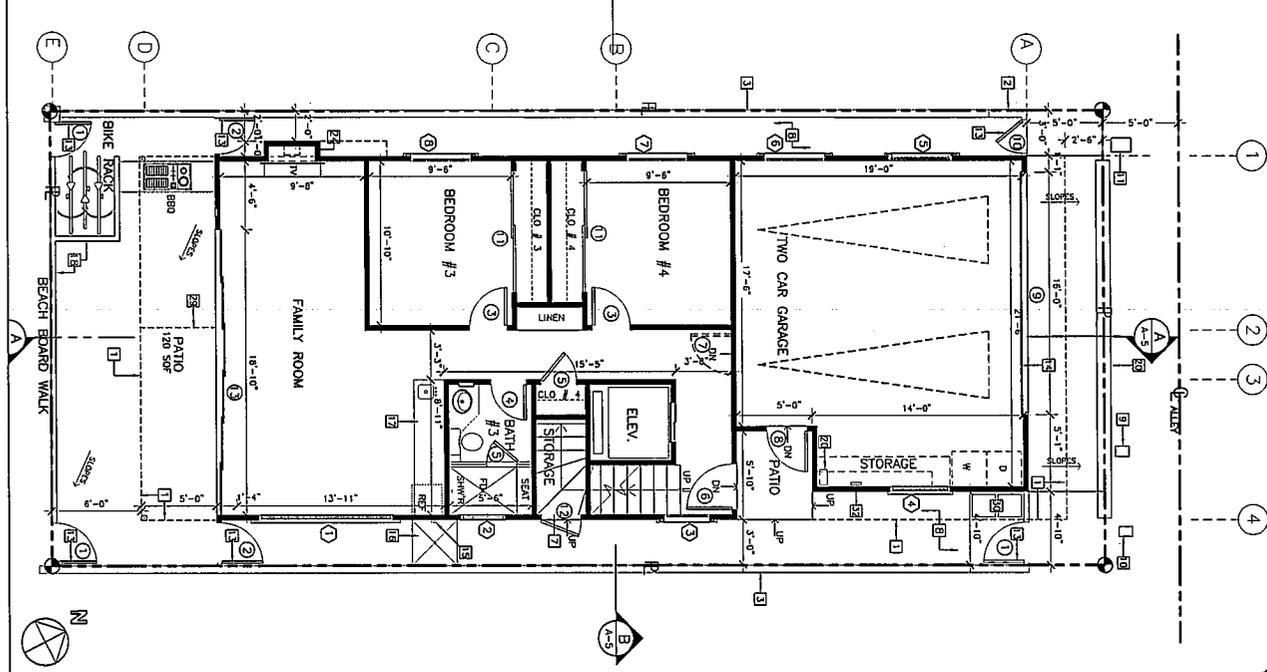
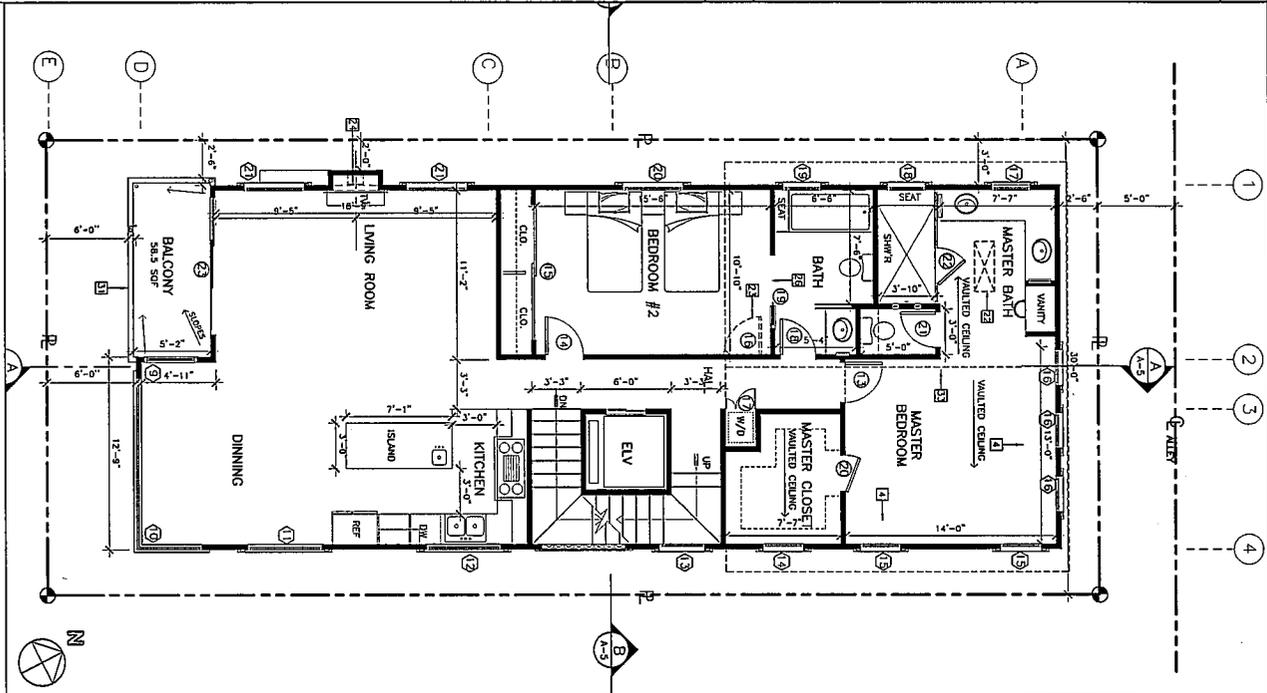
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FLOOR PLAN KEYNOTES

1. SECOND FLOOR LINE ABOVE
2. (N) DW FENCE
3. LINE OF 1ST FLOOR BELOW
4. WALL BELOW THE CEILING
5. LINE OF THE ROOF ABOVE
6. FINISH FLOOR FINISH
7. FINISH FLOOR FINISH
8. (E) WATER METER
9. (E) CATV
10. EDISON P.B.
11. (E) CONCRETE SIDEWALK
12. GARAGE DOOR AND SHUTTER
13. EXTERIOR SHOWER HEAD AT 6" ABOVE FINISH SURFACE
14. CONCRETE PAVING WITH FLOOR DRAIN
15. METAL BENCH
16. NOT ASSIGNED
17. THE NICH DRAIN SEE GRADING PLAN.
21. TANKLESS WATER HEATER
22. OPTIONAL LOCATION FOR DOOR OPENING.
23. FIREPLACE
24. CHIMNEY
25. ROOMET DOOR
26. POSSIBLE WINDOW LOCATION
29. LINE OF BALCONY ABOVE
30. TRASH BIN LOCATION
31. GARAGE WALL TO SPOURCH WALL 6" INTO SET-BACK
32. FINISH FLOOR IN SOLID FLOOR
33. LINE OF ROOF

FLOOR PLAN GENERAL NOTES

1. PROVIDE A 3/8" INCH CLEAN OUT BASED ON 4" INCH SOIL PIPE 18 INCHES FROM FOUNDATION AND EXTEND ABOVE GRADE CPC
2. ANY SECTION NOT TO BE INSTALLED REQUIRE TO BE SINGLE FLUSH TOILETS NOT TO EXCEED 1.28 GALLONS PER FLUSH CFC
3. ALL SHOWER HEADS TO BE INSTALLED SHALL BE DESIGNED NOT TO EXCEED 2.0 GPM FLOW RATE OF 2.2 GALLONS PER MINUTE
4. CLIMATE CONTROL FOR THE PROPOSED NEW CONSTRUCTION AREAS CONDITION VARIABLE SPACE BY SHOWING ALL HVAC SUPPLY / RETURN AIR RESISTERS LOCATIONS PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION
5. MECHANICAL EQUIPMENT AND WALLS ABOVE BATHING WITH SHOWER COMPARTMENTS AND WALLS ABOVE BATHING WITH ABSORBENT SURFACE TO A HEIGHT OF NOT LESS THAN 6'-0" AFF.
6. SECTION R902.1 FIRE RESISTANT ROOF CONVENING PER SECTION R902.1
7. PROTECTION OF WOOD AND WOOL BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R311.1 BY THE USE OF 1/4" THICK DOUBLE ENDOR FOR ALL WOOD SURFACES IN CONTACT WITH THE GROUND AND ALL WOOD AND WOOD PRODUCTS SHALL BE TREATED WITH PRESERVATIVE AND END USE PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AMPA U1.
8. WATER CISTERN SHALL HAVE 18" TO ANY WALL OR OBSTRUCTION
9. WATER CISTERN SHALL BE LOCATED 18" ABOVE THE FLOOR FRONT. (CFC 407.9)
10. HEATING EQUIPMENT TO BE LOCATED 18" ABOVE THE FLOOR
11. LEVEL (2081.1 CMC)
12. ALL OTHER MATERIALS, METHODS AND SIMILAR STRUCTURES SHALL BE A RESULT OF NONCOMPLIANT CONSTRUCTION HEAVY RESTRICTED OR NONCOMPLIANT



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