

CALIFORNIA COASTAL COMMISSION

SAN DIEGO COAST AREA

3111 CAMINO DEL RIO NORTH, SUITE 200

SAN DIEGO, CA 92108-1725

(619) 521-8036



June 13, 1997

Th 9a.

TO: COMMISSIONERS AND INTERESTED PARTIES

FROM: CHUCK DAMM, SOUTH COAST DEPUTY DIRECTOR
DEBORAH N. LEE, DISTRICT MANAGER, SAN DIEGO DISTRICT OFFICE
ELLEN LIRLEY, COASTAL PROGRAM ANALYST, SAN DIEGO DISTRICT OFFICE

SUBJECT: STAFF RECOMMENDATION ON MAJOR AMENDMENT 1-97A (Sorrento Hills) TO
THE CITY OF SAN DIEGO'S LOCAL COASTAL PROGRAM (For Public Hearing
and Possible Final Action at the Coastal Commission Hearing of July
8-11, 1997)

SYNOPSISSUMMARY OF AMENDMENT REQUEST

The City of San Diego has submitted its first LCP amendment for 1997, which includes several components. Part A (Sorrento Hills) is the only portion addressed in this report; other components will be scheduled for Commission review at an upcoming meeting. In Part A, the City is requesting to amend the certified LCP by making revisions to both its Land Use Plan and its Implementing Ordinances. The proposed amendment revises the certified North City LCP Land Use Plan to incorporate an updated Sorrento Hills Community Plan deleting all industrially-designated properties and some medium-density multi-family areas within the coastal zone, replacing them with single-family residential designations ranging from medium-low to very-low density and open space, and making a number of editorial corrections to the document to reflect current neighborhood names and the current status of neighborhood buildout. The proposed amendment would also rezone properties consistent with the proposed land use plan changes. Overall, the rezonings address a total of 23.09 acres in the coastal zone and would change properties currently zoned A-1-10, M-1P and R-1500 to R-3000, R1-5000 and OS-OSP.

SUMMARY OF STAFF RECOMMENDATION

Staff recommends approval, as submitted, of the City's Local Coastal Program Amendment (LCPA 1-97A). The appropriate resolutions and motions may be found beginning on Page 4. The findings for certification of the land use plan

revisions begin on Page 5, and findings for certification of the rezonings begin on Page 9.

BACKGROUND

The City of San Diego Local Coastal Program (LCP) was segmented into twelve geographic areas, corresponding to community plan boundaries, with separate land use plans submitted and certified (or certified with suggested modifications) for each segment except Mission Bay. The Implementing Ordinances were submitted and certified with suggested modifications, first in March of 1984, and again in January of 1988. Subsequent to the 1988 action on the implementation plan, the City of San Diego incorporated the suggested modifications and assumed permit authority for the majority of its coastal zone on October 17, 1988. Isolated areas of deferred certification remain, and will be submitted for Commission certification once local planning is complete. There have been numerous amendments processed to the certified LCP; these are discussed further under LCP History in the report.

ADDITIONAL INFORMATION

Further information on the City of San Diego LCP Amendment 1-97A may be obtained from Ellen Lirley, Coastal Planner, at (619) 521-8036.

PART I. OVERVIEW

A. LCP HISTORY

The City of San Diego has a long history of involvement with the community planning process; as a result, in 1977, the City requested that the Coastal Commission permit segmentation of its Land Use Plan (LUP) into twelve (12) parts in order to have the LCP process conform, to the maximum extent feasible, with the City's various community plan boundaries. In the intervening years, the City has intermittently submitted all of its LUP segments; all of the segments are presently certified, in whole or in part. The earliest land use plan (LUP) approval occurred in May, 1979, with others only occurring in 1988, in concert with the implementation plan. The final segment, Mission Bay Park, was certified in November, 1996.

When the Commission approved segmentation of the LUP, it found that the implementation phase of the City's LCP would represent a single unifying element. This was achieved in January, 1988, and the City of San Diego assumed permit authority on October 17, 1988 for the majority of its coastal zone. Several isolated areas of deferred certification remain; these are completing planning at a local level and will be acted upon by the Coastal Commission in the future.

Since effective certification of the City's LCP, there have been nineteen major amendments and seven minor amendments processed for it. These have included everything from land use revisions in several segments, the rezoning of single properties to modifications of city-wide ordinances. While it is difficult to calculate the number of land use plan revisions or implementation plan modifications, because the amendments often involve multiple changes to a single land use plan segment or ordinance, the Commission has reviewed, at least, 40 land use plan revisions and 95 ordinance amendments. Most amendment requests have been approved, some as submitted and some with suggested modifications; further details can be obtained from the previous staff reports and findings on specific amendment requests.

B. STANDARD OF REVIEW

The standard of review for land use plans, or their amendments, is found in Section 30512 of the Coastal Act. This section requires the Commission to certify an LUP or LUP amendment if it finds that it meets the requirements of Chapter 3 of the Coastal Act. Specifically, it states:

Section 30512

(c) The Commission shall certify a land use plan, or any amendments thereto, if it finds that a land use plan meets the requirements of, and is in conformity with, the policies of Chapter 3 (commencing with Section 30200). Except as provided in paragraph (1) of subdivision (a), a decision to certify shall require a majority vote of the appointed membership of the Commission.

Pursuant to Section 30513 of the Coastal Act, the Commission may only reject zoning ordinances or other implementing actions, as well as their amendments, on the grounds that they do not conform with, or are inadequate to carry out, the provisions of the certified land use plan. The Commission shall take action by a majority vote of the Commissioners present.

C. PUBLIC PARTICIPATION

The City has held local workshops, Planning Commission and City Council meetings with regard to the proposed Sorrento Hills Community Plan update. All of these local hearings were duly noticed to the public. Notice of the subject amendment has been distributed to all known interested parties.

PART II. LOCAL COASTAL PROGRAM SUBMITTAL - RESOLUTIONS

Following a public hearing, staff recommends the Commission adopt the following resolutions and findings. The appropriate motion to introduce the resolution and a staff recommendation are provided just prior to each resolution.

- A. RESOLUTION I. (Resolution to approve certification of the City of San Diego Land Use Plan Amendment 1-97A (Sorrento Hills), as submitted)

MOTION I

I move that the Commission certify the City of San Diego Land Use Plan Amendment #1-97A, as submitted.

Staff Recommendation

Staff recommends a YES vote and the adoption of the following resolution and findings. An affirmative vote by a majority of the appointed Commissioners is needed to pass the motion.

Resolution I

The Commission hereby certifies the amendment request to the City of San Diego Land Use Plan amendment for Sorrento Hills, and adopts the findings stated below on the grounds that the amendment will meet the requirements of and conform with the policies of Chapter 3 (commencing with Section 30200) of the California Coastal Act to the extent necessary to achieve the basic state goals specified in Section 30001.5 of the Coastal Act; the land use plan, as amended, will contain a specific access component as required by Section 30500 of the Coastal Act; the land use plan, as amended, will be consistent with applicable decisions of the Commission that shall guide local government actions pursuant to Section 30625(c); and certification of the land use plan amendment does meet the requirements of Section 21080.5(d)(2)(i) of the California Environmental Quality Act, as there would be no feasible measures or feasible

alternatives which would substantially lessen significant adverse impacts on the environment.

- B. RESOLUTION II (Resolution to approve certification of the City of San Diego LCP Implementation Plan Amendment 1-97A, as submitted)

MOTION II

I move that the Commission reject City of San Diego Implementation Plan Amendment #1-97A, as submitted.

Staff Recommendation

Staff recommends a NO vote and the adoption of the following resolution and findings. An affirmative vote by a majority of the Commissioners present is needed to pass the motion.

Resolution II

The Commission hereby approves certification of the amendment to the City of San Diego's Local Coastal Program on the grounds that the amendment conforms with, and is adequate to carry out, the provisions of the certified land use plan. There are no feasible alternatives or feasible mitigation measures available which would substantially lessen any significant adverse impacts which the approval would have on the environment.

PART III. FINDINGS FOR APPROVAL OF THE SORRENTO HILLS COMMUNITY PLAN

A. AMENDMENT DESCRIPTION AND HISTORY

The North City LCP Land Use Plan is the northernmost coastal community in the City of San Diego. This geographically large area is relatively undeveloped and contains many of the remaining coastal zone natural resources within the City including: portions of San Dieguito Lagoon and floodplain; Los Penasquitos Lagoon and Creek; Carmel Valley; and Los Penasquitos and Lopez Canyons. It is a primary goal of the North City LUP to preserve these resources to the maximum extent feasible while at the same time providing for continued growth.

The North City LCP segment has been subdivided into several communities, including Torrey Pines, University, Mira Mesa, North City West, which the City has renamed Carmel Valley, the Future Urbanizing Area and Sorrento Hills, which is the subject of this LCP amendment request. Most of the Sorrento Hills community is currently undeveloped, although some construction has begun in several different areas and permits have been approved for virtually the entire community. Also, there is an existing SDG&E substation in the center of the plan area. The Commission last reviewed and certified the land use plan for Sorrento Hills in 1995, when the entire plan was updated.

The proposed Sorrento Hills Community Plan update reflects new neighborhood names for already-permitted developments. Within the coastal zone, this consists of changing Torrey Reserve Heights and Torrey Reserve Terraces to the new name of Torrey Hills. The primary purpose for the update is to change some land use designations, removing industrial uses within the coastal zone and replacing them, and some medium-density multi-family areas, with single-family residential uses ranging from very-low to medium-low densities and open space. Further land use redesignations are proposed for portions of the community outside the coastal zone. Other changes to the plan are strictly editorial in nature, correcting names and reflecting the current status of community buildout (i.e., changing "will be" to "is" or "will" to "has"). The remainder of the plan remains as approved by the Coastal Commission in 1995.

The greater part of the 784-acre neighborhood is outside the coastal zone, with approximately 123 acres, or 16%, of the community in the coastal zone. The coastal zone portion includes most of the northern "panhandle" and several small corners or projections along the irregular southeastern border of the community, located on the northern rim of the Los Penasquitos Canyon Preserve. Commercial, residential and open space areas within the proposed community plan update are all included within the coastal zone. The northern "panhandle" includes planned commercial and residential areas, and the southeastern fringe includes residential areas; some open space is designated in both coastal zone locations. For the most part, the open space designation corresponds to the steep slope and bluff areas, with the other designations applying to the flatter portions of the community. However, although no development is proposed on the bluffs, some encroachments into the steep slopes do, and will continue to, occur with implementation of the community plan. These encroachments were addressed in the previous Commission action, and the policies addressing this concern are not changed in the current update.

The other main concern in the Commission's 1995 review was a proposal for a new circulation element road, designated as Street "A" at that time, but now referred to as Vista Sorrento Parkway in the proposed plan update. This is a north-south trending street, located immediately east of I-5, which will run south from Carmel Mountain Road (the main east-west trending road in Sorrento Hills) to connect with the existing cul-de-sac at the northern terminus of Vista Sorrento Parkway, in the industrial Sorrento Valley complex. Construction of this road will require some fill in existing wetlands at the western end of Los Penasquitos Canyon Preserve. Again, this issue was fully addressed in the Commission's 1995 action, and no changes to any land use plan policies associated with this road or its previously endorsed alignment are currently proposed.

B. CONFORMANCE WITH SECTION 30001.5 OF THE COASTAL ACT

The Commission finds, pursuant to Section 30512.2b of the Coastal Act, that the LCP amendment, as set forth in the resolution for certification, is consistent with the policies and requirements of Chapter 3 of the Coastal Act to the extent necessary to achieve the basic state goals specified in Section 30001.5 of the Coastal Act which states:

The Legislature further finds and declares that the basic goals of the state for the Coastal Zone are to:

a) Protect, maintain and, where feasible, enhance and restore the overall quality of the coastal zone environment and its natural and manmade resources.

b) Assure orderly, balanced utilization and conservation of coastal zone resources taking into account the social and economic needs of the people of the state.

c) Maximize public access to and along the coast and maximize public recreational opportunities in the coastal zone consistent with sound resource conservation principles and constitutionally protected rights of private property owners.

d) Assure priority for coastal-dependent and coastal-related development over other developments on the coast.

e) Encourage state and local initiatives and cooperation in preparing procedures to implement coordinated planning and development for mutually beneficial uses, including educational uses, in the coastal zone.

C. CONFORMITY OF THE SORRENTO HILLS COMMUNITY PLAN WITH CHAPTER 3

The Commission finds that the proposed LCP amendment for the Sorrento Hills Community Plan is approvable, as submitted. The proposed revisions are relatively minor in nature, although they do involve changes in land use for several areas, deleting all industrial uses in the coastal zone, and some multi-family uses as well, and replacing them with very-low to medium-low density residential uses and open space, and making a number of other land use revisions outside the coastal zone. However, within the coastal zone, these changes will result in less grading/landform alteration and lower traffic counts than the industrial and multi-family uses previously approved by the Commission. Therefore, based on the findings enumerated below, the Commission finds that the proposed local coastal program amendment is consistent with applicable Chapter 3 policies to the extent necessary to achieve the statewide goals as set forth in Section 30001.5 of the Act.

1. Biological Resources. Section 30240 of the Coastal Act requires that environmentally sensitive habitat areas be protected against significant disruption of habitat values. To provide maximum protection of sensitive habitats, including Coastal Mixed Chaparral and Coastal Sage Scrub habitats, the proposed plan update requires new development to be consistent with the multi-species and multi-habitat preservation goals that are addressed in the Natural Communities Conservation Program (NCCP), of which the City of San Diego is a participant. New development must consider the biological diversity objectives of this program, in consultation with the U.S. Fish and Wildlife Service and the California Department of Fish and Game, such that entire environmental systems are considered and afforded protection.

The proposed land use change of industrial uses to residential uses will result in less grading/landform alteration, within the coastal zone portions of the community, than had been approved in the 1995 plan. Under the 1995 plan, a total of 3.44 acres within the coastal zone would have been disturbed for the permitted industrial and multi-family development; only 2.69 acres, in the same geographic location as the 3.44 acres, will be disturbed under the current proposal for a range of single-family residential uses. Most of the community within the coastal zone is included in the Hillside Review Overlay Zone (HR), which establishes development criteria for properties containing steep slopes of 25% or more gradient. Although the policies of HR generally prohibit disturbance of steep slopes determined to be sensitive (i.e., to have biological or scenic resources, or contain geologic hazards), some discretionary encroachments may be permitted based on a sliding scale, and determined by the percentage of the site having steep slopes. Exemptions from the steep slope encroachment limitations are allowed for circulation element roads, utilities and local roads or driveways to access the more developable (i.e., flatter) portions of a property. The submitted community plan for Sorrento Hills includes all of the HR provisions.

Based on a suggested modification to the 1995 Commission certification of the plan, the proposed updated version of the Sorrento Hills Community Plan also requires new development to be consistent with the multi-species and multi-habitat preservation goals that are addressed in the Natural Communities Conservation Program (NCCP), of which the City of San Diego is a participant. Thus new development must consider the biological diversity objectives of this program, in consultation with the U.S. Fish and Wildlife Service and the California Department of Fish and Game, such that entire environmental systems are considered and afforded protection. Since these policies are all included, the Commission finds that the proposed update adequately addresses protection of biological resources such that the proposed level of development within the coastal zone should occur with minimal impact on sensitive resources, including the Los Penasquitos creekbed, its uplands and the downstream resources of Los Penasquitos Lagoon. The Commission finds that the Sorrento Hills Community Plan, as proposed for revision, is fully consistent with Section 30240 of the Act.

2. Traffic Circulation/Public Access. Section 30250 of the Coastal Act provides that new development, with a few noted exceptions, should be located in close proximity to existing developed areas where adverse impacts on coastal resources are less likely to occur. The proposed land use redesignations will be located in the same areas as previously permitted uses; however, the type of land use is changed from industrial and multi-family to single-family residential development and open space. Residential uses will range from very-low to medium-low densities and will result in a maximum of ten units in the coastal zone. This is compared to a maximum of 36,000 sq.ft. of industrial uses and eight units of multi-family development allowed in the 1995 plan. This change will lower the expected traffic levels on streets within the community and those connecting with adjacent communities and the freeway system, and is thus considered a less intense type of development. The updated plan retains the same general street patterns as the 1995 plan, particularly with respect to its circulation element roads. No additional

lanes or new configurations are required and no modifications are proposed for those streets in the coastal zone. As a result, no additional impacts on any resources have been identified. The Commission, therefore, finds the proposed LCP amendment consistent with Section 30250 of the Act.

Many policies of the Coastal Act address the protection, provision and enhancement of public access to the coast. However, public access, although always an important concern under Coastal Act mandates, is less of an issue in the Sorrento Hills community, which has no direct connection to either the ocean or a lagoon. It is located just east of Interstate 5, but, within the community, Carmel Mountain Road and El Camino Real would be considered coastal access routes. Most of these routes are outside the coastal zone. Vista Sorrento Parkway is also primarily outside the coastal zone within the Sorrento Hills portion of its extent, but is in the coastal zone to the south, where it will be located in the Torrey Pines Community Plan area. However, this is a north-south trending street, and is unlikely to provide coastal access, except to people within the community itself; there are more efficient routes for regional beach traffic to access the coast than along Vista Sorrento Parkway.

The plan provides for a bicycle network and transit services, including a possible extension of light rail along the I-5 corridor. Many of these improvements are located outside the coastal zone, as they are associated with the community's planned interior street system, although their implementation will be beneficial for the entire community and region. The plan also provides for trails both within the community and connecting with planned trails in the Los Penasquitos Canyon Preserve. This system is not significantly different in the current proposed update than in the 1995 plan, and the same level of access will be provided. Therefore, the Commission finds the proposed plan update consistent with the public access and recreation policies of the Coastal Act.

3. Visual Resources. Section 30251 of the Coastal Act provides for the protection of scenic coastal resources and for the compatibility of new and existing development. For the coastal zone, such resources are found in the steep canyon slopes connecting Sorrento Hills with Los Penasquitos Canyon, with bluff escarpments in the northern part of the community adjacent to Carmel Valley, and with views into the community from the I-5 corridor. The precise plan preserves the majority of these areas in their natural state, consistent with the HR Overlay provisions, although some encroachments associated with future buildout are anticipated. The plan, as proposed, contains development criteria addressing the siting and design of development to avoid and/or minimize visual impacts, particularly with respect to Carmel Valley and the Los Penasquitos Canyon Preserve. In addition, the revisions proposed herein will slightly reduce grading and landform alteration within the properties immediately north of, and potentially visible from, the Los Penasquitos Canyon Preserve from the level of disturbance certified in the 1995 plan. Therefore, the Commission finds the Sorrento Hills Community Plan, as modified, consistent with Section 30251 of the Act.

4. Hazard Areas. Section 30253 of the Coastal Act requires that development in hazardous areas, which include steep slopes, not contribute

significantly to erosion, nor lead to destruction of the site or surrounding areas. As drafted by the City, the precise plan includes policies incorporating all of the City's hillside review components, its grading and erosion controls and its brush management requirements. A small portion of the community, in the far northwestern corner, is located with the 100-year floodplain of Carmel Creek and contains riparian vegetation. The area is designated as open space and is part of the Carmel Valley Restoration and Enhancement Plan, which was approved by the Commission in 1990. Thus, the Commission finds the Sorrento Hills Community Plan consistent with Section 30253 of the Act.

PART IV. FINDINGS FOR APPROVAL OF THE CITY OF SAN DIEGO IMPLEMENTATION PLAN AMENDMENT 1-97A

A. AMENDMENT DESCRIPTION

Several rezonings are proposed in the Sorrento Hills community, consistent with the land use redesignations previously addressed. Existing multi-family and industrial areas will be rezoned to single-family residential uses and to open space. Specifically, a total of 23.09 acres in the coastal zone will be rezoned from A1-10, M-IP and R-1500 to R-3000, R1-5000 and OS-OSP. Existing areas that have been mapped in the Hillside Review Overlay Zone will remain so designated, with the overlay continuing to apply to the new base zone. The three new zones to be applied within the coastal zone are further described below.

B. FINDINGS FOR CERTIFICATION

1. R-3000 Zone

a) Purpose and Intent of the Ordinance. The R-3000 Zone, as applied in the Sorrento Hills Community Plan, is designed to allow small-lot, single-family residential development at a maximum density of one unit for every 3,000 sq.ft.

b) Major Provisions of the Ordinance. The proposed zone is one of several residential zones applied throughout the City of San Diego. It includes development standards establishing minimum lot sizes, yard setbacks, lot coverage requirements, etc.

c) Adequacy of the Ordinance to Implement the Certified LUP Segment. The proposed LCP amendment does not modify the existing zone in any way, but only incorporates some additional coastal zone sites into it. These include portions of the Torrey Hills property currently zoned A-1-10 and M-IP. A1-10 is a designation used by the City of San Diego as a holding zone for its undeveloped outlying lands and M1-IP is one of the City's industrial classifications. Although permits to accommodate industrial development were processed pursuant to the certified 1995 Sorrento Hills Community Plan, the City, and the property owner, have now determined that residential development is preferable in this location. The Commission finds the City is

appropriately rezoning this property to R-3000, which is designed to accommodate medium-low density residential development, and which is consistent with and adequate to carry out the amended North City LCP Land Use Plan, of which the updated Sorrento Hills Community Plan is a part.

2. R1-5000 Zone

a) Purpose and Intent of the Ordinance. The R1-5000 Zone is designed to allow single-family residential development on minimum 5,000 sq.ft. lots.

b) Major Provisions of the Ordinance. The proposed zone is one of several single-family residential zones applied throughout the City of San Diego. It includes development standards establishing minimum lot sizes, yard setbacks, lot coverage requirements, etc.

c) Adequacy of the Ordinance to Implement the Certified LUP Segment. The proposed LCP amendment does not modify the existing zone in any way, but only incorporates some additional coastal zone sites into it. These include portions of the Torrey Hills property currently zoned A-1-10 and R-1500. A-1-10 is a designation used by the City of San Diego as a holding zone for its undeveloped outlying lands and R-1500 is one of the City's multi-family residential classifications. Although permits to accommodate multi-family development were processed pursuant to the certified 1995 Sorrento Hills Community Plan, the City, and the property owner, have now determined that less intense single-family residential development is preferable in this location. The Commission finds the City is appropriately rezoning this property to R1-5000, which is designed to accommodate low to very-low density residential development, and which is consistent with and adequate to carry out the amended North City LCP Land Use Plan, of which the updated Sorrento Hills Community Plan is a part.

3. OS-OSP Zone

a) Purpose and Intent of the Ordinance. The OS-OSP Zone is one of the City's open space subdistrict classifications. It is applied to all open space parks consisting of City-owned land acquired to provide scenic vistas, preserve natural resources and provide outdoor recreation opportunities.

b) Major Provisions of the Ordinance. Allowed uses within the OS-OSP Zone are limited to those directly associated with the purposes described above, and could include public facilities, utilities and recreational amenities. Development regulations, such as setbacks, building coverage, parking and landscaping are determined on a case by case basis, as deemed appropriate by the City to maintain and enhance the specific open space values of each individual park.

c) Adequacy of the Ordinance to Implement the Certified LUP Segment. The proposed LCP amendment does not modify the existing zone in any way, but only incorporates some additional coastal zone sites into it. These include portions of the Torrey Hills property currently zoned A-1-10, M-IP and R-1500. A-1-10 is a designation used by the City of San Diego as a holding

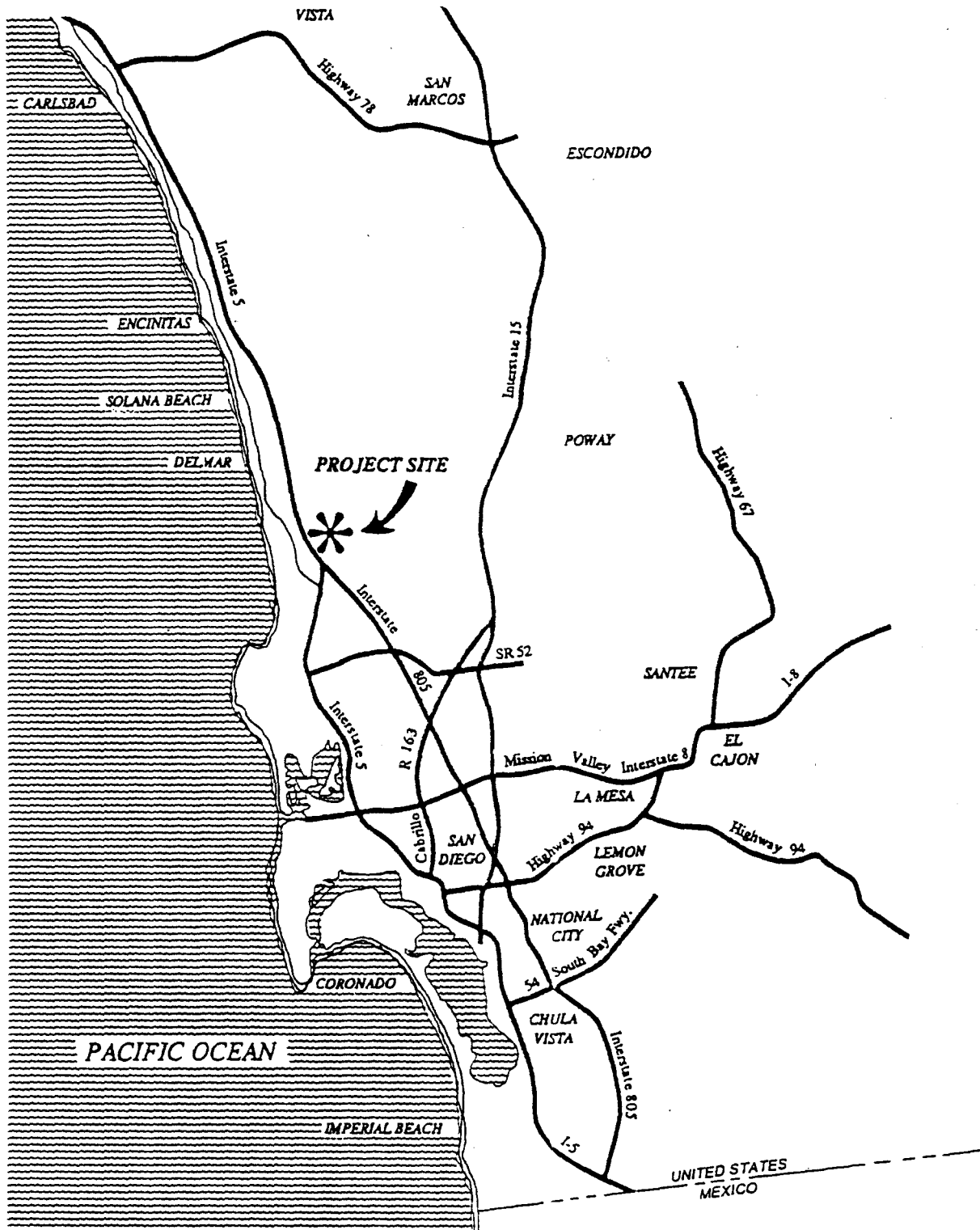
zone for its undeveloped outlying lands, M-IP is one of the City's industrial zones and R-1500 is one of the City's multi-family residential zones. Although permits to accommodate some industrial and residential development were processed pursuant to the certified 1995 Sorrento Hills Community Plan, most of the currently-proposed open space areas were also shown as open space on those plans, although they may not have been officially designated in that manner. The City is now formally designating these lands, which are adjacent to the Los Penasquitos Canyon Preserve, as open space. The Commission finds the City is appropriately rezoning this property to OS-OSP, which is designed to permanently protect these areas for passive public recreational use. The proposed rezonings are consistent with and adequate to carry out the amended North City LCP Land Use Plan, of which the updated Sorrento Hills Community Plan is a part.

PART V. CONSISTENCY WITH THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

Section 21080.5 of the California Environmental Quality Act (CEQA) exempts local government from the requirement of preparing an environmental impact report (EIR) in connection with its local coastal program. Instead, the CEQA responsibilities are assigned to the Coastal Commission and the Commission's LCP review and approval program has been found by the Resources Agency to be functionally equivalent to the EIR process. Thus, under CEQA Section 21080.5, the Commission is relieved of the responsibility to prepare an EIR for each LCP.

Nevertheless, the Commission is required in an LCP submittal or, as in this case, an LCP amendment submittal, to find that the LCP, or LCP, as amended, does conform with CEQA provisions. In the case of the subject LCP amendment request, the Commission finds that approval of both the land use plan and zoning amendments would not result in significant impacts under the meaning of the California Environmental Quality Act. Because no significant environmental impacts have been identified in relation to this item, it is not necessary to address possible alternatives to the action. Future individual development projects relying on this amendment will be reviewed for CEQA consistency by the City or Coastal Commission when they are proposed. Therefore, this amendment can be found consistent with the provisions of the California Environmental Quality Act.

(1796A)



City of San Diego
LCPA 1-97A

RESOLUTION NUMBER R- 288441

ADOPTED ON MAR 17 1997

WHEREAS, City Council Policy 600-7 requires the Planning Commission to schedule concurrent public hearings to consider revisions to the Progress Guide and General Plan and any Community Plan in order to retain consistency between such plans; and

WHEREAS, the Planning Commission held concurrent public hearings on February 20, 1997, to consider amendments to the Sorrento Hills Community Plan, the Progress Guide and General Plan and North City Local Coastal Program (referred to herein collectively as "Plan Amendments"); and

WHEREAS, the Planning Commission also held a public hearing on February 20, 1997, to consider an amendment to the existing Sorrento Hills Public Facilities Financing Plan; and

WHEREAS, the Planning Commission approved and recommended adoption by the City Council of the Plan amendments and the amendment to the Sorrento Hills Public Facilities Financing Plan; and

WHEREAS, the amendment to the Sorrento Hills Community Plan may modify portions of the existing North City Local Coastal Program adopted on March 31, 1981, by Resolution No. R-253933; and

WHEREAS, the City Council has reviewed the proposed amendments and heard additional public testimony; NOW, THEREFORE,

BE IT RESOLVED, by the Council of The City of San Diego that:

1. The City Council hereby approves that document entitled the Sorrento Hills

Public Facilities Financing Plan, a copy of which is on file in the office of the City Clerk as Document No. RR- 288441-1, and rescinds the existing Sorrento Hills Public Facilities Financing Plan previously adopted by the City Council by Resolution R-285095 on December 6, 1994.

2. The City Council hereby approves the Sorrento Hills Community Plan, a copy of which is on file in the office of the City Clerk as Document No. RR-288441-2, and rescinds the existing Sorrento Hills Community Plan previously adopted by the City Council by Resolution R-285095 on December 6, 1994.

3. The City Council hereby approves the amendment to the Progress Guide and General Plan for The City of San Diego to incorporate the above-described Sorrento Hills Community Plan amendment.

4. The City Council hereby approves the amendment to the North City Local Coastal Program for The City of San Diego to incorporate the above-described Sorrento Hills Community Plan amendment.

5. The Community and Economic Development Department is hereby authorized to submit the amendment to the North City Local Coastal Program to the California Coastal Commission to comply with the California Coastal Act of 1976.

6. The City Council finds that this comprehensive update of the Plan is consistent with the City's adopted Regional Growth Management Strategy, and directs the City Clerk to transmit a copy of this resolution to the San Diego Association of Governments in its capacity as the Regional Planning and Growth Management Review Board.

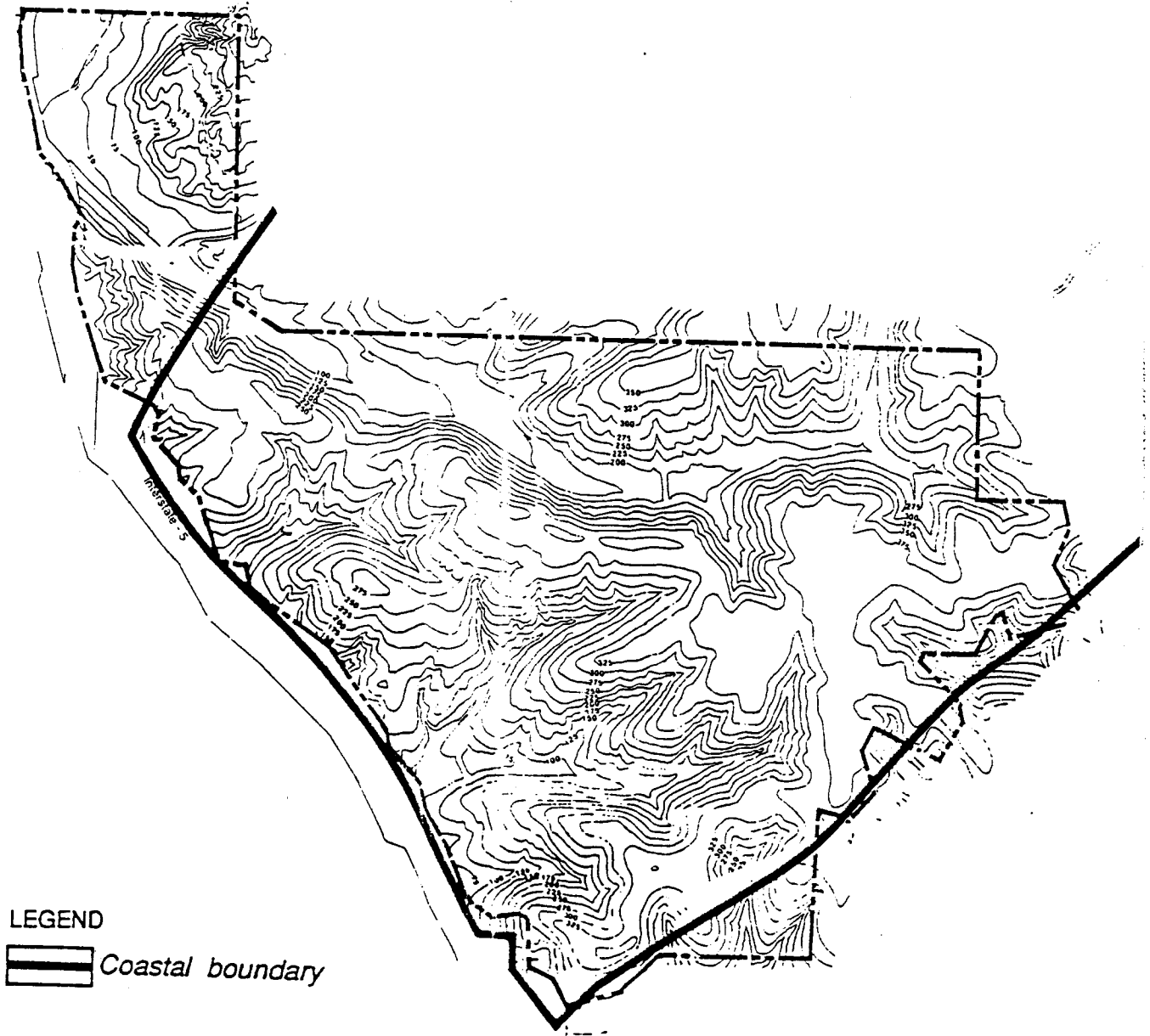
7. The Plan amendments will become effective within the coastal zone upon

California Coastal Commission certification of the amendment to the North City Local Coastal Program.

APPROVED: CASEY GWINN, City Attorney

By Prescilla Dugard
Prescilla Dugard
Deputy City Attorney

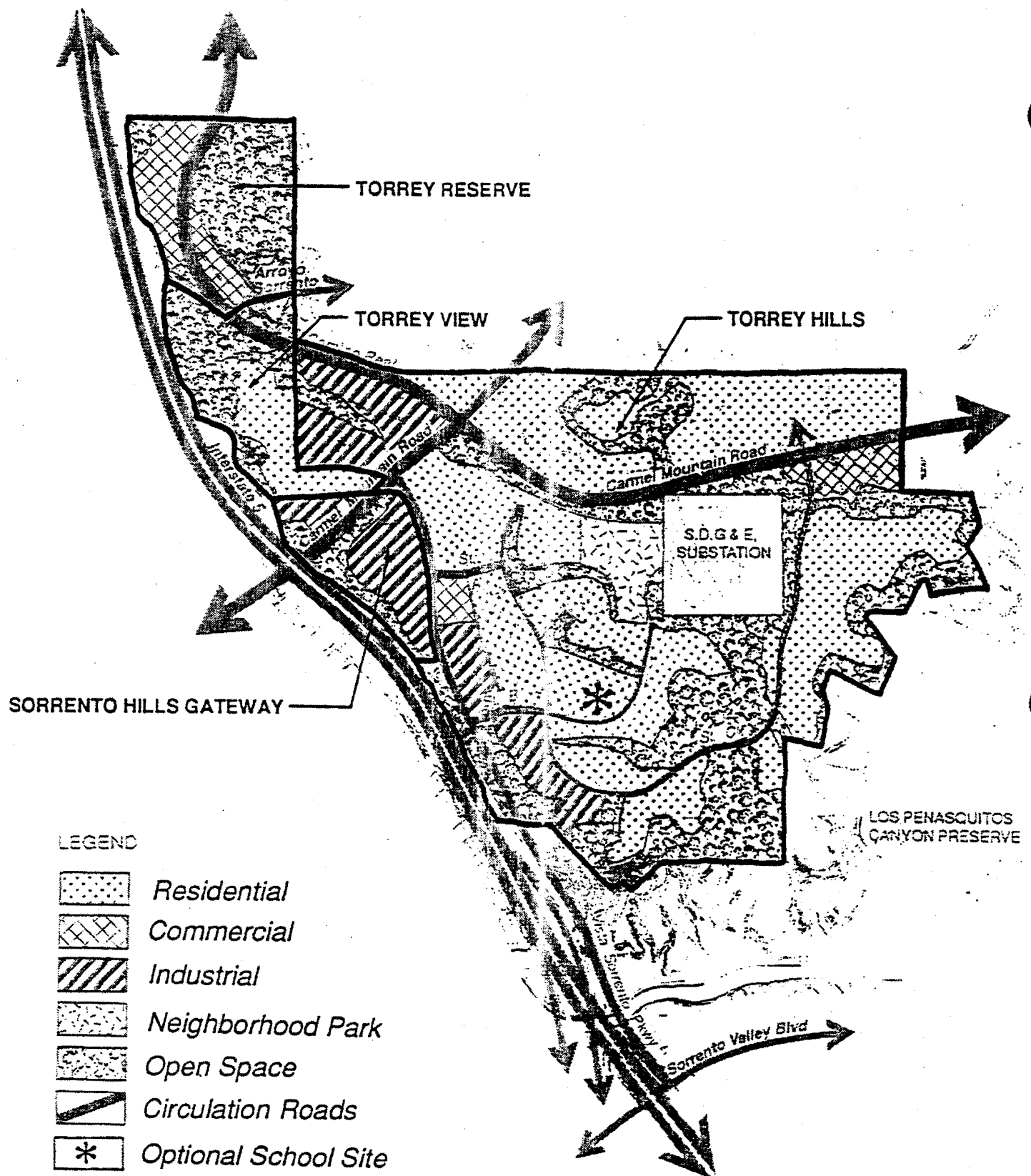
PD:cdk
02/10/97
Or.Dept:Dev.Svcs.
Case 95-0554
R-97-823
Reviewed by John Fisher



LEGEND

 Coastal boundary

City of San Diego
LCPA 1-97A



City of San Diego
LCPA 1-97A

ORDINANCE NUMBER O- 18393 (NEW SERIES)

ADOPTED ON MAR 31 1997

AN ORDINANCE INCORPORATING 491.4 ACRES LOCATED EAST OF I-5, NORTH AND SOUTH OF CARMEL MOUNTAIN ROAD AND NORTH OF LOS PENASQUITOS CANYON CREEK, WITHIN THE SORRENTO HILLS COMMUNITY PLANNING AREA, IN THE CITY OF SAN DIEGO, CALIFORNIA, FROM THE A-1-10, M-1A, M-IP, M-1B, R-1500 AND HILLSIDE REVIEW OVERLAY ZONES INTO THE A-1-10, M-1A, M-IP, R-1500, R-3000, R1-5000, OS-P, OS-OSP, CA AND HILLSIDE REVIEW OVERLAY ZONE, AS DEFINED BY SAN DIEGO MUNICIPAL CODE SECTIONS 101.0404, 101.0405, 101.0407, 101.0410, 101.0428, 101.0435.1, 101.0436 AND 101.0454 AND REPEALING CERTAIN ORDINANCES OF THE CITY OF SAN DIEGO INSOFAR AS THE SAME CONFLICT HEREWITH.

BE IT ORDAINED, by the Council of The City of San Diego, as follows:

Section 1. That 491.4 acres located east of I-5, north and south of Carmel Mountain Road and north of Los Penasquitos Canyon Creek and described as Torrey Reserve Heights Unit No. 1, Map No. 13358, excepting therefrom Lot "G" of said Map, all of Parcel Map No. 17371, all of Sorrento Hills Corporate Center Phase II Unit No. 1, Map No. 12606, all of Sorrento Hills Corporate Center Phase II Unit No. 6, Map No. 12611, all of Sorrento Hills Corporate Center Phase II Unit No. 7, Map No. 12609, Sorrento Hills Corporate Center Phase II Unit No. 2, Map No. 12610, excepting therefrom Lot "B" of said Map, and Sorrento Hills Corporate Center Phase II Unit No. 3, Map No. 12607, excepting therefrom Lots 78, 79 and 80 of said Map, and portions of Sections 29, 30, 31 and 32 of Township 14 South, Range 3 West, San Bernardino Meridian, in The City of San Diego, County of San Diego, State of California, rezoned property from A-1-10,

M-1A, M-IP, M-1B, R-1500 and Hillside Review Overlay Zones into the A-1-10, M-1A, M-IP, R-1500, R-3000, R1-5000, OS-P, OS-OSP, CA and Hillside Review Overlay Zone, as designated on Zone Map Drawing No. C-880 filed in the office of the City Clerk as Document No. 00-18393, be, and it is hereby incorporated into the A-1-10, M-1A, M-IP, R-1500, R-3000, R1-5000, OS-P, OS-OSP, CA and Hillside Review Overlay Zone, as such zones are described and defined by San Diego Municipal Code sections 101.0404, 101.0405, 101.0407, 101.0410, 101.0428, 101.0435.1, 101.0436 and 101.0454.

Section 2. That Ordinance No. 10936 (N.S.), adopted October 5, 1972, and Ordinance No. 18151 (N.S.), adopted January 9, 1995, of the ordinances of The City of San Diego be and they are repealed insofar as the same conflict herewith.

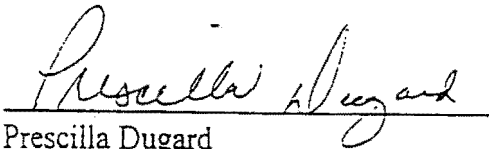
Section 3. This ordinance shall take effect and be in force on the thirtieth day from and after its passage, however, the provisions of this ordinance shall not be applicable within the Coastal Zone until the thirtieth day following the date the California Coastal Commission unconditionally certifies this ordinance as a local coastal program amendment. If this ordinance is not certified, or is certified with suggested modifications by the California Coastal Commission, the provisions of this ordinance shall be null and void in the Coastal Zone.

Section 4. In areas of The City of San Diego other than the Coastal Zone, no permits for development inconsistent with the provisions of this ordinance shall be issued unless application therefor was made prior to the date of adoption of this ordinance.

Section 5. Within the Coastal Zone, no permits for development inconsistent with the provisions of this ordinance shall be issued unless application therefor was made prior to the date the California Coastal Commission unconditionally certified this ordinance as a local coastal

program amendment.

APPROVED: CASEY GWINN, City Attorney

By 
Prescilla Dugard
Deputy City Attorney

PD:cfk

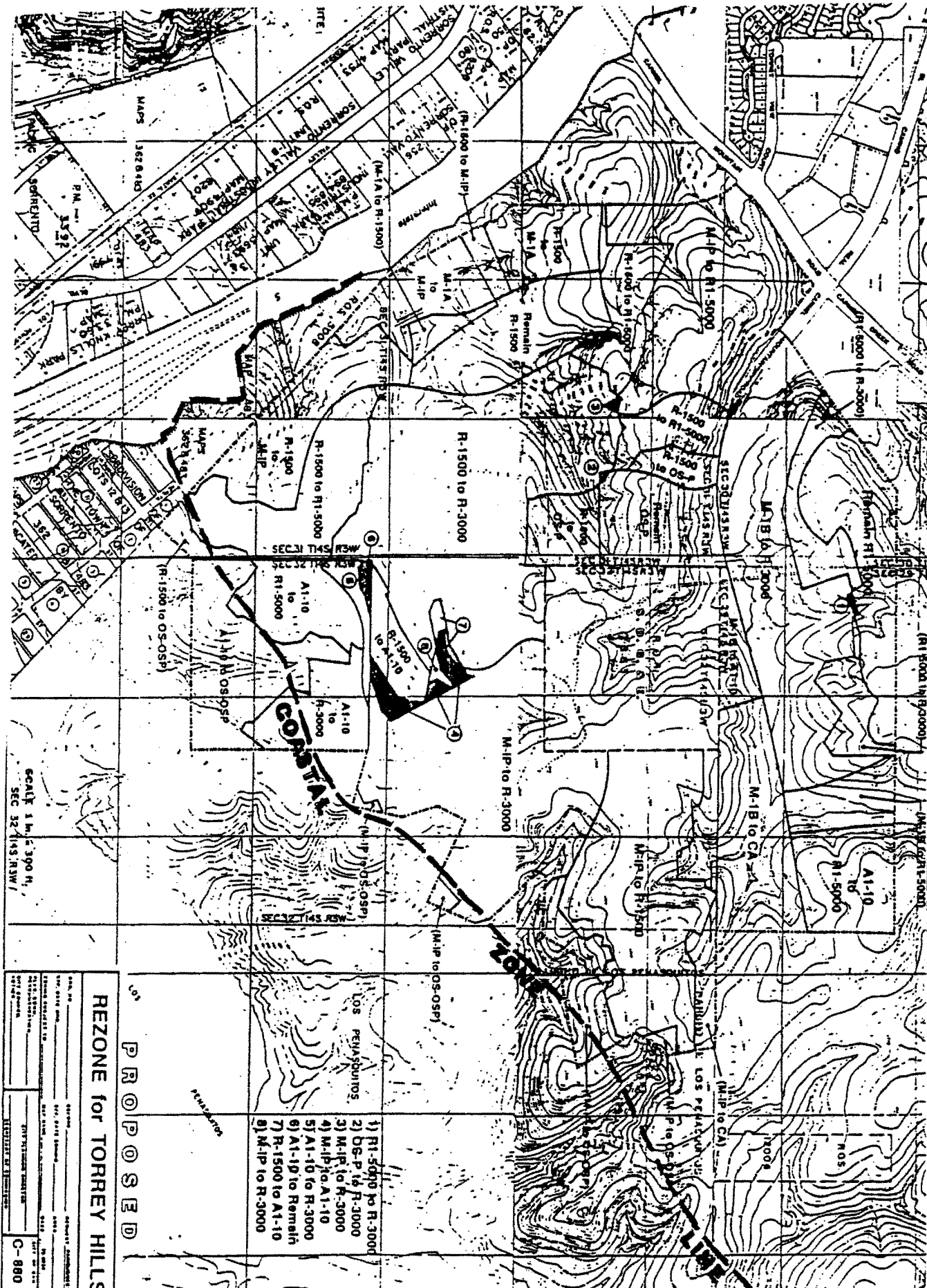
02/10/96

Or.Dept:Dev.Svcs.

Case 95-0554

O-97-80

Reviewed by John Fisher



City of San Diego
 LCPA 1-97A

RECORD PACKET COPY

th 9a

SORRENTO HILLS

COMMUNITY PLAN

SORRENTO HILLS COMMUNITY PLAN

Approved by:

THE PLANNING COMMISSION

October 27, 1994_____

Resolution Number: 2139-PC_____

Approved by:

THE CITY COUNCIL

December 6, 1994_____

Resolution Number: R-285095_____

Certified by:

THE CALIFORNIA COASTAL COMMISSION

March 8, 1995_____

CITY OF SAN DIEGO

MAYOR

Susan Golding

Council

Harry Mathis
~~Scott Harvey~~ Byron Wear
Chris Kehoe
George Stevens

Barbara Warden
Valerie Stallings
Judy McCarty
Juan Vargas

City Manager

Jack McGrory

Planning Commission

~~Scott H. Bernet~~
Christopher Niels
~~Karen McElliott~~
William Anderson
Verna Quinn

Frisco White
Andrea Skorepa
David Watson
Patricia Butler

Planning Department

Ernest Freeman, Planning Director
Jeff Washington, Deputy Planning Director
Mike Stang, Principal Planner
Mike Westlake, Senior Planner

DRAFT: January 1997

TABLE OF CONTENTS

<u>SECTION</u>	<u>PAGE</u>
1. EXECUTIVE SUMMARY	1
Plan Vision	1
Key Policies	5
2. INTRODUCTION	6
Purpose of the Plan	6
Plan Organization	6
How the Plan Was Developed	7
3. PLANNING CONTEXT	9
The Community Plan Area	9
Development and Planning History	9
Background	11
Local Coastal Program	13
Urban Setting	13
Environmental Setting	16
4. COMMUNITY LAND USE ELEMENTS	24
Residential Land Uses	26
Industrial/Business Park Land Uses	41
Commercial Land Uses	56
Transportation	65
Open Space and Resource Management	85
Community Facilities	95

TABLE OF CONTENTS

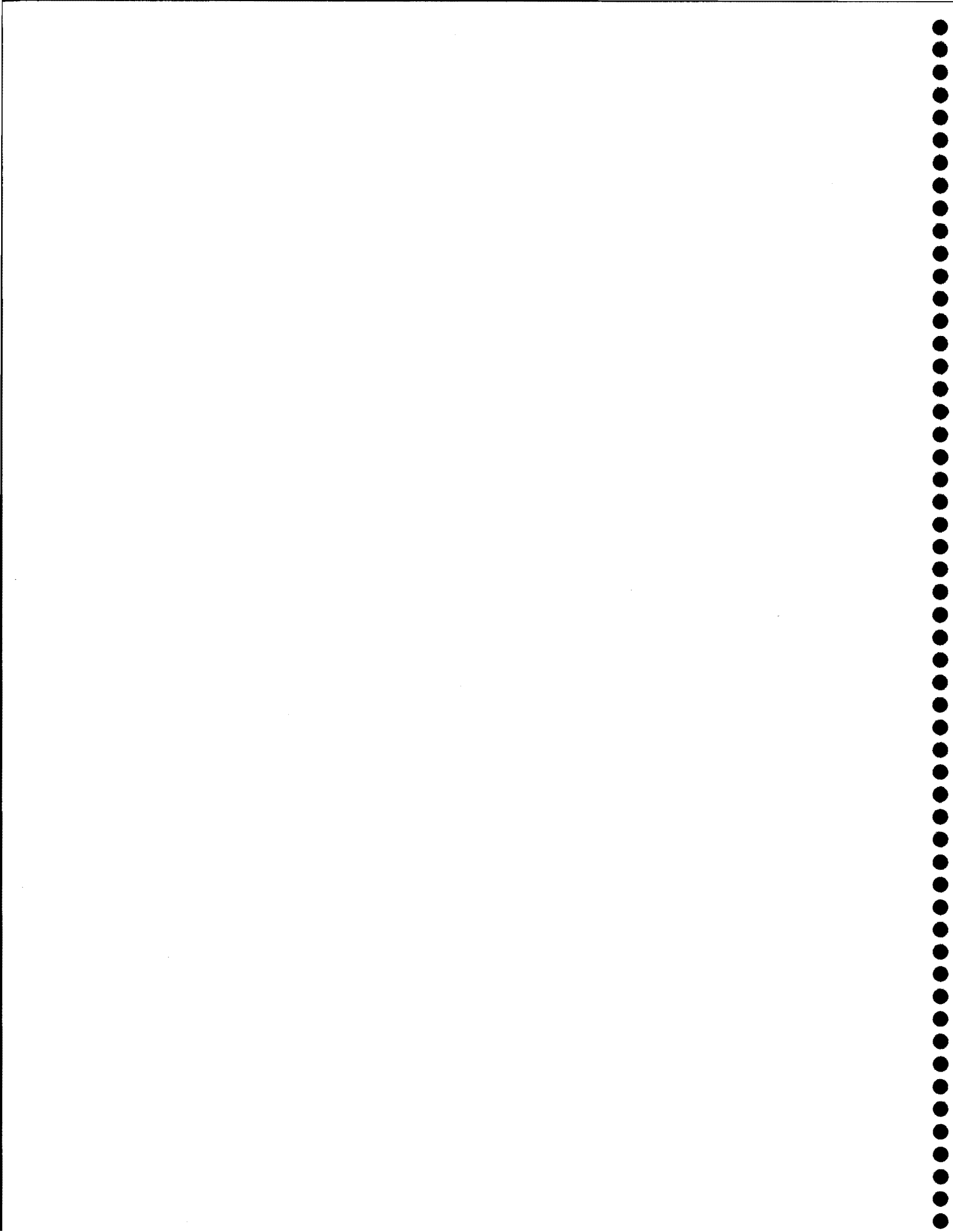
<u>SECTION</u>	<u>PAGE</u>
5. COMMUNITY DESIGN ELEMENT	104
Grading Concept	104
Building Placement	110
Landscape Concept	113
Community/Planning Area Entries	117
6. COASTAL ZONE POLICIES	122
Residential Land Uses	122
Industrial Land Uses	109
Commercial Land Uses	124
Transportation	124
Open Space and Resource Management	125
Community Design	127
7. APPENDICES	
Legislative Framework	Appendix A
Land Use Intensity Comparison - 1994 Plan and 1996 Plan	Appendix B
Land Use Intensity and Traffic Generation	Appendix C
Community Plan Recommended Zoning	Appendix D
Relationship to Progress Guide and General Plan	Appendix E
Plan Update and Amendment Process	Appendix F

LIST OF FIGURES and TABLES

<u>FIGURE</u>	<u>PAGE</u>
1 Land Use Plan	2
2 Vicinity Map	10
3 Coastal Zone Boundaries	14
4 Relationship to Surrounding Communities	15
5 Physical Constraints	17
6 Sorrento Hills Vegetation Map	18
6 <u>Community Planning Areas</u>	25
7 Residential Land Uses	28
8 <u>Industrial/Business Park Land Uses</u>	43
9 Commercial Land Uses	58
10 1991 Average Daily Traffic	66
11 Vehicular Circulation Plan	68
12 Community Plan Traffic Volumes	70
13 Community Trails System	74
14 Bikeway Plan	76
15 Bicycle Facilities Classifications	77
16 Open Space Map	89
17 <u>Sorrento Hills Community Facilities Map</u>	96
18 <u>Surrounding Community Facilities</u>	98
19 Sorrento Hills Parks and Recreation Facilities	93
19 Community and Planned Entries	118
20 Coastal Zone Steep Slopes	128

TABLE

1 Land Use Development of Intensities	4
2 Residential Land Uses	27
3 <u>Industrial/Business Park Land Uses</u>	42
4 Commercial Land Uses	57
5 25% Slope Encroachment Allowance	130



1.

Executive Summary

- ➡ Plan Vision
- ➡ Key Policies

EXECUTIVE SUMMARY

Plan Vision

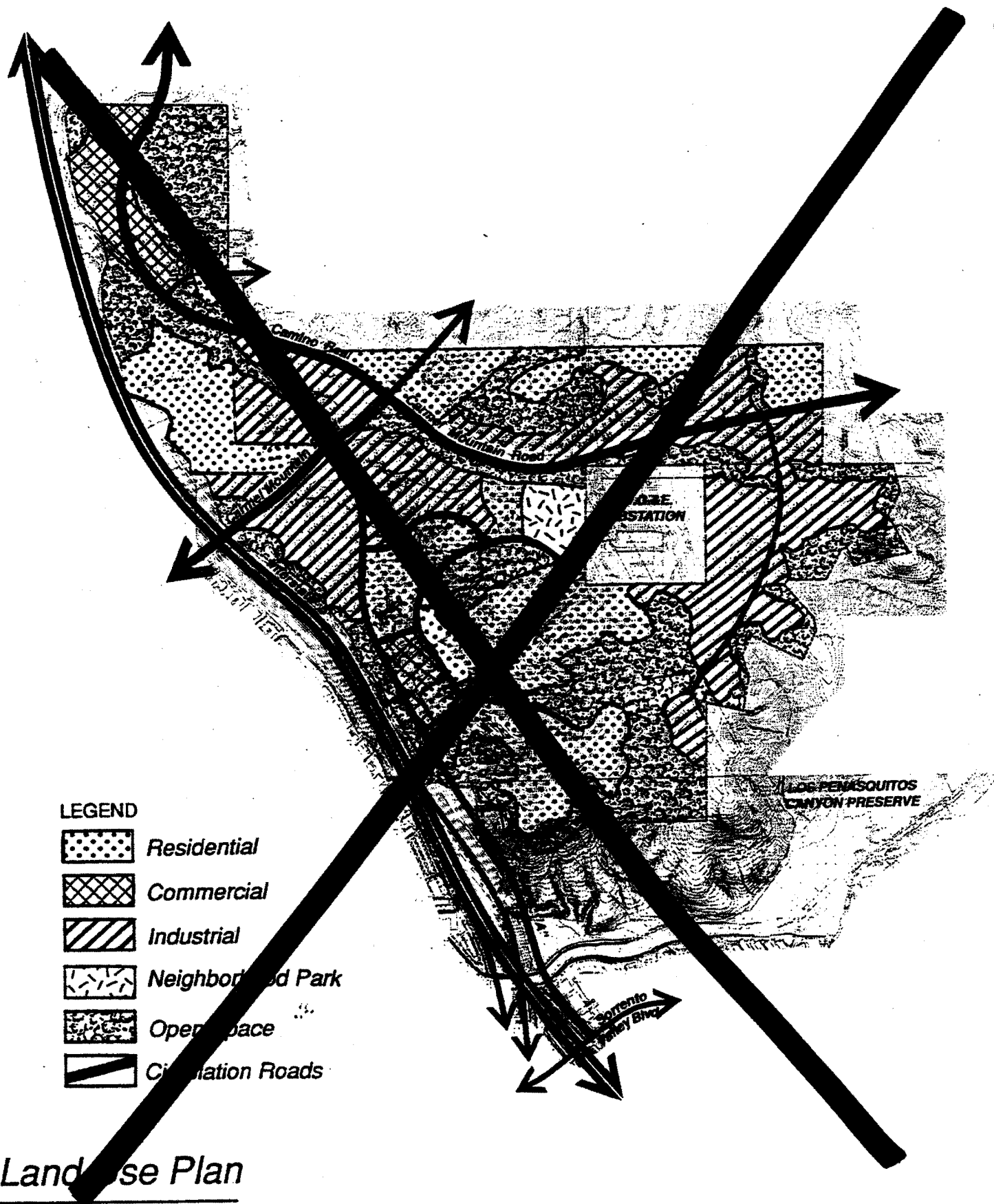
The Sorrento Hills Community Planning Area is characterized by its high visibility from adjacent freeways and its varying natural topography. ~~As one of the City's few remaining undeveloped planning areas, it~~ is uniquely located between two regionally significant open space areas: Carmel Valley on the north, and Los Peñasquitos Canyon Preserve on the south. This location, with its coastal influences combined with the ~~relatively undisturbed nature~~ natural features of the planning area, results in the presence of potentially important native habitats and wildlife species. Additionally, the planning area is situated in proximity to existing employment centers and residential development which provides an opportunity for the Community Plan to balance land uses in the area.

The primary vision of the Community Plan, which will guide development in Sorrento Hills over the next 15-20 years, is:

Develop the community with land uses that complement surrounding developing areas and maximize mobility opportunities; that reflect the variety of landforms characterizing the community; that protect and enhance important wildlife habitat; and that provide for a high quality urban form reflective of the area's unique location and natural attributes.

The focus of this plan is to implement this vision through the creation of cohesive land uses which provide residential densities supported by an integrated circulation network and mobility and transit opportunities; which supplement the employment base developing in the area; which ~~integrate~~ combine land uses in and around the community to create a viable balance; and which are compatible with regional open space plans and important wildlife habitats.

The *Land Use Plan* appearing in Figure 1 and the *Land Use Table* (Table 1) represent a development scenario for the community which implements the Plan Vision.



LEGEND

-  Residential
-  Commercial
-  Industrial
-  Neighborhood Park
-  Open Space
-  Circulation Roads

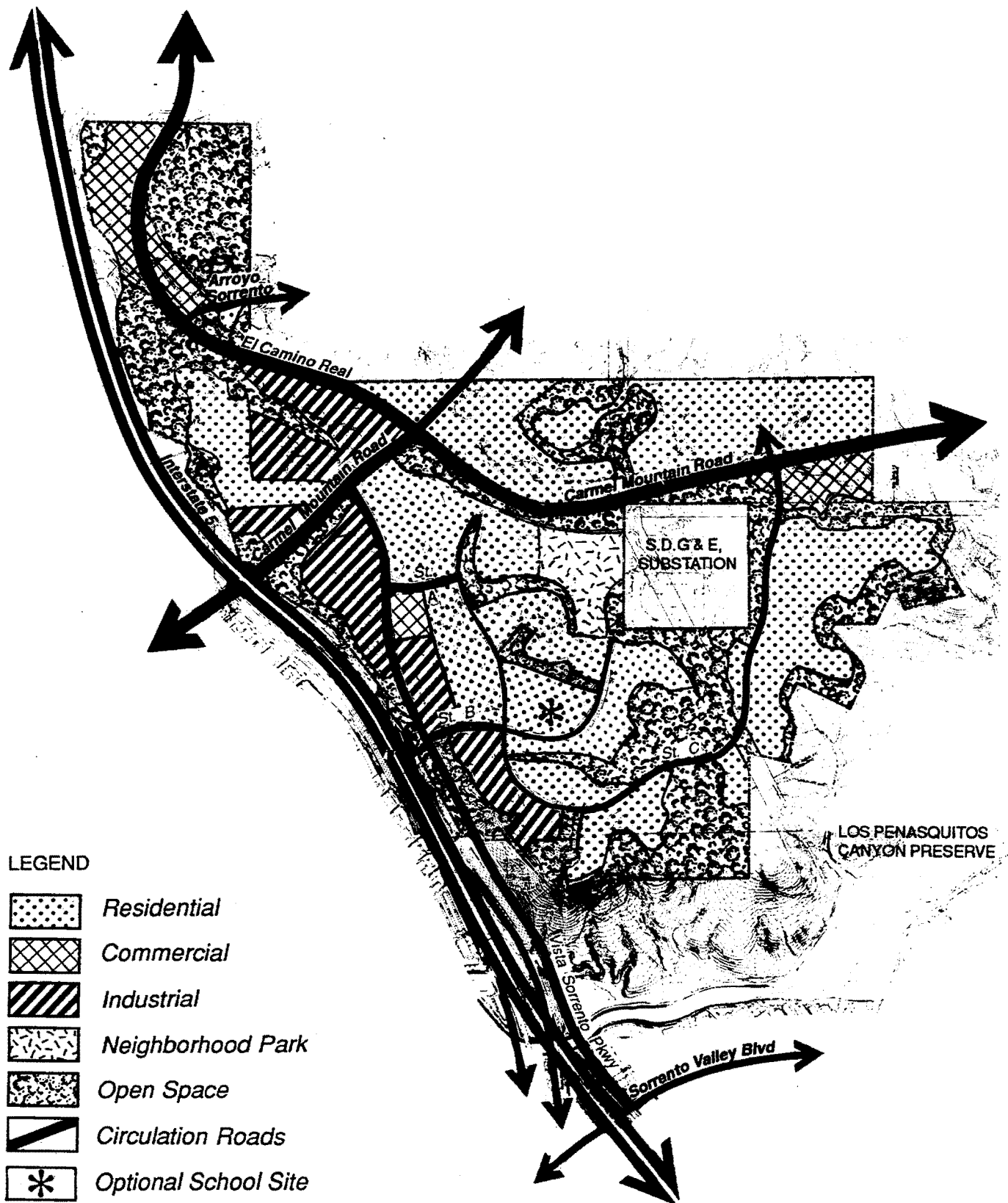
Land Use Plan

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 1





Land Use Plan

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 1



T&B Planning Consultants
310 HALLADAY, SUITE 100
SAN DIEGO, CALIF. 92108-0776
SAN DIEGO, CALIF. 619 594-8100



Table 1
LAND USE TABLE

LAND USE	ACRES	% OF COMMUNITY PLAN	DEVELOPMENT INTENSITY
Residential			
• Very Low	62		252 units
• Medium Low	134		2,460 units
Total Residential	196	25	2,712 units
Commercial			
• Carmel Valley ⁽¹⁾	24		477,000 square feet
• Village Center ⁽²⁾	7		23,500 square feet
Total Commercial	31	4	500,500 square feet
Industrial/Professional Office/ Scientific Research			
• Valley	61		540,000 square feet
• Mesa	55		870,000 square feet
• Western Ridge	48		1,014,000 square feet
Total Industrial/Professional Office/ Scientific Research	164	21	2,424,000 square feet
Other	<i>Included in Village commercial acreage above.</i>		
• Health Club			28,000 square feet
• Day Care			3,000 square feet
Neighborhood Park	10	1	
Open Space	278	34	
Utility			
• SDG&E Substation	40	5	
Streets, Freeways	76	10	
TOTALS	795	100%	

¹The Carmel Valley Commercial includes approximately 440,000 square feet of corporate office land uses and 37,000 square feet of visitor serving commercial land uses as approved in the Torrey Reserve Planned Commercial Development Permit (PCD No. 85-0824).

²The Village Center Commercial includes approximately 20,000 square feet of retail commercial land uses and 3,500 square feet of support commercial office land uses.

Revised Table 1
PROPOSED LAND USE TABLE

<u>LAND USE</u>	<u>ACRES</u>	<u>% OF COMMUNITY PLAN</u>	<u>DEVELOPMENT INTENSITY</u>
<u>Residential</u>			
• <u>Very Low</u>	<u>22</u>	<u>3</u>	<u>123 units</u>
• <u>Low</u>	<u>203</u>	<u>26</u>	<u>1,211 units</u>
• <u>Medium Low</u>	<u>38</u>	<u>5</u>	<u>770 units</u>
Total Residential	263	34	2,104 units
<u>Commercial</u>			
• <u>Torrey Reserve</u>	<u>24</u>	<u>3</u>	<u>477,000 square feet</u>
• <u>Support Commercial Center</u>	<u>4</u>	<u>1</u>	<u>40,000 square feet</u>
• <u>Torrey Hills Neighborhood Commercial Center</u>	<u>13</u>	<u>1</u>	<u>130,000 square feet</u>
Total Commercial	41	5	647,000 square feet
<u>Industrial/Business Park</u>			
• <u>Torrey Hills Industrial/Business Park</u>	<u>47</u>	<u>6</u>	<u>1,099,775 square feet</u>
• <u>Sorrento Hills Gateway</u>	<u>30</u>	<u>4</u>	<u>250,225 square feet</u>
Total Industrial/Business Park	77	10	1,350,000 square feet
Community Sports Park Complex	14	2	
Open Space	283	36	
Utility			
• <u>SDG&E Substation</u>	<u>40</u>	<u>5</u>	
Streets, Freeways	66	8	
TOTALS	784	100%	

Key Policies

The following key policies have been developed to respond to the plan's vision of land use balance, integration and cohesiveness; sensitivity towards open space and wildlife habitat and a reflection of underlying landform; and densities of land uses supported by accessibility and employment base. These key policies have been interwoven throughout all elements of this Community Plan.

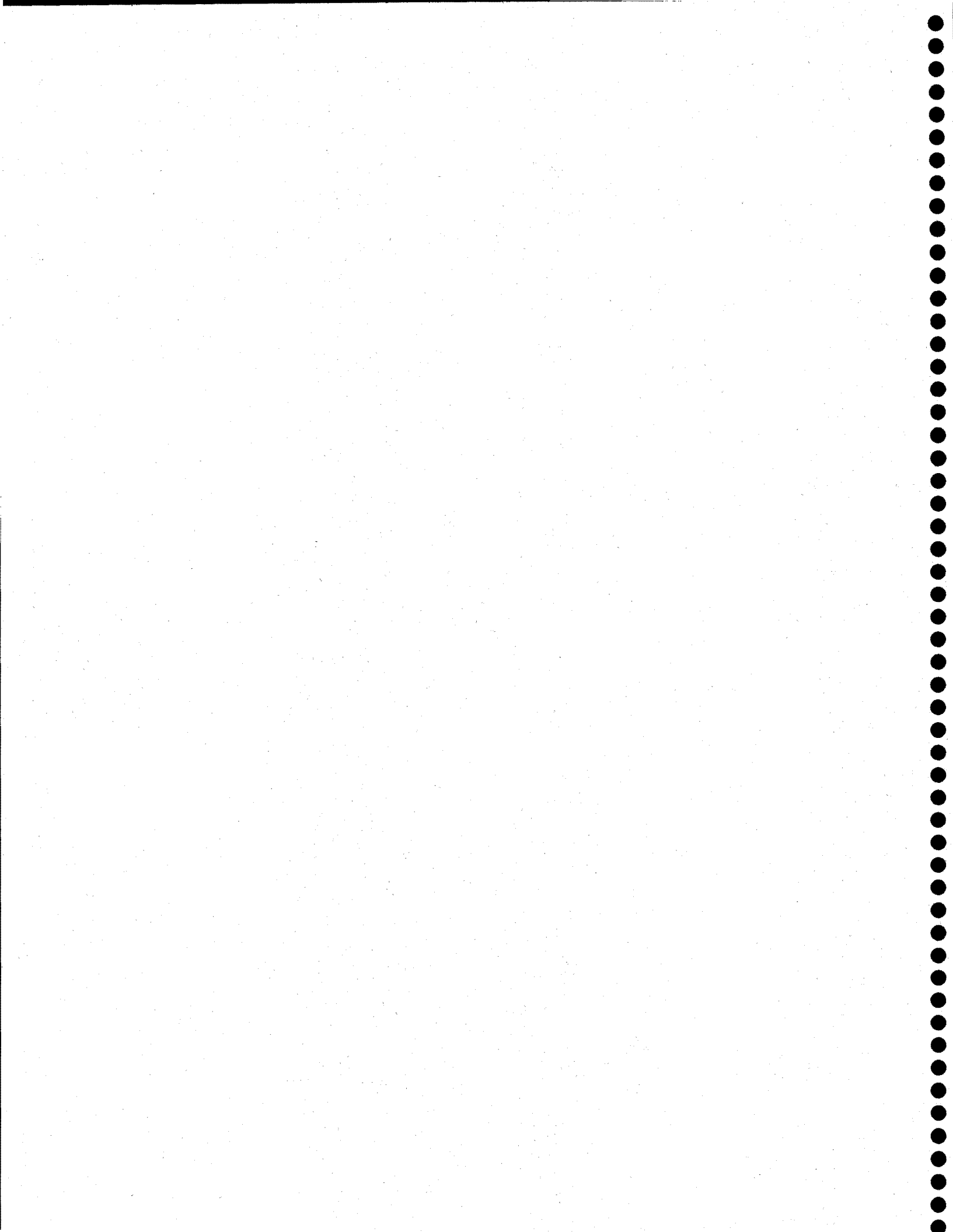
1. Develop a mix of land uses which integrates and balances existing and planned land uses in the community as well as takes advantage of view opportunities and accessibility.
2. Provide employment, recreation and housing opportunities situated in a manner which encourages walking and bicycle use to assist in reducing single-occupant automobile travel.
3. Develop industrial areas with predominately light industrial, manufacturing, professional office and scientific research uses. Such developments shall reflect sensitivity in design and complement residential developments.
4. Provide adequate retail and support commercial uses to meet community demand.
5. Develop specific development controls and special design standards through the permit review process to assure compatibility with adjacent residential and regional park uses.
6. Adhere to community-wide landscape design guidelines to ensure that Sorrento Hills has a distinctive and cohesive community image.
7. Encourage more efficient use of land compatible with and sensitive to existing natural ecological, scenic and open space resources through innovative grading techniques and design standards.
8. Preserve and, if necessary, enhance or restore open space areas identified within the community. Protect open space areas from development pressures through dedication, ~~or acquisition~~ or open space easements.
9. Assure compatibility with the existing energy developments in the community by minimizing the impacts of development on the existing facilities, and by minimizing the impacts of the facilities on the development.
10. Provide for land development projects within the community which are sensitive to landform and adjacent uses, which have adequate internal circulation and linkage to regional vehicular and transit transportation systems, and which demonstrate high quality design and construction.



2.

Introduction

- ☞ Purpose of the Plan
- ☞ Plan Organization
- ☞ How the Plan was Developed



INTRODUCTION

Purpose of the Plan

The *SORRENTO HILLS COMMUNITY PLAN* and accompanying Environmental Impact Report (EIR) are required by the City of San Diego for the orderly and sensitive development of land in the Sorrento Hills area of the City. In this manner, the *SORRENTO HILLS COMMUNITY PLAN* is a set of proposals intended to serve as a guide for future public and private development within the community. The plan includes a series of goals and actions which are consistent with City policy. These goals and actions provide direction as to how the proposals within the plan should be carried out.

This Community Plan should not be considered as a static document. It is the intent of this plan to provide guidance for the orderly and controlled growth of the Sorrento Hills community. In order to respond to unanticipated changes in environmental, social, or economic conditions, the plan shall be continually monitored and amended when necessary, so as to remain relevant to the needs of the Sorrento Hills community and the City of San Diego.

Plan Organization

This document is comprised of five distinct Sections that together make up the *SORRENTO HILLS COMMUNITY PLAN*. Supporting the text in these sections is the *Land Use Map* (Figure 1, page 2), which depicts land use designations throughout the community, and other graphic representations to assist in understanding the plan elements.

The first three Sections of the document serve as an introduction by explaining the document's purpose and organization, and by discussing existing site-related conditions:

EXECUTIVE SUMMARY. This Section is located at the very beginning of the document and contains the long-term vision statement for development of the area, as well as key policies which will serve to guide growth in the plan area over the next decade or so.

INTRODUCTION. This Section follows the Executive Summary and includes the Community Plan's purpose, the plan organization, and the background history of the plan to-date.

PLANNING CONTEXT. This Section includes a description of the location and boundaries of the Community Plan area, a development and planning history, and descriptions of existing environmental conditions in the Sorrento Hills community.

The following three Sections form the core of the *SORRENTO HILLS COMMUNITY PLAN* by establishing the land uses, development standards, policies and action statements that will guide development in the area for years to come.

COMMUNITY LAND USE ELEMENTS. This Community Plan includes six separate land use elements (i.e., Residential, Industrial/Business Park, Commercial, Transportation, Open Space and Resource Management, and Community Facilities) that will dictate the development pattern in Sorrento Hills. Each element provides specific goals, policies, and recommended action plans, as well as background information and specific development proposals. For development located within the Coastal Zone, the Coastal Zone Policies shall also apply.

The Goals and Policies set forth in each element are intended to provide direction to City staff, the Planning Commission, and the City Council which will assist them in evaluating development proposals within Sorrento Hills. The Action Plans are provided in a matrix format and contain more concrete recommendations which may be used by City staff, the Planning Commission, and the City Council as a project implementation tool.

COMMUNITY DESIGN ELEMENT. Landscape, siting, and general grading concepts have been included in this Section of the Community Plan. These Guidelines are intended to complement the Land Use Elements by introducing selected design features that will give Sorrento Hills a strong, distinctive community image.

COASTAL ZONE POLICIES. Portions of the community lie within the Coastal Zone for the State of California. The State Coastal Commission has adopted the North City Local Coastal Program which provides direction for development within those portions of Sorrento Hills located in the Coastal Zone. This Community Plan document ~~is intended to~~ supersede the Coastal Zone Policies specific to Sorrento Hills. All development located in the Coastal Zone shall comply with these policies, as well as with other applicable goals and policies presented in other elements of this plan.

Finally, the document also contains a series of TECHNICAL APPENDICES that include the legislative framework for processing and approving the Community Plan, a comparison of ~~1994 1983~~ and current land use intensities, the relationship of land use intensity and traffic, recommended zoning for the community, the relationship of the plan to the City's *Progress Guide and General Plan*, and information on the updating and amending of this document.

How The Plan Was Developed

Preparation of the *SORRENTO HILLS COMMUNITY PLAN* and the required Community and General Plan Amendment was officially made possible by action of the San Diego Planning Commission on July 2, 1981, when the Commission instructed the San Diego Planning Department to work with the property owners to develop a policy

document and plan for the area. The original Community Plan was subsequently adopted by the San Diego City Council on March 8, 1983.

An This updated version of the *SORRENTO HILLS COMMUNITY PLAN* was prepared in 1994, which allocated land uses to an approximate 178-acre addition to the community resulting from an action by the voters of San Diego in 1986 to trade this area, previously a part of Los Peñasquitos Canyon Preserve, for approximately 288 acres of privately owned land regarded as higher quality park land. Other land use changes were incorporated into the Community Plan at that time including a greater focus on residential uses and the addition of Street "A" (or Vista Sorrento Parkway, as it has been subsequently named), an important north-south access through the community benefitting community residents and employees as well as motorists accessing adjacent communities. In 1996, a subsequent amendment to this community plan occurred resulting in a refinement of land use changes which occurred with the 1994 update.

Both the 1994 and 1996 amendments have been prepared by a private consultant team working closely with the City of San Diego Long Range and Facilities Planning Department staff. The consultant team was largely responsible for conducting the necessary research, drafting the Plan elements, soliciting input from neighboring groups, and acting as a liaison between the property owners and the City. The City of San Diego Long Range and Facilities Planning Department staff provided technical assistance and evaluated the materials prepared by the consultant team for consistency and compliance with established City policies and regulations.






Because there are no inhabitants residing in the area of the *SORRENTO HILLS COMMUNITY PLAN*, the San Diego Planning Commission acted as the Community Planning Group per City Council Policy 600-5 for the review and approval of this the Plan in 1983, as well as subsequent amendments in 1994 and 1996. In this capacity, the Planning Commission conducted workshop sessions and public hearings prior to adoption of the Community Plan.

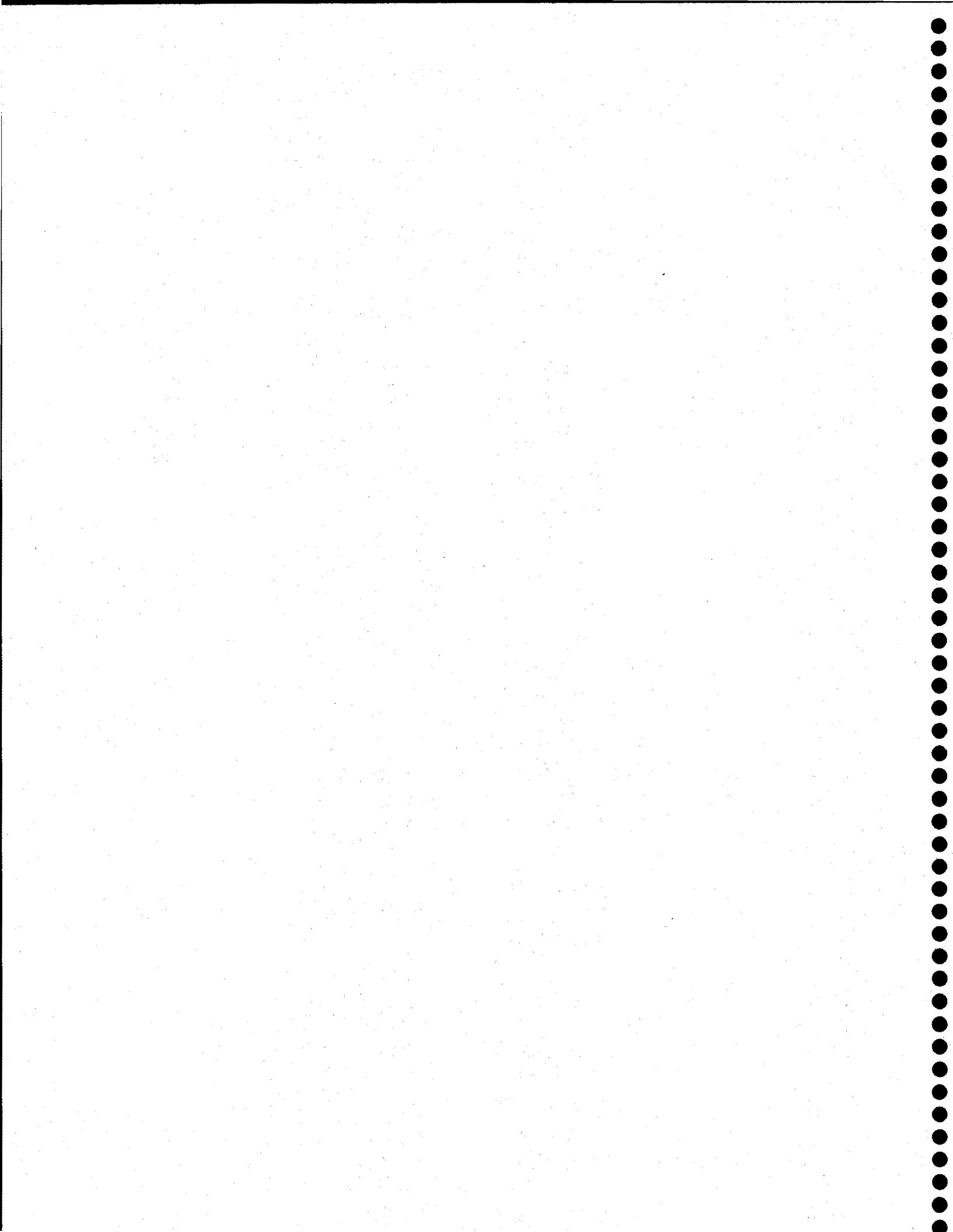




3.

Planning Context

-  **The Community Plan Area**
-  **Development and Planning History**
-  **Local Coastal Program**
-  **Urban Setting**
-  **Environmental Setting**



PLANNING CONTEXT

The Community Plan Area

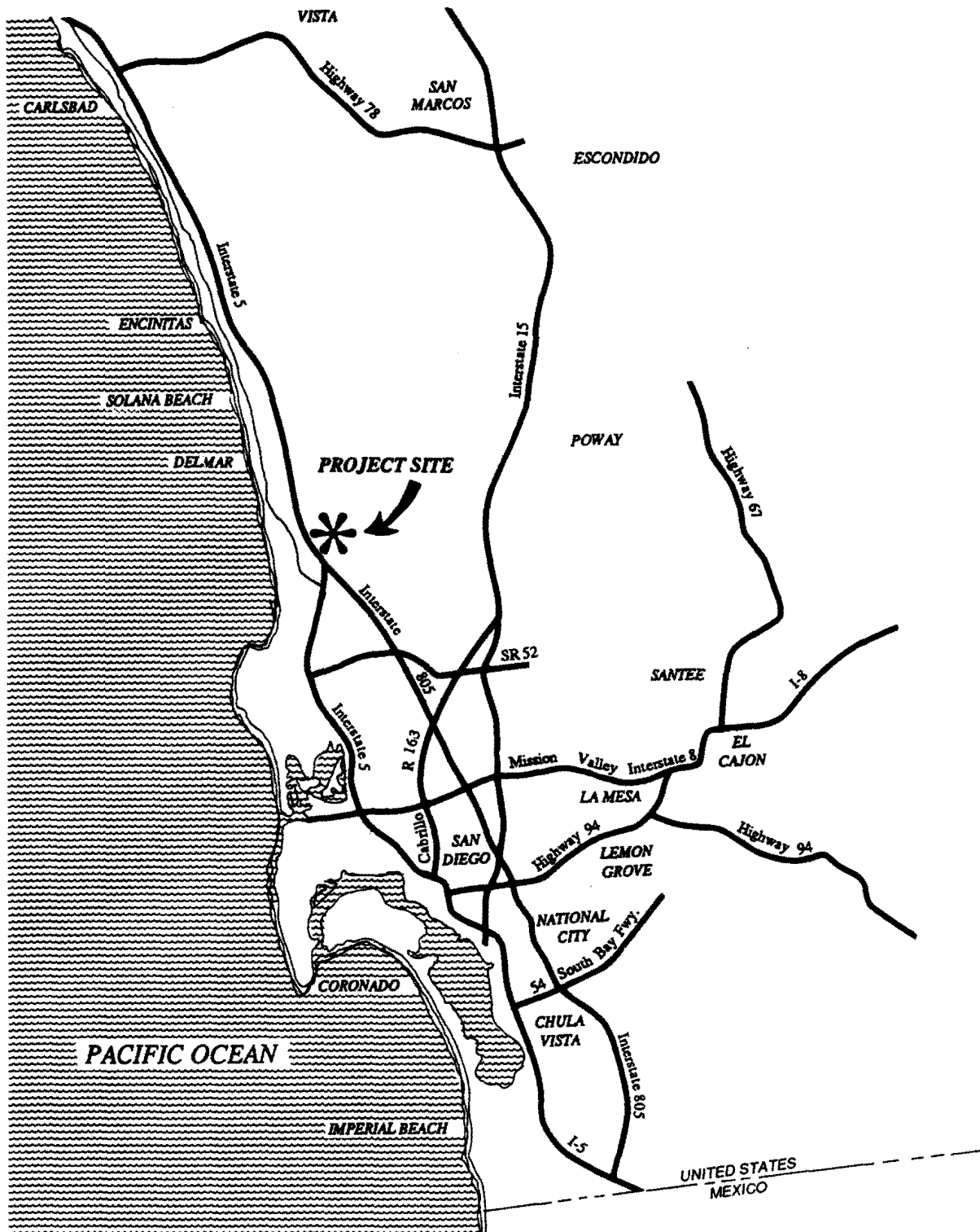
The *SORRENTO HILLS COMMUNITY PLAN* area is located in the north central part of the City of San Diego (see Figure 2, *Vicinity Map*). The entire planning area contains approximately ~~795~~ 784 acres and is bounded on the south by Los Peñasquitos Canyon Preserve, on the west by Interstate 5, and on the north and east by the Carmel Valley Community Planning Area.

The Sorrento Hills Community is adjoined by two other existing community planning areas: Torrey Pines across Interstate 5 (I-5) to the west and south, and Carmel Valley to the north and east. In addition, there are two other planned communities in the immediate vicinity: Mira Mesa is located immediately across Los Peñasquitos Canyon Preserve to the south; the University community is situated across Peñasquitos Canyon and I-5 to the southwest.

Development and Planning History

The Sorrento Hills area has an interesting planning history that is tied to the planning efforts for Los Peñasquitos Canyon Preserve. For nearly ten years, prior to the adoption of the City of San Diego *Progress Guide and General Plan* in 1979, the City and County had been conducting studies on Los Peñasquitos Canyon as an open space park. During that period, the Carmel Valley community was being planned, and the Sorrento Hills area was specifically excluded so as not to preempt the determination of a precise park boundary. By the time the City's *Progress Guide and General Plan* was adopted in 1979, the precise boundary of the park still had not been determined, and the Sorrento Hills property was designated as "*Future Urbanizing*" on the General Plan until the boundary of the preserve could be determined.

In February 1980, Genstar-Penasquitos (now AG Land Associates, LLC) dedicated a total of 1,806 acres of Los Peñasquitos Canyon to the City for use as a preserve. This action precisely defined the boundaries of the preserve as it borders the Sorrento Hills property. This action subsequently cleared the way to initiate a community planning program for the Sorrento Hills property and to amend the City's *Progress Guide and General Plan* which transferred the original plan area from *Future Urbanizing* to *Planned Urbanizing*.



Vicinity Map

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 2



Background

~~Since the original adoption of the SORRENTO HILLS COMMUNITY PLAN on March 8, 1983, urban development has not yet occurred in the community. However, d~~Development plans have been submitted and approved for ~~several~~ all planning areas within the community. Tentative Maps, Planned Industrial Development Permits, Planned Residential Development Permits, Planned Commercial Development Permits, Hillside Review Permits, Coastal Development Permits and Rezone Applications have been approved, and final maps have been recorded. Development has begun in the community with the construction of basic infrastructure and roads, such as El Camino Real and Carmel Mountain Road, and construction of the Torrey Reserve commercial development and Torrey View residential development in the northern portion of the community. Additionally, grading has occurred in other portions of the community in preparation of implementing approved projects.

Prior to 1986, approximately 178 acres located adjacent to the Sorrento Hills community planning area was designated as "Future Urbanizing" on the San Diego General Plan Map. On November 4, 1986, the citizens of San Diego approved a ballot measure which directed that a 166-acre parcel owned by the City and located at the western boundary of Los Peñasquitos Canyon Preserve adjacent to Interstate 5 (I-5) be traded for 288 acres of privately owned land located adjacent to the preserve and just north of the area known as "the falls". An additional 12 acres located between the 166-acre parcel and I-5 was also incorporated into the ballot measure in order to avoid creating a small island of Future Urbanizing area between the 166-acre parcel and the freeway. This total 178-acre addition to Sorrento Hills is was referred to as the "Park Trade" property. Approval of the ballot measure resulted in a transfer of this property from Future Urbanizing to Planned Urbanizing. ~~This SORRENTO HILLS COMMUNITY PLAN update, along with a General Plan Amendment, will~~

In 1994, the City Council approved an amendment to the SORRENTO HILLS COMMUNITY PLAN and the City's Progress Guide and General Plan which served to implement the results of the initiative, which converting the Park Trade property from "Future Urbanizing" to "Planned Urbanizing", and providing for expanded industrial and residential opportunities for the community. In addition to this major addition to the Community Plan area, an important change to the fabric of the land use plan is the expansion of residential land uses. The 1994 amendment This update provided for a substantial medium-low density residential land use component and additional single family housing opportunities as a reaction to the need for these types of housing in the area and the community's opportune location adjacent to I-5 and the planned heavy rail commuter train line in Sorrento Valley. Recent adopted and pending legislation, both at the local and state levels, is beginning to direct the concentration of compatible and supporting land uses adjacent to transit corridors in order to reduce emissions and improve traffic congestion. Additionally, the inclusion of a medium-low density residential component within the Residential Land Uses element supports key policies of this plan directed at providing affordable housing for workers within the community and providing housing in an area where easy accessibility and transit opportunities occur.

Other minor changes which occurred in this the 1994 update included: A restructuring of industrial uses diminishing the focus on professional office use. Professional office uses will be permitted in industrial areas as identified in this plan. However, the focus of the Industrial Land Uses element supports long term regional trends directed at the creation of communities which provide a balanced mix of housing opportunities and employment centers in proximity to each other and to local and regional transportation linkages. Also, it is the intent of the Industrial Land Uses Element to promote industrially oriented land uses in response to the anticipated over supply of professional office uses in Southern California and the San Diego area and to create a strong research and development component to the community's Industrial Element. This provision for expanded light industrial and scientific and research land use opportunities has resulted in an increase in development intensities for industrially based land uses in the community. the inclusion of 1.3 acres previously shown within the Carmel Valley Neighborhood 8A Precise Plan; and the The realignment of El Camino Real shown in this and the previous Community Plan, caused the separation of a 1.3-acre property from residential land uses in Neighborhood 8A of the Carmel Valley Community Plan. With this physical separation, the property is now more appropriately developed under the goals, actions and proposals of the *SORRENTO HILLS COMMUNITY PLAN*. This update recommends industrial land uses, similar to the contiguous Sorrento Hills property for this area of the plan. The City's *Progress Guide and General Plan* will be amended to incorporate this change. Addition of Street "A" (Vista Sorrento Parkway), the northern extension of which. Street "A" is included in this update to provides a north-south access through the community between Carmel Mountain Road and Sorrento Valley Boulevard. The northern portion of Street "A" will occur within Sorrento Hills while the southern portion is within the Torrey Pines Community. This will require amending the City's *Progress Guide and General Plan* to add this circulation link to the Circulation Element.

The most recent amendment to this Community Plan involves a further refinement of planned land uses, primarily in the southern portion of the community, and minor adjustments to the circulation system. Area devoted to industrial land uses has been reduced and concentrated in the western portion of the community, where easy access to I-5 and Vista Sorrento Parkway is available. Recognizing the potential to market this high profile area to corporate headquarters and professional office users, the land use designation for this area has been re-named *INDUSTRIAL/BUSINESS PARK*. The 1996 amendment provides a broader range of residential land uses, varying from apartments, condominiums and townhomes, to smaller lot detached residential and traditional single family subdivisions. A Neighborhood Commercial Center has been added, providing for retail commercial uses typically serving residential neighborhoods. In anticipation of an increase in students associated with more traditional family neighborhoods, the 1996 amendment provides the option for an elementary school site located central to residential developments planned for the southern portion of the community.

Local Coastal Program

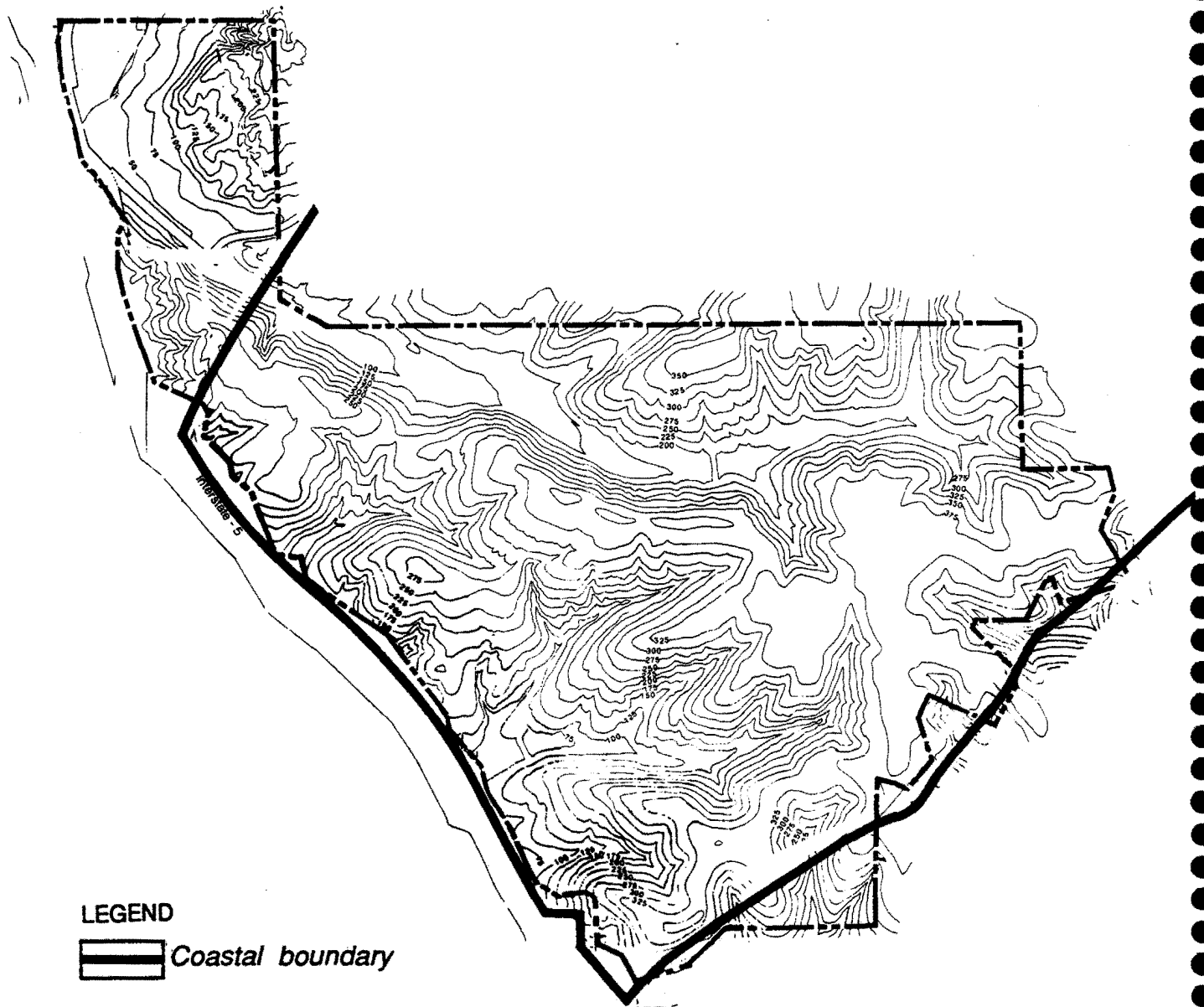
The passage of the Coastal Initiative in 1972 established temporary Coastal Commissions to prepare a plan for sound conservation and development of coastline areas. The plan was completed in late 1975 and served as the basis for the California Coastal Act of 1976. This legislation established State policies on coastal issues and the requirements for local coastal program preparation by government entities. The local coastal programs include local government's land use plans, zoning ordinances, zoning maps, and other implementing actions. When the local plans have been certified by the Coastal Commission as being consistent with Coastal Act policies, the permitting controls now exercised by the Coastal Commission will be returned to local governments, subject to a system of appeals to the Coastal Commission.

The northern portion and the southern perimeter of the plan area, consisting of approximately 123 acres, are included within the Coastal Zone, as defined by the Coastal Act of 1976 (see Figure 3, *Coastal Zone Boundaries*). The primary reason for this inclusion is to provide additional upstream protection for the environmentally sensitive wetland of Los Peñasquitos Lagoon. Because portions of the community are situated within the Coastal Zone, this plan has the additional responsibility of containing specific land use and development policies pursuant to the adoption of a Local Coastal Program (LCP). These are contained in the Coastal Zone Policies Element of this Community Plan.

The City of San Diego has prepared and submitted the North City Local Coastal Program Land Use Plan and the related Implementation Ordinances. The Land Use Plan (LUP) includes land uses for those portions of the communities of University City, Mira Mesa, Torrey Pines, Carmel Valley, and Sorrento Hills which are located within the Coastal Zone. Subsequent to adoption of the North City Local Coastal Program, and in conjunction with approval of the 1994 amendment of this Community Plan, the State Coastal Commission certified this Community Plan as superseding the Coastal Zone Policies specific to the Sorrento Hills portion of the North City Local Coastal Program. Portions of the Sorrento Hills Community have been certified by the Coastal Commission. In these areas, development proposals which occur in the Coastal Zone will require approval of a Coastal Development Permit (CDP) from the City. Improvements associated with Street "A" portions of the extension of Vista Sorrento Parkway occurring within the Coastal Zone will require permits from have been approved by the State Coastal Commission.

Urban Setting

The Sorrento Hills community is largely undeveloped; for this reason, consideration of surrounding development, community plans and other planning efforts is essential in the development of community goals, policies and actions which create a balanced community with its own identity. Figure 4, *Relationship to Surrounding Communities*, illustrates Sorrento Hills' relationship to surrounding communities.

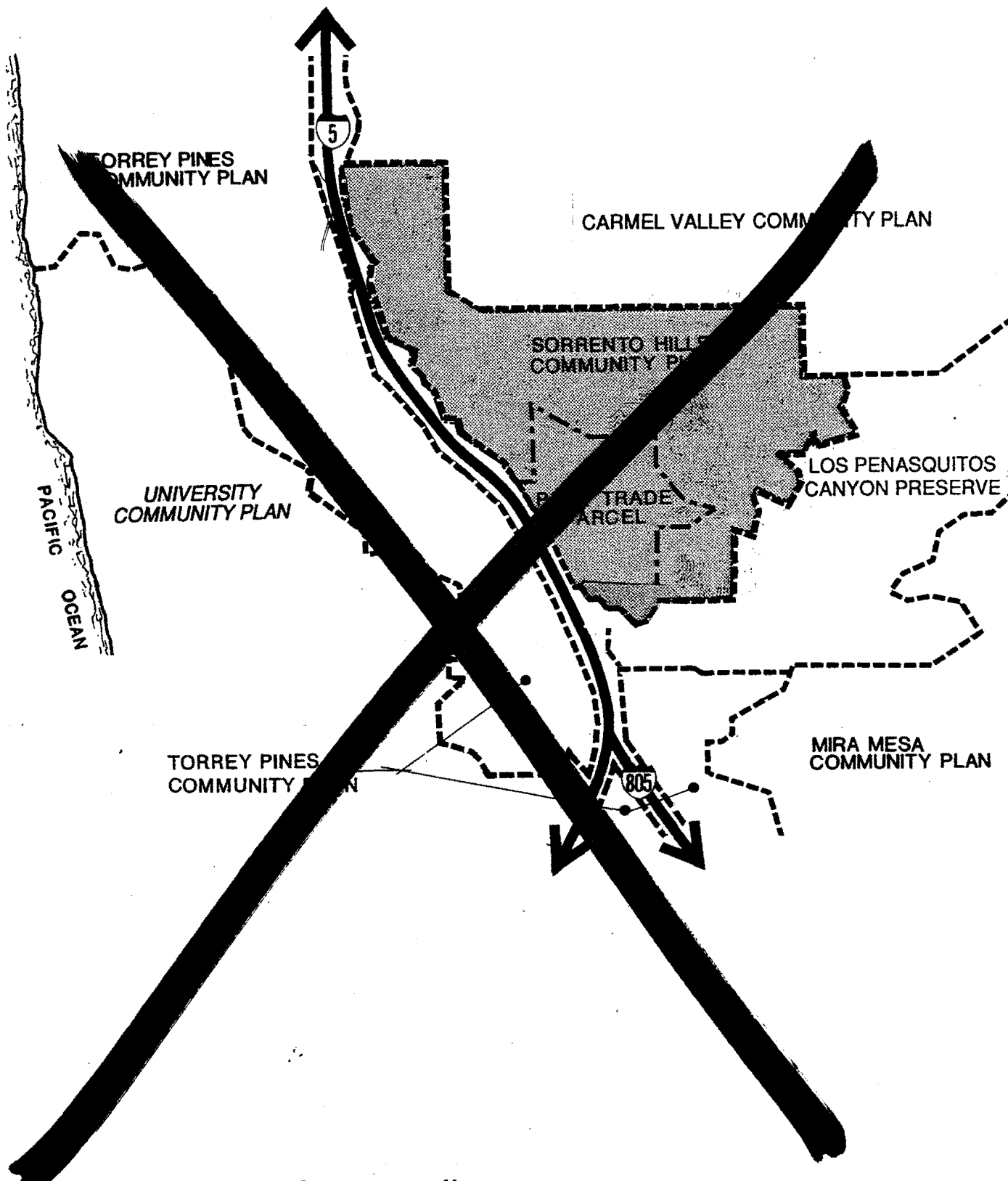


Coastal Zone Boundaries

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 3



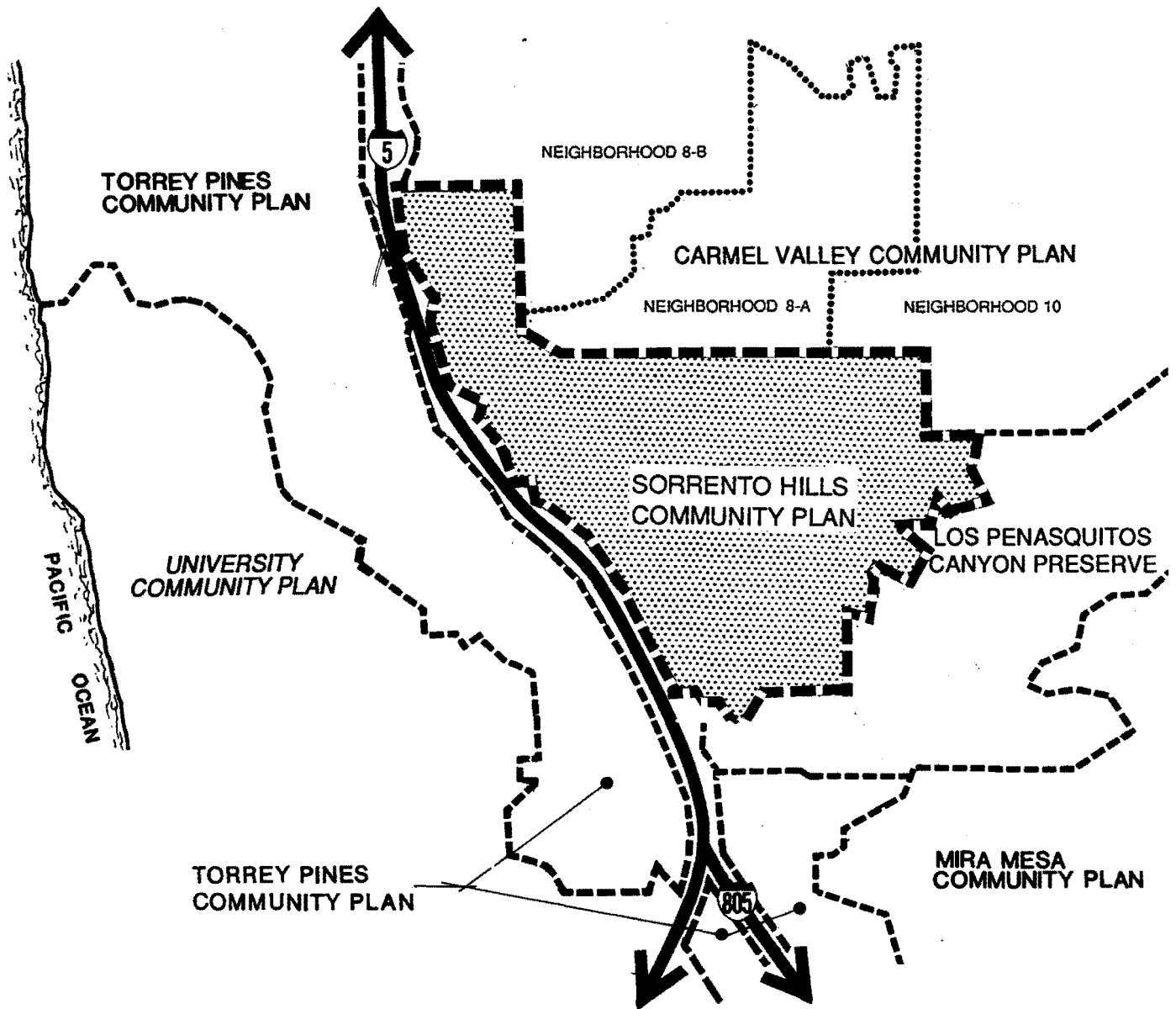
Relationship to Surrounding Communities

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 4





Relationship to Surrounding Communities

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 4



TURRIN & BRINK
Planning Consultants
1000 Camino del Rio South, Suite 200
San Diego, CA 92108
(619) 591-1100



In the northwestern extent of Sorrento Hills, Carmel Valley's open space designation corresponds with the 100-year floodplain of Carmel Creek and is contiguous with Sorrento Hills' open space and commercial land uses. Along Sorrento Hills' northeastern boundary, Carmel Valley proposes Very Low density residential uses which corresponds to Sorrento Hills' designation of Very Low density residential uses in this area.

Los Peñasquitos Canyon Preserve adjoins the planning area along its entire southern boundary. Los Peñasquitos Canyon Preserve is a regional resource under the authority of the County and City of San Diego. A Draft "Master Plan for Los Peñasquitos Canyon Preserve" has been prepared for the Preserve, but has not yet been adopted by either the City or County of San Diego.

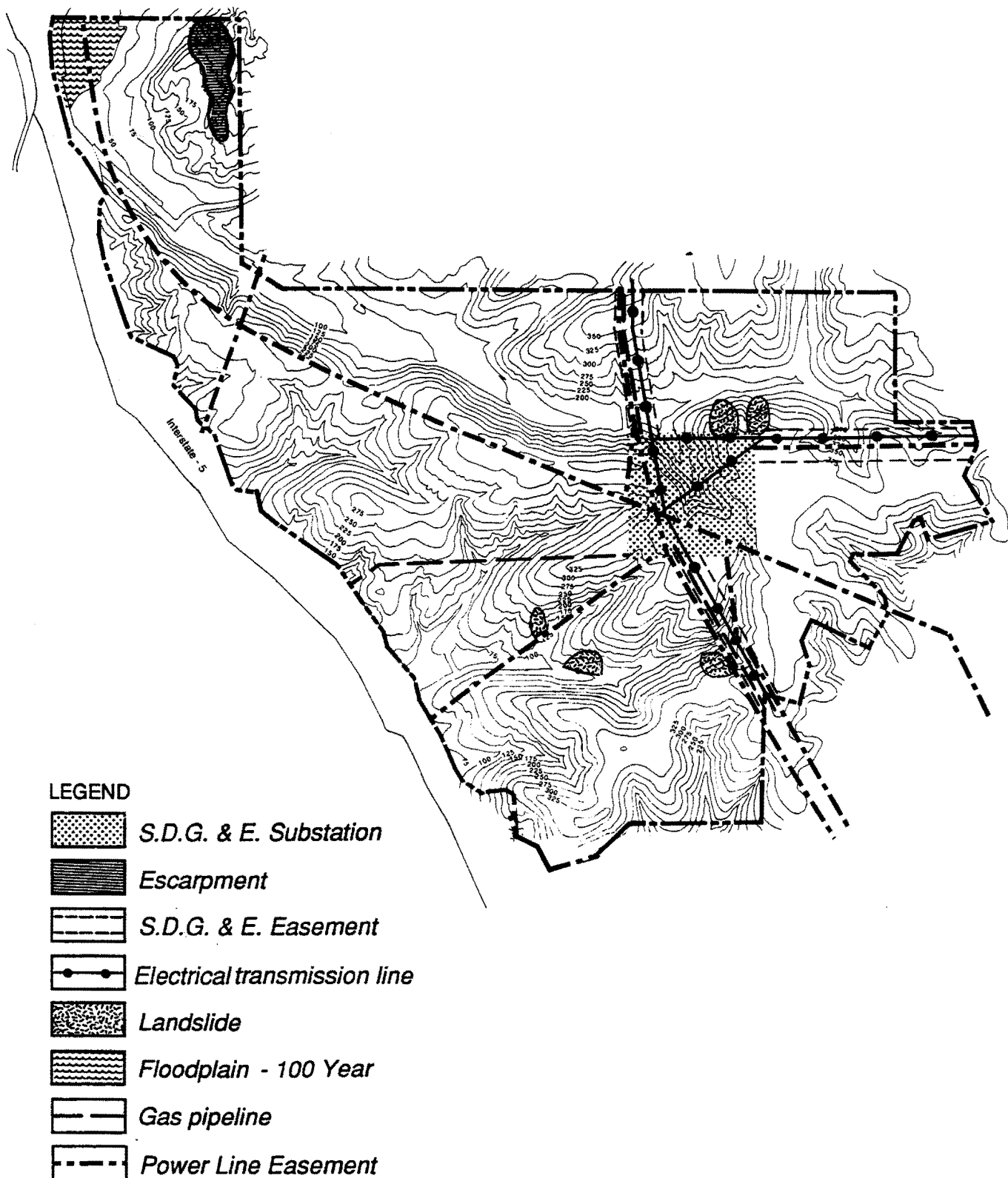
The entire western boundary of Sorrento Hills is I-5. West of I-5 is the Torrey Pines Community Plan, the southern portion of which is the Open Space designation for Los Peñasquitos Lagoon. South of the lagoon and immediately west of I-5 is the existing Sorrento Valley Industrial Park that also extends east into Los Peñasquitos Canyon. West of the Torrey Pines Community is the University Community that contains scientific research development along North Torrey Pines Road. Torrey Pines State Park is located on the southern extent of the Torrey Pines Community. Although Sorrento Hills does not share a contiguous border with the Park, some development within the community will be visible from a distance to park users.

Environmental Setting

A complete and thorough investigation of the Sorrento Hills property has been conducted as part of the community planning process. The existing conditions on the property are outlined here, and presented in greater detail in the Environmental Impact Reports; prepared for the original community plan and subsequent amendments (EQD No. 81-12-33, DEP No. 91-0361, DEP No. 93-0142, DEP No. 95-0554). Figure 5, *Physical Constraints*, and ~~Figure 6, *Sorrento Hills Vegetation Map*~~, provides a graphics which summarizes ~~of~~ important physical and environmental characteristics of the planning area.

Landform

Sorrento Hills is characterized by topographic diversity ranging from a series of narrow ridges with steep slope faces, to deep eroded ~~erosional~~ gullies, and broad mesa tops. The property has considerable terrestrial relief with elevations ranging from 20 feet above mean sea level (MSL) at the northwestern boundary, to approximately 393 feet above MSL in the east central section. The prominent topographic features of the property are the sandstone escarpments in the northwest section, a major canyon running east-west through the central section, and the mesa tops in the east central section (see Figure 5). The city's Hillside Overlay Zone has been applied to slopes in the community which have ~~with~~ a gradient greater than 25 percent.



Physical Constraints

SORRENTO HILLS COMMUNITY PLAN

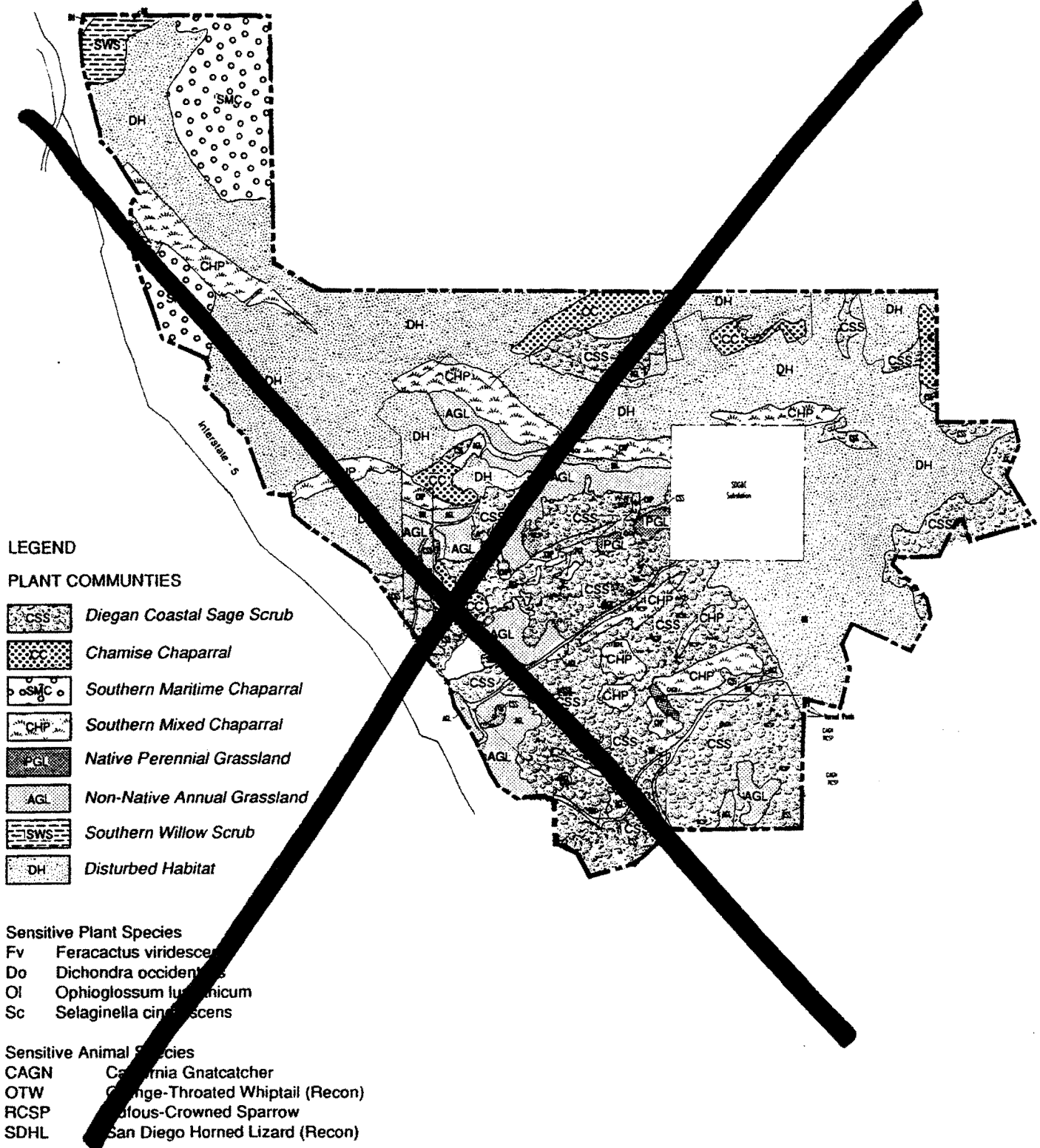
AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 5



TURRINI & BRINK
Planning Consultants
11400 Wilshire Blvd., Suite 100
Beverly Hills, CA 90210
(310) 277-1140
Fax: (310) 277-1141
www.turrini-brink.com





Sorrento Hills Vegetation Map

SOURCE : DUDEK & ASSOCIATES

SORRENTO HILLS COMMUNITY PLAN

Figure 6

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037



A dominant ridgeline generally runs in an east-west direction and establishes the major drainage pattern for the property which ultimately flows into Los Peñasquitos Lagoon. The drainage running north off the ridgeline flows into a major drainage valley and subsequently north and west into Carmel Valley. The drainage running south off the ridgeline eventually flows south and west into the Interstate 5 drainage system or Los Peñasquitos Canyon.

A small ~~portion of the northwestern portion part of the community property~~ is in the Carmel Valley floodplain. There are certain development restrictions within the floodway and floodway fringe, and these restrictions have been incorporated into this Community Plan.

Geology and Soils

Similar to its topographic diversity, the community's underlying geology and soils are varied. Ardath Shale, Torrey Sandstone, Scripps Formation and alluvium soils are found in the community. Geologic reconnaissances have revealed the potential of ancient landslides occurring in the Ardath Shale component of steep canyon slopes.

Torrey Sandstone, Scripps Formation and alluvium are subject to erosion requiring implementation of erosion control measures, particularly during construction activities and prior to establishment of landscape material. Three northeast-trending faults have been identified based on field mapping and review of linear features on topographic maps and photographs. Urban development within the planning area will require project specific geotechnical reconnaissance and exploration to determine subsurface suitability for development and to define necessary remediation.

Paleontological Resources

The geologic substructure of the planning area has the potential to contain important paleontological resources. Regionally, Ardath Shale has yielded significant amounts of fossils and nannoplankton. In the general area of Sorrento Hills, invertebrate fossils are also abundant. Fossil mollusks occur at several locations in exposed areas of Ardath Shale. The Scripps, Bay Point and Torrey Sandstone formations also contain fossils but not in as great abundance as Ardath Shale. The Linda Vista formation is not expected to yield regionally important paleontological resources.

Paleontological resources are evident on portions of the site where erosion has exposed fossil-bearing materials. Grading operations can increase exposure of substrate and additional resources can be exposed. For this reason, development activities in areas of Ardath Shale will require coordination with a qualified paleontologist to ensure optimal documentation of resources and to enable resource collection if important fossils become exposed during grading operations.

Wildlife and Vegetation

The Sorrento Hills Community has undergone varying degrees of disturbance due to past grazing activities and numerous dirt roads traversing the property. ~~Nearly half~~ The majority of the site community has been graded and/or brushed in accordance with approved maps.

Native vegetation originally occurring in the community ~~is was~~ dominated by the coastal sage scrub plant community. Coastal sage scrub is a coastal plant community composed of a variety of soft, low, aromatic shrubs. Coastal sage scrub is considered sensitive, because of its potential to support sensitive plant and wildlife species and its considerable reduction in acreage throughout Southern California. It is also the focus of the State of California's Natural Communities Conservation Program.

Chaparral plant communities, including southern mixed chaparral, southern maritime chaparral, and chamise chaparral, ~~are the next most~~ were also abundant ~~native vegetation occurring~~ in Sorrento Hills. Southern mixed chaparral occurs on dryer, north-facing slopes and in tributary canyons within the community. It is a drought and fire adapted plant community of broad-leaved shrubs typically forming dense stands. Southern maritime chaparral is similar to southern mixed chaparral, but typically occurs closer to the coast and develops on sandstone soils. Today, ~~This~~ plant community is concentrated on the bluffs and hillsides protected as open space in the northwestern area of Sorrento Hills. In addition to the typical southern mixed chaparral plant species, several endemic shrubs and sensitive species occur in this area of the Sorrento Hills community. ~~Chamise chaparral is also similar to southern mixed chaparral, but is dominated by chamise and is characterized by a lower species diversity. Chamise chaparral is represented in the SORRENTO HILLS COMMUNITY PLAN area by several small patches, primarily in the eastern portion of the site.~~

Wetland habitats occur in the community as willow scrub, riparian woodland, and vernal pools. Southern willow scrub occurs within the community as a moderately homogenous riparian woodland located in the extreme northwestern corner of the community, and as a small, poorly-developed patch in the southwestern portion of the community. Vernal pools comprise a unique habitat type characterized by a variety of organisms adapted to ephemeral aquatic conditions that are present in the late winter and early spring following seasonal rainfall. Vernal pools once occurred in the northeastern portion of the Sorrento Hills community. Although vernal pools often support highly sensitive species, those which occurred in Sorrento Hills ~~do did~~ not provide habitat for the typical sensitive vernal pools species. Impacts to vernal pools which occurred within areas planned for development in Sorrento Hills have been assessed in conjunction with approved maps and associated environmental documentation. Mitigation has occurred through monetary contributions toward off-site purchase.

Smaller areas of native grassland (valley needle grassland) and areas of non-native annual grassland also occur within the Sorrento Hills community. For the most part, valley needlegrass occurs as small patches within coastal sage scrub habitat. Non-native

grassland occurs in areas of the community where native vegetation has been degraded severely or repeatedly.

All of the habitat types occurring in Sorrento Hills support distinct faunas that rely primarily on the resources confined to a particular habitat. Because of the extremely limited amount of grassland and riparian habitat historically occurring within the community, well developed grassland and riparian fauna are not present. ~~Instead,~~ existing Remaining native and the non-native plant communities offer habitat to a high diversity of shrubland wildlife species, including birds, mammals, reptiles and amphibians.

Los Peñasquitos Lagoon

The *SORRENTO HILLS COMMUNITY PLAN* area is located within the watershed of Los Peñasquitos Lagoon. Los Peñasquitos Lagoon covers about 385 acres and is recognized as an important coastal resource because of its unique flora and fauna. As urban development occurs within the watershed, viability of the lagoon's flora and fauna can be adversely affected. The sensitive ecosystem of the lagoon is affected by urban runoff which often carries pollutants that can upset the delicate balance of the lagoon.

Partly as a result of problems associated with sedimentation caused by development, the Los Peñasquitos Lagoon Foundation was formed and a Peñasquitos Lagoon Management and Enhancement Plan and Program was prepared. The Enhancement Plan establishes a fee program for development projects within the Los Peñasquitos Lagoon watershed.

Cultural Resources

When the community planning area was surveyed for the presence of archaeological resources in conjunction with approval of the 1983 Community Plan, several sites were encountered. These sites were found not to be "important"; data recovery was conducted and determined adequate for mitigating resource loss.

Through an evaluation of information retrieved from the data recovery phase of past cultural resource surveys, it appears that this region was settled by people from the La Jollan and Diegueño cultures. The La Jollan occupation is evidenced by shell middens, groundstone, and an assortment of flaked food processing tools. Late prehistoric Diegueño people have left a record of their occupation of the area, both archaeologically and ethnohistorically. The village of Ystagua (also known as the Rancheria de Peñasquitos) was encountered by Gaspar de Portola, Juan Crespi and others in their Spanish exploratory party in 1769. This village is located approximately one mile south of the community. Excavation in this area has revealed numerous ceramic, bone, shell and stone items indicating a variety of subsistence and spiritual activities.

Historic land uses within the community plan area included primarily agricultural uses. The first major alteration of the environment took place as ranchers grazed cattle.

Beginning around 1823 and continuing through the 1960's, this agricultural activity probably began when Captain Francisco Maria Ruiz was granted the Los Peñasquitos Rancho.

Los Peñasquitos Canyon Preserve

The southern border of the Sorrento Hills community is formed by Los Peñasquitos Canyon Preserve, a regionally significant open space resource. A master planning effort is underway to provide a comprehensive management plan for the Preserve. The Master Plan will identify a variety of uses including passive hiking opportunities and interpretive centers. Development adjacent to the Preserve must occur in a manner which does not detract from the park experience. Setbacks along the canyon rim and landscape and architectural treatments will aid in buffering development. Identifying points of access will focus activity areas and protect areas of sensitive habitat.

Utilities and Other Easements

The San Diego Gas and Electric Company (SDG&E) owns an approximately 40-acre parcel in the center of the community. This 40-acre site has been expanded to its build-out facility and accommodates a 230 KV substation. High tension power lines run east and southeast from the substation (see Figure 5). Additionally, a utility corridor carrying major utility lines underground traverses the planning area in a north-south and east-west direction radiating out of the substation.

Land uses in the community have been sited to respond to the SDG&E substation and major utility corridors. Development proposals and grading activities must be coordinated with SDG&E to avoid conflict with transmission lines and undergrounded utilities.

NAS Miramar

Naval Air Station (NAS) Miramar, which is located approximately five miles southeast of Sorrento Hills, accommodates between 250,000 - 350,000 flight operations per year. The San Diego Association of Governments (SANDAG), in its authority as the region's Airport Land Use Commission, has adopted a Comprehensive Land Use Plan (CLUP) for NAS Miramar to protect the airport from incompatible land uses and provide the City with development criteria that will allow for the orderly growth of the area surrounding the airport.

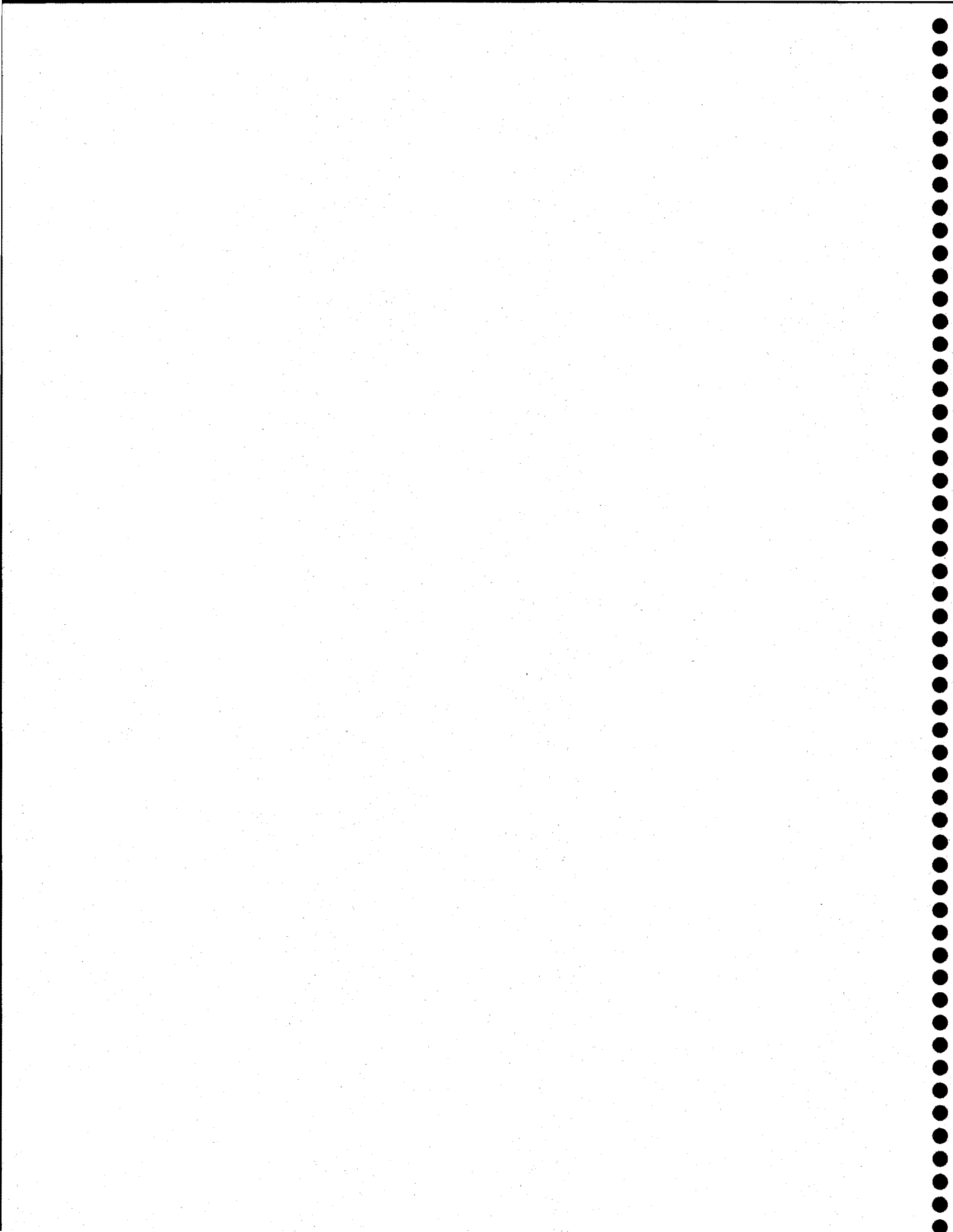
Although all land use development within Sorrento Hills is considered compatible with the NAS Miramar CLUP, future residents may experience concern over aircraft noise and overflight. Northerly departures from NAS Miramar from both rotary and fixed wing aircraft may generate varying degrees of noise and vibration.

Under the 1993 round of military Base Closure and Realignment, NAS Miramar will realign to a Marine Corps Air Station no later than 1999. This realignment will affect flight operations and will increase operational tempo. In order to acknowledge these noise concerns, the Department of the Navy recommends full disclosure of noise generated by flight operations. In addition to Real Estate Transfer Disclosure Statements and Airport Noise Disclosure forms, the Navy recommends full disclosure on all exchanges of title, recorded to deed.

4.

Community Land Use Element

-  **Residential Land Uses**
-  **Industrial Land Uses**
-  **Commercial Land Uses**
-  **Transportation**
-  **Open Space and Resource Management**
-  **Community Facilities**



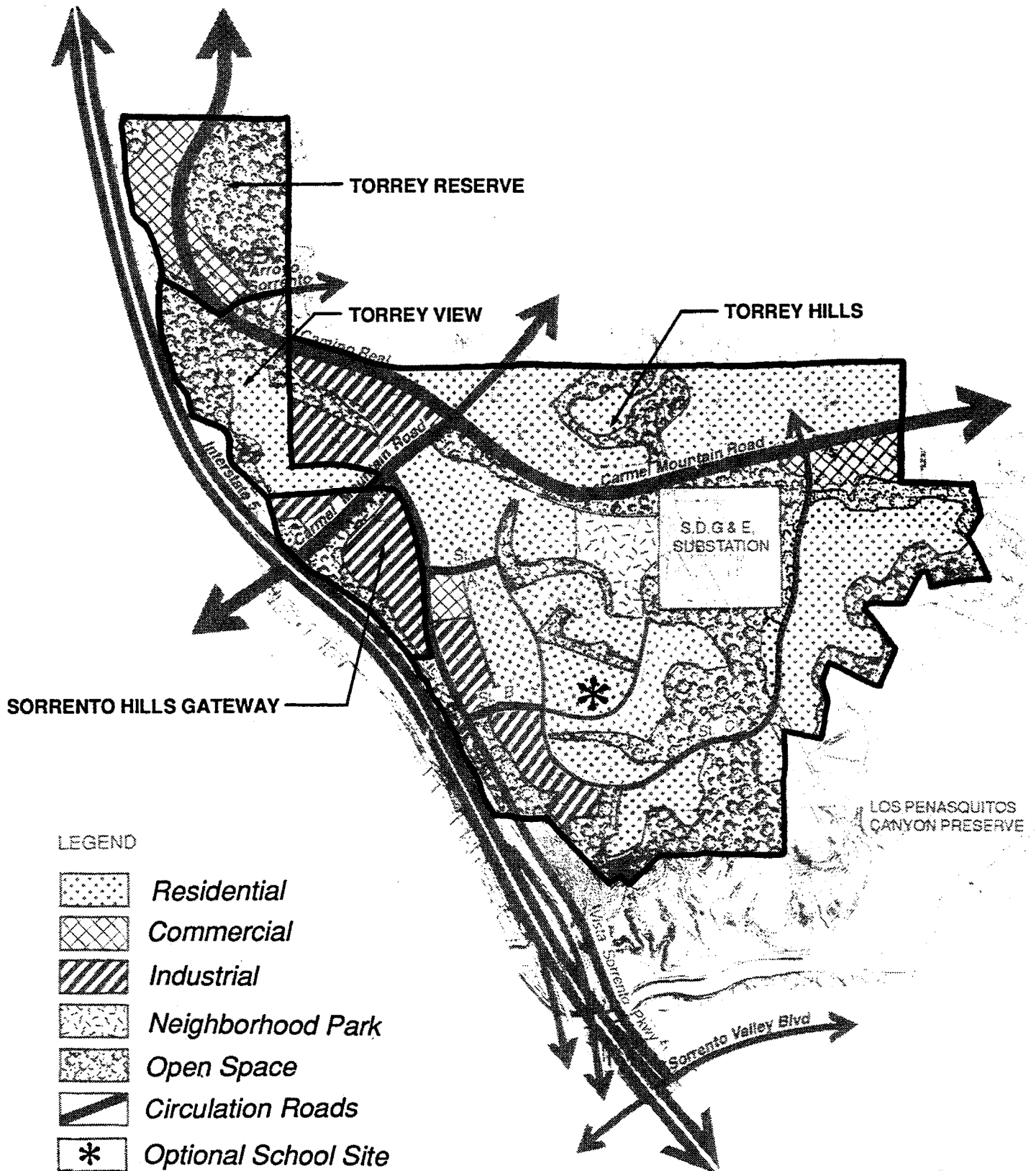
COMMUNITY LAND USE ELEMENTS

The SORRENTO HILLS COMMUNITY PLAN Land Use Plan, which appears as Figure 1 on page 2 of this document, divides land uses planned for the community into general categories. Table 1, Land Use Table, appearing on page 4, further defines the planned land uses based upon a generalized development intensity and land area devoted to each land use category in the community.

This chapter describes in greater detail the various land use types planned for the community and presents specific proposals to implement planned land uses. Specific proposals presented in this chapter refer to areas in the community which have been further broken down to create definable neighborhoods. These appear in Figure 6, Community Planning Areas, and include the following:

- Torrey Reserve – Located in the northernmost portion of the community and planned for visitor serving commercial and professional office uses:
- Torrey View – A very low density detached single family neighborhood south of Torrey Reserve and north of Carmel Mountain Road:
- Sorrento Hills Gateway – Located immediately south of Torrey View and east of I-5, planned for light industrial land uses: and
- Torrey Hills – Comprising the majority of land acreage and development in the community with a variety of land uses including commercial retail, industrial/business parks, low density single family residential, higher density residential land uses in the form of condominiums and townhomes, a neighborhood park and optional elementary school site. The SDG&E substation also occurs within the Torrey Hills area.

This chapter also describes the circulation system intended to serve the various land uses and planning areas within the community: addresses community open space areas and the management of important environmental resources: and discusses the important community-serving public facilities and utilities, including parks and recreation, schools, sewer and water services, fire and police protection, libraries, and solid waste disposal.



Community Planning Areas

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 6

T&B Planning Consultants
1400 HALLADAY, SUITE 100
SAN ANTONIO, TEXAS 78204
SAN ANTONIO, TEXAS 78204
SAN ANTONIO, TEXAS 78204



Residential Land Uses

Goals

1. Provide compatibility with the Carmel Valley community by ~~siting~~ identifying residential uses ~~on landforms~~ in the northern portion of Sorrento Hills to reflect similar land uses ~~extending from within the adjacent~~ Carmel Valley community.
2. Create flexibility in residential building type. As market conditions change, a change in product type may be warranted while maintaining the overall residential goals and land use intensities.
3. Provide convenient access to open space and employment areas.
4. Develop residential land uses through application, review and approval of Planned Residential Development (PRD) permits.
5. Provide for a variety of housing products available to a range of income levels.

Background

Residentially designated areas will provide a variety of housing types and opportunities ranging from single-family detached to attached apartments and townhomes. The variety of residential land uses planned for Sorrento Hills will provide a range of is planned in the northwestern and north-central parts of the community adjacent to similar residential development planned as part of the Carmel Valley community. Higher density residential development is planned for the central part of Sorrento Hills and at the intersection of Carmel Mountain Road and El Camino Real. These areas will provide housing opportunities in proximity to employment based land uses within the community and within adjacent communities.

Single family detached development predominates residential land uses planned for the community and occurs as minimum 4,000 square foot lots to lots 5,000 square feet or greater in size. This residential land use type is located in the north and northeast portions of the community, adjacent to similar land uses planned for the Carmel Valley community; along a prominent ridgeline in the western part of the community; in the central portion of the community; and along the southern community boundary, where Los Peñasquitos Canyon Preserve abuts.

Higher density residential land uses in the form of units centered around a central courtyard, standard apartment complexes, townhomes and condominium projects are also planned for the community. This land use type is generally located internal to the community, where landform permits flatter pad developments, and as transitional land uses between larger lot residential and non-residential land uses.

The Sorrento Hills Community has the potential to supply affordable housing in proximity to employment opportunities and alternative modes of transportation. In this way, the Sorrento Hills Community can balance land uses, reducing home to work travel.

Specific Proposals

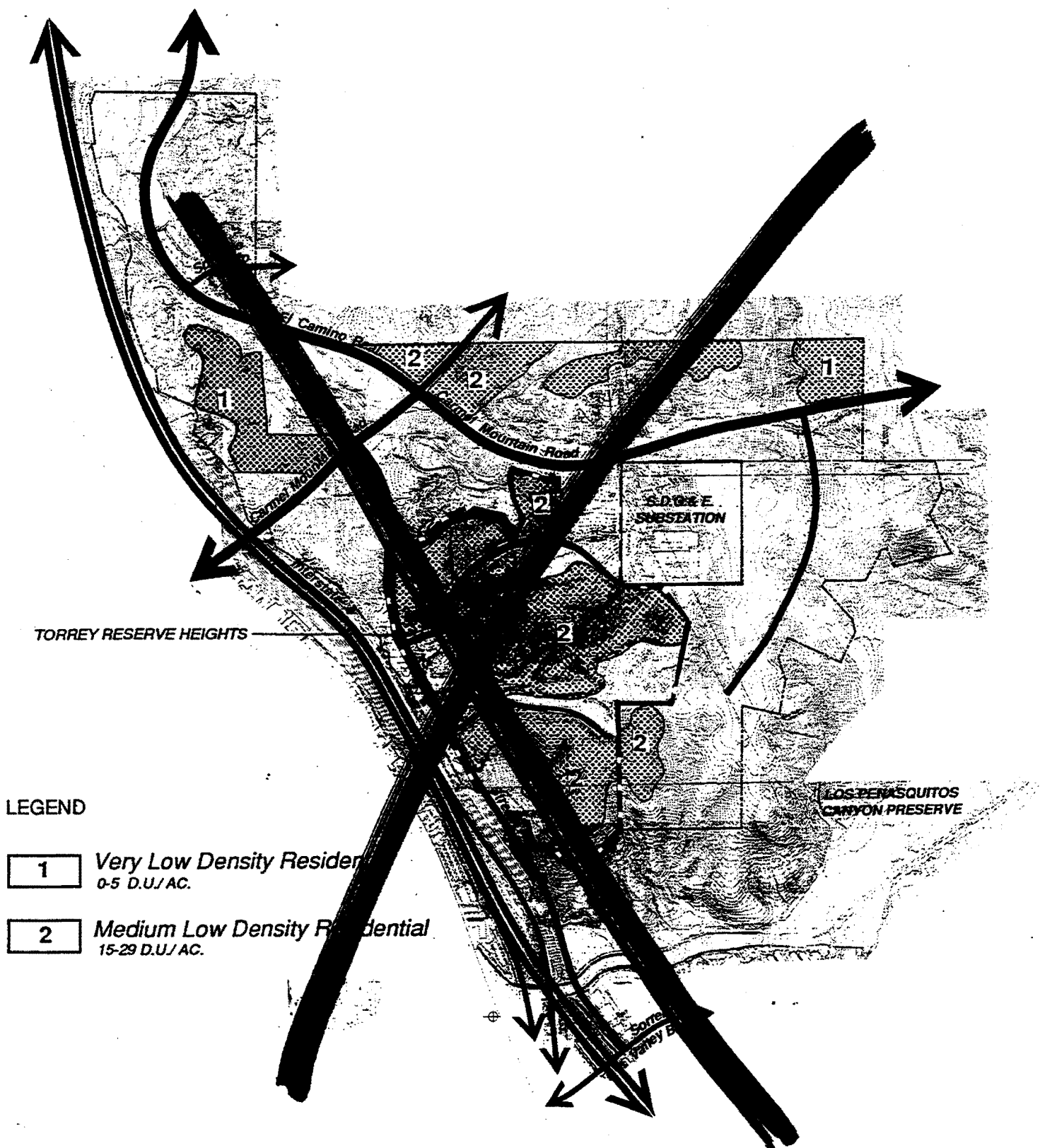
The *SORRENTO HILLS COMMUNITY PLAN* provides a range of ~~proposes two separate~~ residential land use densities ~~ranges~~ to meet the goals of the Plan and housing needs in the area. Standard single family detached residential units will generally fall in the Very Low density range of 0 - 5 dwelling units per acre (DU/AC) and the Low density range of 5 - 15 DU/AC; courtyard units will also fall within the Low density range of 5 - 15 DU/AC; while apartment and condominium projects will occur at the Medium-Low density range of 15 - 29 DU/AC. The residential land uses will total 34 ~~26~~ percent of all land uses in Sorrento Hills providing approximately 2,104 ~~2,859~~ dwelling units.

The ~~exact~~ location of ~~the two~~ residential land uses categories, community planning areas and neighborhoods are is illustrated in Figure 7, *Residential Land Uses*. Table 2, *Residential Land Uses*, provides a tabulation of units and acreage included in each residential land use designation.

Table 2
RESIDENTIAL LAND USES

RESIDENTIAL LAND USE DESIGNATION	ACREAGE	TOTAL NO. OF DWELLING UNITS
Very Low Density (0-5 DU/AC)	62	252
Medium-Low Density (15-29 DU/AC)	134	2,460
TOTAL	196	2,712

RESIDENTIAL LAND USE AREA	DENSITY	ACREAGE	TOTAL NO. OF DWELLING UNITS
<u>Torrey View</u>	• Very Low (0-5 DU/AC)	<u>22</u>	<u>123</u>
<u>Torrey Hills</u>	• Low (5-15 DU/AC)	<u>203</u>	<u>1,211</u>
	• Medium-Low (15-29 DU/AC)	<u>38</u>	<u>770</u>
TOTAL		263	2,104



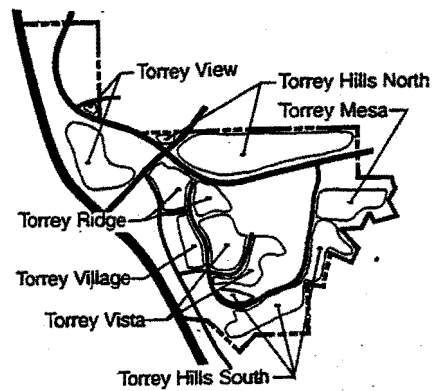
Residential Land Uses

SORRENTO HILLS COMMUNITY PLAN

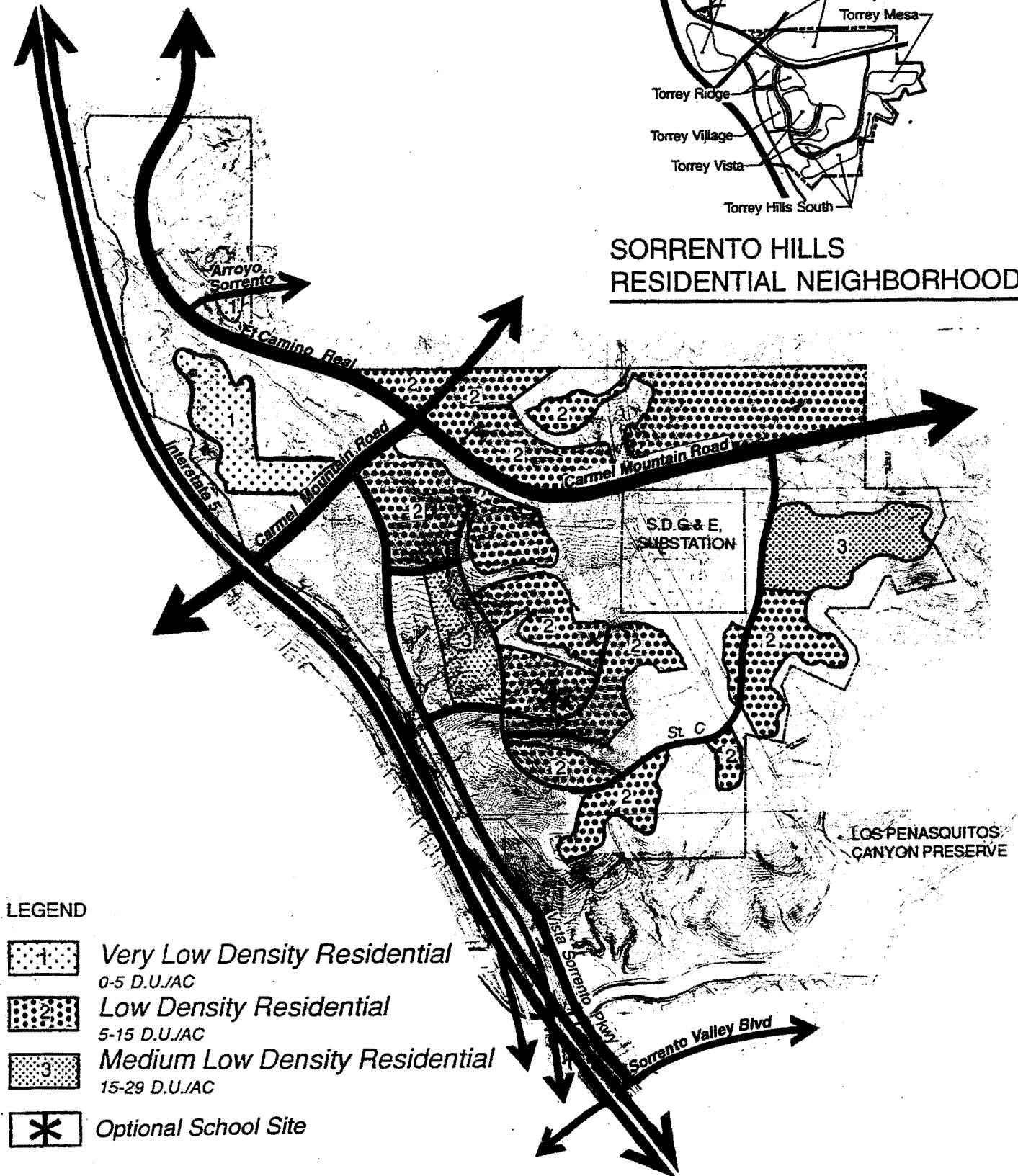
AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 7





SORRENTO HILLS RESIDENTIAL NEIGHBORHOODS



Residential Land Uses

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 7



T&B Planning Consultants
2801 HALLADAY DRIVE, SUITE 200
SAN ANTONIO, TEXAS 78228-2776
1875 LINDEN DRIVE, SUITE 200
SAN DIEGO, CALIF. 92108-1400



VERY LOW DENSITY RESIDENTIAL USES

The Very Low density residential development within the community plan area will be characterized by single family, detached housing with a large amount of land area devoted to private yards and open space. Approximately ~~62.22~~ 30 acres, or ~~30~~ three percent of all residential land uses in Sorrento Hills, shall be developed with Very Low density residential uses. Densities of 0-5 dwelling units per developable acre (DU/AC) shall be permitted within those areas designated as Very Low density residential. This land use density range has been specially applied to two areas within the *Torrey View* community planning area, as described below.

- ***Torrey View.*** The *Torrey View* single family residential area is located in the north-central part of the community proximate to the residential development in the Arroyo Sorrento neighborhood of the Carmel Valley community. Characterized by a mesa top set above the community, residential development in this area will be afforded panoramic vistas. This area is separated from other non-residential land uses within Sorrento Hills by steep natively vegetated slopes, which create a buffer and transition for the land uses. This Very Low Density residential development will also be characterized as a single family residential product with private yards and surrounding open space. This area of the community will accommodate 121 ~~about 132~~ dwelling units.

Because this residential area is located adjacent to I-5, special design considerations will be implemented ~~required~~ to ensure adequate attenuation of vehicular noise. Noise studies have been conducted as part of the development approval process. ~~studies will be required as part of development proposals.~~ If ~~s~~Sound walls will be required along portions of the western perimeter of residential development ~~are required~~ to attenuate noise levels which exceed City standards for residential uses, ~~these should be~~ These walls have been ~~aesthetically~~ designed to avoid visual impacts from off-site views such as motorists traveling on I-5 and visitors to Torrey Pines State Park.

A portion of this Very Low Density residential area borders industrially designated land uses. Special landscaping treatment and site design have been ~~should be~~ provided to ensure compatibility and transition of land uses. This Very Low Density residential area will also be visible to existing large lot residential development in the Arroyo Sorrento neighborhood of Carmel Valley. Development within this area of Sorrento Hills has been designed in a manner which is ~~should be~~ compatible with the adjacent residential land use.

A small portion of the Very Low Density residential development planned for *Torrey View* is north of El Camino Real, south of Arroyo Sorrento and contiguous with existing large lot development in the Arroyo Sorrento area of Carmel Valley Neighborhood 8B. The community plan recommends two, minimum 1-acre lots, in this area to afford compatibility with Arroyo Sorrento.

The northern portion of *Torrey View* lies within the Coastal Zone as shown in Figure 3, and the approved *Torrey View* project has received coastal approvals. Development within this area will ~~must~~ be consistent with Section 6 - Coastal Zone Policies Element - of this Community Plan.

LOW DENSITY RESIDENTIAL USES

Low density residential developments of the community are planned as traditional single family homes on lots of about 5,000 square feet in size and smaller lot (minimum lot sizes of about 3,150 square feet) single family detached residential communities intended to accommodate small families, couples and single persons. Approximately 203 acres or 26 percent of all residential land uses in Sorrento Hills, are planned for Low density residential land uses as described below.

- *Torrey Hills North-North Sorrento Hills Residential.* The *Torrey Hills North North Sorrento Hills Residential* area consists of ~~two~~ four residential neighborhoods in the ~~northeastern corner of the community~~, north of Carmel Mountain Road. Neighborhoods in *Torrey Hills North* will have easy access to community facilities in both Sorrento Hills to the south and Carmel Valley to the north. It is anticipated that standard single family 5,000 square foot lots and larger would occur in the two neighborhoods located in the north and east portions of this planning area, while opportunities for smaller lot detached single family units occur along Carmel Mountain Road, west of the northern extension of "C" Street. • ~~*Torrey Reserve Heights*, intersection of El Camino Real and Carmel Mountain Road. In this area,~~

Neighborhoods along the community's northern and northeastern boundaries are planned for ~~which provide uses compatible with the Very Low density housing proximate to similar densities planned for~~ area of the adjoining Carmel Valley Community Plan. ~~Single family neighborhoods in this area area has already been approved by the City as a Planned Residential Developments (PRD) and Tentative Map, and a total of 120 single family detached units would be provided in this location. A Final Map has been recorded in the more eastern area.~~ provide minimum 5,000 square foot lots along a ridgetop landform with access north into Carmel Valley Neighborhood 8A. Access to this area is provided by the northern extension of Street C from Carmel Mountain Road. A total of 150 single family detached units would be provided in this portion of *Torrey Hills North*.

For neighborhoods in the western portion of the *Torrey Hills North* planning area, the plan provides for approximately 19 acres of ~~Medium-Low density~~ courtyard residential development. ~~This location provides residents easy access to community facilities in Carmel Valley by way of the community street system and is centrally located to the Sorrento Hills community's industrial park and commercial uses.~~ A maximum of ~~406~~ 195 units should be developed at this location.

The valley bottom portion of *Torrey Hills North* is also designated for Low density residential land uses. A total of 220 units are planned for this area as small lot developments. Access would be from internal local and/or private streets which provide direct connections to Carmel Mountain Road.

- ***Torrey Ridge.*** A prominent ridgeline continues from the *Torrey View* area of the community, in a general southeast direction, terminating at the SDG&E substation. *Torrey Ridge* is planned as residential neighborhoods atop this ridgeline land form, flanked by Carmel Mountain Road on the north and the Community Sports Park on the east. *Torrey Ridge* shall develop as Low density residential land uses, on minimum 5,000 square foot lots, taking advantage of spectacular view opportunities from this location. Access to this area will be from the "A" Street connection to Vista Sorrento Parkway and from an extension of "C" Street. A total of 135 single family homes can occur within *Torrey Ridge*.
- ***Torrey Vista.*** South of the *Torrey Ridge* neighborhood, a total of 240 homes are planned on minimum 4,000 square foot lots as part of the central portion of the *Torrey Hills* neighborhood. This area generally occurs north and east of the interior loop road and southwest of the SDG&E substation. Due to the proximity of the SDG&E substation to a portion of this planning area, special site planning and design considerations are necessary to promote position transition of land uses. Additionally, residential neighborhoods in the eastern portion of this planning area about a large internal open space preserve. Transition treatments along the development edge should be provided to ensure a successful interface of residential and open space land uses. These guidelines are detailed later in this chapter.

An optional school site is designated for ten acres located in the southern portion of this area, bounded by "C" Street on the west and "B" street to the south. In this location, an elementary school could be constructed to serve grades K-6. If it is determined that a school shall occur at this location, low density residential uses would not occur on this 10 acre site, but could be reallocated elsewhere in the community through a PRD amendment.

- ***Torrey Hills South.*** This portion of Sorrento Hills is strategically located on the canyon rim overlooking Los Peñasquitos Canyon Preserve and is planned for single family detached housing in two product types. A total of 175 homes are planned on minimum 4,000 square foot lots adjacent to the Medium-Low density neighborhood planned south of the *Torrey Hills Neighborhood Commercial Center* and east of the SDG&E substation. Along the southern community plan boundary, a total of 96 homes on minimum 5,000 square foot lots are planned, south of "C" Street and generally east of I-5. In accordance with the Community Design Guidelines included in Section 5 of this plan, special site design considerations must be implemented to ensure sensitive treatment along the canyon edge and to avoid conflicts with this open space resource. The southern edge of *Torrey Hills South* is within the Coastal Zone as shown in Figure 3. Development within this area must be consistent with the Community Plan's Coastal Zone Policies Element (Section 6 of this plan).

MEDIUM-LOW DENSITY RESIDENTIAL USES

The Medium-Low density residential land use category permits the development of between 15-29 DU/AC. This development will most likely consist of low rise structures such as townhomes, ~~stacked flats~~, condominiums and apartment units. Approximately ~~518~~ percent of the community will develop with this land use designation. Developments should occur as Planned Residential Developments (PRDs) which will provide the design review and development standards necessary to meet the goals and objectives of this plan. Two areas within the Torrey Hills Community provide for development of Medium-Low density residential land uses as described below. Presented below is a description of the Medium-Low density residential areas in the community.

- *Torrey Village.* Approximately ~~17~~ 416 acres located ~~in the center of the east of and adjacent to Vista Sorrento Parkway neighborhood known as Torrey Reserve Heights provides the opportunity~~ are planned to develop with a maximum of 340 1,848 Medium-Low density residential units. Developments should be situated around the "Village Center". The Village Center will provide a focal point for the development as well as support services and recreational opportunities for residents. Located between planned Industrial/Business Park land uses on the west and low density residential land uses on the east, the Medium-Low density residential land uses planned for this area will provide a land use transition. Additionally, the location of a higher density residential development proximate to employment opportunities offered in the adjacent industrial/business parks will afford workers an opportunity to live closer to the work place and walk to work. Special landscape treatments and/or changes in pad elevations should be considered to ensure a compatible interface of industrial/business park and residential land uses.
- *Torrey Mesa.* The second opportunity for Medium-Low density residential development occurs Torrey Reserve Heights is also strategically located on approximately 22 acres of the canyon rim overlooking Los Peñasquitos Canyon Preserve. In this area, a total of 430 units are planned. In accordance with the Community Design Guidelines included in Section 5 of this plan, special site design considerations must be implemented to ensure sensitive treatment along the canyon edge and to avoid conflicts with this open space resource. The southern edge of the Torrey Hills Reserve Heights site is within the Coastal Zone as shown in Figure 3. Development within this area must be consistent with the Community Plan's Coastal Zone Policies Element (Section 6 of this plan).
- *Torrey Reserve Terrace.* Approximately 9 acres contiguous with ~~Torrey Reserve Heights on the west and south of the SDG&E substation have been identified for a total of 206 Medium-Low density attached units. Because this area will take access from Torrey Reserve Heights, product type and landscape themes should be similar to avoid urban design conflicts and promote cohesiveness. A portion of the Torrey Reserve Terraces site is located within the Coastal Zone as shown in Figure 3. Development in this area must be consistent with the Coastal Zone Policies Element of this plan.~~

BALANCED COMMUNITY

The City of San Diego promotes economically and racially balanced communities. The Housing Element of the General Plan identifies four components of balanced communities: economic, ethnic, housing type (concentration of detached housing) and housing tenure (concentration of owner-occupied housing). The Planning Department staff should work with the San Diego Housing Commission and other appropriate authorities to ensure a balanced community through implementation of programs such as the following:

Density Bonus Program: This is an incentive program that allows developers to build up to 25 percent more units than a property's zoning would ordinarily allow. In exchange for this density bonus, the owners must rent the units to low income households for 20 years.

Multi-family Bond Program: Through the sale of bonds, this program provides low interest loans to developers of multi-family housing. In exchange for the loans, developers must rent 20 percent of the units to low income households for 10 years.

Public Housing: Public housing units are managed by the San Diego Housing Commission and rented to very low income households. Residents pay 30 percent of their gross monthly income for rent.

Section 8 Rental Assistance Program: This program offers certificates and vouchers to very low income households who use them to rent privately owned apartments. These households pay 30 percent of their gross monthly income for rent and the Housing Commission pays the difference to the landlords.

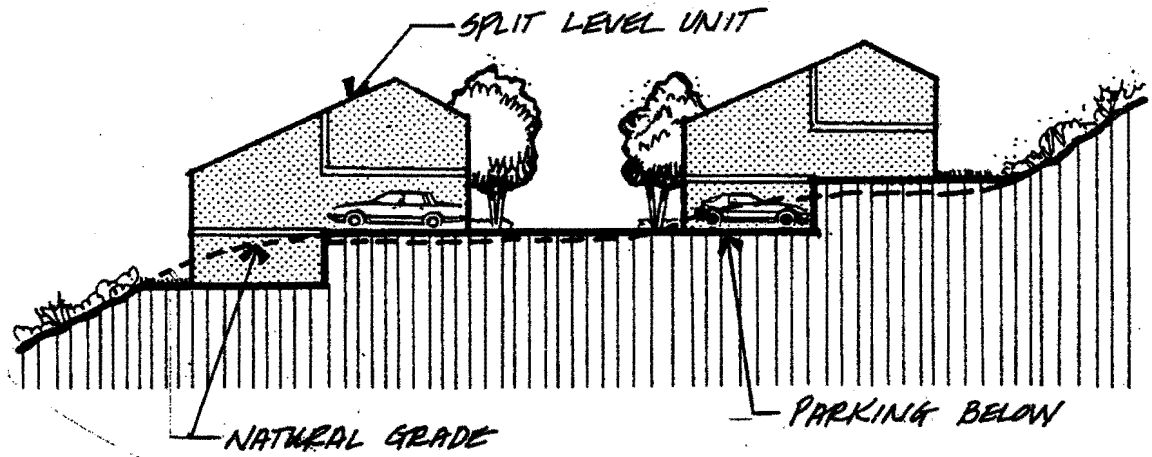
Senior CUP Program: This conditional use permit (CUP) program provides a density bonus of up to 50 percent to developers who agree to rent all of the units in their project to senior citizens and physically impaired persons for the life of the project.

Mobile Homes and Modular Housing: Mobile homes and modular housing offer alternatives to reduce housing costs and still meet the demand for single-family detached housing.

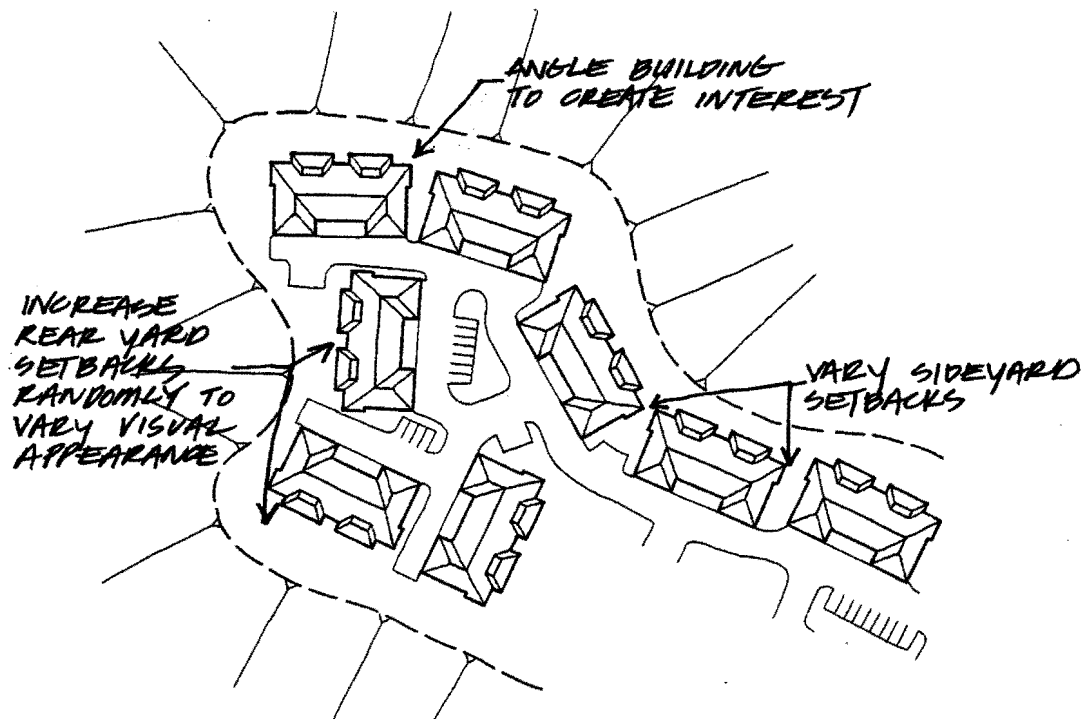
Residential Design Guidelines

1. Residential structures should relate to neighboring buildings in mass and bulk. Architecture should be of a style and massing to complement and enhance the natural environment.
2. The style, scale and architecture of multi-family residential buildings shall be selected based on underlying topography. ~~Grading and elevation in multi-family residential projects should be taken up within units, through The use of sSplit level design, and within parking areas, through terracing and placement of several small~~

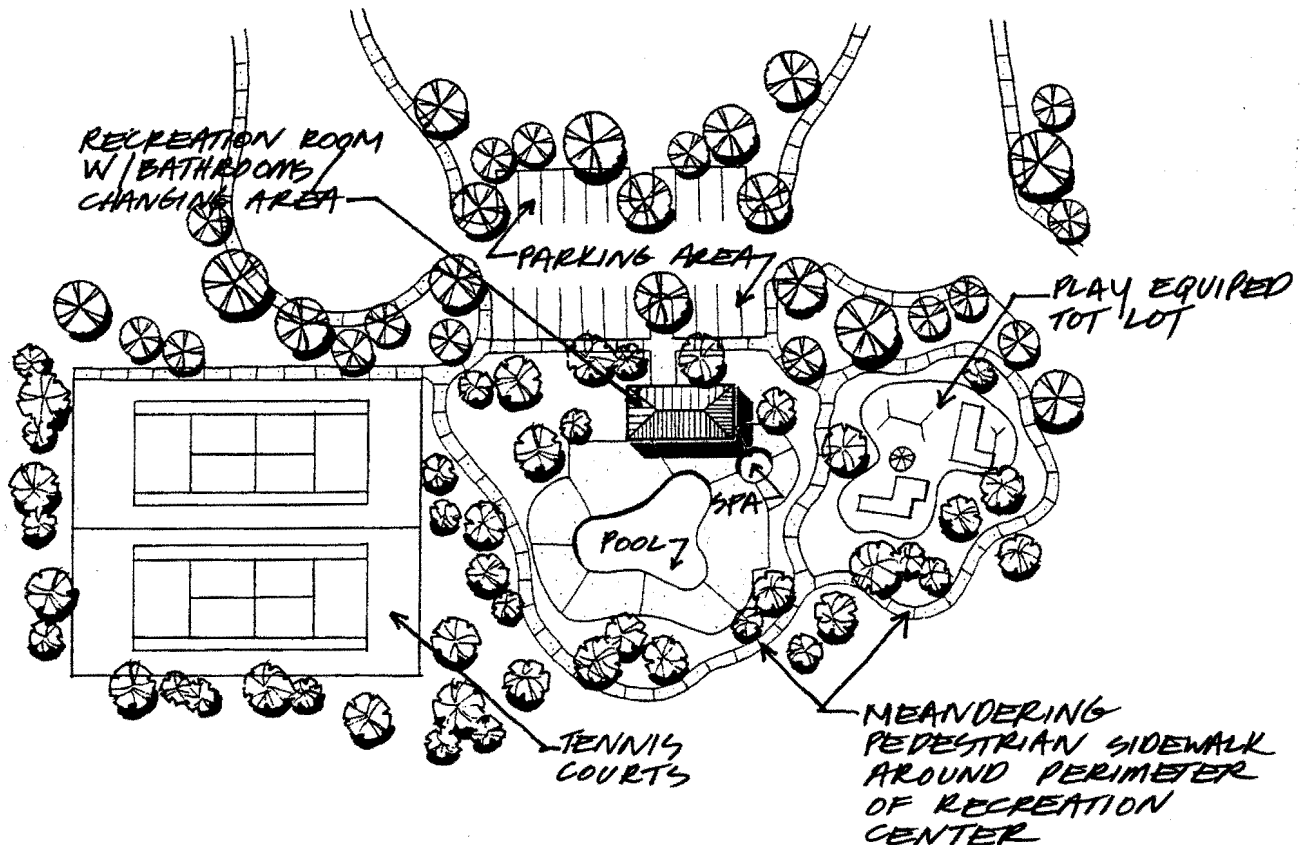
parking areas rather than one large parking lot may be used in residential projects to accommodate grading and elevation change.



- 2.3. Walls of uninterrupted structures shall be avoided. Breaks in structures shall provide see-throughs for view opportunities and aesthetic design. Facade articulation shall be used to provide architectural interest.

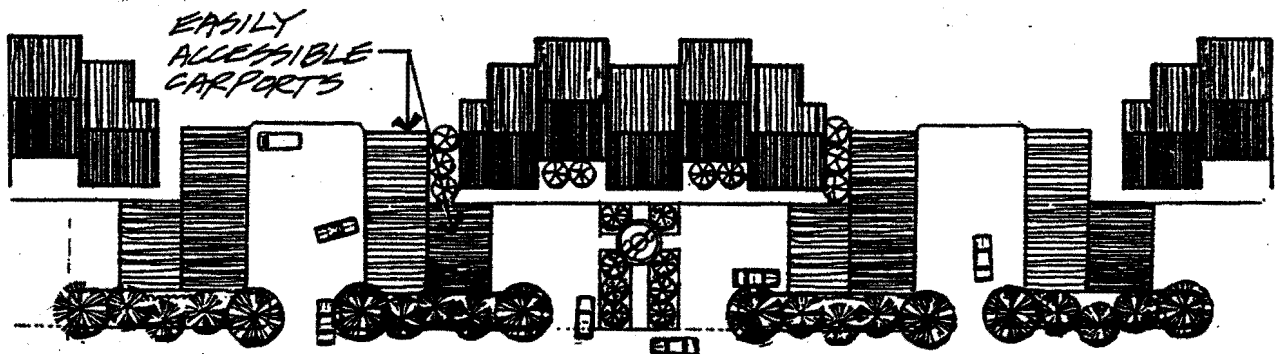


- 3.4. Private recreation areas shall be provided for each major multi-family residential project. Combining smaller recreation areas in adjoining residential projects to create a larger facility which serves more residents is encouraged. Private recreation facilities ~~and shall~~ may include such amenities as a pool, spa and barbecue areas. Additional amenities, such as a meeting room, tennis courts and volleyball courts, should also be considered in larger projects.

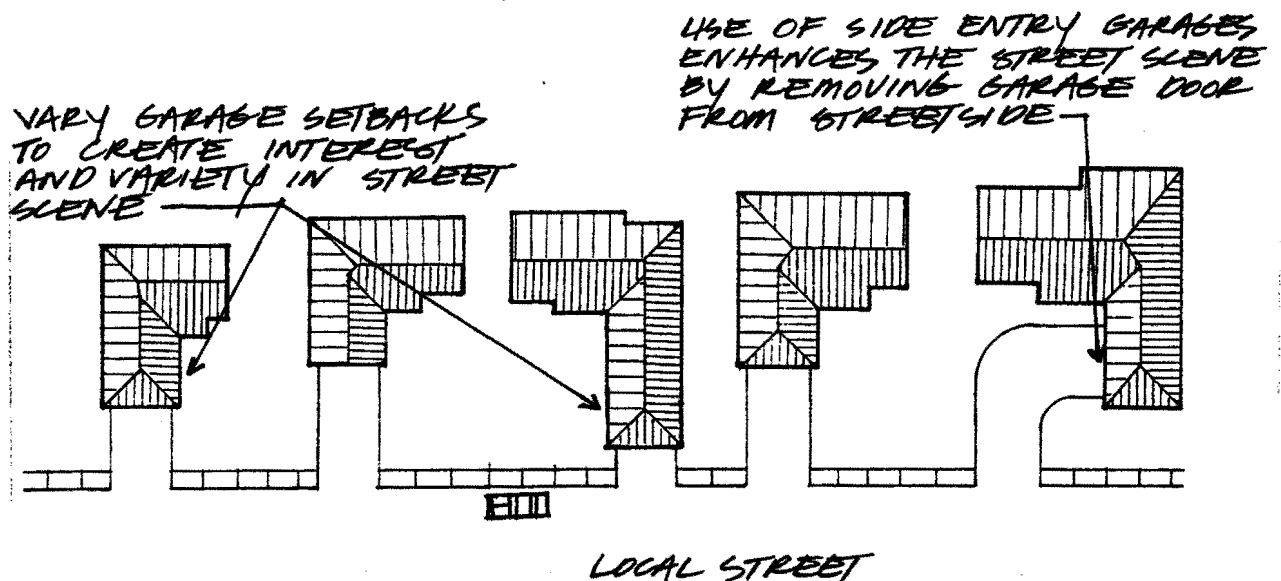


- 4.5. Private outdoor space shall be incorporated into multi-family units through the use of balconies and patios. Roof tops also may be considered for use as private open space.
5. 6. Roofs shall be designed to screen roof-top equipment and provide pleasant views from higher elevations.

6. 7. Carports and garages shall be easily accessible to residents and architecturally integral to the building design. Long expanses of carports within public view shall be avoided.



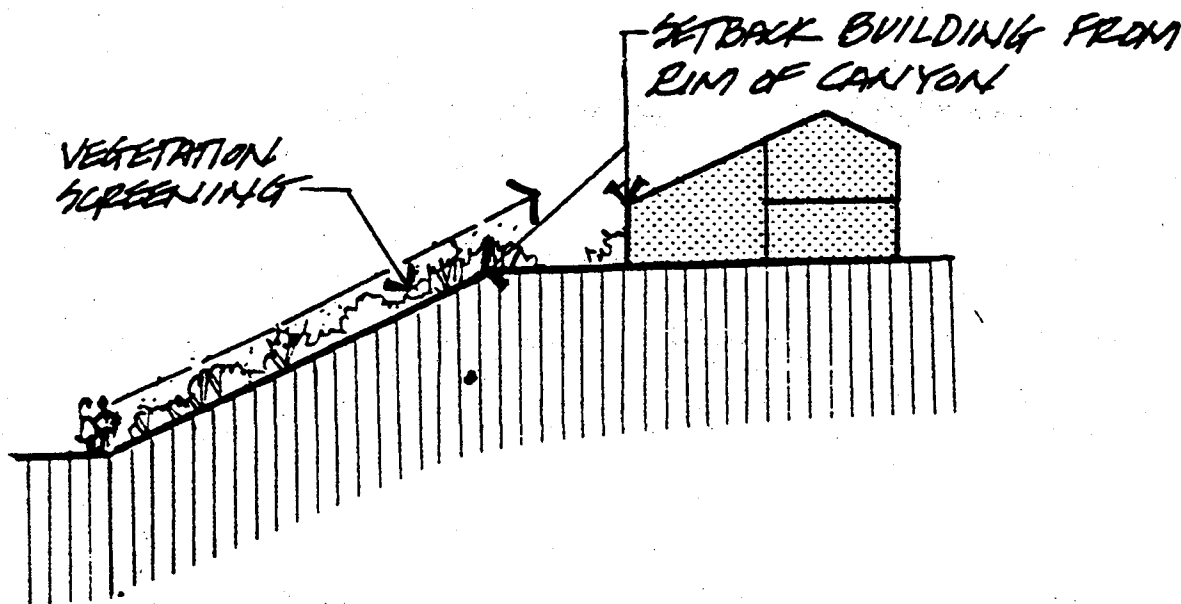
8. Garage setbacks may be varied in order to enhance the appearance of the streetscene. Garages should be fully integrated into the design of the architecture.



8. 9. Single-family residential buildings should be oriented to maximize solar access and take advantage of passive solar heating techniques.

TREATMENT ADJACENT TO LOS PEÑASQUITOS CANYON PRESERVE

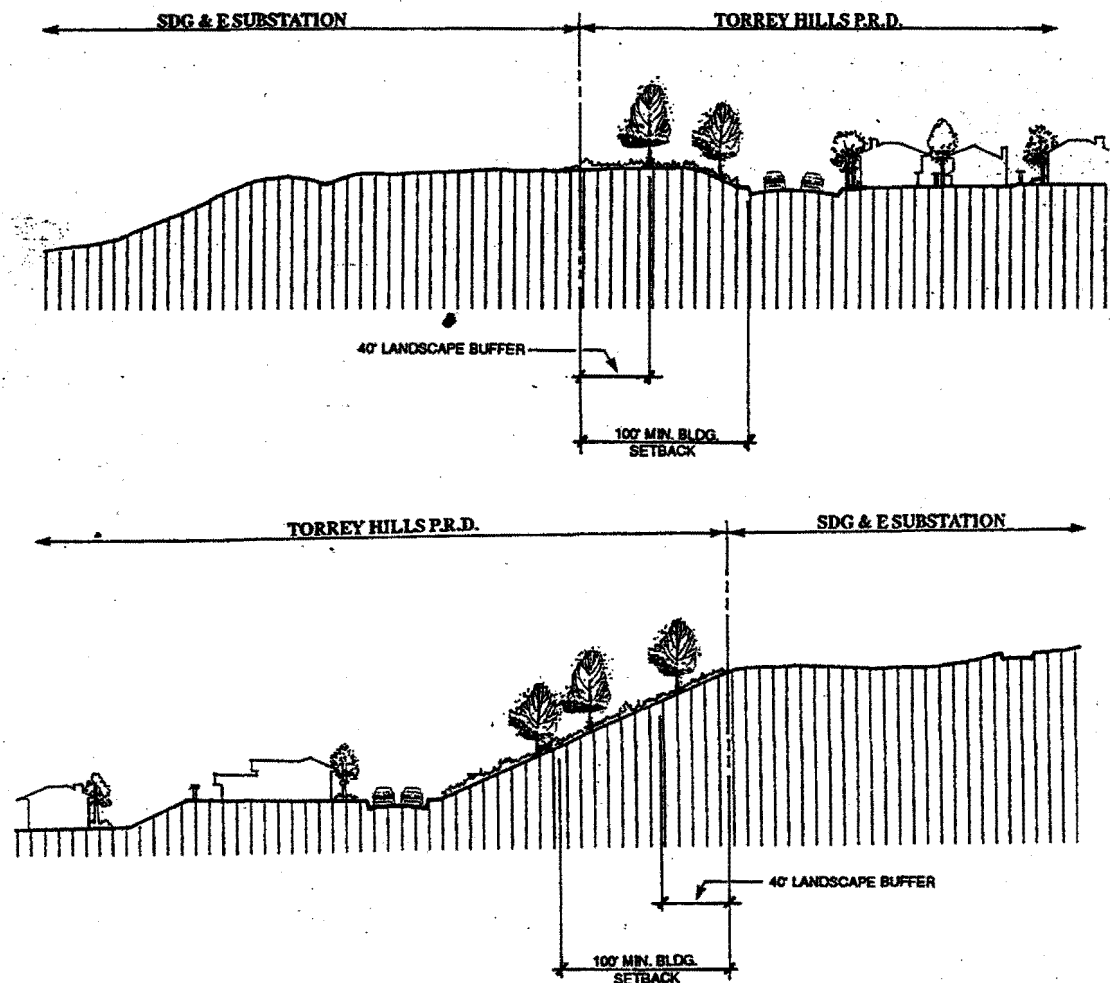
1. Contour grading techniques should be used for manufactured slopes in areas visible from the Los Peñasquitos Canyon Preserve to emulate natural topographic features.
2. Buildings constructed along the mesa edge should be low profile. Building shapes and roof lines should be designed so that structures blend with the natural landform rather than contrast against it. Building roof lines should slope in a manner which complements the contours of the natural mesa edge landform. Individual building stories may be staggered, contiguous to the mesa edge, in a manner designed to eliminate views of structures from the canyon bottom.
3. Earthtone colors should be used on structures along the mesa edge to lessen their prominence from the canyon.



4. Site design for development areas along the canyon rim should incorporate features which minimize visibility from Los Peñasquitos Canyon Preserve, such as vegetation screening, berming, setbacks and building orientation/configuration.

TREATMENT ADJACENT TO SDG&E SUBSTATION

7. Residential areas that border the San Diego Gas & Electric (SDG&E) substation require special design consideration when preparing site plans for development. For these areas, the following design guidelines shall apply:
- 1.a. Buildings which occur in residential areas that border the SDG&E substation shall have a variable building setback of a minimum 100-feet in width to avoid creating a uniform building edge adjacent to the substation.
 - 2.b. Within the 100-foot building setback, a minimum 40-foot landscape buffer area shall be provided to screen the substation from views within the residential areas. Community Circulation Element roadways, private recreation facilities, parking, service drives and uses accessory to the residential development (such as trash receptacles and recreation areas) may occur within the 100-foot building setback. Where these uses fall within the 40-foot landscape buffer, sufficient landscaping shall occur such that the substation is satisfactorily screened from residential views.



- e. ~~Parking, service drives and uses accessory to the residential development (such as trash receptacles and recreation areas) may occur within the 100-foot buffer, provided that the minimum 40-foot landscape area is maintained.~~
- 3.d. Temporary access to the SDG&E substation shall be provided through ~~the Torrey Ridge neighborhood within the Torrey Reserve Heights PRD Hills and the Community Sports Park from the terminus of Street "D", until such a time that permanent access to the substation is provided through the Mesa Industrial planning area.~~

Policies

1. Cohesive neighborhoods shall be created which provide pedestrian and vehicular circulation, access to open space, views and well-designed parking areas.
2. Interior open space areas shall be integrated as part of the design phase instead of as an afterthought.
3. Site planning and project design shall be based on natural site features such as open space and hillsides. Building design and project developments shall respond to natural topographic features, to the extent feasible.
4. Pedestrian and transit access through and beyond residential developments shall be created which provide easy and safe travel between residential developments, the Community Sports Park-Village Center, employment centers, the Torrey Hills Neighborhood Commercial Center and open space.
5. Community Design elements presented in Section 5 of this plan shall be utilized in designing and developing residential land uses.
6. Where provided, private recreation areas shall be designed as focal points for residential projects.

Residential Element Action Plan

IMPLEMENTATION	TIMING			RESPONSIBILITY	FUNDING	SEE FOR MORE DETAILS
	Adopt with Plan	Within 5 Years	Within 20 Years			
Ensure that requirements for affordable housing are met through the provision of affordable housing units within the community in accord with City regulations..	✓	✓	✓	Private developer, City of San Diego Housing Commission	Private & Public	pg. 27
Provide private recreational facilities for multi-family each residential projects.	✓	✓	✓	Private developer	Private	pg. 35
Screen all rooftop equipment.	✓	✓	✓	Private developer	Private	pg. 35
Avoid long expanses of carports within public view.	✓	✓	✓	Private developer	Private	pg. 36
Provide easy and safe pedestrian access between residential developments, the Village Center community sports park, employment centers, parks and open space.	✓	✓	✓	Private developer	Private	pg. 39
Integrate transit facilities to encourage ridership. This can be accomplished through provision of a shuttle connection to the commuter rail station planned for in Sorrento Valley or to the LRT Station (if funded and built).	✓	✓	✓	Private developer/ MTDB	Private/ MTDB	pg. 39 & MTDB Policy 40

Industrial/Business Park Land Uses

Goals

1. Provide region-wide employment opportunities in a high-end industrial/business park complexes that remains sensitive to community resources and adjacent land uses.
2. Provide employment centers in proximity to transit opportunities and residential development to reduce single occupant vehicular travel.
3. Provide well designed industrial/business park developments that will be aesthetically pleasing.
4. Ensure integration of industrial/business park land uses through a circulation network of roads, bikeways and pedestrian paths.
- ~~5. Ensure compatibility of industrial land uses adjacent to Los Peñasquitos Canyon Preserve and the SDG&E substation through special design criteria.~~
- ~~6.5.~~ Provide an efficient community circulation network, particularly along Carmel Mountain Road and Vista Sorrento Parkway, by limiting driveway access. Access should be encouraged through the use of internal circulation and cul-de-sacs.
- ~~7.6.~~ Develop Sorrento Hills as a balanced community. ~~with centralized~~ Support commercial uses should be easily accessible to ~~and~~ industrial and residential uses in a manner designed to meet the social, recreational and shopping needs of area residents and workers.
- ~~8. Concentrate employee serving uses within the Village Center and provide for easy pedestrian and automobile access.~~
- ~~9.7.~~ Encourage satellite support uses within industrial/business park planning areas subareas to serve employees.

Background

Approximately ~~76.8~~ 164 acres of the Sorrento Hills Community have been designated for industrial/business park development, making the Industrial Land Uses Element the second most dominant land use in the community. For this reason, industrial/business park developments will play a major role in establishing balancing the character of the community and must exhibit a high degree of design sensitivity to topography, to adjacent development within the community and to land uses contiguous to the community's borders. Industrial/business park uses in Sorrento Hills will focus on light industrial, manufacturing, and research and development and professional office uses

which can be implemented through the M-1B and M-IP zones. Additionally, professional office uses, as permitted under the M-1B zone, will occur as the market demands.

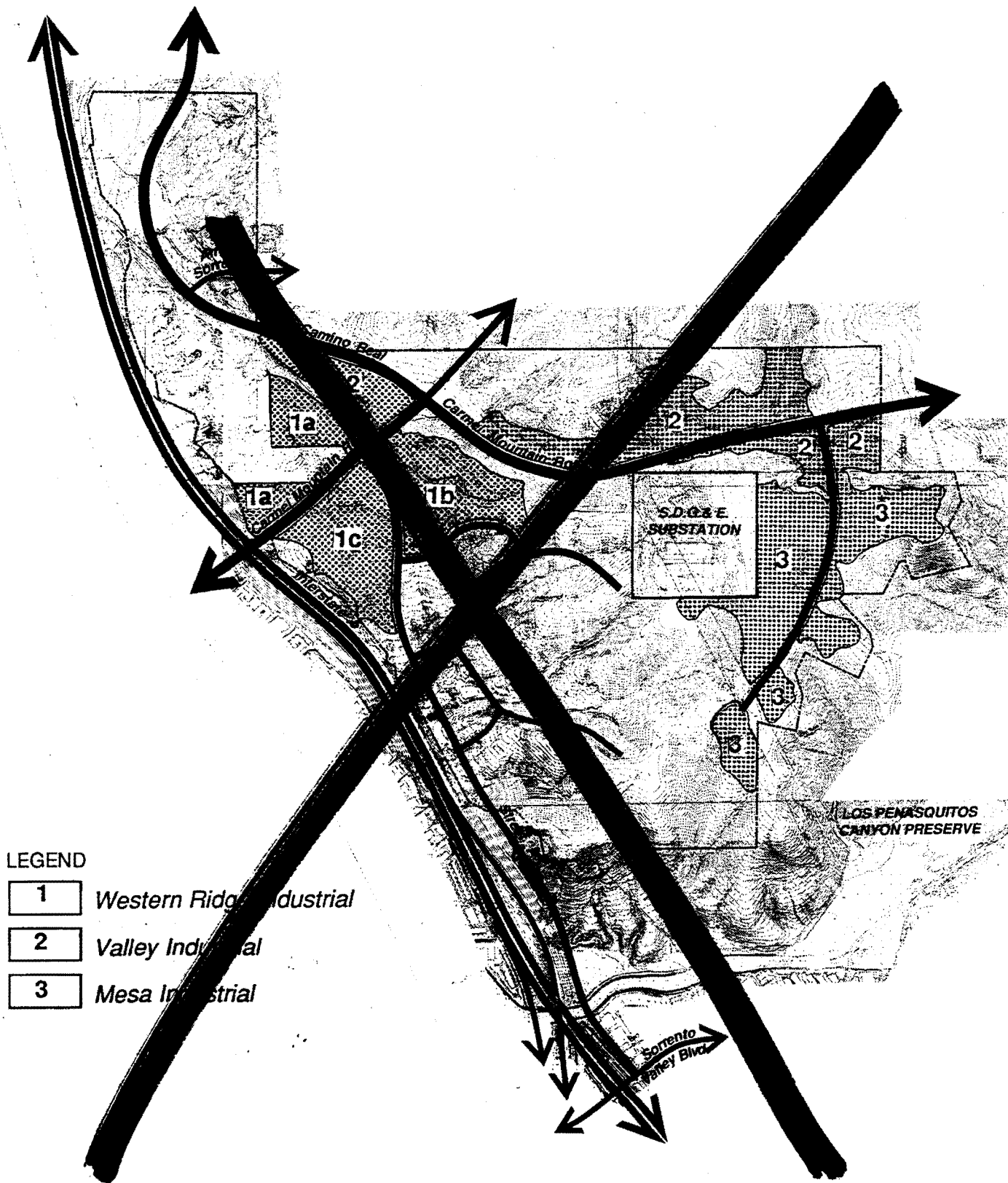
Specific Proposals

Industrial/business park land uses occur in ~~three~~ two separate planning areas in the western portion of the community, as shown in Figure 8, *Industrial/Business Park Land Uses*. ~~These planning areas include: (1) Western Ridge Industrial; (2) Valley Industrial; and, (3) Mesa Industrial.~~ Table 3, *Industrial Land Uses*, provides the anticipated development intensity of industrial lands in the community based on these planning areas.

Table 3
INDUSTRIAL LAND USES

INDUSTRIAL LAND USE DESIGNATION	ACREAGE	DEVELOPMENT INTENSITY (SF)
Western Ridge	48	1,010,000
Valley	61	900,000
Mesa	55	1,750,000
SDG&E Substation	40	---
TOTAL	204	3,660,000

INDUSTRIAL LAND USE DESIGNATION	ACREAGE	DEVELOPMENT INTENSITY (SF)
<u>Torrey Hills Industrial/Business Park</u>	<u>47</u>	<u>1,099,775</u>
<u>Sorrento Hills Gateway</u>	<u>30</u>	<u>250,225</u>
<u>SDG&E Substation</u>	<u>40.0</u>	<u>---</u>
TOTAL	117	1,350,000



Industrial Land Uses

SORRENTO HILLS COMMUNITY PLAN

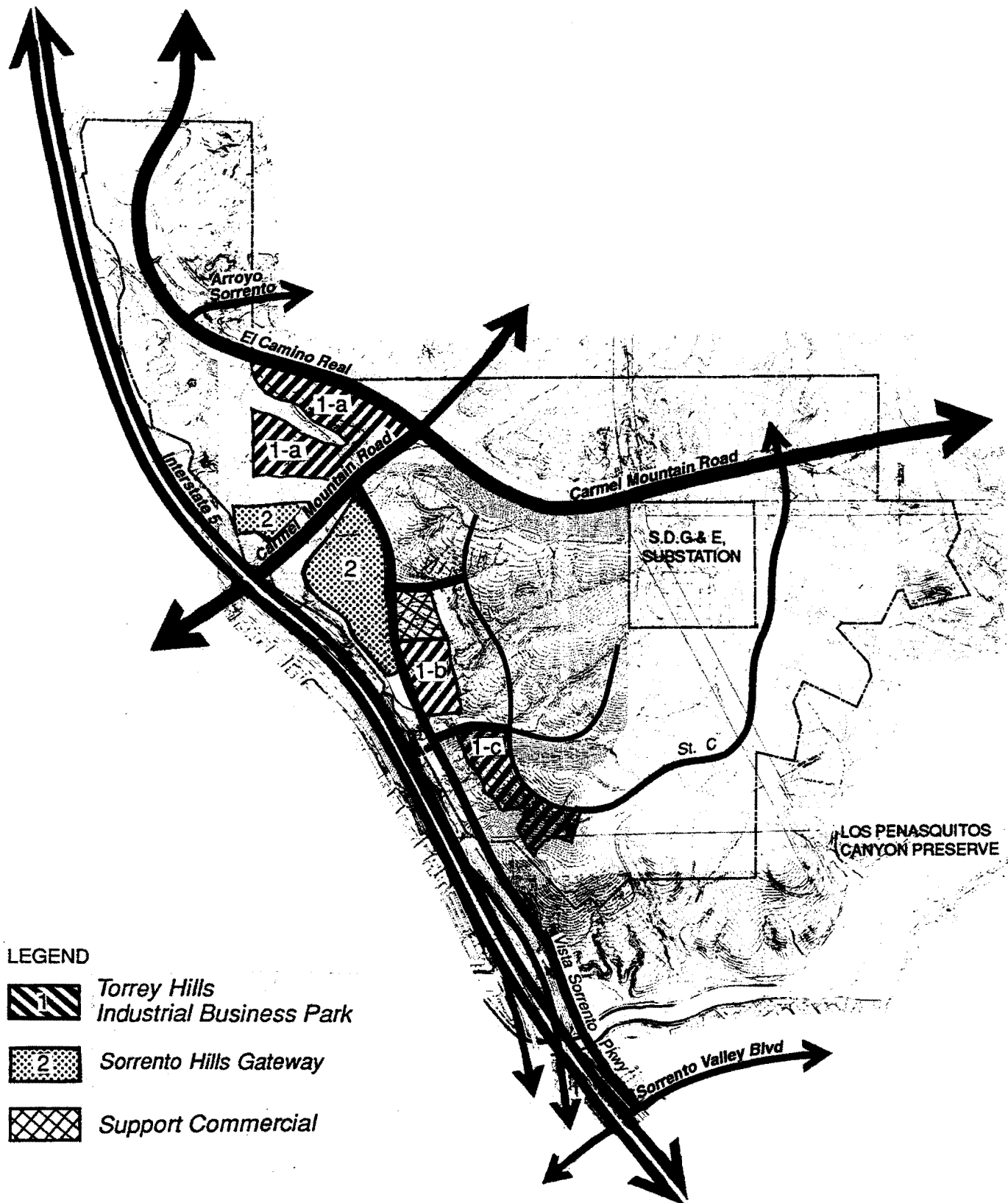
AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 8



TURRIN & TRUNK
PLANNING, ARCHITECTS,
ENGINEERS, PLANNERS,
AND ENVIRONMENTAL
SCIENTISTS





Industrial/Business Park Land Uses

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 8



T&B Planning Consultants
3240 HALLADAY, SUITE 100
SAN ANTONIO, TEXAS 78217-0100
SAN ANTONIO, TEXAS 78217-0100
SAN ANTONIO, TEXAS 78217-0100



In addition to the industrial uses, and in addition to support commercial/recreation features of the Village Center, it is important that supportive commercial and private recreational uses should also be provided within industrial/business park developments. The supportive commercial uses include such services as delicatessens and day care centers. The private recreational uses include such amenities as on-site parks and athletic facilities and sports courts. These uses must clearly be accessory to the industrial/business park area. The amount of these commercial and recreational uses should be directly related to the number of employees within the industrial planning area.

The community plan also provides for a centralization of important commercial uses which are needed to support the industrial/business park land use base. Approximately four acres at the southeast corner of Vista Sorrento Parkway and "A" Street and adjacent to the Sorrento Hills Gateway and Torrey Hills Industrial/Business Park areas of the community have been designated for Support Commercial uses. The Support Commercial Center land use designation in this area is intended to accommodate a congregation of retail commercial uses, such a delicatessens, restaurants, dry cleaners, copy stores, liquor stores, shoe repair shops and barbers/hair stylists. A gas station is also an allowed use in this area, with approval of a Conditional Use Permit. The underlying zone for the Support Commercial Center shall be M-1A; development shall occur through the application of a Planned Industrial Development permit, in order to establish necessary design control and permitted land uses. For a detailed discussion of the COMMERCIAL USES, please see the COMMERCIAL LAND USES element of this plan. Should this area not develop as Support Commercial uses, other uses which can occur in this area include those permitted in the adjacent Torrey Hills Industrial/Business parks. Such alternate uses shall occur through a PID.

WESTERN RIDGE INDUSTRIAL

The Western Ridge Industrial Planning Area includes approximately 48 acres located in the western portion of the community. Carmel Mountain Road, providing a direct connection to I-5, bisects this area and connects with El Camino Real/Carmel Mountain Road, the main east-west circulation element for the community. Street "A" has its beginning within this industrial planning area. Functioning as a frontage road to I-5, Street "A" provides easy access to Sorrento Valley south of Sorrento Hills, and north to the Carmel Valley community.

The Western Ridge Industrial area is made up of three development sub-areas (labeled "a" through "c" on Figure 8). Subarea "a" is located on the ridge north of Carmel Mountain Road and is bisected by the eastern leg of the Torrey View residential development. It offers excellent views including Los Peñasquitos Lagoon and the Pacific Ocean to the west. Because it commands excellent ridge-top view amenities, it is most attractive for company headquarters. Development in this subarea will be surrounded by Very Low density residential development; therefore, careful design of transition areas and landscape buffers are essential in integration of land uses.

The other two subareas within the Western Ridge Industrial Planning Area relates in some way to the community entry at Street "A" and Carmel Mountain Road. Subarea "b" is canyon-oriented while Subarea "c" orients in a step-down fashion to I-5. The development of these subareas is very important in creating an entry statement for the community. These areas adjoin residential land use areas planned for Torrey Reserve Heights. Sensitive site design and architecture is essential to ensure aesthetic quality, transitions and land use compatibility.

SORRENTO HILLS CORPORATE CENTER

TORREY HILLS INDUSTRIAL/BUSINESS PARK

The Torrey Hills Industrial/Business Park is planned for high end light industrial, manufacturing and professional office uses on approximately 47 acres in three subareas within the community. These subareas are noted as "a", "b" and "c" in Figure 8.

- Subarea "a". Subarea "a" is located in the northwestern portion of the community. Situated in proximity to I-5, at the northwest quadrant of the Carmel Mountain Road/El Camino Real intersection, this industrial/business park land use area is easily accessible to regional transportation improvements. The western portion of this area is afforded excellent view opportunities, including Los Peñasquitos Lagoon and the Pacific Ocean to the west. Because it commands superior ridge-top view amenities, it is most attractive for company headquarters. This subarea is flanked on the east by Low density residential land uses and on the north and west by Very Low density residential land uses. Special consideration must be given to the residential – industrial/business park interface at the project design level. Sensitive design treatment, such as landscape setbacks and buffers and elevational differences, should be implemented to ensure compatibility.
- Sub-area "b". Subarea "b" is located east of Vista Sorrento Parkway and includes the Support Commercial Center. This sub-area offers excellent views toward Los Peñasquitos Lagoon and the Pacific Ocean. Because of the ridgetop view opportunities afforded this area of the community, company headquarters would be most appropriate as the predominant industrial/business park land use in this area. The east boundary of this sub-area is contiguous with the Torrey Village planning area. As such, site planning in this area should be coordinated to ensure a smooth land use transition. Appropriate landscape treatment shall occur along lot lines to provide a buffer between land uses, and elevational differences between residential and industrial/business park area are encourage to provide separation of land uses. The design of Sub-area "b" must also consider the Support Commercial Center through an integration of architecture and/or pedestrian elements, so that the Support Commercial Center does not appear as an after thought to the overall planning for the community.
- Sub-area "c". Subarea "c" is located east of Vista Sorrento Parkway, west of "C" Street and north of Low density residential land uses planned for the Torrey Hills South residential neighborhoods. Site design, architectural treatment, landscaping

and rooftop treatments must consider this sub-area's relationship with residential land uses to ensure sensitive transitions and compatibility of land uses.

With the exception of the *Support Commercial Center* planned for the northern portion of Sub-area "b", which should be zone M-1A as discussed in the COMMERCIAL LAND USES section of this Element, ~~the M-IP Zone has been~~ should be applied to the *Torrey Hills Industrial/Business Park* planning area. ~~Subareas 1a and 1b because, as stated~~ under the Purpose and Intent of the M-IP Zone, it "will generally adjoin freeways or other major vehicular thoroughfares" and "will provide for attractive boundaries to heavily traveled highways." Secondly, the M-IP Zone is intended "to ensure industrial parks which are both attractive and efficient." It is essential that industrial development in this portion of the ~~community Western Ridge Planning Area~~ be attractive and efficient, because of the high-end, company headquarters and scientific research and development uses that are intended for this subarea. Because of its relationship to both freeway views and adjacent residential areas, development in this area also requires a sensitive combination of site planning, landscaping and architecture. The review requirements for landscaping and architecture in the M-IP Zone establish some of the controls necessary to assure sensitive development.

SORRENTO HILLS GATEWAY

Sorrento Hills Gateway encompasses approximately 30 acres at the western edge of the community. I-5 provides the western boundary of this area. Carmel Mountain Road, providing a direct connection to I-5, bisects this area and connects with El Camino Real/Carmel Mountain Road, the main east-west circulation element for the community. Vista Sorrento Parkway has its northern beginning in this area of the community. Functioning as a frontage road to I-5, Vista Sorrento Parkway provides easy access south to Sorrento Valley and north to the Carmel Valley community.

Very Low density residential land uses (i.e., *Torrey View*) occur along a portion of the northern border of this subarea. Similar to subarea "a" of the *Torrey Hills Industrial/Business Park*, special design considerations, such as landscape setbacks/buffers and elevational differences, must be implemented to ensure a sensitive treatment along this interface. Additionally, Low density residential development is planned for the *Torrey Ridge* subarea of the *Torrey Hills* residential neighborhood immediately east of and at a higher elevation than the *Sorrento Hills Gateway*. Sensitive site design, including landscaping and rooftop treatments, will promote compatibility of adjacent land uses in this area of the community.

Sorrento Hills Gateway functions as an important entry to the community. Orienting in a step-down fashion to I-5 and bisected by Carmel Mountain Road as it enters the community, this planning area will create a first impression to visitors of the community. Sensitive site design, architecture and landscape treatment are essential to ensure aesthetic quality, positive impressions and smooth land use transitions.

The M-1B zone has been applied to this area. This zone will provide opportunities for large lot industrial developments to accommodate the manufacturing and light industrial, scientific research and development, and professional office users.

The underlying zone for Subarea 1c should be M-1B. This will provide opportunities for large lot industrial developments to accommodate the manufacturing and light industrial users.

VALLEY INDUSTRIAL

The Valley Industrial Planning Area is located in the canyon bottom adjacent to Carmel Mountain Road and El Camino Real, just south of very low density residential and open space areas in the Carmel Valley Community Plan area. It contains approximately 61 acres and is generally topographically separated from other land uses within the community, with the exception of the medium-low density residential development located at the intersection of Carmel Mountain Road and El Camino Real. Special consideration must be given to the compatibility of these two uses at the project design level.

The Valley Industrial area benefits from frontage and accessibility as Carmel Mountain Road/El Camino Real traverses the community. Development along this major traffic corridor requires sensitive site planning to minimize conflicts between through traffic and local traffic. Limiting most of the development in this planning area to one side of the street will aid in reducing traffic conflicts. Access to the prime arterial should be controlled throughout the canyon bottom to sufficiently mitigate conflicts. A more detailed discussion of traffic conditions is included in the Transportation Element of this plan.

Except for that portion of the Valley Industrial Planning Area at the northwest corner of Carmel Mountain Road and El Camino, the Valley Industrial Planning Area should develop under the requirements of the M-1B Zone. As part of the approvals in effect for that portion of the Valley Industrial Planning Area located north of Carmel Mountain Road and west of El Camino Road, the M-1P Zone has been applied. It is not the intent of this plan to require rezoning of this approved project (Sorrento Hills Corporate Center Phase 1, Unit 1). Except for this location, all of the parcels in this planning area are linear in shape and thus require the flexibility in the Property Development Regulations that the M-1B Zone provides. However, it is the express purpose of this community plan to prohibit strip commercial development along Carmel Mountain Road. Although it is possible that this planning area provide some of the commercial support uses for the community, these uses should be limited. This planning area should be developed with a mix of professional office development and light industrial manufacturing uses, as permitted under the M-1B and M-1P Zones.

In order to ensure that this planning area does not develop as strip commercial, and to assure that the community design standards enumerated below for this planning area be properly addressed, development in this area should occur under the Planned Industrial Development (PID) process. The PID should address such issues as community design

~~standards, permitted uses, circulation, architecture, landscaping and parking. These issues must be addressed for the entire Valley Industrial area, specifically focussing on a comprehensive circulation and access plan which provides for efficient internal circulation with limited access to Carmel Mountain Road/El Camino Real.~~

MESA INDUSTRIAL PLANNING AREA

~~The Mesa Industrial Planning Area is approximately 55 acres, most of which is a relatively flat mesa top. This planning area is bounded on the northwest by the utility substation, on the north by the community's major east-west trending canyon and on the east by Los Peñasquitos Canyon. Residential land uses occur west of this planning area. The southern edge of this planning area is located within the Coastal Zone, as shown in Figure 3. Development and grading activities should be limited in that area and consistent with the Coastal Zone Policies Element of this plan. The Mesa Industrial Planning Area benefits from good circulation, with access to Carmel Mountain Road.~~

~~The industrial uses that are expected to be predominant in this subarea include the scientific research, manufacturing, fabrication, assembly, testing, repair, servicing, and processing uses that are enumerated in the M-IP Zone. It is intended that no less than 75% of this subarea be committed to such industrial uses. The purpose of this restriction is to limit the amount of multi-tenant office building uses that are otherwise permitted in the M-IP Zone. This land use restriction will be enforced through the PID permit, which will be required for all development in this subarea.~~

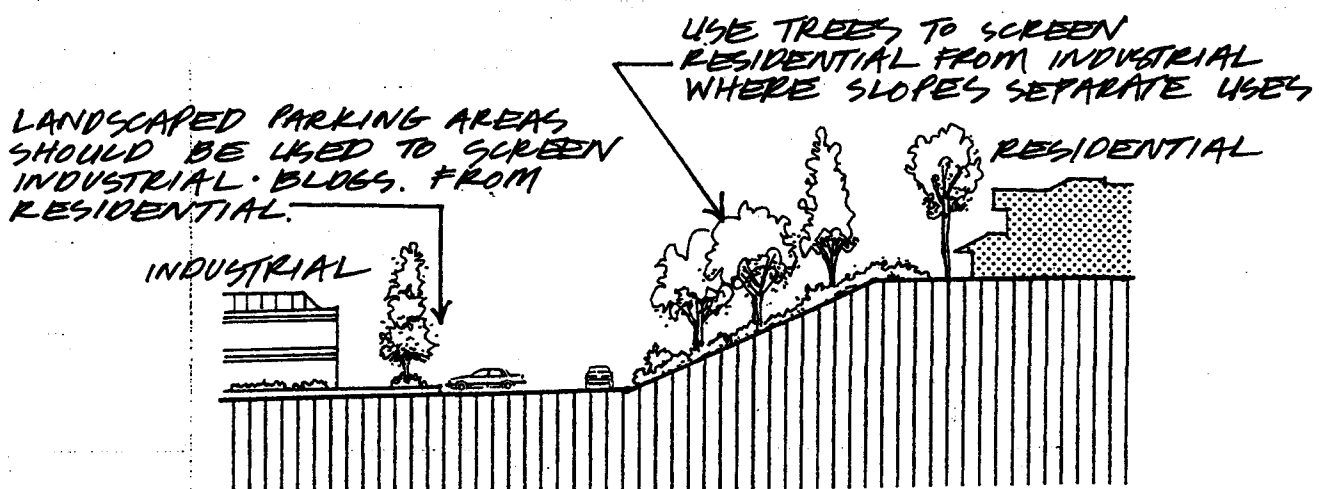
~~Development within the Mesa Industrial Planning Area will concentrate industrial uses compatible with and in proximity to the substation in such a way that does not create negative impacts to the Los Peñasquitos Canyon Preserve. Special development controls and design standards presented below mitigate development impacts to the Preserve and assure compatibility with adjacent residential uses.~~

SDG&E SUBSTATION

In addition to the industrial and support commercial land uses of the plan's Industrial/Business Park Element, the 40-acre SDG&E substation is an existing industrial component in the community requiring special design solutions. The SDG&E substation and associated transmission facilities are located within the east-central portion of Sorrento Hills. Land uses have been selected which are compatible with ultimate buildout of the substation. Additionally, site-specific design guidelines should be implemented to further buffer and screen the SDG&E facility. Permanent access to the SDG&E substation shall be through a private driveway off "C" Street, adjacent to the substation's southern border, and through the southeast portion of the community park. This will allow service vehicle/truck access to the substation without traveling through residential neighborhoods planned for Sorrento Hills, the Mesa Industrial Planning Area. Until permanent access is secured, temporary access shall be provided by Street "D" in the Torrey Reserve Heights PRD.

Industrial Design GuidelinesGENERAL

1. Mechanical equipment, outdoor storage and appurtenances shall be screened and designed as integral parts of the overall design of the building. Fences, walls, grill work, etc. should be of similar material and color as the main building.
2. Each development should provide outdoor seating/eating areas, bicycle lockers/racks, and shower/locker facilities.
3. All rooftop equipment, vents, shafts, etc. shall be concealed and screened from view from adjacent buildings and freeway.
- ~~1-~~ 4. The predominant land use in the Industrial/Business Park area of the community shall be light industrial, scientific research and development and professional office/company headquarters.
- ~~2-~~ 5. Building architecture shall both respond to the prominent landforms and reflect high quality design.
- ~~3-~~ 6. Where this industrial land use occurs proximate to residential land uses, consideration of scale and compatibility should guide design proposals.



- ~~4. 7.~~ Because ~~of portions of~~ this area's ~~is~~ visibility from the freeway, use of reflective glass should be limited in projects where buildings would be visible to motorists on I-5.
8. Industrial/business park development in this area should occur through the application of the City's Planned Industrial Development (PID) process.
- ~~1. In order to avoid potential traffic conflicts along Carmel Mountain Road/El Camino Real, locate the majority of development on one side of the prime arterial. Furthermore, access should be controlled and limited through the PID process.~~
2. 9. Because this narrow strip of developable area is bounded by steep slopes on the north and south, it is important to avoid a "wall of development". The PID process should incorporate specific design concepts such as:
 - Vary building setbacks to provide interest and reduce monotony;
 - ~~• Set buildings into slope areas to achieve an efficient use of land;~~
 - ~~• Utilize taller buildings in this planning area with landscaping to buffer and soften development;~~
 - Establish a design theme through the PID or CC&R's to further create a sense of identity for this area;
 - Establish standards for architecture, landscaping, signage and color controls;
 - Establish design criteria for rooftop treatments which mitigate the visual impact to adjoining areas that would view the development from above (in both Sorrento Hills and Carmel Valley); and,
 - Assure a successful transition between the ~~Very Low Density~~ residential uses which abut this planning area through setbacks, buffers and other site design techniques.

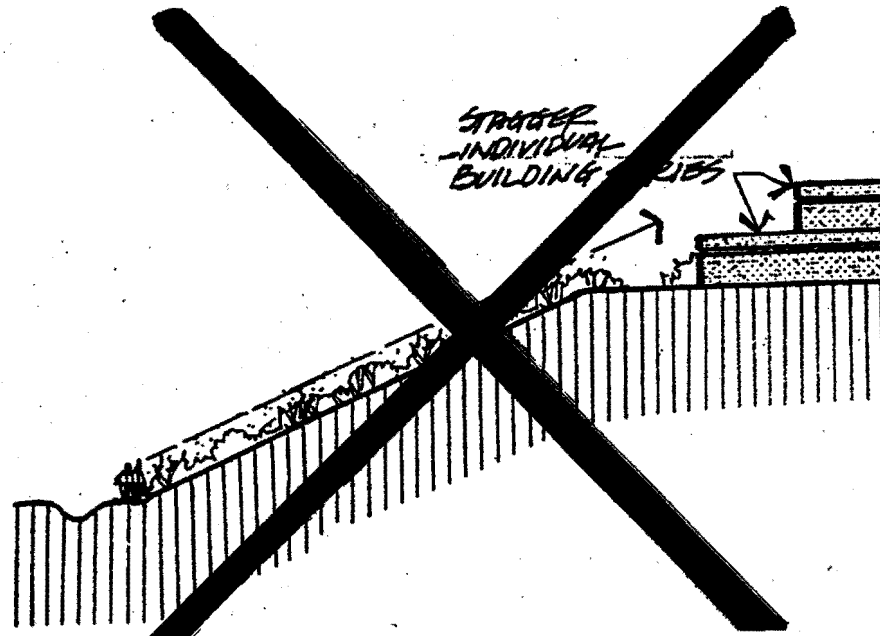
DESIGN GUIDELINES FOR THE MESA INDUSTRIAL PLANNING AREA

~~Development in the Mesa Industrial Planning Area is governed by specific standards designed to mitigate the development's impact on the physical, visual and recreational resources of the area. The design standards enumerated below should be addressed in conjunction with application of the M-IP permit.~~

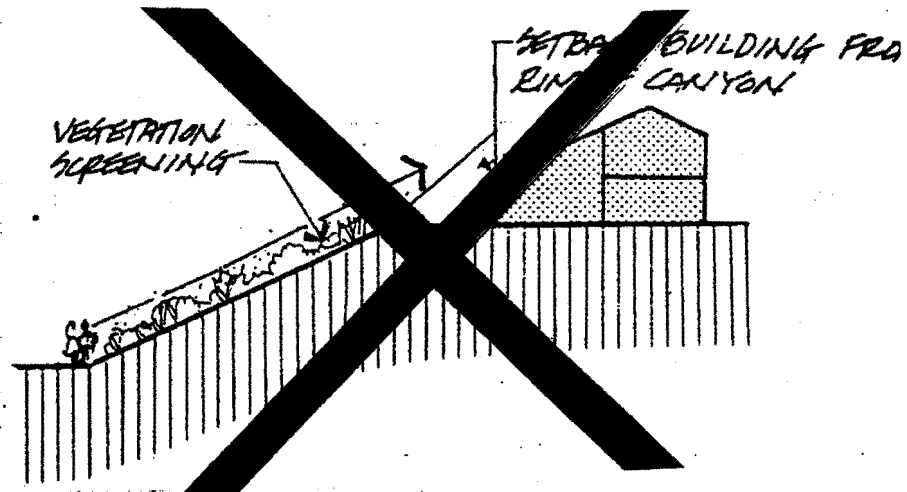
TREATMENT ADJACENT TO LOS PEÑASQUITOS CANYON PRESERVE

- ~~1. Contour grading techniques should be used in areas visible from the Los Peñasquitos Canyon Preserve to emulate natural topographic features.~~
- ~~2. Buildings constructed along the mesa edge should be low profile. Building shapes and roof lines should be designed so that structures blend with the natural landform~~

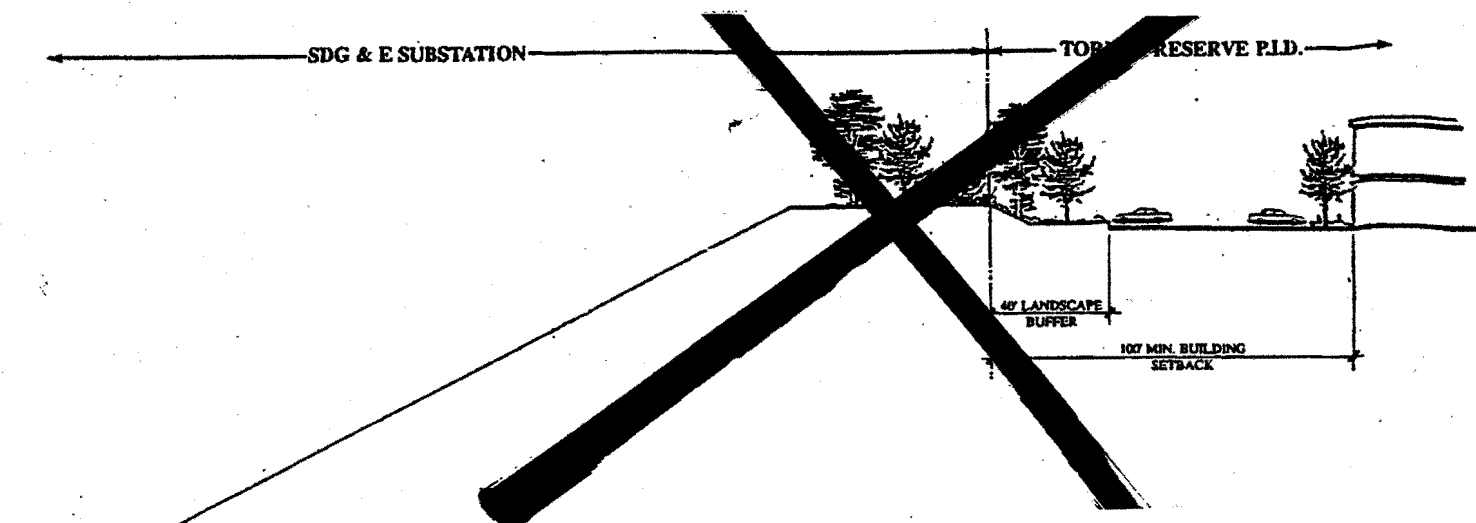
rather than contrast against it. Building roof lines should slope in a manner which complements the contours of the natural mesa edge landform. Individual building stories may be staggered contiguous to the mesa edge designed to eliminate views of structures from the canyon bottom.



3. Earthtone colors should be used on structures along the mesa edge to lessen their prominence from the canyon.
4. Buildings shall be set back from the rim of the canyon to minimize visibility from Los Peñasquitos Canyon Preserve.



5. To minimize visibility from the centerline of Los Peñasquitos Canyon bottom, structures shall be screened from public view utilizing such techniques as vegetation screening, berming and building orientation/configuration.

TREATMENT ADJACENT TO SDG&E SUBSTATION

1. ~~Permanent structures should not be sited within the San Diego Gas & Electric (SDG&E) easements in order to insure access for repair and maintenance. Parking lots, landscaping (including walls, fencing and berms) and other uses may extend into the easements if approved by SDG&E.~~
2. ~~Utilities should be placed underground to prevent visual impact to adjacent development. The higher voltage power lines, however, will remain above ground.~~
3. ~~Site planning for industrial areas adjacent to the SDG&E substation shall incorporate a variable 100-foot wide building setback to avoid creating a uniform building edge adjacent to the substation. Placement of industrial buildings shall be restricted within the 100-foot setback; however, parking, service drives and ancillary uses (such as trash receptacles and bicycle lockers) may be allowed within the setback area.~~
4. ~~Within the 100-foot building setback, a minimum 40-foot landscape buffer area shall be provided to screen the substation from views within the industrial areas.~~
5. ~~Permanent access to the SDG&E substation shall be provided through the Mesa Industrial Planning Area when development occurs in that area.~~

Policies

1. Minimize vehicular trips by providing support commercial uses and amenities within the Community Plan area.
2. Encourage support commercial uses which will serve both community residents and workers who are employed in the Community Plan area.

3. Encourage clustering of uses to create "activity pockets" where area employees and residents alike, can congregate.
4. Develop the ~~Valley, Mesa, Subarea 1b of the Western Ridge Industrial Area and Support Commercial components of the Village Center~~ Torrey Hills Industrial/Business Park and Sorrento Hills Gateway under a Planned Industrial Development (PID) permit.
5. Provide for integration of residential, industrial/business park, recreational and commercial ~~and the Village Center~~ land uses through a comprehensive vehicular, bicycle, transit and pedestrian circulation system.
6. Assure compatibility of industrial/business park uses with adjacent land uses and open space areas through the incorporation of design criteria and development criteria presented in this section and in the Community Design Guidelines Element of this plan.
7. All uses shall comply with the requirements of this community plan and the City's PID ordinance, when applied to site development.
8. Provide indoor or outdoor dining areas for use by employees.

Industrial Element Action Plan

IMPLEMENTING ACTION	TIMING			RESPONSIBILITY	FUNDING	SEE FOR MORE DETAILS
	Adopt with Plan	Within 5 Years	Within 20 Years			
Screen rooftop equipment.	✓	✓	✓	Builder	Private	pgs. 49, 50
Develop the industrial/business park land uses Western Ridge Industrial area with company headquarters, scientific research and development, <u>light industrial uses</u> and associated manufacturing, and professional office uses.	✓	✓	✓	Private developer	Private	pgs. 45, 46, 49
Prohibit use of reflective glass in Western Ridge Industrial industrial/business park areas which are visible to motorists traveling on I-5.	✓	✓	✓	Private developer	Private	pg. 50
Develop Valley Industrial area with a mix of professional office and light industrial uses.	✓	✓	✓	Private developer	Private	
Preclude strip commercial development along Carmel Mountain Road.	✓	✓	✓	Private developer	Private	
Provide a variety of light industrial, manufacturing and scientific research and development uses in the Mesa Industrial area.	✓	✓	✓	Private developer	Private	
Limit multi tenant offices uses in the Mesa Industrial area to be no more than 25%.	✓	✓	✓	Private developer	Private	
Develop lots in the Mesa Industrial area in a manner which minimizes visibility from Los Peñasquitos Canyon.	✓	✓	✓	Private developer	Private	
Provide outdoor seating/eating areas, bicycle lockers/racks, and shower/locker facilities within each industrial project.	✓	✓	✓	Private developer	Private	pages. 49, 53, 78
Provide support commercial uses within industrial/business park areas to minimize off-site vehicular trips.	✓	✓	✓	Private developer	Private	pgs. 41, 44, 45, 53
Recognize adjacent land uses when designing industrial/business park projects and provide appropriate design techniques (such as reduced bulk and scale of buildings), setbacks, transition areas and landscape landform buffers.	✓	✓	✓	Private developer	Private	pgs. 41, 45, 46, 50, 51

COMMUNITY LAND USE ELEMENTS

Industrial/Business Park Land Uses

IMPLEMENTING ACTION	TIMING			RESPONSIBILITY	FUNDING	SEE FOR MORE DETAILS
	Adopt with Plan	Within 5 Years	Within 20 Years			
Integrate transit facilities to encourage ridership. This can be accomplished through provision of a shuttle connection to the commuter rail station planned for in Sorrento Valley or to the LRT Station (if funded and built).	✓	✓	✓	Private developer/ MTDB	Private/ MTDB	pgs. 53, 65, 66

Commercial Land Uses

Goals

1. Provide commercial uses as part of the overall Sorrento Hills community.
2. Provide commercial land uses that adequately meet the needs of the community.
3. Develop commercial uses that complement the mix of other uses located within the community plan area, including residential and industrial uses.
4. Locate commercial uses in easily accessible, highly visible locations.
5. Develop satellite commercial uses to support industrial development.
6. Provide commercial uses that operate without adversely impacting nearby residential neighborhoods.

Background

Most of the commercial land uses planned for Sorrento Hills are located in the northwest portion of the community, near I-5 and north of Arroyo Sorrento Road. El Camino Real traverses this commercial area providing easy connection to other land uses to the south. In this area, commercial uses are planned to serve the travelling public and to act as an extension of the freeway oriented commercial uses developing at the Carmel Valley Road/SR-56 interchange with I-5.

In addition to the planned commercial land uses provided for in the northern portion of the community, retail commercial uses will also be provided in the Torrey Hills Neighborhood Commercial Center located in the northeast part of the community. The Torrey Hills Neighborhood Commercial Center, strategically located to serve residential developments in the community as well as passers-by traveling to adjacent communities, will allow for a reduction in the amount of trips to commercial services outside the area. A gas station is an allowed use in this area, with approval of a Conditional Use Permit.

Adjacent to industrial/business park uses planned for the western portion of the community, within Sub-area "b" of the Torrey Hills Industrial/Business Park planning area, a smaller Support Commercial Center is also planned to provide and recreation uses into a complex which may be frequented by both residents and workers in Sorrento Hills. Village Center. This plan provides for the development of a Village Center to This area would accommodate support commercial uses, such a delicatessens, restaurants, dry cleaners, copy stores, liquor stores, shoe repair shops and barbers/hair stylists. A gas station is also an allowed use in this area, with approval of a Conditional Use Permit. Through sensitive site planning and design, the Village Center has the added benefit of creating a focal point for the community. The incorporation of passive open space uses which provide connections to adjacent use areas will integrate this area into

the community and provide for viable pedestrian linkages. The Village Center, strategically located proximate to both the employment base and residential development, will allow for a reduction in the amount of trips to commercial services outside the community.

Other commercial uses which may develop in the community will occur in conjunction within industrial/business park land-uses. Support commercial uses in these areas will be a very minor part of commercial development in the community and will be ancillary in nature providing such functions as small delicatessens, travel agencies, etc.

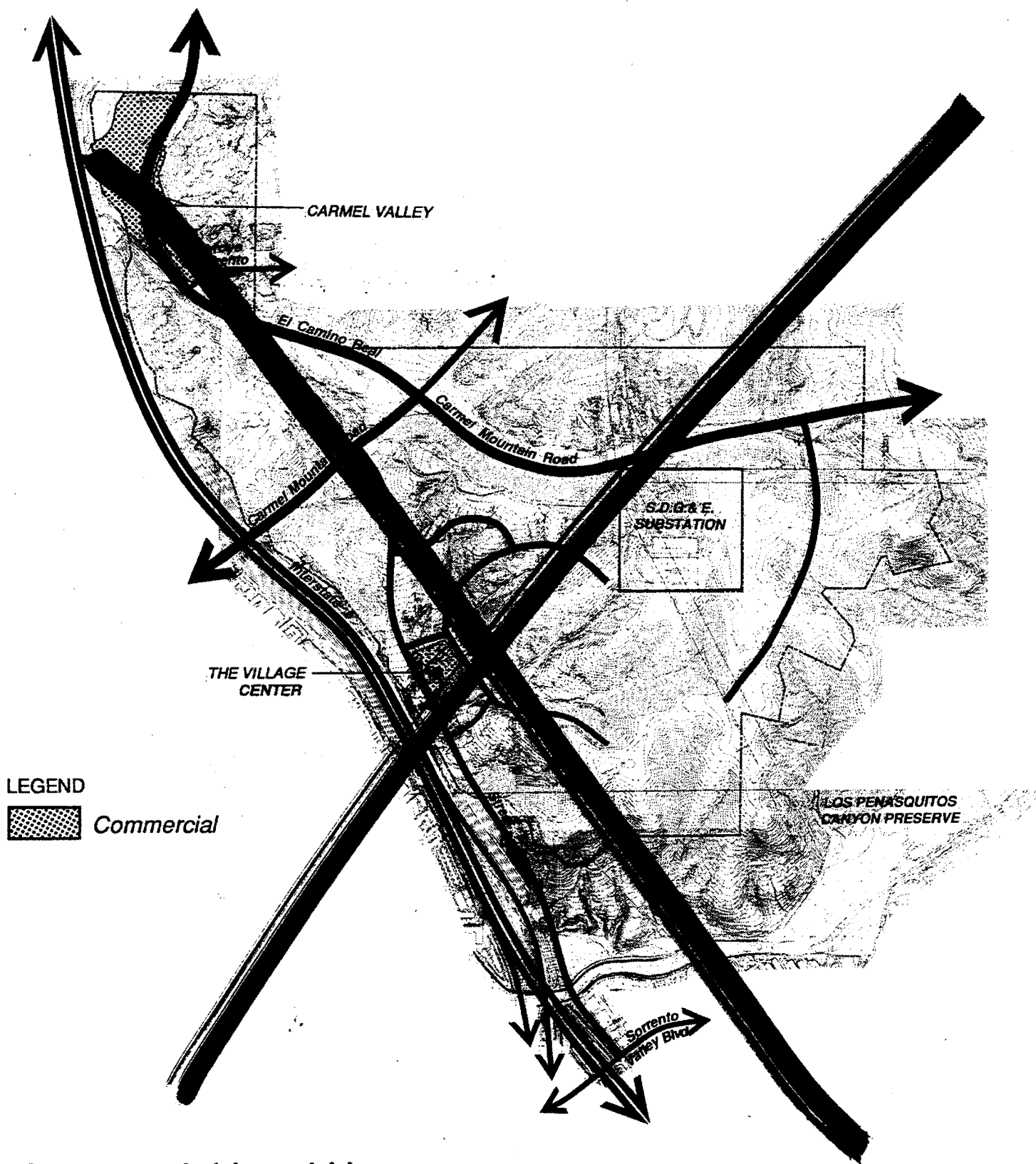
Specific Proposals

The *SORRENTO HILLS COMMUNITY PLAN* designates approximately 41 ~~31~~ acres for commercial development (see Figure 9, *Commercial Uses*). Table 4, *Commercial Land Uses*, identifies the development intensity anticipated in each of the commercial areas.

Table 4
COMMERCIAL LAND USES

COMMERCIAL LAND USE DESIGNATION	ACREAGE	DEVELOPMENT INTENSITY (SF)
Carmel Valley	24	477,000
Village Center	7	54,500
— Retail Commercial		20,000
— Health Club		28,000
— Day Care		3,000
— Support Commercial/Office		3,500
TOTAL	31	531,500

COMMERCIAL LAND USE DESIGNATION	ACREAGE	DEVELOPMENT INTENSITY (SF)
Torrey Reserve	24	477,000
Torrey Hills Neighborhood Commercial Center	13	130,000
Support Commercial Center	4	40,000
TOTAL	41	647,000



Commercial Land Uses

SORRENTO HILLS COMMUNITY PLAN

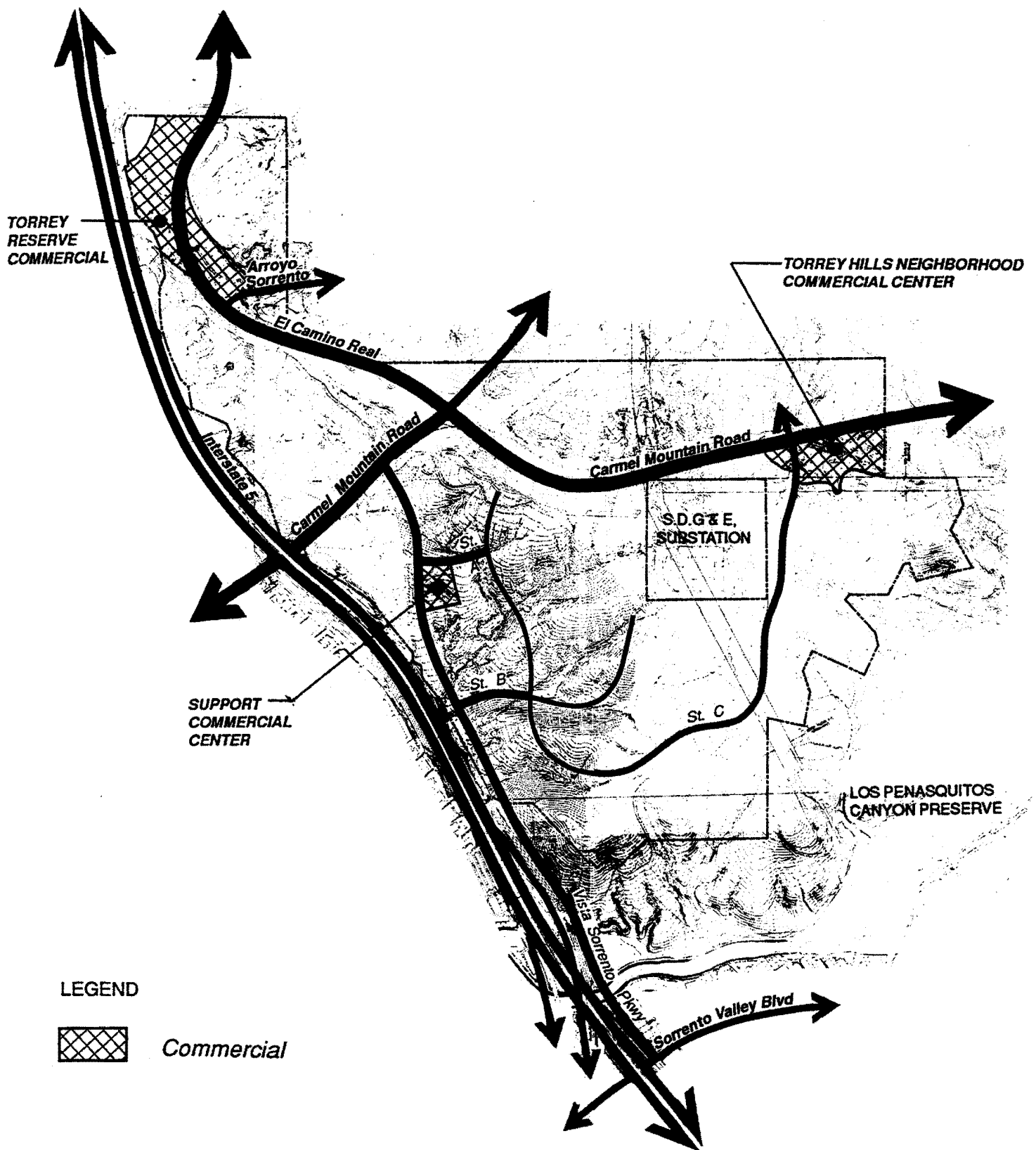
AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 9



TURRIN & BRINK
Planning Consultants
10000 SAN DIEGO AVENUE, SUITE 100
SAN DIEGO, CALIFORNIA 92131
(619) 594-1111





LEGEND



Commercial

Commercial Land Uses

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 9



T&B Planning Consultants
2800 HALLADAY SUITE 100
SAN DIEGO, CALIF. 92108 (760) 442-2774
1670 LORRELL DRIVE, SUITE 210
SAN DIEGO, CALIF. 92108 (619) 546-8160



CARMEL VALLEY TORREY RESERVE

The commercial land use designation in this area encompasses approximately 24 acres, east of I-5 and on both sides of El Camino Real. This area is recommended for commercial development under application of a Planned Commercial Development (PCD) Permit. No less than 20 percent of the commercial area should be developed with visitor commercial uses as defined in the Visitor Commercial (CV) Zone. The remaining 80 percent can be developed with commercial uses such as visitor commercial, financial, specialized commercial, office and corporate headquarters.

Circulation issues are relevant to this development area as well as the area located adjacent to Arroyo Sorrento (discussed below). El Camino Real runs north-south through the Torrey Reserve ~~Carmel Valley~~ commercial area; Arroyo Sorrento Road intersects El Camino Real from the east. ~~Currently, both El Camino Real and Arroyo Sorrento Road exist as mostly unimproved roads in this area.~~ North of the Carmel Valley Torrey Reserve commercial area, El Camino Real intersects with Carmel Valley Road/SR-56 and continues north into the Carmel Valley Community Planning Area. To the south of the Arroyo Sorrento commercial area, El Camino Real becomes Carmel Mountain Road which has been planned to eventually intersect with I-15, located east of Sorrento Hills.

Environmental resources occur in the ~~Carmel Valley~~ Torrey Reserve Commercial land use area which must be considered in conjunction with development proposals. A sandstone bluff escarpment occurs east of El Camino Real and adjacent to commercial land uses. The bluffs are left free from development in this plan because of their aesthetic value. North of and adjacent to the ~~Carmel Valley~~ Torrey Reserve Commercial land use area is wetland associated with the Carmel Creek floodplain.

Specific guidelines for development of areas adjacent to the bluffs as presented in the Open Space and Resource Management Element of the plan have been developed to ensure continued protection of this natural resource. The Open Space and Resource Management Element also provides for the protection and viability of this resource through design guidelines, drainage control and buffer areas. The reader is referred to the Open Space and Resource Management Element for a detailed discussion of development guidelines.

This Commercial Land Use Area is located entirely within the Coastal Zone, and special coastal development criteria must be implemented in conjunction with development proposals as presented in the Coastal Zone Policies Element of this plan.

THE VILLAGE TORREY HILLS NEIGHBORHOOD COMMERCIAL CENTER

In order to reduce the amount of commercial service oriented external trips made by workers and residents of Sorrento Hills, a Neighborhood Commercial Center ~~Village Center~~ is planned for approximately 13 ~~seven~~ acres located adjacent at the intersection of Carmel Mountain Road and Street C to Street "A". Types of commercial uses which can may occur in the Torrey Hills Neighborhood Commercial Center ~~Village Center~~

include a neighborhood market, drug store, smaller retail shops and restaurants. A gas station is permitted in the *Torrey Hills Neighborhood Commercial Center*, with approval of a Conditional Use Permit. ~~day-care center, delicatessen, dry cleaners, health club, restaurants, active park and recreation areas, passive open space, etc.~~ In addition, approximately 3,500 square feet of support commercial office uses are also planned to be located in the Village Center. The *Torrey Hills Neighborhood Commercial Center Village Center* should be zoned M-1A shall be zoned CN and developed as a Planned Commercial Development (PCD).

SUPPORT COMMERCIAL CENTER

Approximately four acres west of Vista Sorrento Parkway, south of Carmel Mountain Road and adjacent to the *Sorrento Hills Gateway* and within Sub-area "b" of the *Torrey Hills Industrial/Business Park* planning area are designated as a centralized location for support commercial land uses. The *Support Commercial Center* land use designation in this area is intended to accommodate a congregation of retail commercial uses, such as delicatessens, restaurants, dry cleaners, copy stores, liquor stores, shoe repair shops and barbers/hair stylists. A gas station is also an allowed use in this area, with approval of a Conditional Use Permit. The *Support Commercial Center* also provides an integral component of the complex of uses which form the community activity node.

The underlying zone for the *Support Commercial Center* shall be M-1A. Land uses should be selected to support the employment base provided by industrial and business park land uses in the community. For this reason, commercial development in the *Support Commercial Center Village Center* should occur in conjunction with a Planned Industrial Development (PID) permit. The precise size, location and permitted uses of the *Support Commercial Center Village Center* should be identified through the PID process. Should this area not develop as support commercial uses, other uses which can occur in this area include those permitted in the adjacent *Torrey Hills industrial/business parks*. Such alternate land uses should also occur through application of a PID.

Commercial Development Design Guidelines

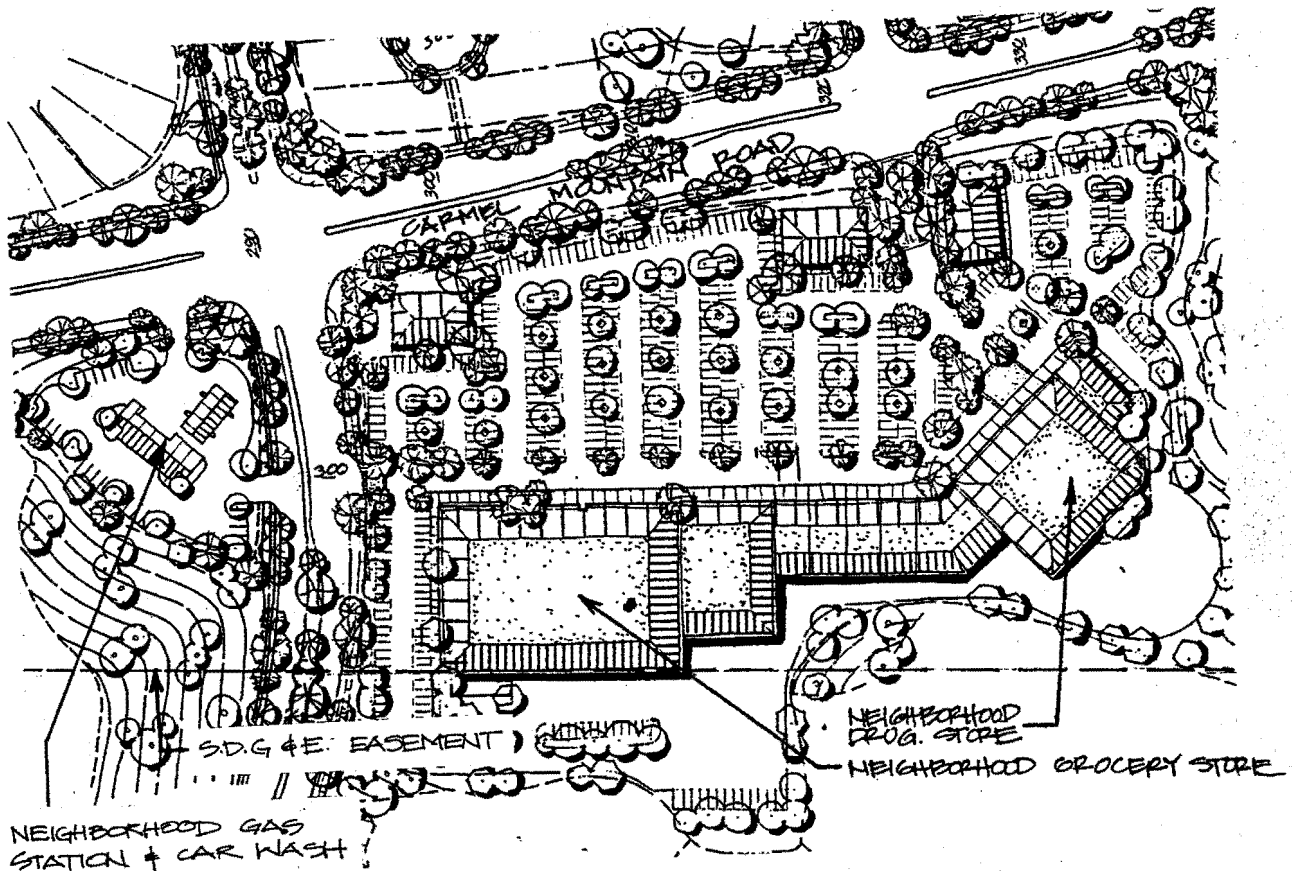
GENERAL

1. Bulk and scale of commercial development should be compatible with other land uses of the community and should be designed in a manner which is sensitive to significant environmental features (e.g., wetlands and inland bluffs) and view sheds of adjacent public use areas and important roadways (I-5, Carmel Mountain Road, Carmel Valley open space and Torrey Pines State Park).
2. Activity areas (e.g., areas that generate noise, foot traffic, parking lots, etc.) of commercial land use projects shall be oriented away from residents.

3. Erosion and sediment control measures described in the Open Space and Resource Management Element and the Coastal Zone Policies Element of this plan shall be implemented to prevent sediment into Los Peñasquitos Lagoon and Carmel Creek.

SITE PLANNING AND DESIGN GUIDELINES

1. ~~The Village Center shall be designed as a cohesive neighborhood amenity functioning as an activity center for adjacent residential and industrial land uses.~~
21. Pedestrian connections must be well defined and an integral part of the *Torrey Hills Neighborhood Commercial Center and the Support Commercial Village Center* to encourage and promote pedestrian accessibility. This should occur through the use of enhanced paving material, landscape treatment and lighting. Smaller scale retail uses should be encouraged in the commercial areas ~~Village Center~~ to help define pedestrian connections.



3. ~~The Village Center shall be designed to function as a landmark for the community through innovative architecture and variety in site design.~~

24. Architecturally, buildings shall complement adjacent residential and industrial/business park developments yet differ enough to result in a definable urban statement ~~created for the Village Center~~. This approach will create an identity and arrival statement which will attract patrons ~~and focus community activities~~.
35. Low density development and low profile buildings (in terms of height and mass) should be sited near Arroyo Sorrento Road to soften the future urban view visible to the residents in Carmel Valley.
46. ~~In the Torrey Hills Neighborhood Commercial Center~~ ~~Except in the Village Center,~~ buildings should be set back from the street and open space areas as far as possible to maximize the perception of open space. In the Village Center, buildings should be placed to define the street edge and maximize pedestrian connections.
- ~~7. Buildings shall be concentrated along Street "A" to alleviate traffic noise from I-5.~~
58. Primary uses in commercial areas shall "anchor" the corners at street intersections.
- ~~9. A greenbelt shall begin within the Village Center and tie into adjacent open space areas planned for the community. In this manner, the undisturbed open space areas planned as part of the community's natural open space system will transition and terminate as an urban scene at the Village Center.~~
- ~~10. Landscaped streetscape along Arroyo Sorrento Road should be designed to provide an aesthetic transition between Sorrento Hills and Carmel Valley.~~

Policies

1. Require that all commercial uses be compatible with the residential and industrial uses in the Community Plan area.
2. Require that adequate vehicular and service areas be provided between adjoining individually developed commercial properties and curb cuts on major streets (i.e., El Camino Real, Carmel Mountain Road and Vista Sorrento Parkway) be minimized.
3. Locate landscaping along all commercial street frontages.
4. ~~In the Village Center,~~ provide for the development of low-intensity, low-rise and mid-rise (not to exceed 50 feet in height) commercial retail developments which are designed as "Village-like" complexes of stores and urban nodes reflecting the character of Sorrento Hills.
5. Require the processing of a Planned Commercial Development (PCD) Permit (or Planned Industrial Development (PID) Permit in the case of the Support Commercial Village Center) to provide an opportunity for site plan and architectural review.

Ancillary commercial uses developed in conjunction with industrial/business park developments require review in conjunction with the primary industrial land use proposal and shall not require separate PID permits.

6. Incorporate project-specific design guidelines into planned development permits for development of commercial land uses.
7. Implement specific criteria designed to protect coastal resources as defined in the policies of the Open Space and Resource Management Element and Coastal Zone Policies chapter of this plan.

Commercial Element Action Plan

IMPLEMENTING ACTION	TIMING			RESPONSIBILITY	FUNDING	SEE FOR MORE DETAILS
	Adopt with Plan	Within 5 Years	Within 20 Years			
Provide commercial uses to meet the needs of the community.	✓	✓	✓	Private developer	Private	pg. 56
Develop the Garmel Valley Torrey Reserve commercially designated area with 20% visitor service commercial uses and 80% mixed commercial uses.	✓	✓	✓	Private developer	Private	pg. 59
Establish a viable Neighborhood Commercial Village Center as a concentration of a mix of commercial uses to support residential and employment opportunities in the community-Torrey Reserve Heights neighborhood.	✓	✓	✓	Private developer	Private	pgs. 56, 57
Design the Village Center to include a small residential component giving the Center a 24-hour life.	✓	✓	✓	Private developer	Private	
Integrate transit into the Village Center as a focal point and to encourage ridership. This can be accomplished through provision of a shuttle connection to the heavy rail stop planned for Sorrento Valley or -- if funded and built -- incorporation of an LRT station at the Village Center.	✓	✓	✓	Private/City/MTDB	Private/MTDB	pgs. 65, 66
Provide comprehensive landscape plans for all commercial areas which transition and buffer adjacent uses.	✓	✓	✓	Private developer	Private	pgs. 61, 62

Transportation

Goals

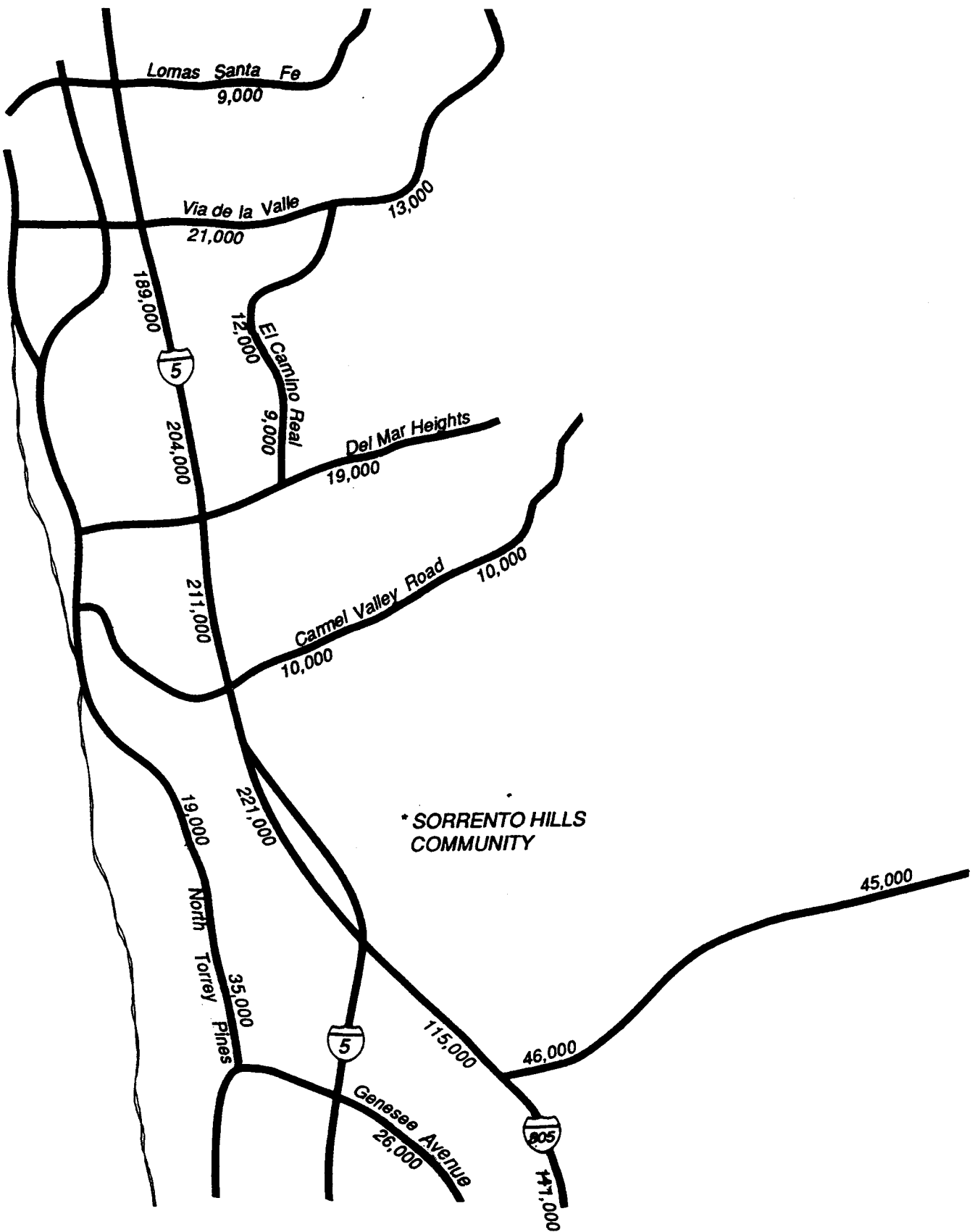
1. Construct and maintain an adequate community circulation network that is compatible with the regional transportation system.
2. Achieve a balance between parking supply and demand throughout Sorrento Hills for all planned land uses ~~proposed~~ as shown the Sorrento Hills Land Use Map.
3. Provide a transportation system that maximizes the opportunities for public transit.
4. Provide a system of bikeways and pedestrian facilities that will encourage bicycling and walking as a means of transportation.
5. Provide a transportation system that is a convenient linkage to the community's activity centers and to the rest of the metropolitan region.
6. Develop a centralized Transportation Demand Management (TDM) program for all projects located in the community that sustains an adequate level of mobility in and around the project, minimizes peak hour pockets of congestion and promotes the use of alternatives to the single occupant motor vehicle.

Background

The Sorrento Hills Community benefits from existing and planned transportation facilities (Figure 10, *1991 Average Daily Traffic*, shows existing street pattern and current traffic volumes). Interstate 5 (I-5) is a full freeway with four lanes in each direction from the vicinity of the Carmel Mountain Road bridge underpass and extending north. A short distance to the south, two separate eight-lane freeways (I-5 and Interstate 805) merge into I-5. From the merger point north, additional lanes are added to I-5 for varying distances to facilitate the merging maneuvers. Future improvements are planned for the I-5/I-805 freeways from Genesee Avenue to the south to Del Mar Heights Road in the north which will widen the freeways, provide for truck lanes and construct interchange improvements.

Light Rail Transit (LRT)-PUBLIC TRANSPORTATION

The Metropolitan Transit District Board (MTDB) has considered a northerly extension of a LRT line that would run immediately east of Interstate 5 along the western edge of Sorrento Hills. This extension is designated as a possible future rail extension in MTDB's Rail Transit Plan. Funding for this facility is not available at this time. However, this plan provides an opportunity to integrate the LRT or connect to the Coaster commuter rail station in Sorrento Valley through ~~heavy rail into the Village~~



* SORRENTO HILLS COMMUNITY

1991 Average Daily Traffic

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 10
Source: Urban Systems Associates, Inc.



~~Center and enhance mobility options for the community. This can occur through construction of an LRT station adjacent to the Village Center, when and if funding for the LRT Line becomes available, or through bus or shuttle connections services to the planned heavy rail station in Sorrento Valley. The provision of bus or shuttle services would require private funding.~~

Specific Proposals

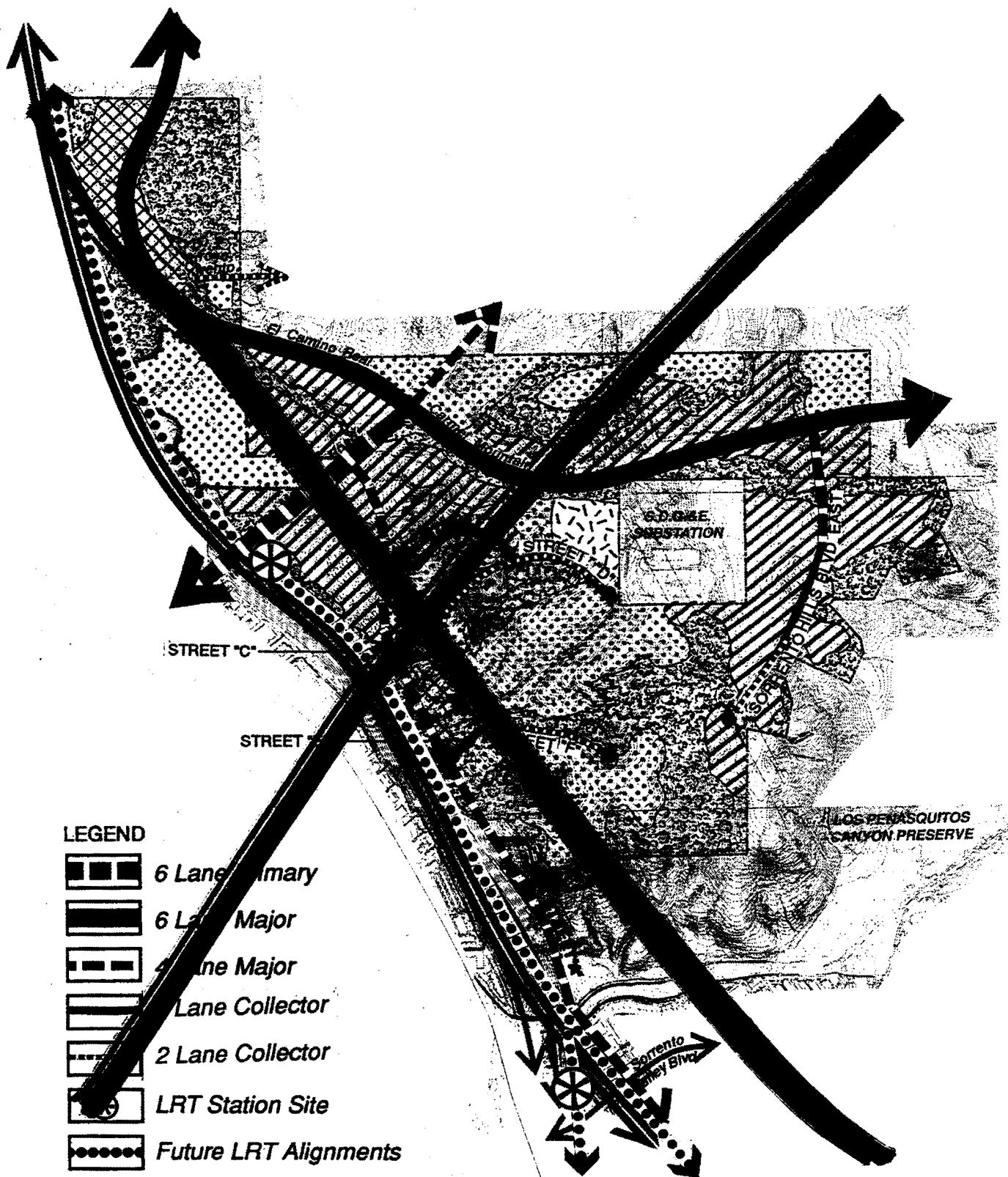
COMMUNITY ROADWAY NETWORK

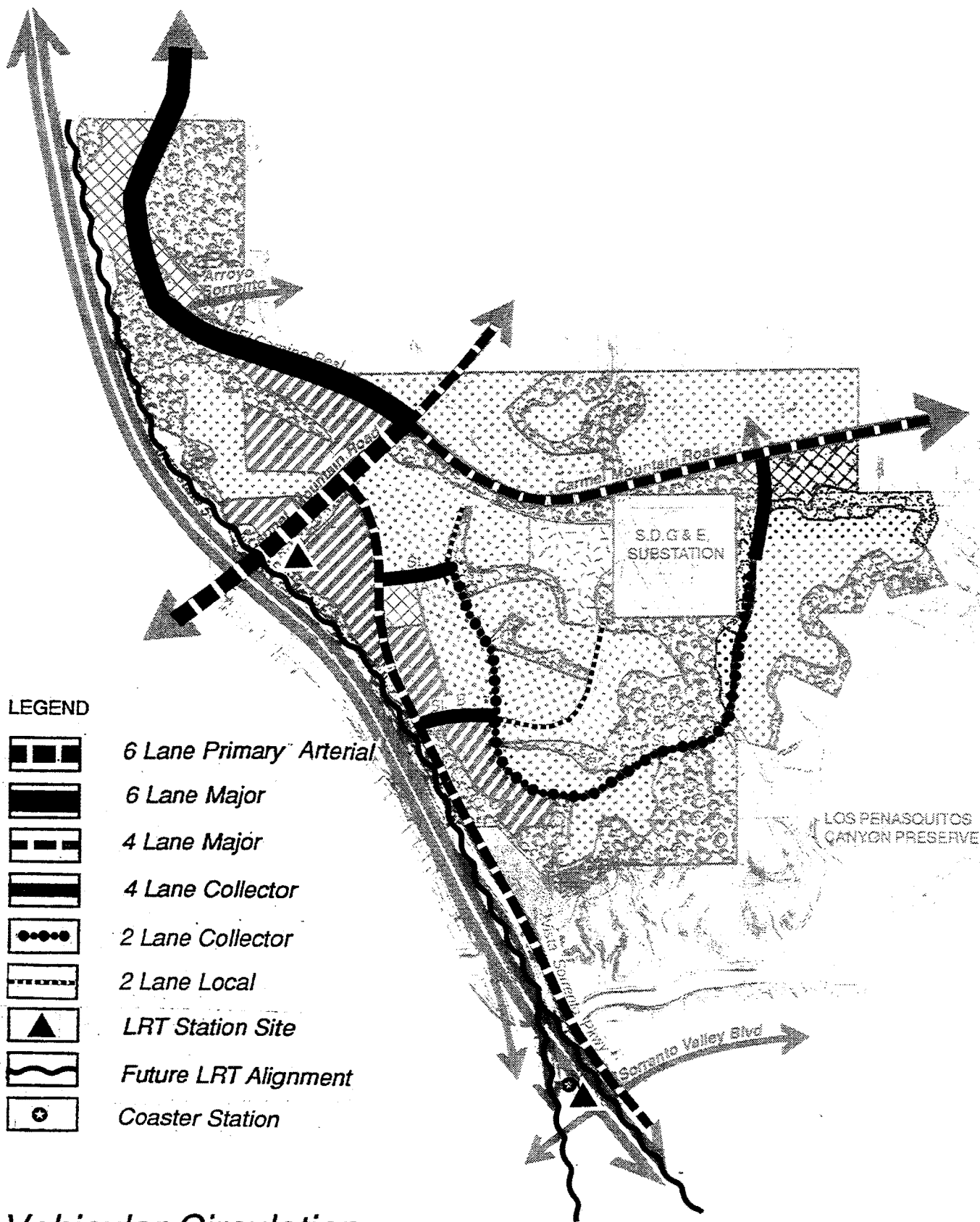
With this update, revision to the adopted community circulation system is planned to best accommodate the planned land uses and associated traffic volumes. Figure 11, *Vehicular Circulation Plan*, shows the principal streets of the *SORRENTO HILLS COMMUNITY PLAN*. The primary elements of the community circulation system include El Camino Real/Carmel Mountain Road, ~~and Street "A"~~ Vista Sorrento Parkway and Street C within the Torrey Hills development area. Added to these are the internal loop roads and local roads designed to serve development proposals.

- *El Camino Real/Carmel Mountain Road.* El Camino Real/Carmel Mountain Road occurs as a north-south and east-west connection along the northern part of the community and will be constructed as a 6-lane major street. Providing direct access from the community to I-5 is a section of Carmel Mountain Road constructed to 6-lane primary street standards.
- *Vista Sorrento Parkway.* Within the Sorrento Hills Community, Street "A" Vista Sorrento Parkway will be constructed as a 4-lane major street and will provide a north-south connection between Sorrento Hills and Sorrento Valley. Portions of Vista Sorrento Parkway ~~Street "A"~~ occur within the freeway right-of-way for Interstate 5.

INTERNAL LOOP ROADS AND LOCAL ELEMENTS

- *"C" Street.* Internal to the central portion of the community, the Circulation Element anticipates "C" Street as the main loop roads which will provide direct vehicular connections to Street "A" Vista Sorrento Parkway and Carmel Mountain Road. ~~Street C~~ These roads will also provide linkages to land uses within this portion of the community and will be accessible by automobile, pedestrian, bicyclist and transit.





Vehicular Circulation

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 11



T&B Planning Consultants
2400 HALLADAY BLVD. SUITE 200
SAN DIEGO, CALIF. 92108-0740
619.594.1100 FAX 619.594.1101



TRAFFIC GENERATION

An estimate of the traffic generated by Community Plan build-out has been assigned to the planned circulation system. The critical elements of the system will be the major streets and the freeway interchanges. Those facilities must be constructed to accommodate the cumulative traffic demands of the Community plus through traffic. The local streets totally within Sorrento Hills will be designed to have adequate capacity for local traffic demands. ~~The nonresidential land uses of Sorrento Hills generate considerable daily and peak-hour traffic demands.~~

TRAFFIC DISTRIBUTION

The projected external traffic volumes were distributed on the planned circulation system via a specific set of distribution percentages. These percentages were derived with the cooperation of City Transportation Planning staff with data gathered from the Source Point staff of San Diego Association of Governments (SANDAG).

Source Point provided trip tables of the latest Series ~~VIII~~ ~~VII~~ forecast for the Carmel Valley residential zone immediately north of Sorrento Hills, and the Sorrento Valley business-industrial zone ~~that has uses most like to the south of~~ Sorrento Hills. By tracing these trip tables separately for the nonresidential and the residential uses to all the traffic zones in the San Diego region via the planned regional circulation system, the distribution percentages for Sorrento Hills were derived.

With the cooperation of the City of San Diego transportation planners, through-traffic was then estimated for Sorrento Hills. By combining the through traffic with the total Sorrento Hills traffic as shown in Figure 12, *Community Plan Traffic Volumes*, a total forecasted traffic can be used in planning the Sorrento Hills circulation system.

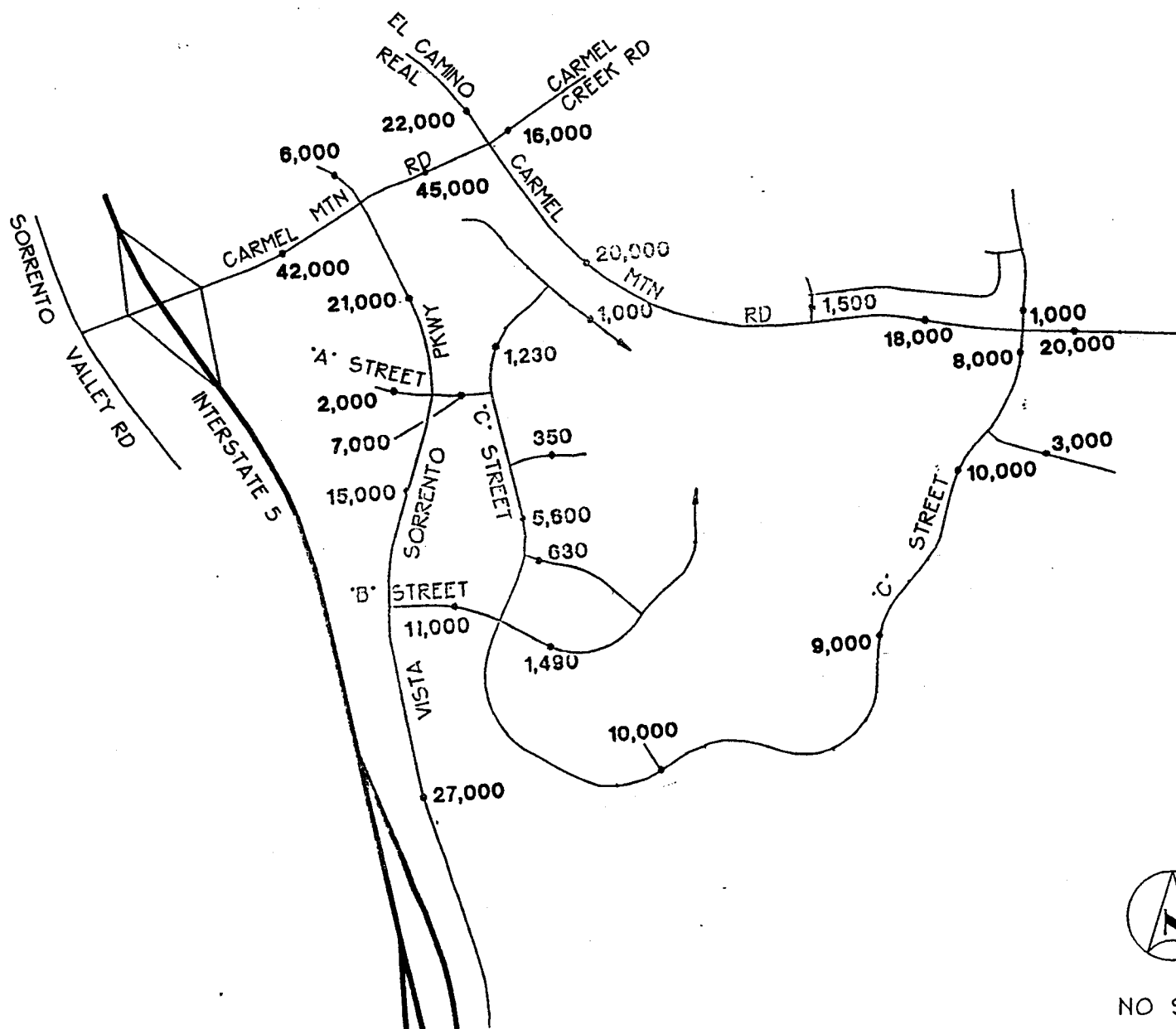
The impacts of community traffic have been carefully evaluated to determine the compatibility of the proposed roadway system with the projected traffic volumes. This evaluation included both roadway and intersection capacities. Land uses have been selected and modified as necessary to avoid congestion.

STREET WIDTHS

Based on the traffic studies conducted for the planning area, the following streets widths should be provided in the Sorrento Hills Community pursuant to the proposed circulation system depicted in Figure 11. Design speed for each circulation element roadway will be as determined by the City Engineer.

- **Carmel Mountain Road**

- 1. ~~Carmel Mountain Road~~
- ~~From Interstate 5 to El Camino Real: Six-lane Primary Arterial Street.~~
- ~~2. Carmel Mountain Road From Carmel Valley Neighborhood 10/Sorrento Hills boundary to just east of Carmel Creek Road: Six Four-lane Major Street~~



COMMUNITY Plan Traffic Volumes

SORRENTO HILLS COMMUNITY PLAN

AMERICAN NEWLAND ASSOCIATES, 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Source: Kimley-Horn Figure 12



T&B Planning Consultants
2000 HALLMARK, SUITE 200
SAN ANTONIO, TEXAS 78224
SAN ANTONIO, TEXAS 78224
SAN ANTONIO, TEXAS 78224



- El Camino Real
- ~~3. El Camino Real from Carmel Mountain Road to Route 56: Six-lane Major Street.~~

- Vista Sorrento Parkway
- ~~4. Street "A" from Carmel Mountain Road to Sorrento Valley Boulevard: Modified Four-lane Major Street.~~

- Carmel Creek Road
- ~~From Carmel Mountain Road into Carmel Valley Neighborhood 8A: Four-lane Major Street.~~

- Torrey Hills "A" Street
- ~~Between Vista Sorrento Parkway and "C" Street: Four-lane Collector Street.~~

- Torrey Hills "B" Street
- ~~Between Vista Sorrento Parkway and "C" Street: Four-lane Collector Street.~~

- Torrey Hills "C" Street
- ~~From "A" Street to just south of Carmel Mountain Road: Two-lane Collector Street.~~
- ~~The south leg of the intersection with Carmel Mountain Road: Four-lane Collector Street.~~
- ~~The north leg of intersection with Carmel Mountain Road into Carmel Valley Neighborhood 8A: Two-lane Collector Street.~~

- ~~5. Street "B": Four-lane Collector.~~

- ~~6. Street "C" from Street "A" to Street "D": Modified Four-lane Collector with Street Median and a ROW ranging from 102 to 112 feet.~~

- ~~7. Street "D": Two-lane Collector Street.~~

- ~~8. Street "E": Four-lane Collector Street.~~

- ~~9. Street "F": Two-lane Collector to provide internal access for residential traffic accessing Street "A", the Village Center and the community and regional circulation network.~~

- ~~10. Sorrento Hills Boulevard East from Carmel Mountain Road: Varying designations ranging from a Two-lane Collector to a Four-lane Major.~~

ALTERNATIVE TRANSPORTATION MODES

Practical alternatives to private automobile travel are encouraged for circulation within the community, and to outside surrounding areas. Commuting between work and residence is an especially important target for use of alternative transportation modes.

Utilization of alternative modes can reduce traffic congestion, conserve energy, and minimize air pollution. Included in alternative transport modes are transit, bicycle travel and pedestrian circulation.

The Metropolitan Transit Development Board (MTDB) has conducted preliminary studies of a northerly extension of a Light Rail Transit (LRT) line that would run immediately east of I-5 along the west edge of the Sorrento Hills community. Funding is not currently available to pursue this alignment. If the line is ultimately built, there are tentative plans for ~~a as many as two~~ transit stops for the LRT in Sorrento Hills: ~~one~~ near the interchange of Carmel Mountain Road and I-5, and one further north in ~~the~~ Carmel Valley community. The adopted development agreement for Sorrento Hills requires the property owners within the community to provide the right-of-way for the LRT line to MTDB at no cost.

~~In conjunction with~~ The North County Transit Development District (NCTD), MTDB is operating also planning the "Coaster", a heavy commuter rail line through Sorrento Valley. This commuter rail line would provides connections between the Santa Fe Depot in downtown San Diego to the Oceanside Transit Center. A commuter rail stop is located in Sorrento Valley in the vicinity of the I-805/I-5 junction. It is anticipated that buses or shuttles will provide service to Coaster patrons between the surrounding communities work places and the rail stop. This is funded as a two-year demonstration project. Private funding is required to continue the services beyond February 1997.

Transit includes a number of other travel alternatives such as bus, tram and para-transit using standard roadways. Local transit should be provided by local buses, trams, and/or dial-a-ride. These services should connect to routes in surrounding communities as well as the regional systems. Carmel Mountain Road, El Camino Real, and Street "A" Vista Sorrento Parkway would provide the best routes for local transit within the Community. Transit stops should be considered in the design of streets serving the high-intensity uses, and development proposals should design street layouts that offer direct pedestrian connections to transit corridors.

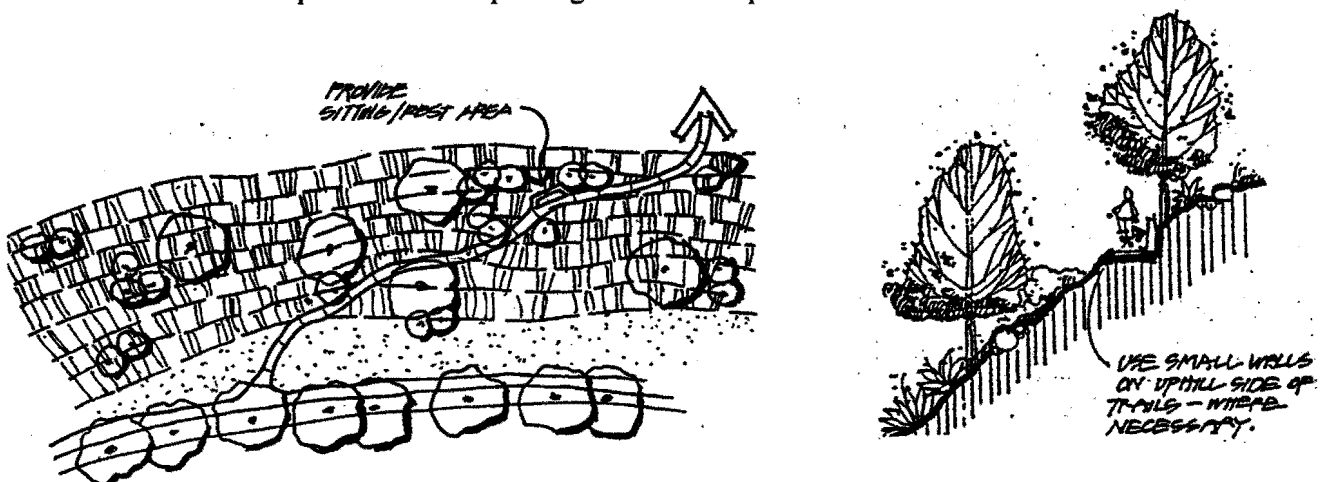
Future bus service on I-5 should take into account riders going to and from the Sorrento Hills community. Increased frequency of bus service on I-5 is supported by this plan as the community builds out. In particular, this Community Plan supports the potential future bus METRO express route (Route 960) which has been identified to serve the I-5 corridor from Del Mar to downtown San Diego. The planning of transit facilities for Sorrento Hills must include the consideration of Route 960 as well as local transit feeder service. New local service has been identified to connect to Carmel Valley and Sorrento Valley, which would serve the western half of the Sorrento Hills community. There is no existing or planned local transit service in this community due to funding shortfalls.

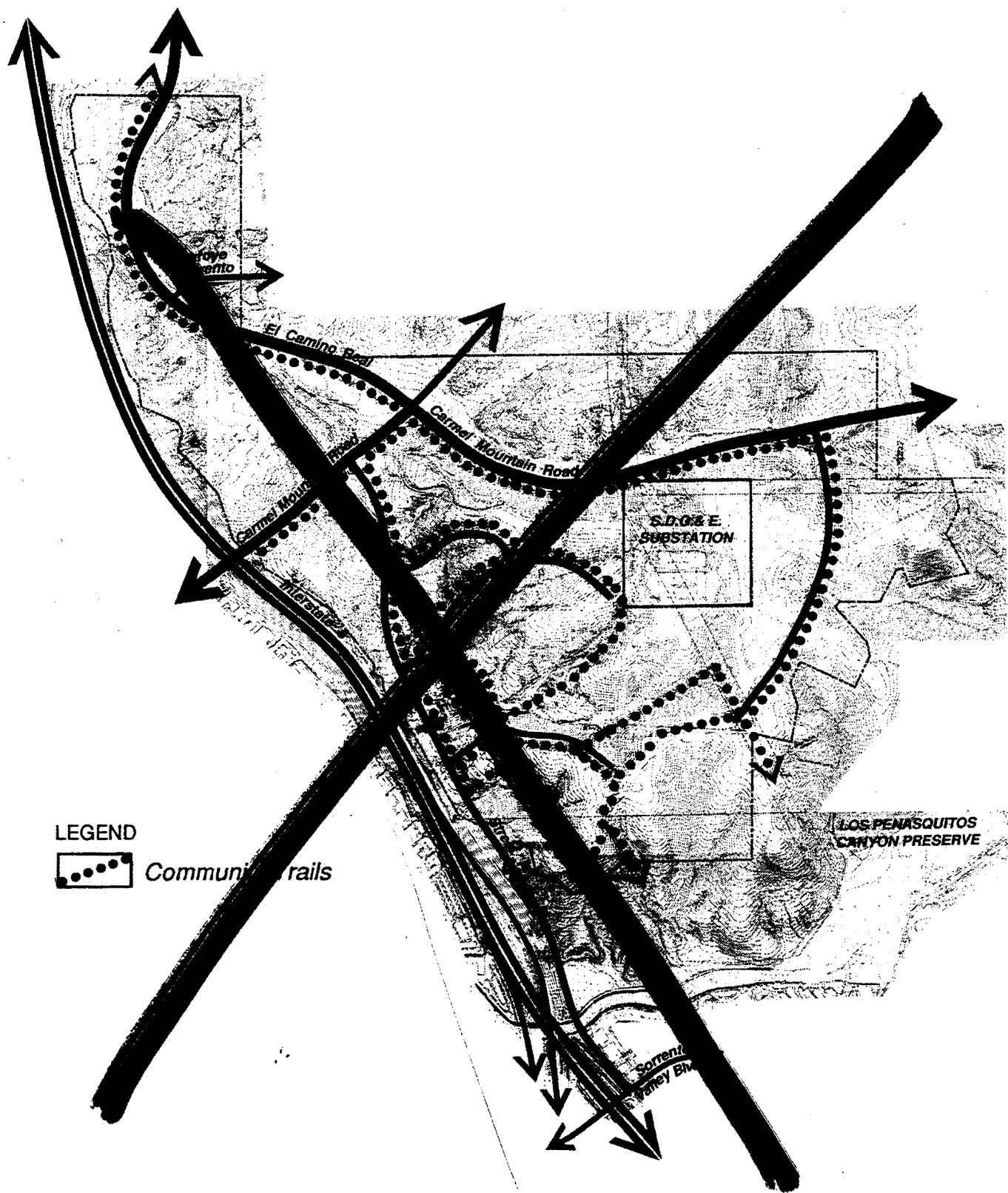
COMMUNITY PEDESTRIAN, BICYCLE AND EQUESTRIAN ACCESS-BIKE AND PEDESTRIAN SYSTEM

A bikeway network, consisting of bicycle paths and bicycle lanes; and a pedestrian/jogging trail system, consisting primarily of paved sidewalks; and opportunities for an equestrian trail are planned for the Sorrento Hills Community. These non-motorized transportation facilities will provide an alternative to automobile travel as well as recreational opportunities.

- **Pedestrian Access.** The planned pedestrian/jogging trail system is shown in Figure 13, *Community Trails System*. The trails system is designed to provide access to open space areas, such as Carmel Valley and Los Peñasquitos Canyon Preserve and provide a linkage of paved sidewalks and graded trails which integrates planned land uses. Proximate to the community activity nodes (i.e., the *Support Commercial Center* in the western part of the community, the *Community Sports Park* in the central portion of the community, the potential school site in the south-central portion of the community and the *Torrey Hills Neighborhood Commercial Center* in the eastern portion of the community), it is essential that pedestrian elements aid in linking land uses in a cohesive manner. A pedestrian access route/community trail connection should occur along the slope on the south side of Carmel Mountain Road, west of the SDG&E substation, connecting with the *Community Sports Park*. This trail will provide pedestrian access to the park for neighborhoods north of Carmel Mountain Road. A pedestrian access route/community trail should also be provided south of the SDG&E substation to provide a convenient direct pedestrian link between neighborhoods in the eastern part of the community with the *Community Sports Park*.

Development of the community trail system should include resting areas (such as benches) and signage. Portions of the community trail system located in open space areas will require sensitive grading techniques which minimize impacts. This may involve switch backs or the incorporation of small walls which will minimize impacts to steep slopes. Trails should be a minimum of six feet in width and composed of decomposed granite or compacted earth.





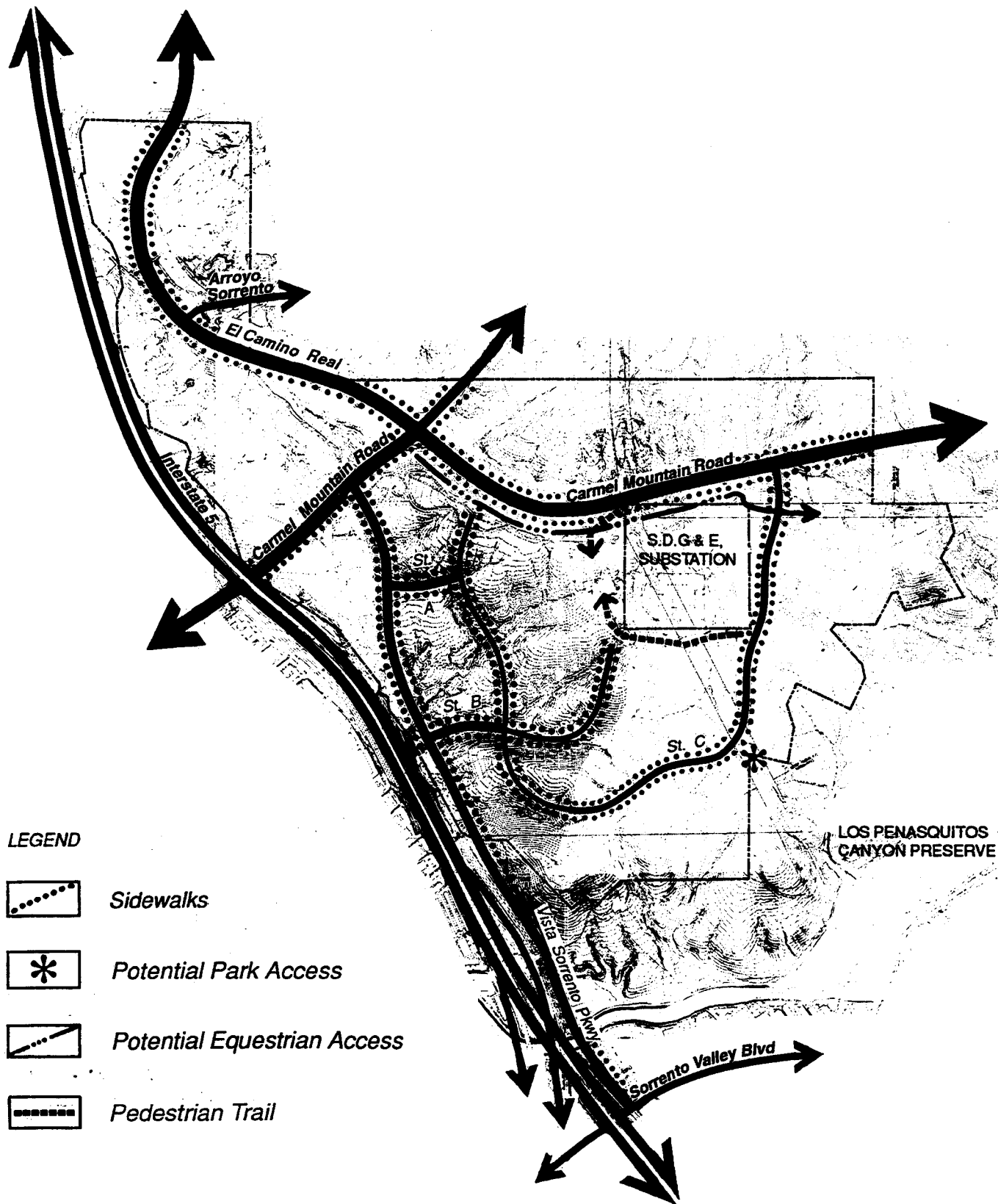
Community Trails System

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 13





Community Trails System

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 13



Sidewalks within the community should be a minimum four feet in width and occur as noncontiguous elements along Vista Sorrento Parkway, north of "B" Street; and along "C" Street. Along these streets, the travel-way will be separated from the pedestrian by a minimum 4 ½ foot landscaped parkway. On the southern portion of Vista Sorrento Parkway, south of "B" Street, a contiguous sidewalk will occur along the east side of the street. Contiguous sidewalks will also be provided on both the north and south side of Carmel Mountain Road. On local streets and cul-de-sacs, sidewalks may occur immediately adjacent to the street. In some areas, opportunities may exist to limit paved sidewalks to one side of the local street (on single-loaded streets, for example).

- **Bicycle Access.** The City of San Diego's Proposed Bikeways System shows a bikeway running through Sorrento Hills along Carmel Mountain Road and El Camino Real and along Street "A" Vista Sorrento Parkway (see Figure 14, *Bikeway Plan*). There is also a bikeway running along Arroyo Sorrento Road between El Camino Real and Soledad Valley Road and Carmel Creek Road. A bikeway should also be provided along Street C and along the local street which provides direct access to the Community Sports Park. Bicycle facilities classifications are illustrated on Figure 15, *Bicycle Facilities Classifications*.

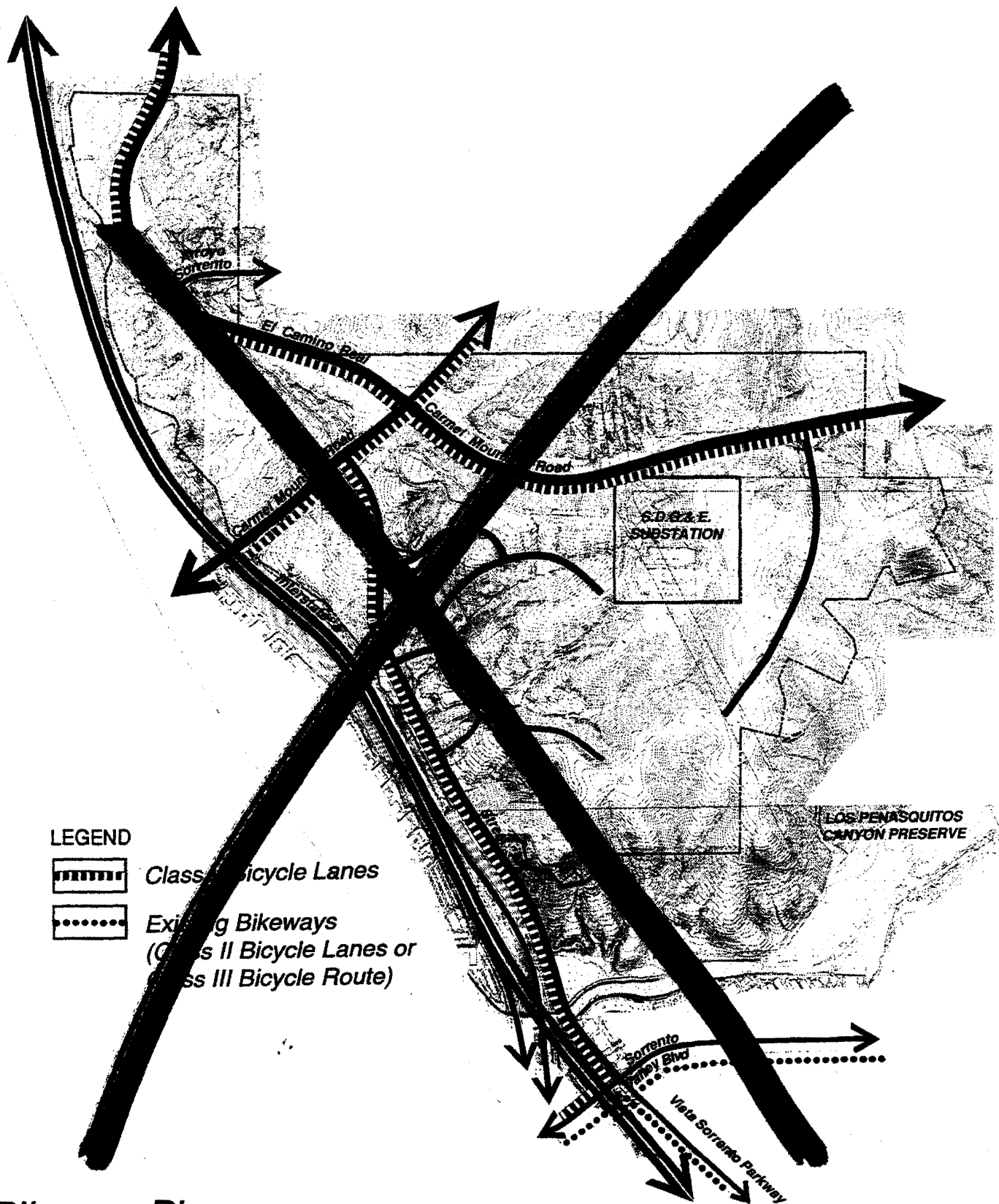
EQUESTRIAN TRAIL OPPORTUNITIES

Opportunities for equestrian trails are provided within the community to serve adjacent rural areas where horses may be kept and to provide an equestrian link between trails planned for Carmel Valley, Los Peñasquitos Canyon Preserve and Carmel Valley Neighborhoods 8, 8A, 8B and 10. As shown in Figure 13, *Community Trails System*, for Sorrento Hills, equestrian access will be available generally east along the south side of Carmel Mountain Road and south along the west side of "C" Street, then connecting east through the SDG&E easement to Los Peñasquitos Canyon Preserve. It is not the intent of this plan that property owners in the Sorrento Hills community be required to dedicate right-of-way or construct and maintain equestrian trails. Private equestrian groups or the City may purchase right-of-way for the purpose of constructing and maintaining equestrian trails through Sorrento Hills.

TRANSPORTATION DEMAND MANAGEMENT (TDM) PROGRAMS

~~Over the course of the last several years, there has been tremendous emphasis on the implementation of TDM plans and the application of trip mitigation measures to new developments. Until recently, heavy emphasis was placed on spreading vehicular trips to ease congestion in specific "hot spots" during the peak hours. While easing congestion is still a priority, the scope of congestion mitigation has expanded to include air quality measures that not only ease congestion during the peak period, but reduce emissions and remove the single-occupant vehicle from the road altogether.~~

~~Generally, the TDM programs incorporate a menu of strategies for both the developer and future tenants to choose from that seek to meet trip reduction, congestion management and air quality requirements. The TDM program also includes incentive~~

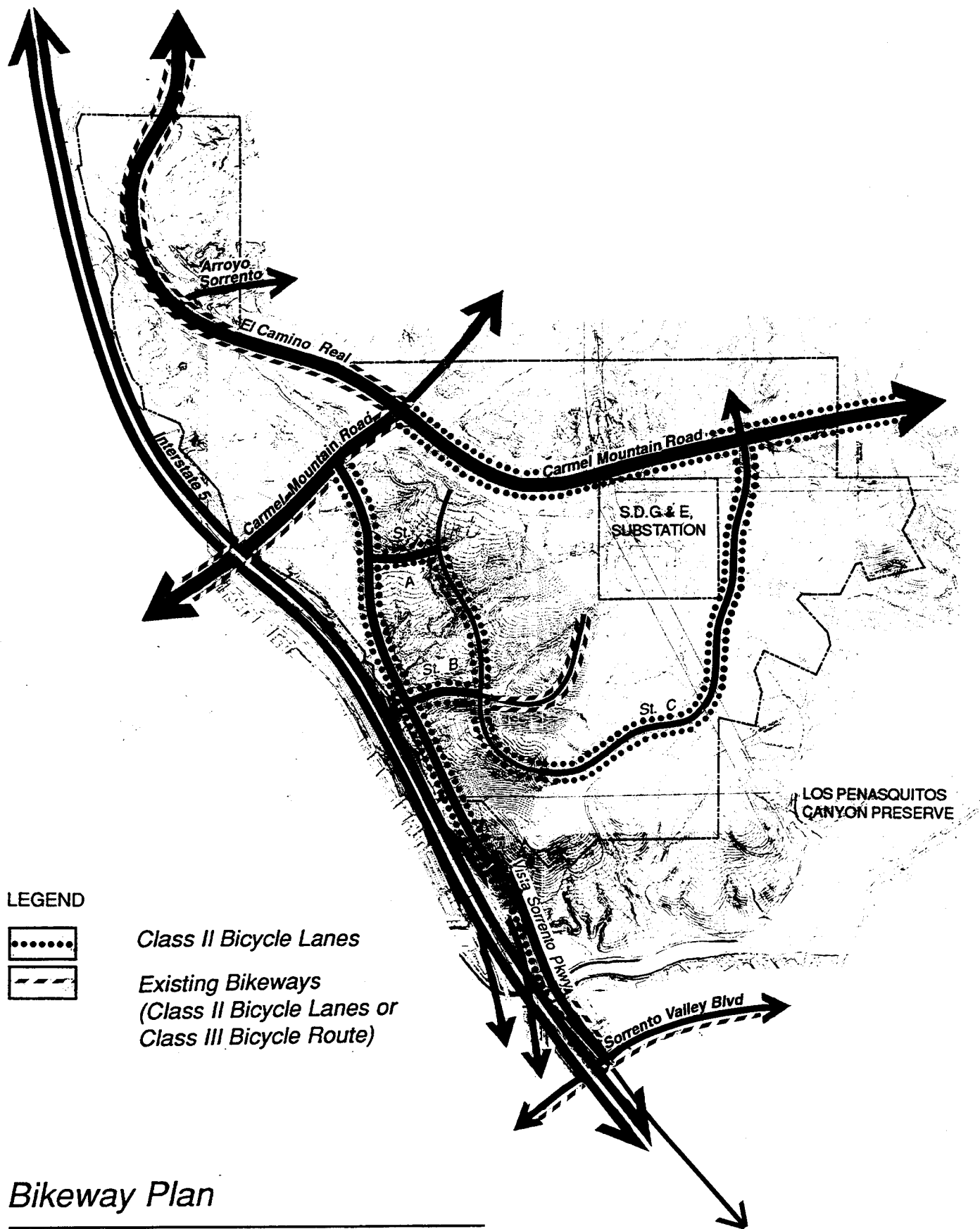


Bikeway Plan

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 14



Bikeway Plan

SORRENTO HILLS COMMUNITY PLAN

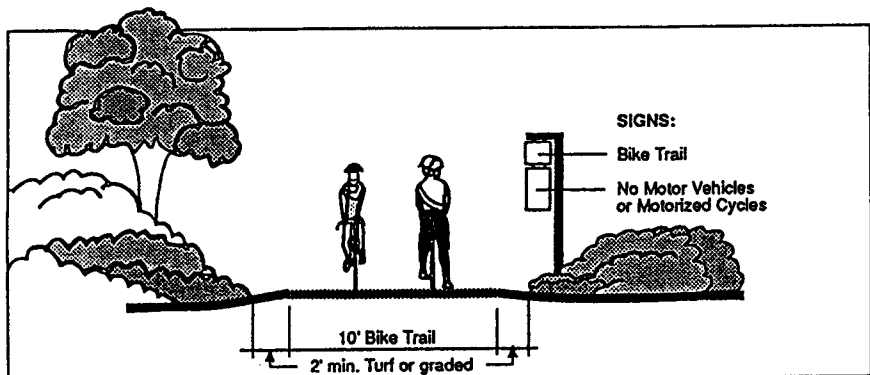
AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 14



T&B Planning Consultants
340 PALMADAM SUITE 300
SAN ANTONIO, CALIF. 78210-0774
5029 LINDSEY DRIVE, SUITE 200
SAN DIEGO, CALIF. 92121-8090 546-8144

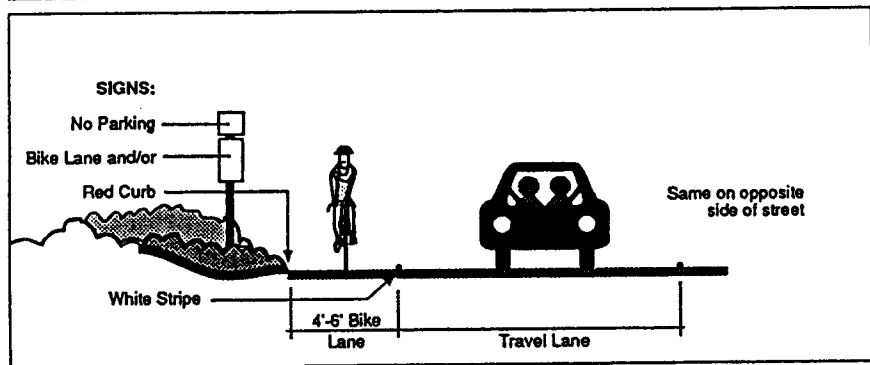




CLASS I (Typical Location - open space)

Bicycle Path

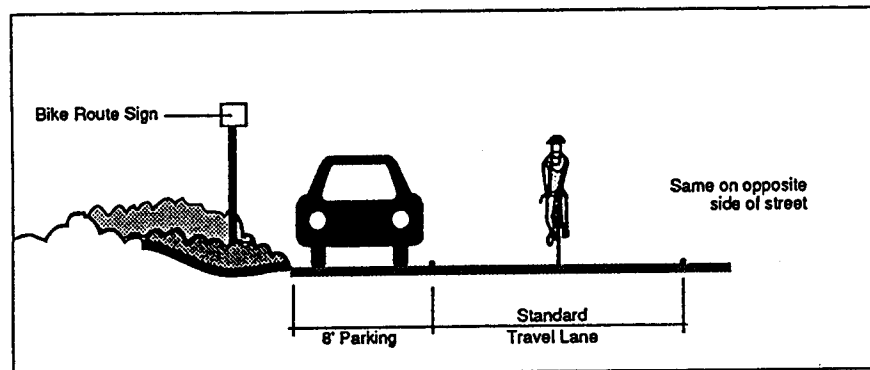
A completely separate right-of-way for the exclusive use of non-motorized vehicles.



CLASS II (Typical Location - major street)

Bicycle Lane

A restricted right-of-way located on the paved road surface alongside the traffic lane nearest the curb, and identified by special signs, lane striping, and pavement markings.



CLASS III (Typical Location - neighborhood street)

Bicycle Route

A shared right-of-way designated by signs only, with bicycle traffic sharing the roadway with motor vehicles.

The dimensions illustrated are subject to change.

Bikeway Facilities Classifications

SORRENTO HILLS COMMUNITY PLAN

options and marketing strategies that will encourage a shift from single occupant commuting to a variety of commute alternatives. The commute alternatives listed in the program include: carpooling, vanpooling, public transit, bicycling, telecommuting, walking, flex time and staggered work hour arrangements.

Land use types have the potential to reduce single occupancy vehicular trips through TDM programs. TDM programs will be developed and implemented on the project level, in accordance with the City's Municipal Code. The recommended goals of these TDM programs include:

1. Provide an infrastructure for vehicular trip reduction within the development which will make TDM immediately accessible for new tenants and/or their employees.
2. Link current commute alternative options located nearby with all new and existing development.
3. Achieve and maintain an annual increase in the average vehicle occupancy rate (AVR) that is in accord with the TDM ordinance or regulation in place at that time.
4. Achieve a mode split that has been outlined in the project-specific TDM program.
5. Achieve a reduction in peak hour trips that complements the targets of neighboring companies and development projects.

Implementation of the TDM Plan is a two-pronged approach, involving an information and education program, coupled with a dynamic marketing program to introduce the on-site commuter services and encourage participation in the program. Many TDM strategies have been identified that will affect commute behavior, while simultaneously complying with various legislative requirements. These include:

DEVELOPER

- Commuter Information Kiosks
- Bus/Shuttle/Vanpool Staging Area located at a centrally located/accessible place
- Bicycle Racks/Lockers
- Shower/Locker Facilities
- Preferential Parking Area for Vanpools and Carpools
- Limited Parking Lot Access
- Tenant Amenities (shuttle/automated teller machines, etc.)

TENANT

- Ridesharing (carpooling/vanpooling/walking/bicycling) programs
- Emergency Ride Home Program
- Alternative Work Hour Arrangements (flex time/staggered shifts)
- Telecommuting

- ~~Incentive Programs (subsidy programs and/or other methods to encourage ridesharing)~~
- ~~Parking Management~~

PHASING

The precise phasing of the circulation and infrastructure systems in Sorrento Hills is specifically identified in the Sorrento Hills Public Facilities Financing Plan. The Sorrento Hills Public Facilities Financing Plan was originally adopted September 22, 1986. A revised Financing Plan was subsequently adopted on April 11, 1990. An update of the Public Facilities Financing Plan has occurred in conjunction with approval of this amended Community Plan. Updating of the Public Facilities Financing Plan is required on a regular basis.

Policies

VEHICULAR CIRCULATION AND TRANSIT

1. Participate in traffic and transportation studies for the North San Diego region to identify regional traffic problem areas and subsequent potential solutions.
2. Incorporate into the *SORRENTO HILLS COMMUNITY PLAN* the improvements that are required for the Sorrento Hills area as a result of north San Diego traffic and transportation studies.
3. Determine the required community roadway capacities to safely handle traffic generated as the Sorrento Hills community is built out.
4. Require that all new developments provide adequate off-street parking for vehicles in all community projects to meet their parking demands on-site or in consolidated parking facilities within close proximity to their site.
5. All streets designated as major streets and above should have Class II bicycle lanes, with the exception of Vista Sorrento Parkway, south of the Peñasquitos Creek crossing. Along this portion of Vista Sorrento Parkway, a Class III bike route should occur. Develop a system of bikeways and accompanying bicycle storage areas within the community, as shown in Figure 13, tying into the regional bicycle network.
6. Promote alternatives to private vehicular travel, such as public transit and transportation demand management strategies, which can be integrated with the regional circulation network.
7. Support the provision of secure park-and-ride facilities in the vicinity of access points to the major regional transportation facilities.

8. Pursue development of a transportation system including use of bus, shuttle service, park-and-ride, bicycles, etc., which will be coordinated with regional systems and with neighboring systems.
9. Development of transportation facilities shall avoid unnecessary encroachment into environmentally sensitive areas.
10. Pursue development of alternative transportation systems during the earliest stages of development to eliminate unnecessary traffic congestion and encourage the use of public transit and other transportation modes by future residents.
11. Coordinate with MTDB to expand transit services to Sorrento Hills after the initial development is completed.
12. Provide the necessary easements/rights-of-way for the construction of equestrian trails by a recognized equestrian group which will be responsible for the processing of necessary environmental documentation, permits, constructing and maintaining the trails.

LIGHT RAIL TRANSIT (LRT) (IF FUNDED AND CONSTRUCTED)

13. Convenient pedestrian linkages shall be provided from community activity nodes and adjacent land uses ~~the Village Center to the transit facility.~~
14. Clearly identify pedestrian access points to adjacent open space areas.
- ~~2. A distinctive pedestrian plaza should be created within the Village Center which orients toward and serves the transit facility.~~
- ~~3. Visitor oriented commercial activities should be clustered around the perimeter of the Village Center pedestrian plaza for the convenience of commuters.~~

Transportation Design Guidelines

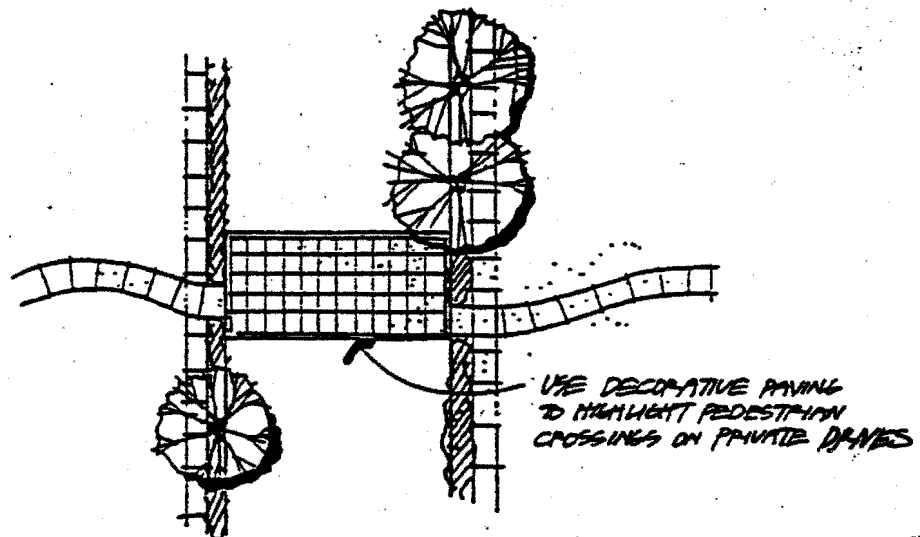
ROADWAYS

1. Carmel Mountain Road shall be constructed as a six-lane primary arterial street from the I-5 interchange to El Camino Real. From Carmel Valley Neighborhood 10/Sorrento Hills boundary to Carmel Creek Road, Carmel Mountain Road shall be constructed as a four-lane major street, except for at the intersection of Carmel Mountain Road and Carmel Creek Road where a six-lane major street shall be provided.
2. El Camino Real shall be constructed as a six-lane major street from Carmel Mountain Road to Route 56.

3. Vista Sorrento Parkway shall be constructed as a modified four-lane major street from Carmel Mountain Road to Sorrento Valley Boulevard.
4. Carmel Creek Road shall be constructed as a four-lane major street from Carmel Mountain Road into Carmel Valley Neighborhood 8A.
5. Torrey Hills "C" Street shall be constructed as a two-lane collector street. At the intersection with Carmel Mountain Road, "C" Street shall be constructed as a four-lane collector street on the south leg and a two-lane collector street on the north leg of intersection into Carmel Valley Neighborhood 8A.
6. Torrey Hills "A" Street and "B" Street shall be constructed as four-lane collector streets between Vista Sorrento Parkway and "C" Street.
7. Industrial collectors, residential streets and cul-de-sacs are planned to serve various neighborhoods in the community. These shall be designed and built in accordance with City standards based upon the amount of traffic they are estimated to carry and City street design standards.

PEDESTRIAN WALKWAYS

1. Pedestrian walks shall be fully integrated with the internal site vehicular circulation system to allow safe and convenient pedestrian traffic. Special emphasis shall be placed on providing safe pedestrian access through parking areas to building entrances.



2. On-grade street crossings shall be developed in conjunction with major street crossings. Pedestrian crossings may be identified at signalized intersections

through special paving design upon approval by the City Engineer. Placement of any special paving shall conform to the City's Street Design Manual.

3. Pedestrian walkways within all residential projects shall have a minimum width of four feet.
4. Provide appropriate bus-stop facilities as future bus routes develop, and incorporate pedestrian-oriented design to access those facilities.
5. Pedestrian mid-block crossings shall not be allowed across public rights-of-way unless traffic signals are provided or by approval of the City Engineer.
6. Provide noncontiguous sidewalks with minimum 4½ foot wide parkways adjacent to Vista Sorrento Parkway, north of "B" Street and adjacent to "C" Street on both sides.

PEDESTRIAN ACCESS AND COMMUNITY TRAIL SYSTEM

1. Provide a community trail system linking open space and development in a manner which encourages bicyclists and pedestrians.
2. Access to Los Peñasquitos Canyon Preserve shall be limited to identified pedestrian trails and access points as shown in Figure 13.
3. Provide signage for trails. Interpretive signage also is appropriate, particularly for trails which provide access into Los Peñasquitos Canyon Preserve.

EQUESTRIAN TRAIL SYSTEM

1. Provide rights-of-way as necessary to allow for the construction of an equestrian trail in the general alignment shown on Figure 13. Community Trail System.
2. The design and construction of equestrian trails shall be in a manner acceptable to the City Engineer.
3. Developers in Sorrento Hills shall not be responsible for the processing of permits, construction or maintenance of equestrian trails. These responsibilities shall lie with a recognized equestrian group capable and financially able to complete these tasks and which has a long-term commitment to the equestrian community in this area.

Transportation Element Action Plan

IMPLEMENTATION	TIMING			RESPONSIBILITY	FUNDING	SEE FOR MORE DETAILS
	Adopt with Plan	Within 5 Years	Within 20 Years			
Construct a circulation system to serve the needs of the community.	✓	✓	✓	Private/CalTrans	Private/PFFP/CalTrans	pgs. 65, 67-68
Provide for bicycle and pedestrian access throughout the community and tying into the regional bikeway and trails network.	✓	✓	✓	Private	Private	pgs. 72-76, 79
Develop park and ride lots at strategic locations near I-5 which are integrated with San Diego Transit's terminal locations.	✓	✓	✓	Private/City/CalTrans/MTDB	Private/CalTrans	
Develop TDM programs which: <ul style="list-style-type: none"> • Provide for preferential parking for carpooling employees. • Provide vanpooling programs as part of development projects. • Provide ridesharing programs for employees. • Establish flextime programs to provide for adjusting individual work schedules. • Establish staggered shifts to reduce travel demand during peak periods. 	✓	✓	✓	Private through requirements of PIDs/TDMs	Private	pgs. 65, 77, 78
Improve bus service and express service.	✓	✓	✓	City/MTDB	Public (SDT)	pgs. 71-72
Coordinate with MTDB and CalTrans, to insure inclusion and expansion, if feasible, of fixed route service corridors for bus service into Sorrento Hills.	✓	✓	✓	Private developers/City/CalTrans/San Diego Transit	Public	pgs. 72, 79
Expand public awareness of available public transit.	✓	✓	✓	Private users, tenants, City, MTDB	Private/Public	pg. 78
Construct sun/rain shelters for pedestrian and bus passengers.	✓	✓	✓	Private developers/MTDB/San Diego Transit	Private	pg. 78

COMMUNITY LAND USE ELEMENTS

Transportation

IMPLEMENTATION	TIMING			RESPONSIBILITY	FUNDING	SEE FOR MORE DETAILS
	Adopt with Plan	Within 5 Years	Within 20 Years			
<u>Allow for the purchase of right-of-way and construction of an equestrian trail connection to Los Peñasquitos Canyon Preserve.</u>	✓		✓	<u>City/Private equestrian group(s).</u>	<u>Private</u>	<u>pgs. 73, 77, 82</u>
<u>Construct and maintain an equestrian trails to serve the local equestrian community.</u>	✓		✓	<u>Equestrian group.</u>	<u>Private</u>	<u>pgs. 73, 77, 82</u>
Design and construct bikeways as part of the regional system that connects residential, industrial and commercial areas.	✓	✓	✓	Private developers	Private	pgs. 72-76, 79
Install bicycle storage facilities at industrial/commercial sites and at connection points to other transportation modes.	✓	✓	✓	Private builders, users, tenants	Private	pg. 78

Open Space and Resource Management Element

Goals

1. Preserve, protect, enhance and, where possible, restore all natural open space and sensitive resource areas including Los Peñasquitos Canyon Preserve, coastal sandstone bluffs, and identified wildlife corridors.
2. Prohibit encroachment and impacts of adjacent development, both private and public, on areas designated open space.
3. Establish a bicycle/pedestrian pathway system which links open space areas.
4. Provide opportunities for passive outdoor recreational opportunities.
5. Preserve areas of high resource value, and establish a management plan for the community environmental resources that will encourage environmentally sensitive development.
6. Design projects to reflect the natural aspects of underlying landforms.
- ~~7. Include areas of public open space which provide for active sports play (such as soccer and softball) in proximity to residential uses and industrial parks.~~
- ~~8. Development areas within the multi-family land use designations shall include private recreation areas to serve residents of the development area.~~
- ~~9. Develop a health club in conjunction with the Village Center multi-use area to expand fitness opportunities for residents and employees in Sorrento Hills.~~

Background

OPEN SPACE

Sorrento Hills is situated amidst expansive regionally significant open space areas. These include Carmel Valley to the north, the Los Peñasquitos Canyon Preserve to the south, and Los Peñasquitos Lagoon and Torrey Pines State Park to the west, across I-5 (Figure 4).

- **Carmel Valley.** Carmel Valley extends from I-5 through the Carmel Valley Community Plan Area. The majority of this resource is outside the limits of the Sorrento Hills Community with the exception of a wetland area in the northwest corner of the community. Although portions of Carmel Valley are planned for development, the recently adopted Carmel Valley Restoration and Enhancement Plan will provide for an expansive riparian corridor and open space system.

- **Los Peñasquitos Canyon Preserve.** Los Peñasquitos Canyon Preserve, located south of the community, encompasses more than 1,800 acres. A Master Plan is under preparation which will identify appropriate uses within the preserve. Anticipated uses will include passive interpretive uses such as the Ruiz Adobe and environmental study areas.
- **Los Peñasquitos Lagoon.** Los Peñasquitos Lagoon is one of the few remaining tidal estuaries in Southern California. The Lagoon and associated upland serves as a major stopping point for migratory birds, and also has a large resident bird population.
- **Torrey Pines State Park.** Torrey Pines State Park and the Torrey Pines State Reserve Extension stretch from the City of Del Mar to the University Community in the City of San Diego. This State resource provides hiking and picnicking opportunities as well as interpretive hikes conducted by State Park Rangers.

RESOURCE ZONING REGULATIONS

The City of San Diego has adopted several policies and ordinances directed at protecting important resources and ensuring sensitive development. For Sorrento Hills, the applicable City ordinances include the Resource Protection Ordinance and the Hillside Review Ordinance.

- **Resource Protection Ordinance.** On February 19, 1991, the City Council adopted the Resource Protection Ordinance which regulates development in areas of the City which have been identified as "sensitive" and in need of protection. These areas include floodways and floodplains, hillside areas of 25 percent slope or greater as identified by the City's existing Hillside Overlay Zone, wetlands and wetland buffer areas, biologically sensitive areas and areas of significant prehistoric and historic sites and resources. Paragraph 'E' of the Resource Protection Ordinance (RPO) addresses projects which have been excluded from the requirements of RPO. Included within the exclusions is the Park Trade property.

"4. Sorrento Hills

The Resource Protection Ordinance shall not be applicable to development of the 178 acres of land known as Sorrento Hills that was the subject of the land exchange approved by the voters as Proposition 'D', on November 4, 1986."

Additionally, the Development Agreement approved for Sorrento Hills states that RPO shall not apply to:

"... any change in grading necessary in order to achieve the reasonable and integrated public improvements for... "the Park Trade Property"."

- **Hillside Review Overlay Zone.** The Hillside Review Overlay Zone establishes development regulations for hillsides of 25 percent or greater slope and requires an HR Permit. HR Permits have been secured for portions of the community. In other areas, HR findings will need to be made in conjunction with Planned Development Permits.

BIOLOGICALLY SENSITIVE HABITATS

Biologically sensitive habitats have been identified in the *SORRENTO HILLS COMMUNITY PLAN* area (~~Figure 6~~). These include areas where there is a high concentration of sensitive plant species (such as the sandstone bluffs in the northern portion of the community), wetlands occurring in the northern portion of the community and coastal sage scrub vegetation, which is dispersed throughout the community. Coastal sage scrub provides habitat for the coastal California gnatcatcher, a sensitive avian species listed as "Threatened" by the Federal government. Development in the community will require site-specific biological surveys of sensitive habitat and appropriate mitigation measures for ~~unavoidable~~ identified impacts.

CULTURAL RESOURCES

When the community plan area was surveyed for the presence of archaeological resources in conjunction with approval of the 1983 community plan, several sites had been encountered. These sites were found not to be "important"; data recovery was conducted and determined adequate for mitigation resource loss.

PALEONTOLOGICAL RESOURCES

The community plan area is underlain by geologic formations which can yield important fossil resources. These include Ardath Shale, Scripps, Bay Point and Torrey Sandstone. Construction and grading activities in Sorrento Hills where these formations occur will need to be monitored by a qualified paleontologist according the requirements of the community plan EIR and the City's Environmental Analysis Section.

LANDFORM RESOURCES

The Sorrento Hills Community is characterized by varying topography. A flat floodplain in the northern reaches of the community is demarcated by eroded sandstone bluffs. Further into the community, mesa tops incised by years of natural runoff and drainage have created a prominent canyon and ridgeline landform. The southern portion of the community transitions from mesa tops and canyon/ridgeline terrain into the broad Los Peñasquitos Canyon. ~~Manmade features~~, such as manufactured slopes along I-5 and the level pad of the SDG&E substation, are indicative of urban influences in the area and add to the variety of landforms which must be considered in developing the community.

BLUFFS

There also exists aesthetically significant bluff escarpments on the eastern portion of the ~~Carmel Valley~~ *Torrey Reserve* commercial parcel. The plan preserves the escarpments and the plant species that exist there.

GEOLOGICAL RESOURCES AND POTENTIAL FOR EROSION

Most of the Sorrento Hills Community is relatively free of major geologic hazards. The only geologic hazard which has been preliminarily identified for the community is a north-east-trending fault on the ~~Carmel Valley~~ *Torrey Reserve* commercial parcel. The fault was drawn from field mapping and linear features observed on topographic maps and photographs; its existence would have to be confirmed through trenching or other means of subsurface exploration. Past studies of faults having similar trends as the one found on site classify those faults as "inactive" and have not proved to be a hazard to development. However, the relative activity of the fault on site has not been documented, and should be verified in future study.

Underlying geologic and soil structures are susceptible to varying degrees of erosion potential. Limiting erosion and minimizing sediment transport is essential for the protection of sensitive on site and downstream biological resources.

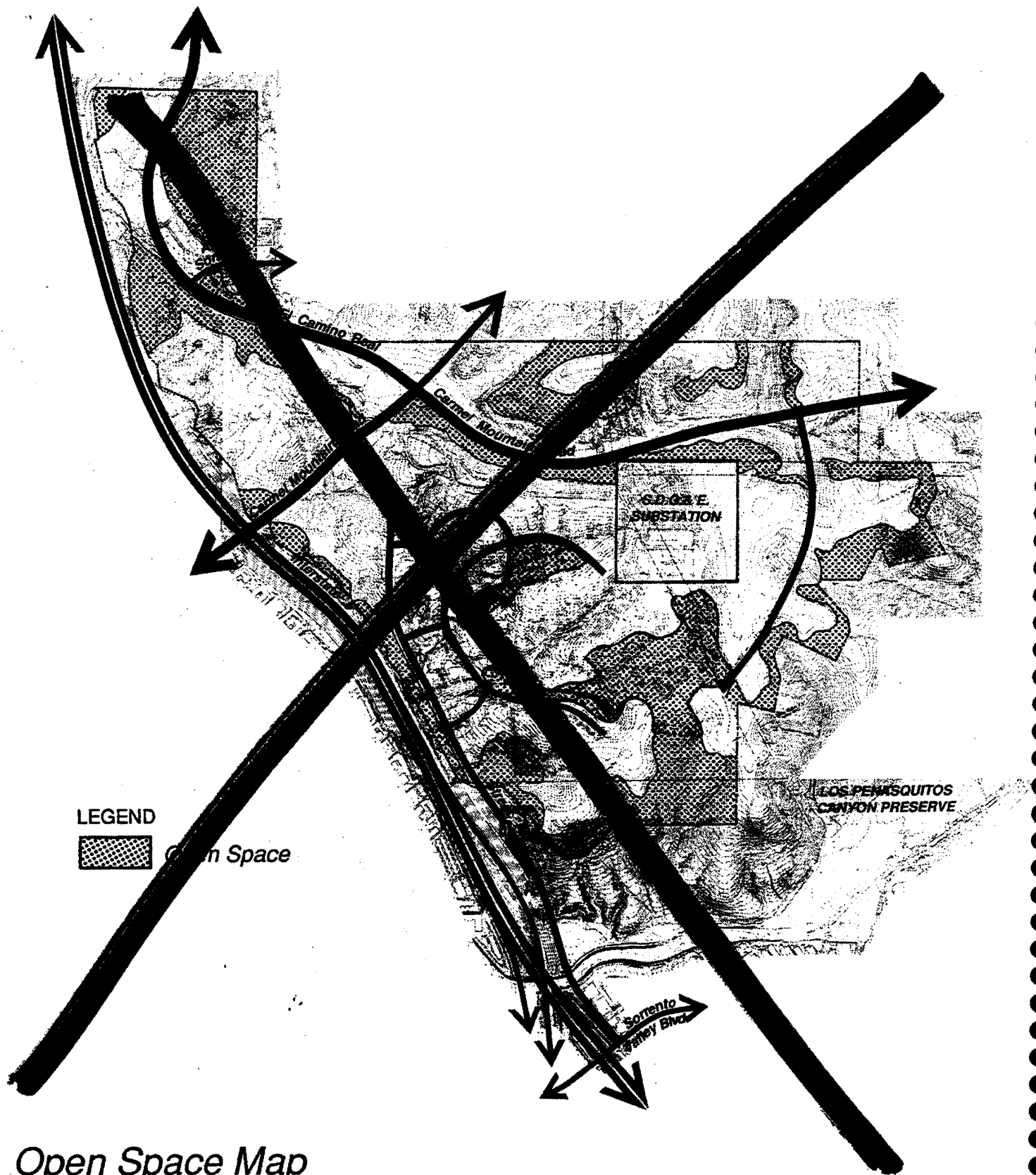
Specific Proposals

The open space land use consumes the largest part of the *SORRENTO HILLS COMMUNITY PLAN*, providing approximately ~~283~~ *273* acres of open space, as shown in Figure 16, *Open Space Map*. These areas are discussed below.

SENSITIVE HABITATS / PLANT SPECIES

The extreme northwest corner of the planning area is designated open space to provide for the protection of sensitive wetland habitat. At one time, this area existed as part of a much larger habitat that extended eastward into Carmel Valley. Fed by Carmel Creek, this wetland area is dominated by willow trees and functions as an important natural filter for sediment carried by Carmel Creek. This area is protected by the plan through an open space designation. The southern boundary of this area is coterminous with the Carmel Valley Restoration and Enhancement Plan now under construction.

Sensitive plant species have been identified in the community. Development proposals within the community plan area will require project-specific biology surveys. When sensitive plant species could be adversely affected, applicants shall be required to contract with the California Native Plant Society or other comparable agency or representative to salvage any sensitive plants in the areas proposed for grading and transplant them in an appropriate location, preferably in open space areas within the community, as feasible.

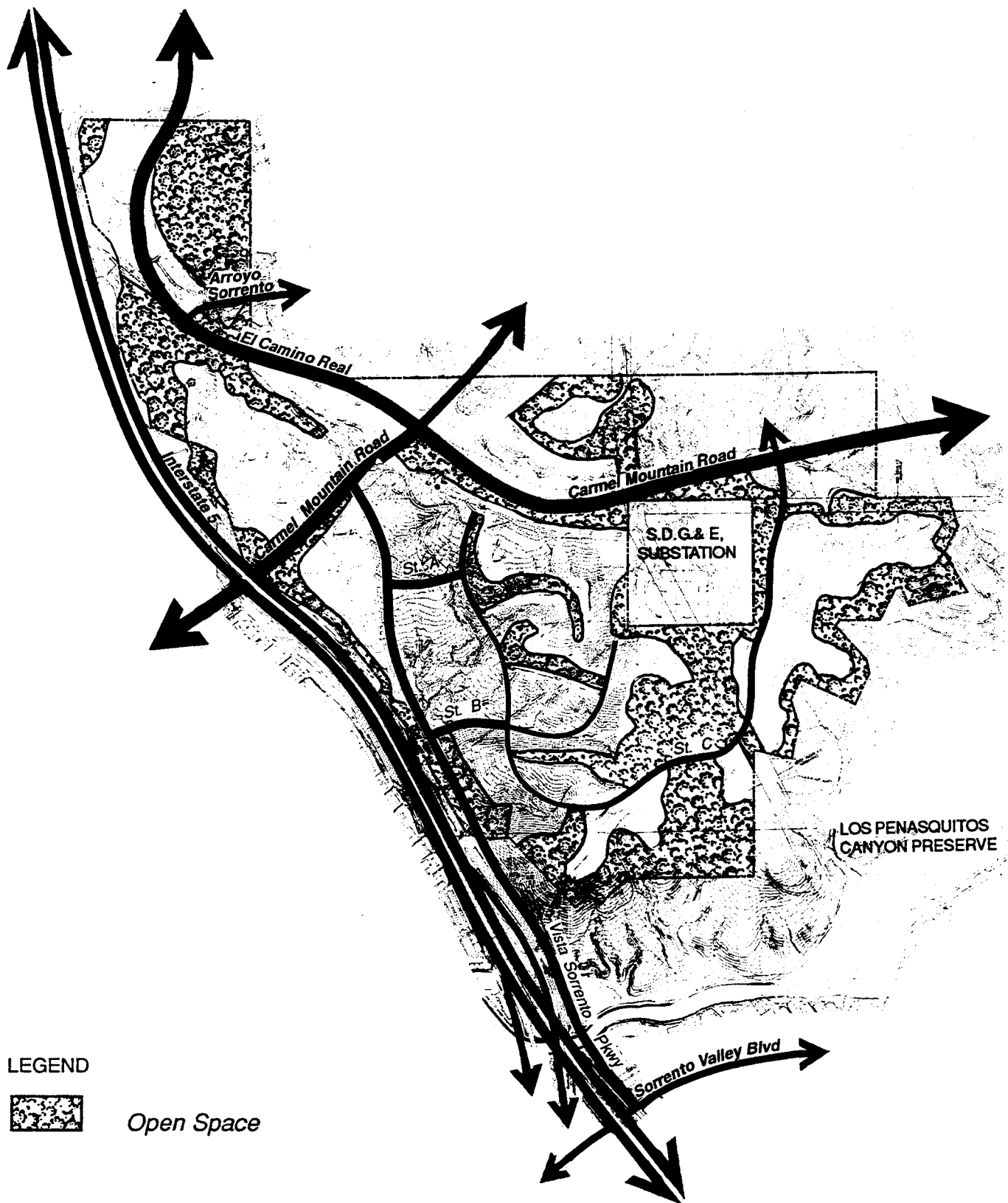


Open Space Map

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 16



LEGEND



Open Space

Open Space Map

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 16



T&B Planning Consultants
3302 HALLADAY SUITE 300
SAN ANTONIO, TEXAS 78241-1602-2774
1879 CLEVELAND DRIVE SUITE 210
SAN DIEGO, CALIF. 92108-3400-8144



SANDSTONE BLUFFS

Sandstone bluff escarpments occur in the northeast portion of the community east of El Camino Real. These bluffs and surrounding natural slopes are designated as environmentally sensitive and placed in open space for preservation. This area also contains plant species identified as sensitive by the California Native Plant Society.

INTERNAL AND PERIMETER SLOPES

The majority of open space areas in the community are designated as such due to steep hillsides, the presence of native vegetation and land use transitions. Most of this area is along the southern and eastern border of the community. The adjacent land use is the Los Peñasquitos Canyon Preserve, and these open space slopes provide a natural setback for development within Sorrento Hills. Another important perimeter open space area occurs along the western border of the community adjacent to I-5. This area includes natural and manufactured slopes which provide a buffer between I-5 and the community. Internal open space slopes in the north central portion of the community protect steep hillsides which provide vertical separation between industrial and residential land uses. An internal open space area is also provided along the south side of Carmel Mountain Road. In this area, the natural landform provides a natural backdrop to industrial and residential development and has been placed in open space for protection.

PEDESTRIAN ACCESS AND TRAILS

A system of pathways and trails, comprised primarily of paved sidewalks, is planned for the community to provide linkage from development areas to and through open space areas within this trail system and should also provide connections to adjacent open space resources. Access points into open space areas shall be limited in an effort to control human intrusion into sensitive environmental areas within the Los Peñasquitos Canyon Preserve. The community trails system is shown in Figure 13 and described in the Transportation Element of this Plan.

Open Space and Resource Management Design Guidelines

DEVELOPMENT OF STEEP SLOPES AND BLUFFS

1. There shall be no grading or development on the bluffs.
2. In areas adjacent to Los Peñasquitos Canyon Preserve, building roof lines should slope in a manner which complements the contours of the natural mesa edge landform. Individual building stories may be staggered contiguous to the mesa edge so as to minimize views of structures from the canyon bottom.

3. When buildings and landscaping are introduced that can be viewed in the context of the bluffs, form, color and texture should be controlled so that development blends into the foreground and does not visually detract from the bluffs.
4. All graded slopes require the preparation of a comprehensive landscape and irrigation plan to provide for rapid stabilization of slope areas.
5. There should be close phasing of grading operations, slope erosion control and building construction to reduce the period when bare slopes are susceptible to erosion.
6. Individual projects should be designed to preserve natural topography, unique geologic formations and native vegetation to the fullest extent possible.
7. The height of cut and fill slopes should be minimized whenever possible. Contour grading techniques should be used to reduce visual effects of manufactured slopes.
8. Slope gradients on slopes greater than ten feet in height shall not be steeper than 2:1.
9. Permanent energy dissipators and settlement/catchment basins shall be constructed, with a provision for regular, long-term maintenance.
10. Erosion control devices shall be employed to ensure on-site entrapment of silt during construction.
11. Natural slopes containing native vegetation with a gradient of 25% or greater remaining undisturbed as a result of the hillside review process shall be placed in a permanent open space easement or deed restriction as a condition of development approval. The purpose of the open space designation shall be to protect native vegetation and visual resources of importance to the entire community.

DEVELOPMENT IN AND ADJACENT TO WETLANDS

1. Development in areas of mapped or identified wetlands shall be in accord with the City's Resource Protection Ordinance.
2. Permitted uses within the northern portion of the community shall be limited to aquaculture, wetlands-related scientific research and wetlands-related educational uses; wetland restoration projects; and essential public service projects.
3. Buffers shall be required around wetlands and shall be a minimum of 100 feet in width, unless otherwise determined through site-specific biological investigations and agreement with the City's environmental staff, the California Department of Fish and Game and the U.S. Fish and Wildlife Service.

4. Permitted uses in wetland buffer areas shall be those allowed in wetland areas as defined above; passive recreational uses, access paths and public viewpoints, provided that all necessary mitigation measures are incorporated to protect the wetland; and any improvements necessary to protect wetlands.
5. All buildings or other improvements proposed adjacent to a wetland shall be located so as not to contribute to increased sediment loading of the wetland, disturbance to its habitat value, or otherwise impair the functional capacity of the wetland.

DEVELOPMENT IN AREAS OF SENSITIVE VEGETATION

1. Development in areas of sensitive vegetation, such as coastal sage scrub, shall be in accord with the City's Resource Protection Ordinance as appropriate.
2. Encroachments into areas of sensitive vegetation shall be as defined in the Resource Protection Ordinance, where it applies.
3. In addition, to the extent applicable, all new development within the coastal zone shall be designed to be consistent with multi-species and multi-habitat preservation goals and requirements as established in the statewide Natural Communities Conservation Planning (NCCP) Program, shall comply with the City of San Diego MSCP Interim Habitat Loss Permit Process, or shall obtain an incidental take permit under Section 4d, Section 7 or Section 10a of the Endangered Species Act related to the California Gnatcatcher. Compliance with these goals and requirements shall be implemented in consultation with the United States Fish and Wildlife Service and California Department of Fish and Game.

DEVELOPMENT OF PEDESTRIAN ACCESS AND COMMUNITY TRAIL SYSTEM

1. A community trail system, comprised primarily of paved sidewalks, shall be developed as described in the Transportation Element of this Plan.
2. Trails and sidewalks within the community shall connect to planned trails in Los Peñasquitos Canyon Preserve at identified locations.
3. Access into Los Peñasquitos Canyon Preserve shall be clearly identified and limited to those points shown in Figure 13. Access from other areas of the community into the park shall be restricted.
4. Trail directory signs shall be placed throughout the community identifying the trail system and access points.

GRADING AND EROSION CONTROLS

1. Erosion control measures will be incorporated where runoff is concentrated due to development.

2. The existence of faults should be confirmed through trenching or other means of subsurface exploration.
3. Development guidelines shall be implemented as defined in the City's HR Guidelines and those presented in the Community Design Guidelines Element of this plan.
4. Detention basins shall be constructed to control rainfall runoff under ultimate development conditions. Detention basins will not be permitted in City fee-owned open spaces.
5. Sediment and runoff shall be controlled during construction by limiting grading activities and by vegetation of construction slopes. In addition, detention or desilting basins should be located downstream of construction activities to serve as back-up control.
6. New development should assure stability and structural integrity, and neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area.
7. All graded slopes shall be stabilized prior to the rainy season by means of vegetation or other suitable means. The use of vegetation as a means to control site erosion shall be accomplished pursuant to plans and specifications prepared by a licensed landscape architect. Erosion control by vegetation may include, but it is not limited to, seeding, mulching, fertilization and irrigation with an appropriate lead time to November 15, as necessary to provide adequate landscape coverage.
8. With new developments, provisions shall be made for maintenance and repair of required runoff and erosion control facilities as well as for the maintenance and repair of any irrigation systems.

Policies

1. When appropriate, include restoration and enhancement measures as conditions of approval for all development proposed adjacent to open space areas.
2. Actual development proposals should ensure dedication of open space areas through the Tentative Map and Planned Development Permit process.
3. Provide a system of pathways and trails, comprised primarily of paved sidewalks, throughout Sorrento Hills to access open space areas. Ensure development of this system through the permit process.

Open Space and Resource Element Action Plan

IMPLEMENTING ACTION	TIMING			RESPONSIBILITY	FUNDING	SEE FOR MORE DETAILS
	Adopt with Plan	Within 5 Years	Within 20 Years			
Preserve, protect, enhance and restore open space areas identified for the community.	✓	✓	✓	Private developer, City	Private	pg. 85
Provide a pedestrian access and trail system which links open space areas.	✓	✓	✓	Private developer	Private	pgs. 85, 90, 92, 93
Limit access into Los Peñasquitos Canyon Preserve through identified access points and trails which connect with the trail system planned for the preserve.	✓	✓	✓	Private developer/public	Private	pgs. 90, 92
Provide active recreational opportunities for the community through development of park facilities.	✓	✓	✓	Private developer	Private	
Provide a health club within the Village Center to expand fitness opportunities in the community.	✓	✓		Private developer	Private	
Prohibit grading and development of sandstone bluffs and wetland areas.	✓	✓	✓	City	N/A	pgs. 87, 88, 90
Provide comprehensive landscape plan for rapid stabilization of graded slopes adjacent to open space areas.	✓	✓	✓	Private developer	Private	pgs. 90, 93
Install erosion control measures to avoid an increase in runoff and sediment into open space resources.	✓	✓	✓	Private developer	Private	pgs. 90, 91, 93
Provide buffers around sensitive biological resources.	✓	✓	✓	Private developer	Private	pgs. 88, 91, 92

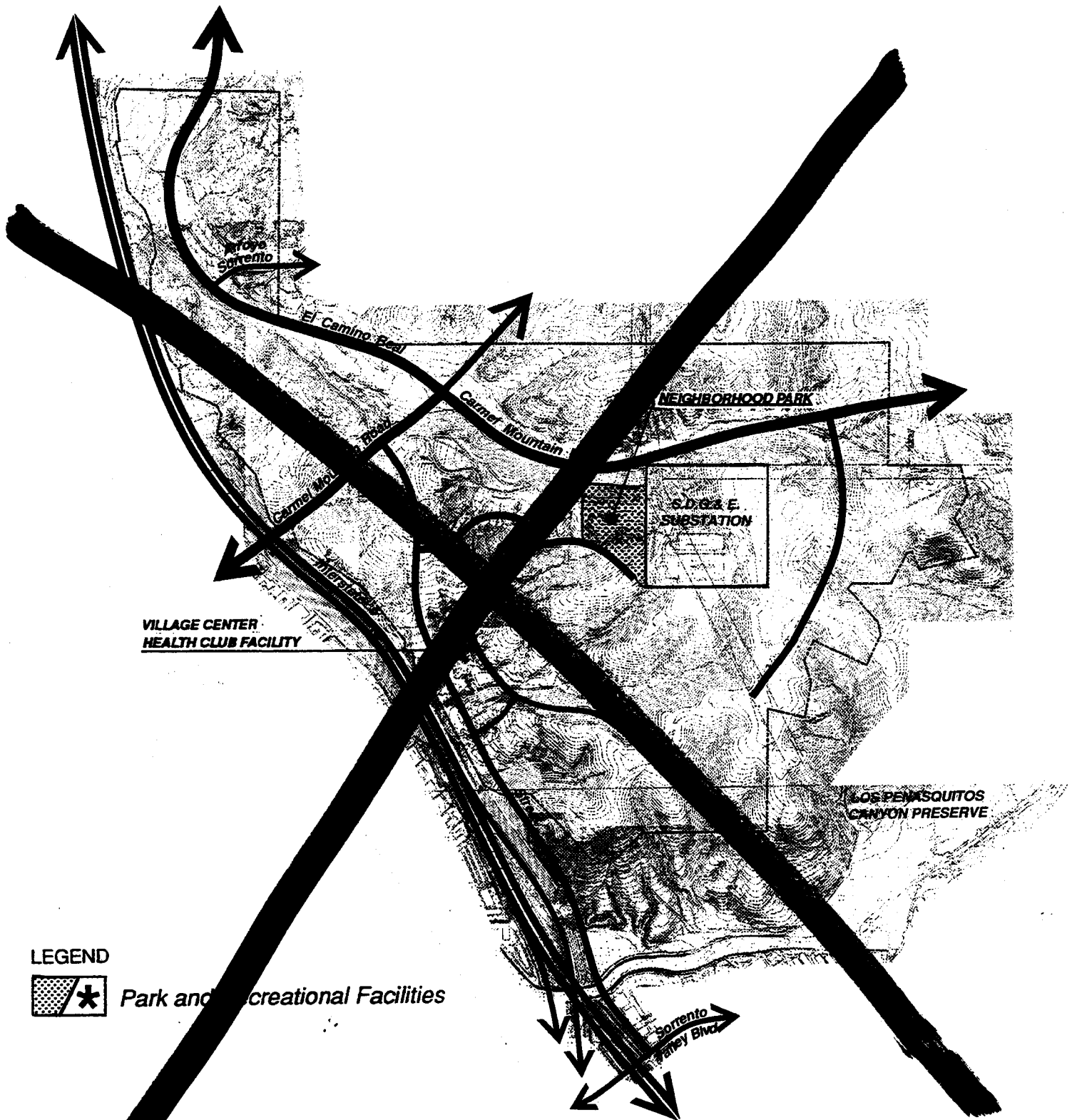
Community Facilities

Goals

1. Provide the necessary infrastructure and services suitable to the needs of the land uses planned for Sorrento Hills.
2. Maximize accessibility to community facilities for all members of the community.
3. Ensure that community facilities are designed to minimize adverse impacts to environmentally sensitive resources.
4. Update the Sorrento Hills Public Facilities Financing Plan on an annual basis.
5. Develop ~~a minimum 10-acre neighborhood Park~~ park facilities designed and sized to serve which provides active and passive park requirements for facilities to residents in Sorrento Hills complement facilities planned as part of the park program in the community. It is anticipated that the size of the park will be about 16 acres. Actual park development should be population based, applying population parameters acceptable to the City Parks and Recreation Department and based on anticipated build-out of the community. A portion of the Community Sports Park may include a public recreation building facility operated by the City or youth club organization (such as YMCA or Boys/Girls Club).
6. Include areas of public open space which provide for active sports play (such as soccer and softball) in proximity to residential uses and industrial parks.
7. Development areas within the Medium-Low density residential land use designations shall include private recreation areas to serve residents of the development area. Combining smaller recreation areas which may occur in adjoining residential projects into one larger amenity serving both adjacent projects is encouraged.

Background

Community facilities and services are life support systems; they can be defined as all the opportunities, services and programs that people use in the everyday pursuit of their lives. They include park and recreation facilities, schools, libraries, water and sewer services, and police and fire protection. Community facilities applicable to the Sorrento Hills Community are shown in Figure 17, *Sorrento Hills Community Facilities Map*.



Sorrento Hills Parks and Recreational Facilities Map

SORRENTO HILLS COMMUNITY PLAN

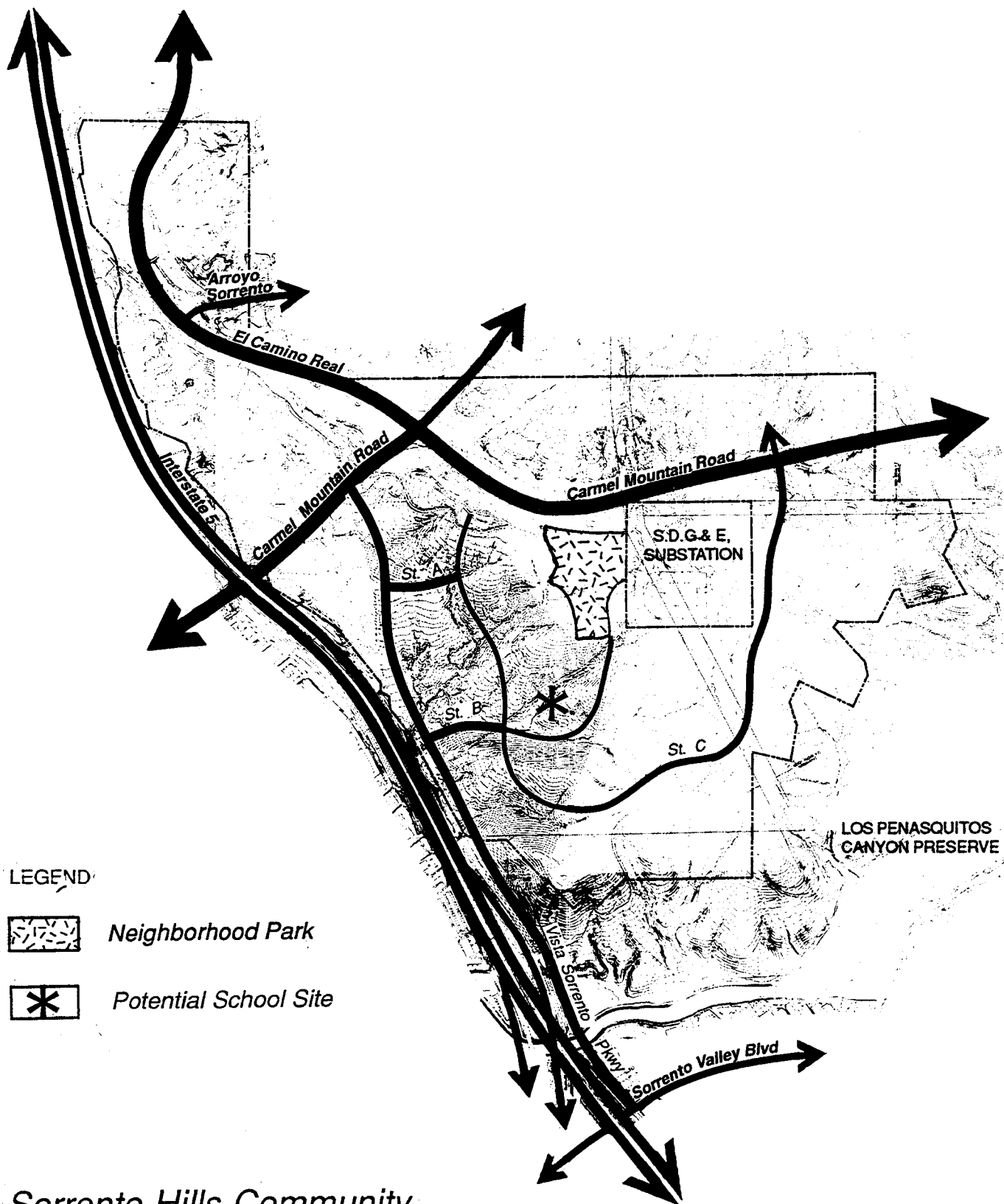
AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 18

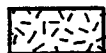


T&B Planning Consultants
340 HALLADAY SUITE 300
SAN DIEGO, CALIF. 92108 (619) 642-2774
1400 LUTHER BLVD. SUITE 200
SAN DIEGO, CALIF. 92108 (619) 546-8346





LEGEND



Neighborhood Park



Potential School Site

*Sorrento Hills Community
Facilities Map*

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 17



T&B Planning Consultants
1240 HALLADAY SUITE 100
SAN ANTONIO, TEXAS 78205-0741 642-1174
5879 CRENSHAW DRIVE SUITE 200
SAN DIEGO, CALIF. 92108-1691 541-8144



Specific ProposalsPARKS AND RECREATIONAL OPPORTUNITIES

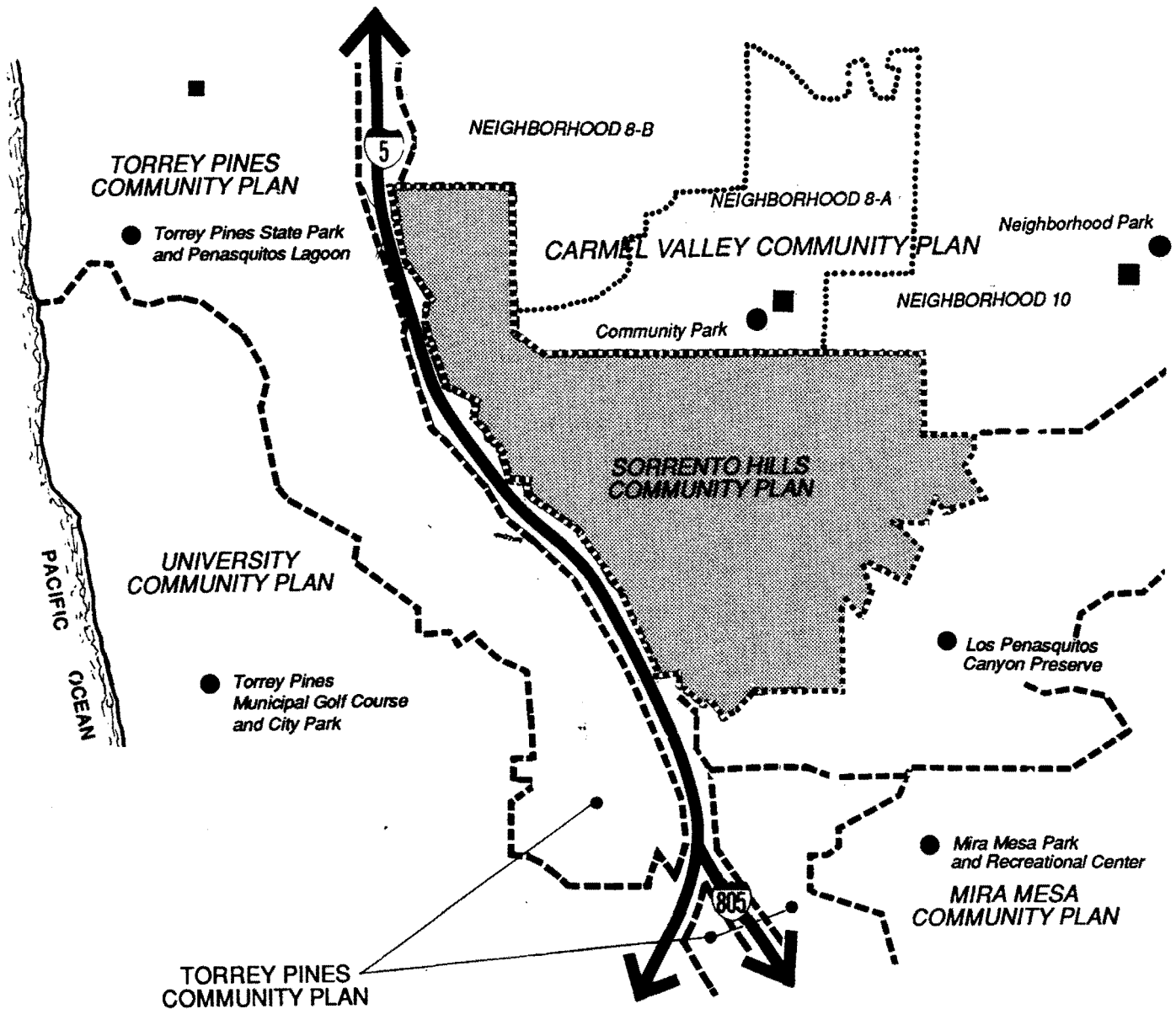
Several off-site parks will be accessible to the residents of the Sorrento Hills community. As shown in Figure 18, *Surrounding Community Facilities-17*, Sorrento Hills is located close to three major regional park systems. The first is the approximately 1,800-acre Los Peñasquitos Canyon Regional Park Preserve immediately to the south. The second is the Torrey Pines Municipal Golf Course and City Park encompassing over 500 acres that lie across Interstate 5 to the west. The third is the Torrey Pines State Park and Peñasquitos Lagoon that includes over 1,000 acres of active recreation, passive recreation, and ecological preserve. In addition, there is a 20-acre community park and two neighborhood/school parks proposed for development in Carmel Valley, directly adjacent to the Sorrento Hills community.

In addition to these regional facilities, park facilities are planned within Sorrento Hills to serve residents and workers in the community. The Sorrento Hills Community Sports Park is located in the central portion of the community west of the SDG&E substation. Planned as an approximate 14-acre facility, it will provide for active play areas to accommodate little league and soccer and courts for tennis and basketball. Passive play areas in the form of turf areas and tot lots/play gyms will also contain picnic tables and benches. (Actual park development should be population based, applying population parameters acceptable to the City Parks and Recreation Department and based on anticipated build-out of the community.) The Community Sports Park also provides for the incorporation of a recreational building. This facility should provide opportunities of recreational activities and may include space for public meetings and groups, rooms for aerobic exercise and indoor sports, and indoor gym space. Enhanced with an internal pedestrian sidewalk/trail connecting to the community trail system, the Community Sports Park will serve a wide range of recreation needs for the community.

~~Health Club, planned as part of the Village Center, and a 10-acre park planned west of the SDG&E Substation will serve residents of Sorrento Hills. These facilities are described below, and their locations shown in Figure 18, Sorrento Hills Park and Recreation Facilities.~~

- ~~Health Club. Incorporation of a health club recreational facility, into the Village Center area of the community, should be provided at the development stage. This facility should include a mix of recreational opportunities similar to those found in contemporary industrial/business settings such as an athletic club, par course, racquetball or tennis.~~
- ~~Neighborhood Park. A 10-acre community park is planned within the Torrey Reserve Heights project, just west of the SDG&E substation. This park is intended to complement similar uses planned for the community.~~

* Carmel Valley Library
(Located in Carmel Valley Neighborhood 9)



LEGEND

- Parks
- Schools
- * Library

Surrounding Community Facilities Map

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 18



Development of multi-family residential areas in the south central portion of the community (~~Torrey Reserve Heights~~) will include active private recreational opportunities. Also, passive park uses planned for the community will complement the natural features of the adjacent Los Peñasquitos Canyon Preserve by trail linkages from within the community to the canyon rim (see Figure 13).

SCHOOLS

Public schools within the project vicinity are administered by the Del Mar Union Elementary School District and the San Dieguito Union High School District. Several new schools planned within the two school districts are located in Carmel Valley, adjacent to Sorrento Hills. The proposed school facilities located within a three-mile distance of the residential development in Sorrento Hills include three elementary schools, one junior high school, and one high school. Please see Figure 18 for the location of nearby schools.

Additionally, an optional school site is provided in the Sorrento Hills community. This optional designation has been placed on ten acres located in the southern portion of the Torrey Vista neighborhood, bounded by "C" Street on the west and "B" street to the south. If the school district chooses to construct an elementary school at this location, elementary school-age residents of the community will could attend this these schools. The optional Sorrento Hills elementary school site is conveniently located to serve surrounding residential neighborhoods and is sized to allow for joint-use of park land which will provide for additional active play areas and passive recreational opportunities in the community. The amount of middle/junior and high school children generated by the residential units proposed for development in Sorrento Hills do not warrant the construction of additional middle/junior or high school facilities within the community itself. Middle/junior and high school age children will attend schools in adjacent communities.

LIBRARIES

The Sorrento Hills community will be served by the recently completed public library located in the Carmel Valley community at the corner of Townsgate Drive and Kelford Drive.

FIRE PROTECTION

The San Diego Fire Department provides fire protection to the project vicinity, and service costs will be provided on a "fair-share" basis as established in the Sorrento Hills Public Facilities Financing Plan, adopted September 22, 1986 and the revised Plan adopted April 11, 1990. Fire Station No. 41 is located in Sorrento Valley at the intersection of Scranton Road and Carroll Canyon Road. Station 24, located at the intersection of Del Mar Heights Road and Carmel Country Road is the closest fire station to the northern portion of the community and will also provide fire protection to the community.

POLICE PROTECTION

Police protection in the project area is provided by the City of San Diego. The area is presently served by the Northern Division of the San Diego Police Department located at 4275 Eastgate Mall in University City. Although the site has not yet been selected, a new station is planned for construction in the Carmel Valley community north of the Sorrento Hills community.

WATER AND SEWER

~~The development will extend the master planned waterlines from the Sorrento Valley industrial area to the east boundary of the community plan. Sewer facilities also exist west of Interstate 5 that can service development in Sorrento Hills. Water and sewer studies for Sorrento Hills has been prepared in conjunction with this update of the Community Plan.~~ Water improvements necessary to serve development in Sorrento Hills are located within and adjacent to the community. Facilities have been installed in Carmel Mountain Road between Sorrento Valley Road and El Camino Real, and in El Camino Real from Carmel Mountain Road to Carmel Valley Road. These improvements consist of a 30" waterline (The Green Valley Waterline), and two 16" waterlines. The Sorrento Valley area south of Sorrento Hills receives potable water via the 30" Green Valley Waterline, the 24" Soledad Valley Pipeline, and through a 12" and 16" waterline in Sorrento Valley Road. Carmel Valley Neighborhoods to the north receive potable water from the Miramar Rancho Bernardo and Del Mar waterlines, and the recently completed 30" Green Valley Waterline. Connections to these systems will be constructed within public and private streets in accordance with project approvals as development occurs in the community.

UTILITIES

Gas and electric power is provided to the project area by the San Diego Gas and Electric Company (SDG&E). Distribution lines for gas and electricity serving the Sorrento Hills community will be extended from existing facilities located ~~at the perimeter of Sorrento Valley Industrial Park~~ in Carmel Mountain Road and El Camino Real. All distribution lines will be sited underground, where feasible, to prevent visual impact to the Community.

An SDG&E electricity substation and associated transmission easements are located within Sorrento Hills. Design guidelines for these facilities are proposed in Section V, Community Design Guidelines.

SOLID WASTE DISPOSAL

The City of San Diego is responsible for solid waste disposal in the development area. Solid waste is collected and transported to the Miramar Landfill, which has sufficient capacity to serve the area.

There is an existing 18-inch Sorrento Hills Trunk Sewer in Carmel Mountain Road from Sorrento Hills Boulevard to El Camino Real and in El Camino Real from Carmel Mountain Road to Carmel Valley Road which will serve development in Sorrento Hills. The Sorrento Hills Trunk Sewer outlets into the Carmel Valley Trunk Sewer and the 33-inch trunk sewer line located west of I-5 in Sorrento Valley. These sewage flows are pumped by lift stations 64 & 65 and eventually flow into the Point Loma Treatment Facility. Pump Station 65 is currently in the process of being upgraded and relocated with completion scheduled for the near future. On-site sewer improvements will be constructed within public and private streets right-of-way to connect with existing facilities in accordance with project approvals as development occurs in the community.

Policies

1. Provide an adequate level of community services that will be phased in concert correspondence with development.
2. Ensure that adequate utility services and infrastructure are expanded and phased in accordance with community development.
3. Encourage the use of design features that support the concept of fire protection within the community. These features should include the use of fire resistant building materials and plant materials can be utilized to reduce fire hazards, particularly in areas adjacent to natural open space. Install interior sprinkler systems and exterior irrigations systems to help control fires and minimize damage should one occur.
4. Design streets to accommodate fire equipment and emergency access, as well as provide an adequate number of fire hydrants.
5. Encourage crime prevention within the community plan area by using neighborhood watch groups, providing adequate lighting along streets and in parking lots (no less than two-foot candle power), locating parking near destinations, and limiting the heights of fences and vegetation to allow visibility. It should be emphasized that the Neighborhood Watch Program is not a service of the San Diego Police Department, and must be initiated by a citizen group.
6. Ensure that adequate educational facilities are available and sufficient to meet the needs and demands of new development. If necessary to fully mitigate impacts on school districts, and subject to applicable laws, specific financing plans and/or special districts may be established to provide adequate funding for school facilities. Special community facility districts may include but are not limited to the Mello-Roos Community Facility Act of 1982.

7. Ensure that active and passive recreational needs are met through the provision of a ~~community neighborhood park, health club,~~ private recreational facilities and internal trail system.
8. Minimize potential impacts to Peñasquitos Lagoon by providing drainage facilities to control runoff, erosion, and sedimentation.
9. Encourage the design of utility facilities which are aesthetically and environmentally sensitive. This includes, to the degree financially feasible, locating utility lines of 69 KV and below, underground, and screening large, concrete-lined drainage channels and the SDG&E substation facilities.
10. Establish special districts, homeowners associations, or other mechanisms to provide the means for maintenance and repair of required irrigation systems. To accomplish this, required runoff control facilities will be located in public rights-of-way or easements and will be maintained by the City of San Diego.
11. Update the Sorrento Hills Public Facilities Financing Plan on an annual basis.
12. The land uses should be as compatible as possible with existing utility uses that occupy the site.
13. Do not locate noise sensitive uses within the noise impact zone of the SDG&E substation or the transmission rights-of-way.
14. Uses adjacent to and within utility rights-of-way should not hamper the reliability of these services nor the ability to gain access and maintain them.
15. The planning and grading concepts should not adversely affect the functions of the SDG&E easements or the ability to maintain them.
16. Avoid unnecessary and expensive relocations of facilities.
17. Views should be oriented so that the existing rights-of-way will not be a negative visual impact.
18. Local heliports (if any are proposed at the project level) should be located so that the existing utility facilities will not have a negative impact on aerial navigation.

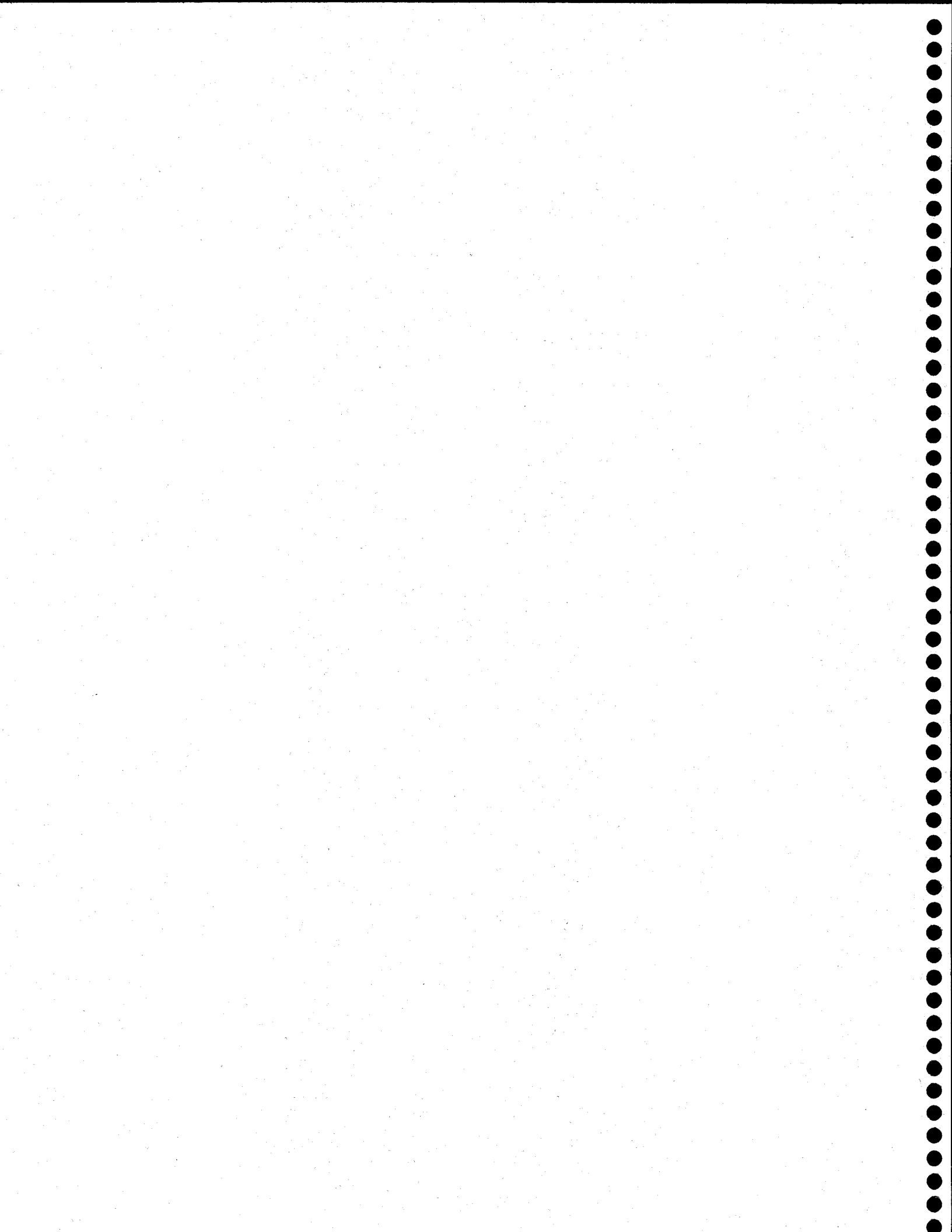
Community Facilities Element Action Plan

IMPLEMENTING ACTION	TIMING			RESPONSIBILITY	FUNDING	SEE FOR MORE DETAILS
	Adopt with Plan	Within 5 Years	Within 20 Years			
Provide necessary infrastructure to serve the community.	✓	✓	✓	Private developer, City	Private/FBA	pgs. 95, 101
Provide a health club within the Community Sports Park area Village Center.	✓	✓	✓	Private developer	Private	pg. 95
Provide a 40-acre neighborhood park community sports park to include active park uses.	✓	✓	✓	Private developer	Private	pgs. 95, 97-99
Provide private recreation centers in areas within the Torrey Hills Reserve Heights PRD to serve residents.	✓	✓	✓	Private developer	Private	pgs. 99, 102
Extend water and sewer lines into community.	✓	✓	✓	Private developer	Private	pg. 100
Develop crime prevention programs for the community.	✓	✓	✓	Private developer/community	Private/community	pgs. 100, 101
Underground utilities whenever possible.	✓	✓	✓	Private developer	Private	pg. 102
Establish maintenance responsibilities for the community.	✓	✓	✓	Private/City	Private/Special District	pg. 102
Update the Public Facilities Financing Plan for the community on an annual basis.	✓	Annually		Private developer/City	Private/FBA	pgs. 95, 102
Encourage day-care facilities, through application of an approved CUP, in adjacent residential areas to serve school administrators and families in the community.	✓		✓	Private/applicant	Private applicant	pg. 100

5.

Community Design Element

-  **Grading Concept**
-  **Building Placement**
-  **Landscape Concept**
-  **Community/Planning Area Entries**



COMMUNITY DESIGN ELEMENT

These Community Design Guidelines establish general design guidelines that apply to conditions that occur throughout the *SORRENTO HILLS COMMUNITY PLAN* Area (such as slopes), as well as to unique one-of-a-kind conditions (such as the bluff escarpments) that require special design considerations. The design guidelines for the entire community have been developed to take advantage of the site opportunities offered by the varying topography, ocean views, and Los Peñasquitos Canyon Preserve. At the same time, these guidelines also mitigate the impacts of the development to adjacent sensitive areas. Although reference is not specifically made throughout this Section, the following guidelines have been considered and included as appropriate and necessary in the PRDs, PCDs and PIDs adopted to date within the Community Plan boundaries.

Grading Concept

Goals

1. Project grading shall be designed to minimize impacts to ~~replicate~~ the existing landform based on the City's Hillside Review (HR) Guidelines.
2. Substantial areas of the community lie within the City's HR overlay zone. The HR design guidelines shall direct development in those areas.
3. The prominence of development should be reduced through contour grading techniques and low-scale compatible architectural design.
4. Erosion and runoff impacts should be avoided through appropriate control measures.
5. Grading operations, slope erosion control and building construction should be phased to reduce long-term visibility and erosion susceptibility of manufactured slopes.

Background

Because of its varying topography and on-site resources, surrounding open space and adjacent freeway systems, development within Sorrento Hills can affect views from several vantage points. For this reason, grading plans must respond to specific project orientation. Slopes created adjacent to I-5 are essentially extensions of freeway slopes. Contour grading of these slopes will break up uniformity of typical freeway slopes. For manufactured slopes adjacent to Los Peñasquitos Canyon Preserve, special grading techniques are essential in minimizing potential conflicts between development and the park experience. Within the community, grading could result in the creation of manufactured slopes visible to employees, residents and visitors. Minimizing slope

heights, simulating natural landforms whenever possible, and integrating internal open space will assist in creating a high quality living and working environment.

Grading can also result in an increase in erosion and sediment transport due to the removal of vegetative cover. Good drainage and erosion control techniques are essential in limiting erosion and minimizing runoff.

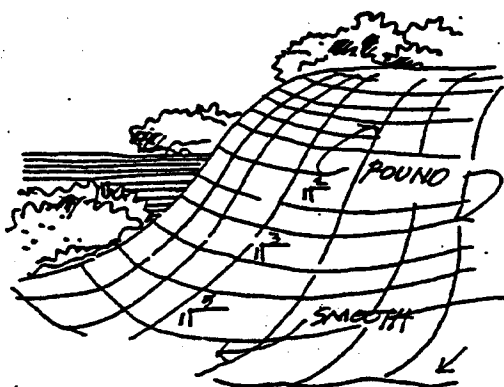
Provided in this section are specific recommendations and policies which should be implemented at the project level. Implementation of these criteria will minimize impacts associated with grading.

Specific Proposals

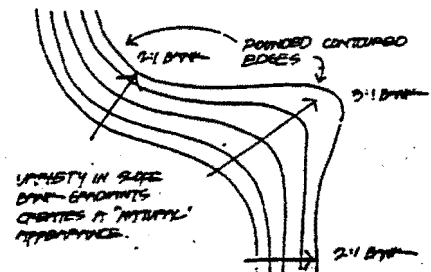
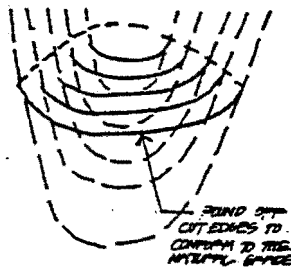
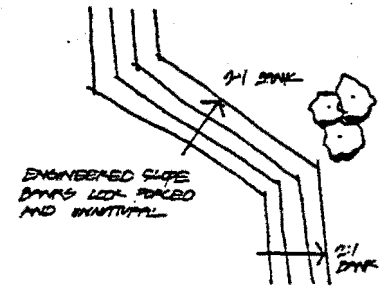
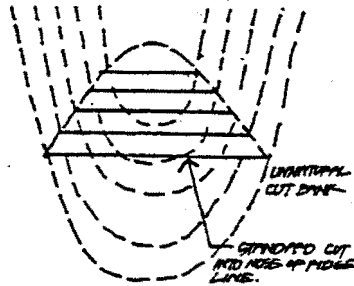
LANDFORM GRADING

In order to create slopes which closely reflect the surrounding natural hills, and to avoid the linearity of consistent slopes, graded landforms shall have variation in their slope ratios. Abrupt cuts and fills shall be avoided. Smooth, flowing contours of varied gradients from 1-1/2:1 to 5:1 will be required. Cut and fill slopes shall not exceed 1-1/2:1 for slopes under ten feet high and 2:1 for all other slopes. ~~Fill slopes shall not exceed a 2:1 ratio.~~ Slope banks shall be rounded at the top and toe.

Variable slope gradients will be required. Large slopes adjacent to natural slopes which have native vegetation shall mimic a "natural" appearance.



Continuous "engineered" slopes that have hard edges and no transition areas at the top or toe of the slope shall not be allowed.

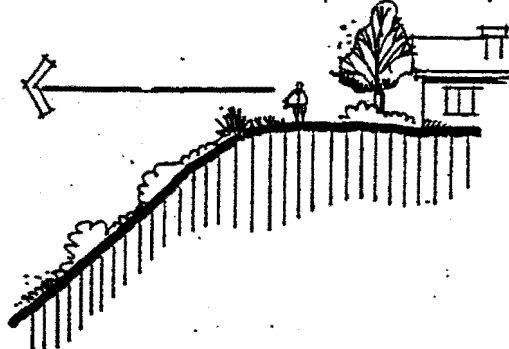


Building sites shall be graded so that they appear to be part of the hillside, rather than competing with it.

BUFFERS

Buffers are encouraged between less compatible land uses and to aid in the creation of public and private space definition. These buffers shall consist primarily of physical space and be enhanced by plant materials or occasional physical barriers such as walls or fences. Space only, with added planting shall be used to provide these buffers. Physical barriers shall only be used when space requirements are prohibitive or when security/safety reasons dictate their use.

ENCOURAGE NATIVE PLANTING
WITH LIMITED TREES AND SHRUBS
AT TRANSITION OF NATURAL OPEN SPACE



TRANSITION AREAS

Transitional areas ~~should~~ ~~would~~ be designed in a manner which promote ~~would allow~~ compatibility of land uses, such as residential and open space components, to visually blend and link with each other. The intent of land use transitions is to increase the visual perception of the project's hillside and canyon components by allowing them to interface and blend with individual project open space.

Grading Concept Design Guidelines

1. The visual impact of all hillside development shall be minimized, with buildings, retaining walls and other improvements approximating to the natural landforms.
2. Hillside sites offer opportunities to create outdoor decks, roof gardens, terraces, lookouts for viewing, sculptured stairs and other special characteristics and this shall be emphasized. However, development of hillside areas shall be screened from views beyond the community plan area through the use of landscaping, setbacks and berming.
3. When attempting to separate incompatible land uses, landforms consisting of slopes and berms shall be used if possible.
4. All landform separations shall be appropriately landscaped with a combination of trees, shrubs and ground covers.
5. Coordination of screening and buffering efforts between adjacent projects is required to maintain the visual and vegetative continuity of materials.
6. Physical barriers such as solid walls or fences shall not be allowed in transition areas unless needed for noise attenuation. Open fences which do not obscure views may be employed within transition areas.
7. Low retaining walls may be used within transition areas to accommodate grade changes. Walkways and planting areas shall use small retaining walls and other stepping techniques to minimize graded areas.
8. Landscape treatments along transition areas between the project and the Los Peñasquitos Canyon Preserve shall employ native plantings to match existing plantings.
9. If berms are used for screening, they shall be large enough to not have a "dumped wheelbarrow" appearance.
10. Plant materials placed on any ridges or edges shall reinforce its natural profile and character.

11. Temporary ditches, dikes, berms or sandbagging shall be used to protect critical areas exposed during grading and construction.
12. Sedimentation basins shall be installed and maintained during development to remove sediment from run-off water.
13. Provisions (catch basins, drain inlets, etc.) shall be made to effectively accommodate increased run-off caused by changed surface conditions (paving, etc.) during and after development. Designs shall implement features which encourage ground water recharge. Detention basins shall be designed to be natural in appearance.
14. Permanent planting shall be installed on slopes for erosion control as soon as practical during development activity.

Policies

1. Slopes that are visible from surrounding communities shall be treated to imitate the natural topography. This can be accomplished through contour grading and is particularly appropriate in areas that are being revegetated with native plant species.
2. The top and toe of manufactured slopes should be rounded to make a natural transition to pad areas.
3. Recontoured slopes should be stabilized with appropriate plant materials to help reestablish the natural vegetative appearance.
4. Where soils and geologic conditions permit, utilize variable slope ratios to aid in achieving a more natural topography.
5. All grading operations shall be subject to strict erosion and siltation control measures that will protect the valuable lagoon environments downstream.
6. There should be close phasing of grading operations, slope erosion control measures and building construction to reduce the period when bare slopes are susceptible to erosion.
7. Individual projects shall be designed to preserve important natural topography, unique geologic formation and sensitive native vegetation to the fullest extent possible.
8. The height of cut and fill slopes should be minimized wherever possible, while varying the gradient of long horizontal slopes.
9. Permanent energy dissipators and settlement/temporary catchment basins should be constructed, with the provision for regular, long-term maintenance.

10. A system of bladed ditches as flat gradients across larger, graded pad areas should be provided to allow on-site entrapment of silt during construction.

Building Placement

Goals

Encourage buildings which, when grouped, create distinct but cohesive land use areas and neighborhoods, which provide visual interest and architectural intrigue, and which encourage social interaction.

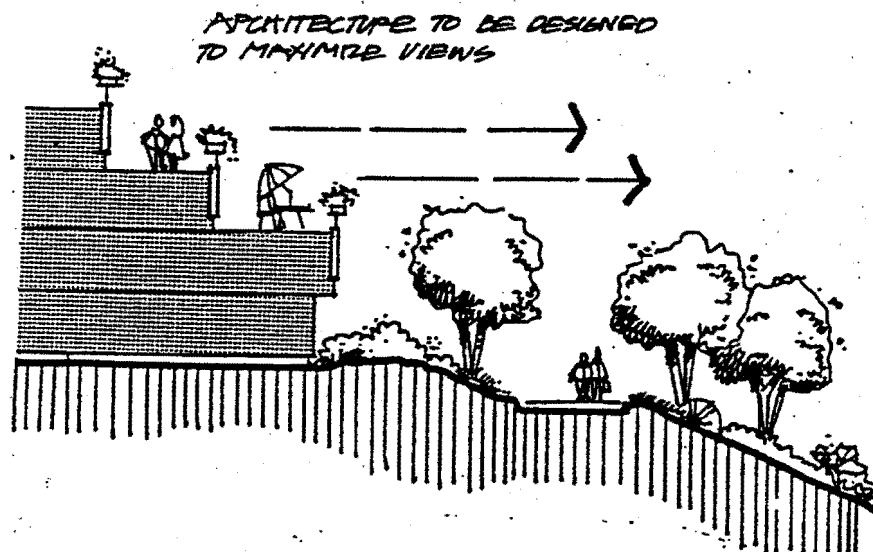
Background

Building placement can affect internal and external views and can create external space within developments. Site planning and building design must integrate in a manner which relates to variations in the natural topography and which results in efficient site utilization and circulation. The proper integration of site planning and building design will minimize visibility of structures while maximizing view potential for residents and users.

Specific Proposals

BUILDING ORIENTATION/VIEWS

Individual buildings can be arranged to provide views, contain space, suggest orientation or address grade changes. When placing a building on a site, designers should look for opportunities for buildings to work with each other, creating larger functional spaces. Buildings should not be treated as stand alone objects.



ORIENTATION TO STREETS OR OPEN SPACE

Buildings should address the street wall frontally to reinforce the concept of the street. This concept is only appropriate in areas that are topographically flat. In steeper areas, the landform should be the dominant determining factor in siting the building.

The height scale and design of structures shall be compatible with the character of the surrounding natural environment. Structures shall be designed to follow the natural contours of the landscape, and shall be sited so as not to intrude into the skyline as seen from public viewing places. Mesa top structures shall be setback from the mesa edge sufficiently far to insure that the structure is not prominent from Los Peñasquitos Canyon Preserve. Detailed orientation and view analysis to and from the site shall be conducted prior to individual project approval.

EXTERIOR SPACE CREATION

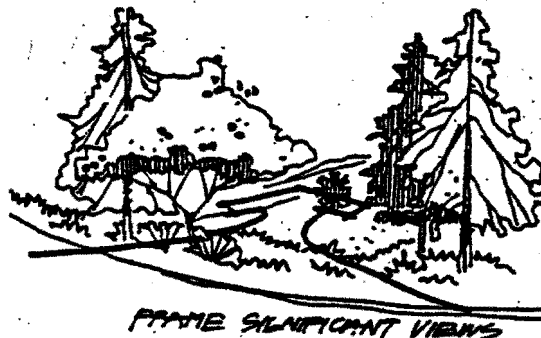
The spaces between buildings should provide enclosure and orientation. It is the intent of these guidelines to create exterior "places". Buildings shall be thought of as clusters that come together to form groups that have relationships with each other.

HILLSIDE CONDITIONS

Architecture shall work with the topography in a sensitive manner. This will allow for the buildings and the landscape to integrate and minimize grading. ~~There are two strategies for fitting buildings to the terrain. One involves minimizing the building footprint and taking up grade between buildings and the second utilizes stepping within buildings. Both of these strategies should be considered for developments proposed in hillside areas.~~

Building Placement Design Guidelines

1. Breaks in building clusters should be created along open space to ~~allow other units to have views and to~~ avoid linear walls of development.
2. Buildings shall be arranged to create positive outdoor space. The characteristics of positive space are containment and easily perceivable boundaries. View corridors beyond the space help tie it into a larger network of open space.



- ~~3. Split level buildings shall be utilized on sloping sites to take up grade in downhill or uphill configurations. This will reduce the depth of the required flat area between structures thereby limiting the size of graded pads.~~
- ~~4. In projects with structured parking, grade may be taken up by setting the parking areas into the hill.~~
35. To avoid a straight, layered look to the hillside, side-to-side grade changes shall be utilized. This may be accomplished by stepping buildings at breaks between individual units or other logical places or within a building. Breaking larger buildings into smaller components.
- ~~6. Buildings on hillsides shall mimic the landform in massing. This will further emphasize the hillside nature of Sorrento Hills.~~
47. ~~Buildings shall step with topography.~~ From public viewing areas, such as Los Peñasquitos Canyon, breaks in the roof form or long sloping roofs running roughly parallel to the hillside are encouraged to avoid disruptive visual effects from public viewsheds and to create an illusion of buildings stepping with sloping topography ~~are good examples of how to accomplish this goal.~~ Roof forms which slope or step opposite the hillside slope are discouraged.

Policies

1. Articulate building forms through the use of architectural projections, porches, balconies, exterior stairways, etc.
2. Integrate private outdoor uses into developments such as patios and balconies for residential areas and employee eating/seating areas for industrial/office park projects.
3. Create active public spaces which provide recreational opportunities for both employees and residents of the community.
4. Design roof forms which complement the site design and natural features.

Landscape Concept

Goals

1. Develop a landscape design concept which reinforces the community's landform grading concepts.
2. Implement landscape guidelines which adopt an approach to landscape planting which allows the site to blend with natural open hillside and canyon vegetation within and surrounding the site.
3. Establish a landscape planting palette which employs drought tolerant, native and naturalized plant materials which are compatible with existing native vegetation, particularly the use of Torrey Pines.
4. Encourage the planting of landscape materials in natural, random free form groupings in the same manner as existing native plant materials on and around the site.
5. Limit the use of turf to active use areas to avoid visual conflicts with natural open space hillsides and canyons and reduce the total demand for landscape irrigation.
6. Create a pleasant, safe and protected environment that is both functional and aesthetically pleasing.

Background

Landscaping assists in achieving the goals of the Community Design Element and are also closely related to other components such as open space and resource management. The landscape concept for Sorrento Hills is to reflect the climax vegetation associated with the immediate region and/or plant species which are complementary and compatible with these climax species. Other acceptable designs should ~~would~~ provide for and encourage successional growth which will ~~would~~ result ultimately in the attainment of climax species.

Specific Proposals

STREETSCAPES

The streetscape is a living thread which holds together and unites the design fabric of the community. Because of this important role, streetscapes must be able to draw upon the influences of the natural open spaces within the project and be able to effectively transfer these natural influences throughout the project. Streetscapes will borrow from the site's natural elements to become linear zones which set the character for the community at large. Since a majority of the views of the project's natural and improved open spaces

are from the circulation corridors, the streetscapes along these corridors will establish a visual character and design theme for the entire project.

SLOPE TREATMENT

The proper planting of manufactured slopes can create visual separation, screening and buffer of adjacent land uses. Plant materials for slope planting shall consider the context in which the slopes occur. Slopes which occur in "refined" areas such as streetscapes or between developed lots, shall be planted with refined plant materials. Slopes which occur adjacent to areas of existing undisturbed native vegetation shall be planted with plant species which are compatible with the native vegetation. Where slope plantings occur adjacent to native vegetation, consideration of appropriate fuel modification practices and the uses of low fuel volume introduced plant materials shall be considered.

BRUSH MANAGEMENT

A Brush Management Program will be required in conjunction with specific development proposals. The purpose of a brush management program is to reduce the risks of wild fires while minimizing visual, biological and erosion impacts to existing slope areas. The program must be instituted in conformance with Section 6 of the City of San Diego Landscape Technical Manual and "Appendix II.A" of the Uniform Fire Code.

PARKING AREAS/STRUCTURES

Well designed parking area planting can help to provide visual relief from paving and parked cars. Maintaining a reasonable area between parking areas and property lot lines or public streets can help to provide areas for landscape screening which reduces the visual impact of parking areas. The incorporation of landscaped islands in parking lots can provide for the creation of an overhead tree canopy that can help to screen parked cars and reduce the reflect glare from large paved parking areas.

Landscape Concept Design Guidelines

Landscape plans shall be required for all developments within Sorrento Hills. The design of these plants must comply with the City's Landscape Technical Manual. Provided below are specific guidelines which must be considered in preparing landscape plans.

1. Lawn may be used, but shall be limited to small areas for accent only, except in play fields.
2. Accent trees shall be used at locations that require special attention, such as entrances.
3. Decorative/enhanced paving should be used at major intersections, monuments and points of interest. Selection of decorative/enhanced paving should be similar to and

- reflect decorative paving used elsewhere in the community to create cohesiveness in design.
4. Slopes adjacent to native areas will be hydroseeded and planted with native plant materials compatible with existing vegetation.
 5. All areas adjacent to the street which are planned as native hillsides and to be left undisturbed shall remain in a natural state.
 6. Minor encroachments such as trails, trail staging areas and trail signage may be placed within natural open space.
 7. Plant material located in the streetscape shall be consistent, simple and limited in variety.
 8. Additional site amenities such as lighting and street furnishings shall be used where appropriate.
 9. Entry monuments and project identification signs shall be located within this streetscape zone outside of the public right-of-way ~~R.O.W.~~. Care must be given to integrate signage into the landscape environment of the streetscape.
 10. Parking areas shall not usually encroach into the streetscape areas.
 11. Where parking areas face a public street, they shall be screened from view using grade separations or dense shrub and tree planting.
 12. Planting within parking areas shall be clustered in random, freeform arrangements, rather than distributed evenly in formal patterns. The freeform patterns will blend more effectively with the planting themes in the parkways.
 13. Vines on trellis structures, columnar trees and shrubs, and insets for shadow relief should be used to soften the automobile and parking areas.
 14. Specimen plant materials should be located at project entries and to highlight key architectural features. Highly visible community oriented slopes should receive container plant material, in addition to ground cover and hydroseed.

Policies

1. All landscaping shall be consistent with the City-wide landscape ordinance and *Landscape Technical Manual* unless specifically refined and enhanced through the planned development process.
2. Plant material used in revegetation and landscaping should reflect native vegetation in color and texture to provide continuity between natural and developed areas.

3. Planting shall be designed in a manner which effectively enhances existing views or provides new view corridor opportunities into the open space corridor, major landforms or other visual amenities within the project.
4. Plant materials shall effectively screen parking areas, utility enclosures, utility cabinets, service areas, or service corridors to reduce negative visual impacts when viewed from major streets.

Community/Planning Entries

Goals

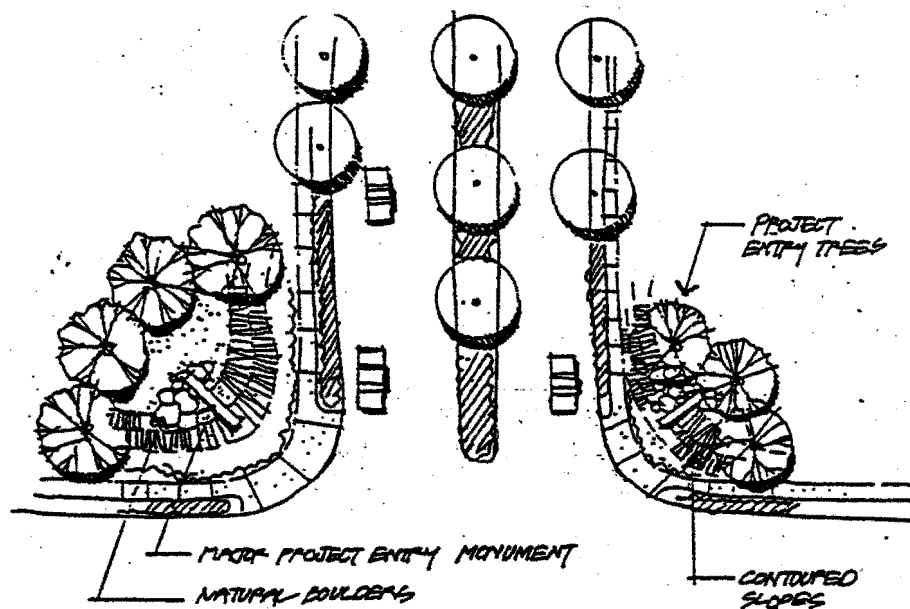
A hierarchy of community and project entries should be developed for the community. The prominence and scale of the entries will vary with their location on the site and the land use components they identify. Uniform project logos will be permitted to create identifiable neighborhoods within Sorrento Hills.

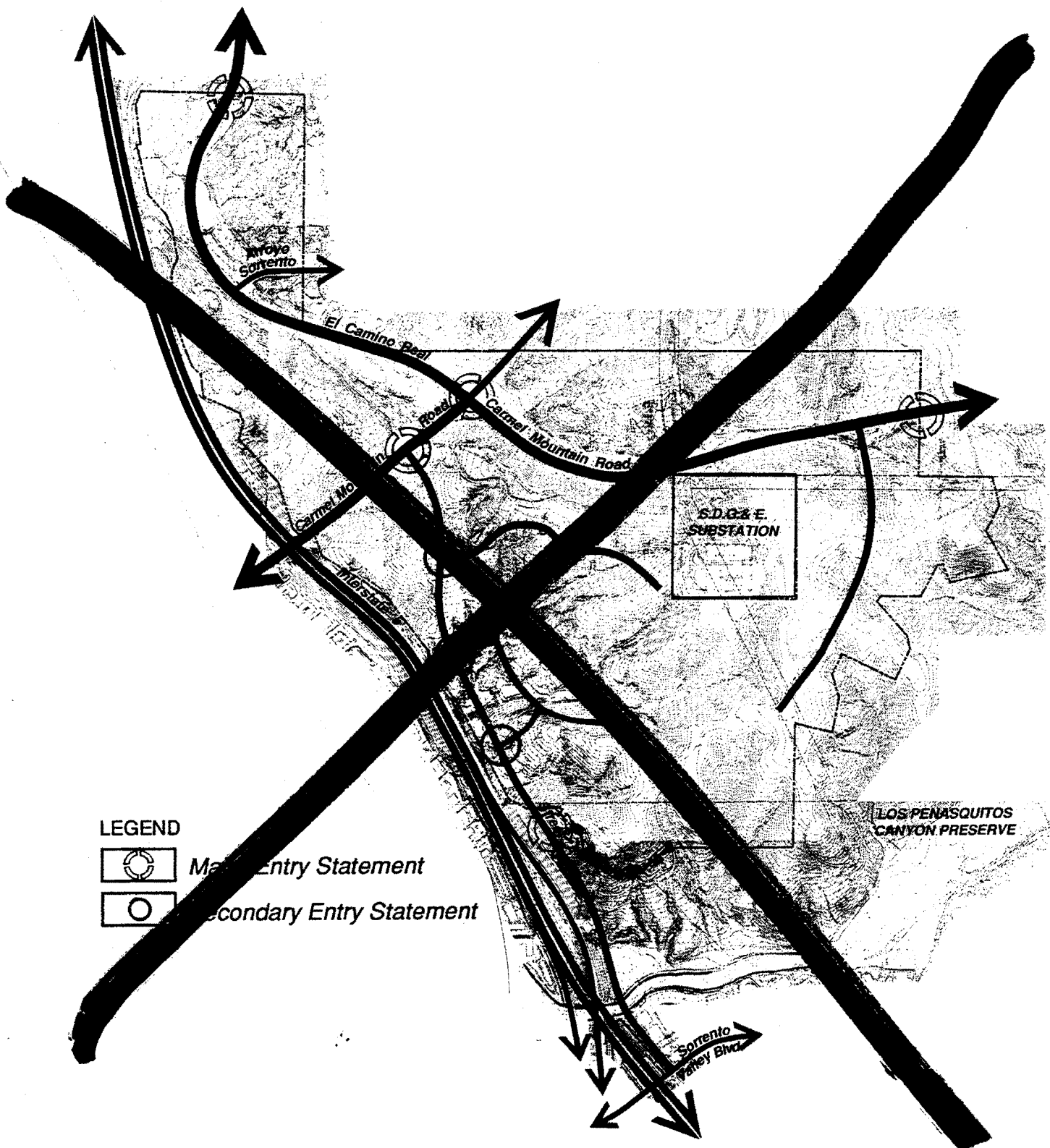
Background

Community/planning entries are located throughout the community, as shown in Figure 19 47. These will occur as major community entries, secondary community entries and project entries as described below.

MAJOR COMMUNITY ENTRIES

Major community entries will occur at major intersections or "gateway nodes" into the community. These entries set the initial impression of the community for visitors and residents. These intersections will create special opportunities for community identification using a combination of on-grade freestanding or retaining monument walls, planting and lighting. The use of contoured mounding will reflect the natural, freeform qualities of the community's landform. Mounding at entries is encouraged to promote ~~encourage~~ their integration into the project's landform such that the entries ~~and~~ appear to emerge from rather than be imposed on the landscape. Placement of any special pavement within the public right-of-way shall conform to the City's Street Design Manual.





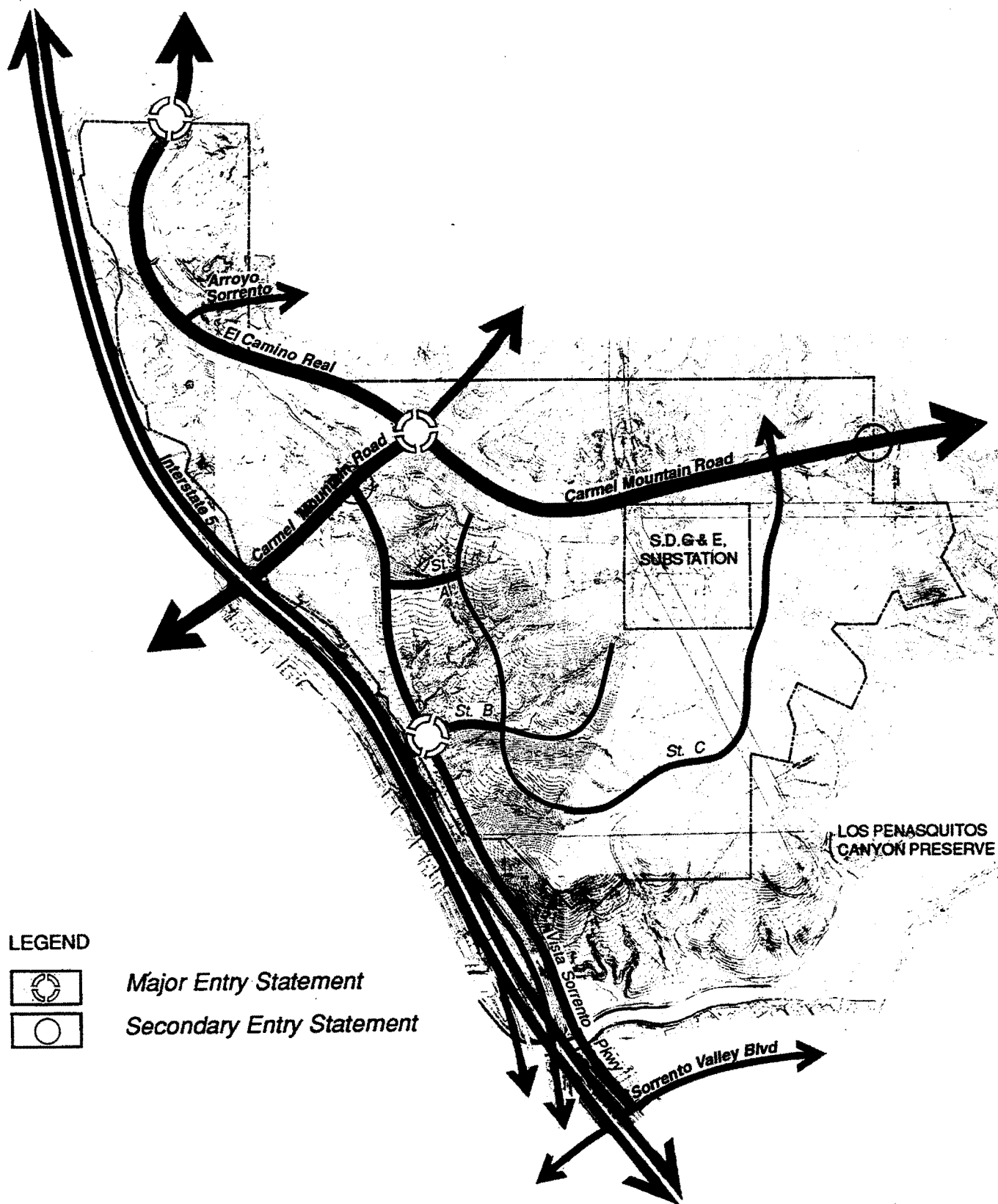
Community and Planned Entries

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite-340, La Jolla, CA 92037

Figure 19





Community Entries

SORRENTO HILLS COMMUNITY PLAN

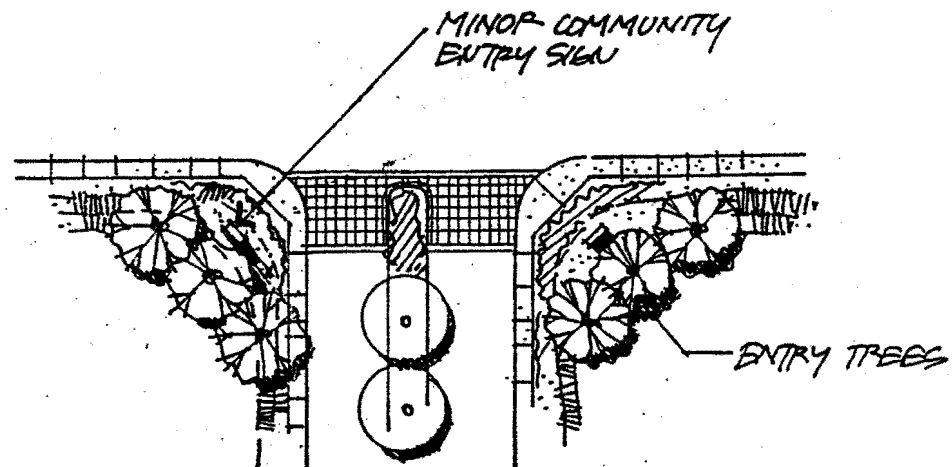
AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 19



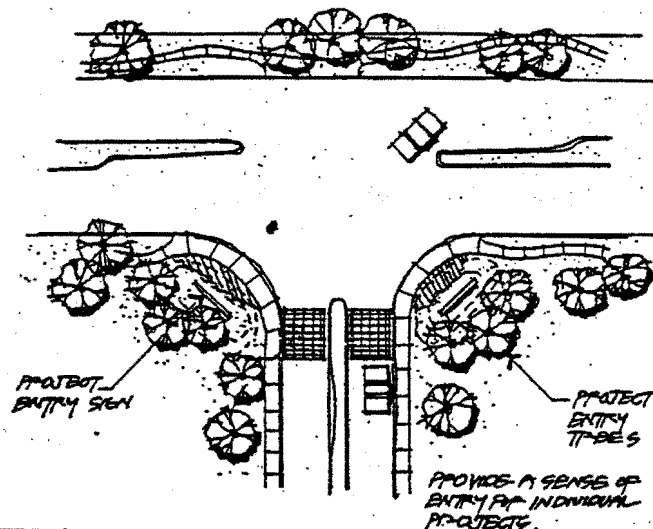
T&B Planning Consultants
2402 HALLADAY, SUITE 100
SAN JOSE, CALIF. 95128 (408) 462-3774
1670 CLEVELAND DRIVE, SUITE 210
SAN DIEGO, CALIF. 92108 (619) 546-8144





SECONDARY COMMUNITY ENTRIES

Secondary entries are planned at less significant intersections within the community. These secondary access points will emphasize the transition from community's circulation system to a project's internal circulation system. Though these entries would be somewhat reduced in scale, the components should be similar to Major Community Entries. Contoured mounding also is encouraged at secondary entries. Placement of any special paving within the public right-of-way shall conform to the City's Street Design Manual.



PROJECT ENTRIES

These entry statements will define individual commercial, industrial or residential projects. Their size and scale will be of less prominence than community or secondary project entries. They will typically occur at minor street or driveway entries into individual projects. Because minor entries will need to respond to a variety of land use types (i.e., commercial, residential, industrial) their design components and materials will vary to a greater extent than those of the major and secondary entries. Placement of any special paving within the public right-of-way shall conform to the City's Street Design Manual.

Specific Proposals

Figure 19, *Community and Planning Entries*, identifies ~~the two~~ locations for entry statements at the community level. Project entries should be developed as individual land use areas and projects are proposed.

MAJOR COMMUNITY ENTRIES

Major community entries are planned for El Camino Real as it enters to the community from the north, at two locations along Carmel Mountain Road (at its intersection with Vista Sorrento Parkway Street "A" and at its intersection with El Camino Real), and at the eastern end of Carmel Mountain Road.

SECONDARY COMMUNITY ENTRIES

Secondary entries are planned at various locations throughout the community (see Figure 19) Secondary entries are to occur at the intersection of Carmel Mountain Road and Sorrento Hills Boulevard and at the Vista Sorrento Parkway entries to the community activity node planned in the western portion of the community.

PROJECT ENTRIES

- ***Industrial/Business Park Entries.*** Industrial entry statements would denote a transition from major or secondary project circulation streets into minor project circulation streets which serve a cluster or grouping of industrial lots or an individual industrial project on a large single lot. These entries should strive to strike a balance between the use of natural and ~~man-made~~ construction materials. Though free-standing monument walls can be employed at industrial/business park entries, the integration of retaining monument walls in conjunction with contoured mounding is preferred.
- ***Commercial Entries.*** ~~These entries would be concentrated within the Village Center.~~ Commercial entries, like industrial entries, should exhibit a balance between natural and artificial ~~man-made~~ materials. Contoured mounding with retaining monument walls is ~~are~~ preferred. A more formal planting treatment, incorporating flowering accent trees and decorative accent lighting, would provide visual interest for commercial entry locations.
- ***Residential Entries.*** The residential entry statements should exhibit a more natural and somewhat less refined appearance than other project entry statements. The materials used shall reflect the character of the individual project's architecture. To emphasize the less urban setting of the residential areas, the use of contoured mounding and retaining monument signage will be essential. Unlike the formal landscape planting approaches that may be employed at other project entries, a more naturalized and random approach to planting is encouraged at residential

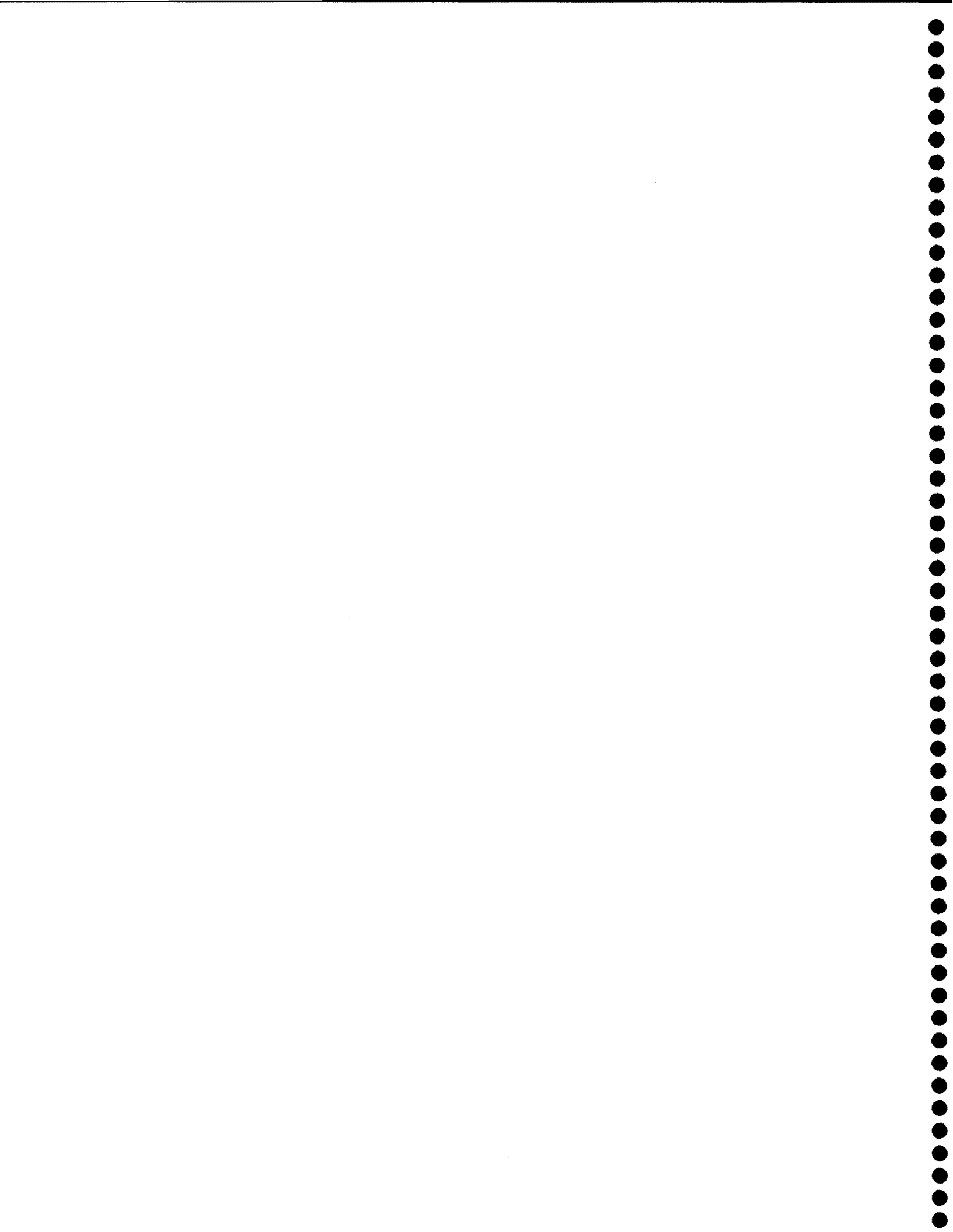
entries. This ~~would~~ will allow the residential entries to blend with the natural open space and green belt linkages.

Community/Planning Entries Design Guidelines

1. Community and project entries shall be low-scale, non-intrusive features of the landscape.
2. Contour mounding will be used to blend entries into the landform.
3. Logos shall be compatible and reflect a uniform design throughout ~~consistent with the Torrey Reserve identity program developed for the community.~~ This will provide identity and cohesiveness to individual land uses and neighborhoods within Sorrento Hills.
4. Planting for entries shall be compatible with the landscape theme established within the project streetscapes.
5. Plant materials chosen for entries shall have qualities which allow them to visually blend with native plant materials. The emphasis of landscaping shall be to recreate a native plant palette indicative of natural landscape.

Policies

1. Formal plantings are encouraged at project entries to provide a sense of formal arrival.
2. The use of medians is encouraged at project entries. The medians will provide an opportunity to separate incoming and outgoing traffic and allow the introduction of plant materials which could reinforce the theme of the project.

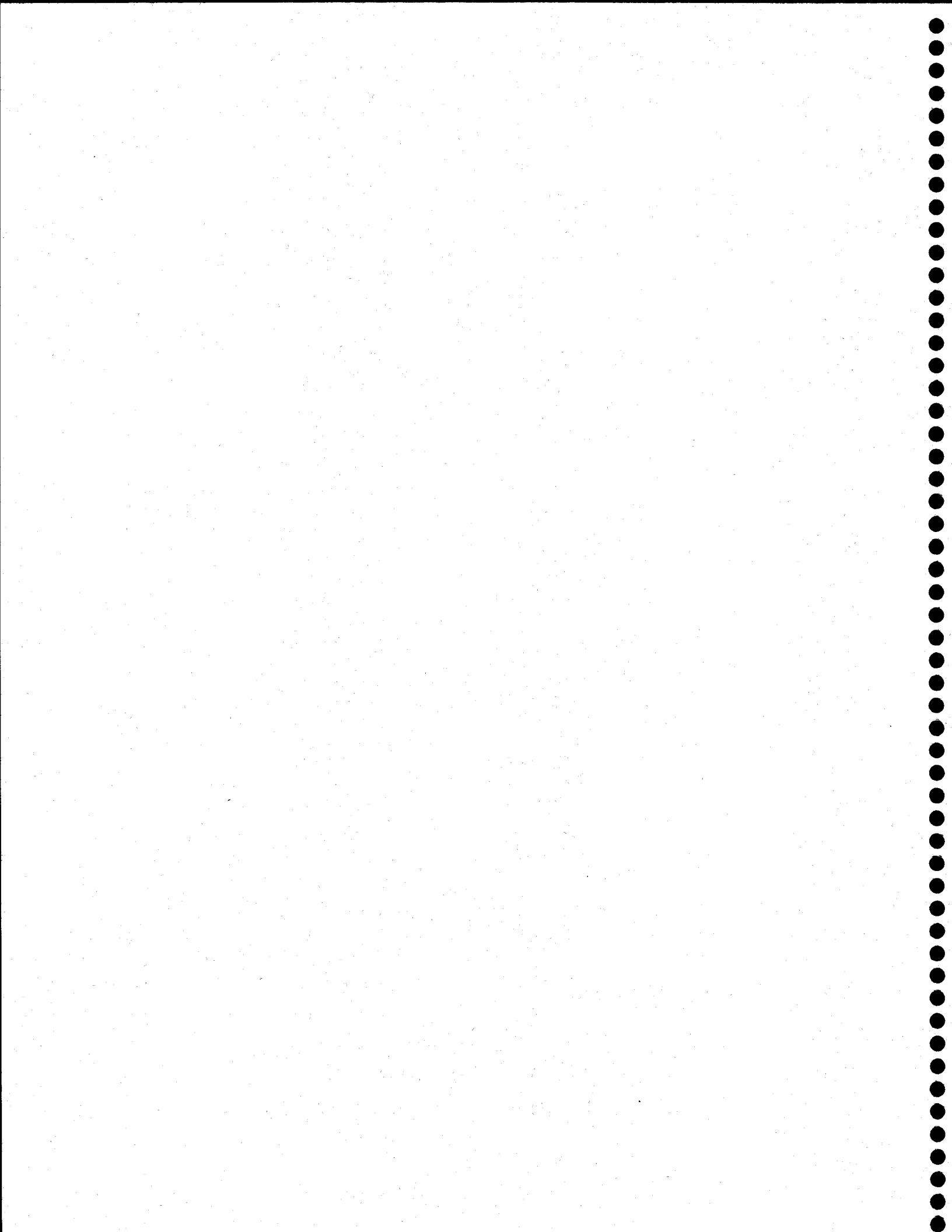




6.

Coastal Zone Policies

-  Residential Land Uses
-  Commercial Land Uses
-  Transportation
-  Open Space and Resources Management
-  Community Design
-  Transportation



COASTAL ZONE POLICIES

As stated in Chapter 3 - PLANNING CONTEXT, the northern portion of the community adjacent to Carmel Valley, as well as a small portion along the southern boundary adjacent to Los Peñasquitos Canyon Preserve is within the Coastal Zone (see Figure 3, *Coastal Zone Boundaries*). In addition to the goals contained in Chapter 4 - COMMUNITY LAND USE ELEMENTS, of this community plan, these portions of the Sorrento Hills Community shall be subject to the specific coastal zone policies below.

Generally, coastal zone areas within Sorrento Hills include the ~~Carmel Valley~~ Torrey Reserve and Arroyo Sorrento/El Camino Real portions of the COMMERCIAL LAND USE ELEMENT, the northern part (Torrey View) ~~of the Western Ridge Industrial~~ and the southern fringe (Torrey Hills) of the Low density Mesa Industrial portions of the ~~RESIDENTIAL Industrial~~ Land Use Element and the southern fringe of the Torrey Reserve Heights and Torrey Reserve Terraces Medium Low density residential portions of the ~~Residential Land Use Element~~. These specific Coastal Zone Policies for the *SORRENTO HILLS COMMUNITY PLAN* area supersede all previously certified policy language relative to Sorrento Hills in the North City Local Coastal Program Land Use Plan revisions approved by the California Coastal Commission, January 13, 1988.

Relevant coastal policies for Sorrento Hills contained in this chapter are presented in the following format which corresponds to the format of the community plan:

- RESIDENTIAL LAND USES
- INDUSTRIAL LAND USES
- COMMERCIAL LAND USE
- TRANSPORTATION
- OPEN SPACE AND RESOURCE MANAGEMENT
- COMMUNITY DESIGN

No Industrial/Business Park land uses occur within the Coastal Zone, and therefore, policies expressed in this chapter do not apply to Industrial/Business Park land use areas in the community.

Residential Land Uses

The northern portion of Torrey View and the southern portion of the Torrey Hills Reserve Heights and Torrey Reserve Terraces Medium Low density residential land uses, ~~as well as a portion of Torrey View Very Low density residential land uses~~, are located within the Coastal Zone. The following policies shall apply to development in these areas.

Policies

1. Residential development along the northern portion of Torrey View ~~southern portion of Torrey Reserve Heights and Torrey Reserve Terraces~~ within the Coastal

Zone shall be ~~Very Low density (0-5 DU/AC)~~ ~~Medium Low density (15-29 DU/AC)~~. Residential development in the southeastern portion of *Torrey Hills* shall develop as ~~Medium-Low (15-29 DU/AC)~~ RESIDENTIAL LAND USES. Residential development in the southern portion of *Torrey Hills* ~~Torrey View~~ within the Coastal Zone shall be ~~Very Low density (0-5 5-15 DU/AC)~~.

2. Development near the north slopes of Los Peñasquitos Canyon should maintain a low profile and be set back an adequate distance to allow buffer landscaping to minimize any visual adverse impact on views from the freeway and Peñasquitos Creek.
3. Where large-scale grading occurs, a sculptured technique should be used to blend fill and cut slopes with natural land contours. Any fill slopes adjacent to open space areas should be stabilized with appropriate native plant materials to help reestablish the natural biotic systems of flora and fauna.
4. Architectural design shall stress a blending of structures with the natural terrain. Architectural shapes, bulk, color, materials, and landscaping must be carefully chosen to respond to the physical land constraints. Variety in structure design will increase the visual interest of a development.

Industrial Land Uses

~~Industrial land uses occur within the Coastal Zone in one area of the community: the southern fringe of the Mesa Industrial. The following policies shall apply to this area:~~

Policies

- ~~1. Development near the north slopes of Los Peñasquitos Canyon should maintain a low profile and be set back an adequate distance to allow buffer landscaping to minimize any adverse visual impact on views from Peñasquitos Creek.~~
- ~~2. Where large-scale grading occurs, a sculptured technique should be used to blend fill and cut slopes with natural land contours. Any fill slopes adjacent to open space areas should be stabilized with appropriate native plant materials to help reestablish the natural biotic systems of flora and fauna.~~
- ~~3. Architectural Design shall stress a blending of structures with the natural terrain. Architectural shapes, bulk, color, materials, and landscaping must be carefully chosen to respond to the physical land constraints. Variety in structure design will increase the visual interest of a development.~~

Commercial Land Uses

Commercial land uses within the Coastal Zone occur in the northern portion of the community adjacent to Carmel Valley. The following policies shall apply to the ~~Carmel Valley~~ Torrey Reserve commercial area.

Policies

1. Of the approximately 94 acres of the ~~Carmel Valley~~ Torrey Reserve commercial area, approximately 54 acres consisting of the bluffs at the very northern part of the Community Planning area and the steep slopes of the ridge immediately south of El Camino Real shall remain in open space. Of the approximately 35 acres permitted for development by the Local Coastal Program, approximately 25 acres shall be designated for commercial uses in the area immediately west of the bluffs (to include visitor-serving, financial, office, corporate headquarters, research and development, and specialized commercial uses).
2. New development shall not obstruct public views of the scenic bluff escarpments.

Transportation

Development of the Sorrento Hills community includes construction of Vista Sorrento Parkway ~~Street "A"~~, which continues south beyond Sorrento Hills, and El Camino Real which continues north of the Sorrento Hills community. Portions of these circulation element roadways which are located within the Coastal Zone shall comply with the following policies.

Policies

1. Vista Sorrento Parkway ~~Street "A"~~, where it crosses Peñasquitos Creek, shall be constructed on a bridge. Wetland fill in Peñasquitos Creek shall be limited to the minimum necessary for required bridge pilings.
2. North of Peñasquitos Creek, Vista Sorrento Parkway ~~Street "A"~~ shall be constructed on previously approved Caltrans fill to the maximum practical extent. Only extremely limited fill of wetland shall be permitted.
3. Any unavoidable permanent wetland fill associated with Vista Sorrento Parkway ~~Street "A"~~ shall be mitigated at a ratio of 4:1 for alkali marsh/meadow impacts and 1:1 for freshwater marsh (i.e., cattails) impacts. Shading impacts to cattails shall be mitigated at a ratio of 1:1. Mitigation for freshwater marsh impacts shall be in kind and shall occur within the Los Peñasquitos Lagoon watershed. Mitigation for alkali marsh/meadow impacts shall be in kind and in the immediate area of the alkali marsh/meadow or, if no appropriate site can be found for creation of alkali

marsh/meadow, mitigation shall consist of newly created willow scrub habitat within the Los Peñasquitos Lagoon watershed.

OR

Any unavoidable permanent wetland fill associated with Vista Sorrento Parkway Street "A" shall be mitigated at a ratio of 1:1. Mitigation for direct and shading impacts to freshwater marsh (i.e., cattails) shall be in kind and shall occur within the Los Peñasquitos Lagoon watershed. Mitigation for alkali marsh/meadow impacts shall be in kind and in the immediate area of the alkali marsh/meadow or, if no appropriate site can be found, mitigation shall consist of newly created willow scrub habitat within the Los Peñasquitos Lagoon watershed.

AND

The balance of the alkali marsh/meadow shall be designated open space and permanently protected from development through dedication of an open space easement, recordation of a deed restriction, or other appropriate mechanism.

4. El Camino Real shall be realigned and widened and its impacts shall be mitigated in accordance with the City-approved coastal development permit.

Open Space and Resource Management

Relevant coastal policies of the Open Space and Resource Management Element address on-site coastal resources, such as the sandstone bluffs located in the northern portion of the community, and adjacent and nearby coastal resources, such as Los Peñasquitos Creek and Lagoon and Carmel Creek. For development proposals which affect these resources, the following policies shall apply.

Policies

1. The bluff escarpments south of Carmel Creek and east of El Camino Real, the steep slopes below the bluff escarpments and all planned riparian woodlands within the Carmel Valley Restoration and Enhancement Project shall be designated as open space and environmentally sensitive habitat areas and shall be protected against any significant disruption. Additionally, the steep natural slope areas outside Brush Management Zone 3 located below the planned Torrey Hills Reserve Heights and Torrey Reserve Terraces developments adjacent to Los Peñasquitos Canyon Preserve shall be designated open space and environmentally sensitive habitat areas and shall be protected against any significant disruption.
2. No fill or permanent structures shall be permitted within the boundaries of the Carmel Valley Restoration and Enhancement Project unless such development is first authorized by the California Coastal Commission.

3. No development, other than trails and fencing authorized in the approved coastal development permit, shall be constructed within the 50-foot buffer adjacent to the Carmel Valley Restoration and Enhancement Project unless such development is first authorized by the California Coastal Commission.
4. Applicants for Coastal Development Permits for projects located in the watershed of Los Peñasquitos Lagoon shall, in addition to meeting all other requirements of this local Coastal program, enter into an agreement with the City of San Diego and the State Coastal Conservancy as a condition of development approval to pay a Los Peñasquitos watershed restoration and enhancement fee to the Los Peñasquitos Lagoon Fund, for restoration of the lagoon and watershed. Consistent with applicable Coastal Development Permit precedents, the requirement of public Resources Code Section 30625(c), and the provisions of California Administrative Code, Title 14, Section 13511, the Los Peñasquitos Lagoon Watershed restoration and enhancement fee shall be computed on the basis of the site surface within the coastal zone affected by grading for urban development, agricultural, transportation and other public service facility improvements, but not including for habitat restoration or enhancement, at a rate of \$0.005/square foot and at an additional rate for impervious surface(s) created by the development at a rate of \$0.03/square foot. The applicant shall provide evidence satisfactory to the City that such payment has been made prior to issuance of the Coastal Development Permit. The City strongly recommends to the State Coastal Conservancy and the Los Peñasquitos Lagoon Foundation Board of Directors that the Foundation's applicable by-laws be amended to provide that applicants who pay into the fund be provided general membership status in the Los Peñasquitos Foundation.
5. To provide for the permanent maintenance and conservation of the stream channels and related habitat areas, a benefit assessment district or other financing mechanism which accomplishes the same result shall be created for that portion of the stream watershed lying within the Coastal Zone. Each applicant for a Coastal Development Permit in the stream watershed lying within the Coastal Zone shall, as a condition precedent to the issuance of such permit, shall agree in writing in a manner acceptable to the City Attorney to participate in the Benefit Assessment District or other financing mechanism that accomplishes the same result. In addition, the City should work cooperatively with other governmental agencies that have jurisdiction in the watershed lying inland of the Coastal Zone and with landowners to create a Benefit Assessment District or other financing mechanism for stream conservation and maintenance in that portion of the stream watershed lying inland of the Coastal Zone. Funds generated by the Benefit Assessment District(s) or other equivalent financial mechanisms may be utilized to construct and maintain erosion control measures in the stream watershed inside and outside the Coastal Zone.

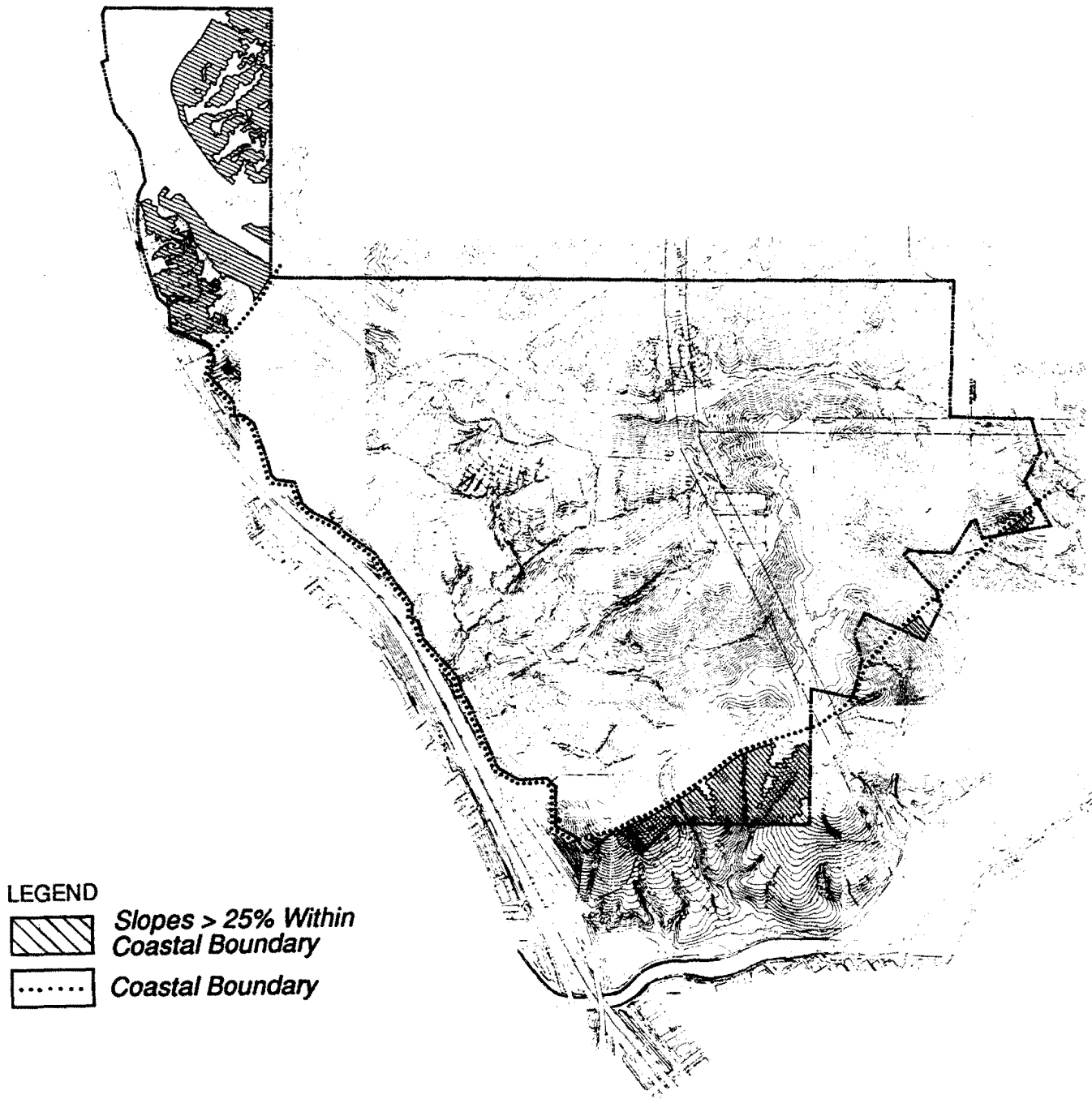
Community Design

For development within the Coastal Zone, the Community Design Element focusses on steep slopes, grading, landscaping and undergrounding of utilities. All development within the Coastal Zone shall comply with the following Community Design Policies.

Policies

STEEP SLOPES

1. Approximately 58.5 acres of the community plan lying within the Coastal Zone consist of slopes of 25 percent grade and over, and have been identified as possessing environmentally sensitive habitats, significant scenic amenities or hazards to developments. These slopes are shown in Figure 20, *Coastal Zone Steep Slopes*. Development may occur in these areas provided the applicant can demonstrate all of the following:
 - a. To protect the scenic and visual qualities of the site as seen from public recreational areas and highways, the proposed development shall minimize the alteration of natural landforms and create only new slopes that are topographically compatible with natural landforms of the surrounding area.
 - b. Any previously manufactured slopes of the site shall be recontoured, if necessary, to make them compatible with surrounding natural landforms and native vegetation.
 - c. The proposed development, including any fill or grading, does not create any significant new soil erosion, silting of lower slopes or stream channels, slide damage or other geologic instability, flooding, or permanent scarring. In reviewing the potential of any development to create or increase any such effects, official governmental soils maps, determinations of highly erodible soils, mapped active landslide areas, and similar documentation of geological instability shall be presumed to constitute rebuttable evidence and the applicant shall have an affirmative obligation to bring them to the attention of the City. Any decision by the City to override such evidence shall be based upon substantial evidence presented by a geotechnical expert licensed to practice in California. All liability for the accuracy of the geotechnical information presented on behalf of the applicant shall be assumed by the applicant, who shall also be required in writing as a condition precedent to issuance of the Coastal Development Permit to address and fully mitigate or otherwise correct any geologic instability, erosion, or sedimentation caused by the permitted development on other private or public properties and off-site



Coastal Zone Steep Slopes

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure 20



coastal natural resources. Failure by an applicant to provide geotechnical or other engineering responses to such identified geological instabilities shall constitute grounds for denial of the development.

- d. The proposed development contains a native vegetation restoration and enhancement program for those portions of the site in 25 percent or greater slopes that will provide as follows:
 - (1) For every area or quantity of native vegetation located on natural slopes of 25 percent grade and over, in excess of the encroachment allowance provided in Table 5, *25% Slope Encroachment Allowance*, that is disturbed by the development, an area equal to 120 percent of the disturbed area shall be restored in native vegetation. The restoration and enhancement program shall be performed prior to or concurrently with the development and may be incorporated into the design and implementation of the overall landscaping program for the site.
 - (2) The native vegetation restoration and enhancement program required by subsection (a) shall be located on the site of the permitted development. However, if the size, topography or biological characteristics of the site are determined by the Planning Director to be unsuitable for said restoration or enhancement program, then the native vegetation shall be provided at one or more off-site locations within the Coastal Zone, which may include publicly owned rights of way. If such locations within the Coastal Zone are not practicable, then such native vegetation restoration or enhancement program shall be provided at other suitable locations within the City of San Diego outside the Coastal Zone.
 - (3) All native vegetation restoration and enhancement programs shall be prepared by a biologist, registered landscape architect, or other qualified professional in close consultation with the Department of Fish and Game and U.S. Fish and Wildlife Service.
- 2. In the case of those natural landforms which consist of slopes of 25 percent and over which have been identified as possessing environmentally sensitive habitats or significant scenic amenities or hazards to development (including major undeveloped sites with high erodibility characteristics), the following requirements shall apply:
 - a. Slopes of 25 percent grade and over shall be preserved in their natural state, provided a minimal encroachment into the steep slope areas over 25 percent may be permitted as set forth in Table 5.

The following uses shall be exempt from the encroachment limitations set forth in Table 5.

- Major public roads and collector streets identified in the Circulation Element of an adopted community plan or the City of San Diego Progress Guide and General Plan.
- Local public streets, private roads and driveways which are necessary for access to the more developable portions of a site on slopes of less than 25 percent grade, provided no less environmentally damaging alternative exists. The determination of whether or not a proposed road or driveway qualifies for an exemption, in whole or in part, shall be made by the Planning Director based upon an analysis of the project site.
- Public utility systems.

Table 5
25% SLOPE ENCROACHMENT ALLOWANCE

Percentage of Parcel in Slopes of 25% and Over	Maximum Encroachment Allowance as Percentage of Area in Slopes of 25% and Over
75% or less	10%
80%	12%
85%	14%
90%	16%
95%	18%
100%	20%

- b. On existing legal parcels, a deviation in the encroachment allowance percentage may be granted by the Planning Director, if necessary to maintain a minimum development right (total disturbed area) equal to 20 percent of the entire parcel.
- c. All encroachment allowances, including permissible deviations, shall be subject to a determination by the Planning Director that such encroachment supports the findings of fact set forth in the City's Hillside Review Zone.

- d. For purposes of determining allowable encroachment, only that portion of a parcel or ownership lying within the coastal zone shall be used in the calculation.
3. Encroachment allowances for the development of slopes of 25 percent grade and over occurring on either slope category described in paragraphs "1." or "2." above, shall not be transferable between categories.
4. All natural slopes of 25 percent grade and over which remain undisturbed or which are restored or enhanced as a result of a development approval shall be conserved as a condition of permit approval through a deed restriction, open space easement or other suitable device which will preclude any future development or grading of such slopes.

GRADING

1. Grading plans for permitted development that is otherwise consistent with the Local Coastal Program shall include:
 - a. A map showing existing and proposed contours at ten-foot intervals of the property, as well as details of existing and future topography and area drainage.
 - b. The direction of drainage flow and detailed plans for locations of all proposed runoff control devices. The area to be served by any drains shall also be mapped.
 - c. A schedule showing when each stage of the project will be completed, including the total area of soil surface which is to be disturbed during each stage and estimated starting and completion dates.
 - d. The grading plan shall be prepared by a professional engineer registered with the State of California.
 - e. The findings and conclusions of the North City West Drainage Study by Leeds, Hill and Jewett, Inc., and any subsequent watershed hydrology studies in order to satisfy the drainage control requirements in Carmel Valley.
2. All grading plans shall conform to all of the following, as applicable.
 - a. A grading plan that incorporates runoff and erosion control procedures to be utilized during all phases of project development shall be prepared and submitted concurrently with subdivision improvement plans or planned development applications where such development is proposed to occur on lands that will be graded, filled or have a slope of 25 percent or greater. Such a plan shall be prepared by a registered civil engineer

and shall be designed to assure that there will be no increase in the peak runoff rate from the fully developed site over the greatest discharge that would occur from the existing undeveloped site as a result of the intensity of rainfall expected during a six-hour period once every ten years (the "six-hour, ten-year" design storm). Runoff control shall be accomplished by establishing on-site or at suitable nearby locations catchment basins, detention basins, and siltation traps along with energy dissipating measures at the terminus of storm drains or other similar means of equal or greater effectiveness.

- b. Sediment basins (debris basins, desilting basins, or silt traps) shall be installed in conjunction with the initial grading operations and maintained through the development process as necessary to remove sediment from runoff waters draining from the land undergoing development. Areas disturbed but not completed prior to November 15, including graded pads and stockpiles, shall be suitably prepared to prevent soil loss during the late fall and winter seasons. All graded slopes shall be stabilized prior to November 15 by means of native vegetation, if feasible, or by other suitable means. The use of vegetation as a means of controlling site erosion shall be accomplished pursuant to plans and specifications prepared by a licensed landscape architect or other qualified professional. Erosion control utilizing vegetation may include, but is not limited to, seeding, mulching, fertilization and irrigation within sufficient time prior to November 15 to provide landscape coverage that is adequate to achieve the provisions of this policy.

Temporary erosion control measures shall include the use of berms, interceptor ditches, sandbagging, hay bales, filtered inlets, debris basins, silt traps, or other similar means of equal or greater effectiveness. From November 15 to May 31, grading may be permitted provided the applicant conforms to the requirements of subsection "c" and submits monthly documentation within two weeks following the end of the preceding month to the City Engineer of the condition of the erosion control procedures for graded pads, slopes and stockpiles whenever precipitation during the calendar month exceeds two (2) inches.

- c. From November 15 to March 31, grading may only occur: (1) in increments as determined by the City Engineer based on site-specific soil erodibility and slopes in order to minimize soil exposure, and if (2) the applicant has installed temporary erosion control measures that the City Engineer finds are designed to assure that there will be no increase in peak runoff rate from the fully developed site over the greatest discharge that would occur from the existing undeveloped site as a result of the intensity of rainfall expected during a six-hour period once every ten years (the "six-hour, ten-year" design storm); (3) the applicant posts a bond sufficient to cover the costs of any remedial grading and replanting of vegetation, including any restoration of lagoon, wetland, or other

environmentally sensitive habitat areas adversely affected by the failure of the erosion control measure required pursuant to Subsection (C)(2), as determined by the City Engineer, which bond will insure to the benefit of the City in case of non-compliance, as determined by the City Engineer, and (4) the applicant agrees to provide daily documentation to the City Engineer of the condition of the erosion control procedures for any 24-hour period in which precipitation exceeds 0.25 inches. Such documentation shall be provided within five working days of said 24-hour period. Failure to provide such documentation or occurrence of any significant discharge of sediments or silts in violation of this policy shall constitute automatic grounds for suspension of the applicant's grading permit(s) during the period of November 15 to March 31.

LANDSCAPING

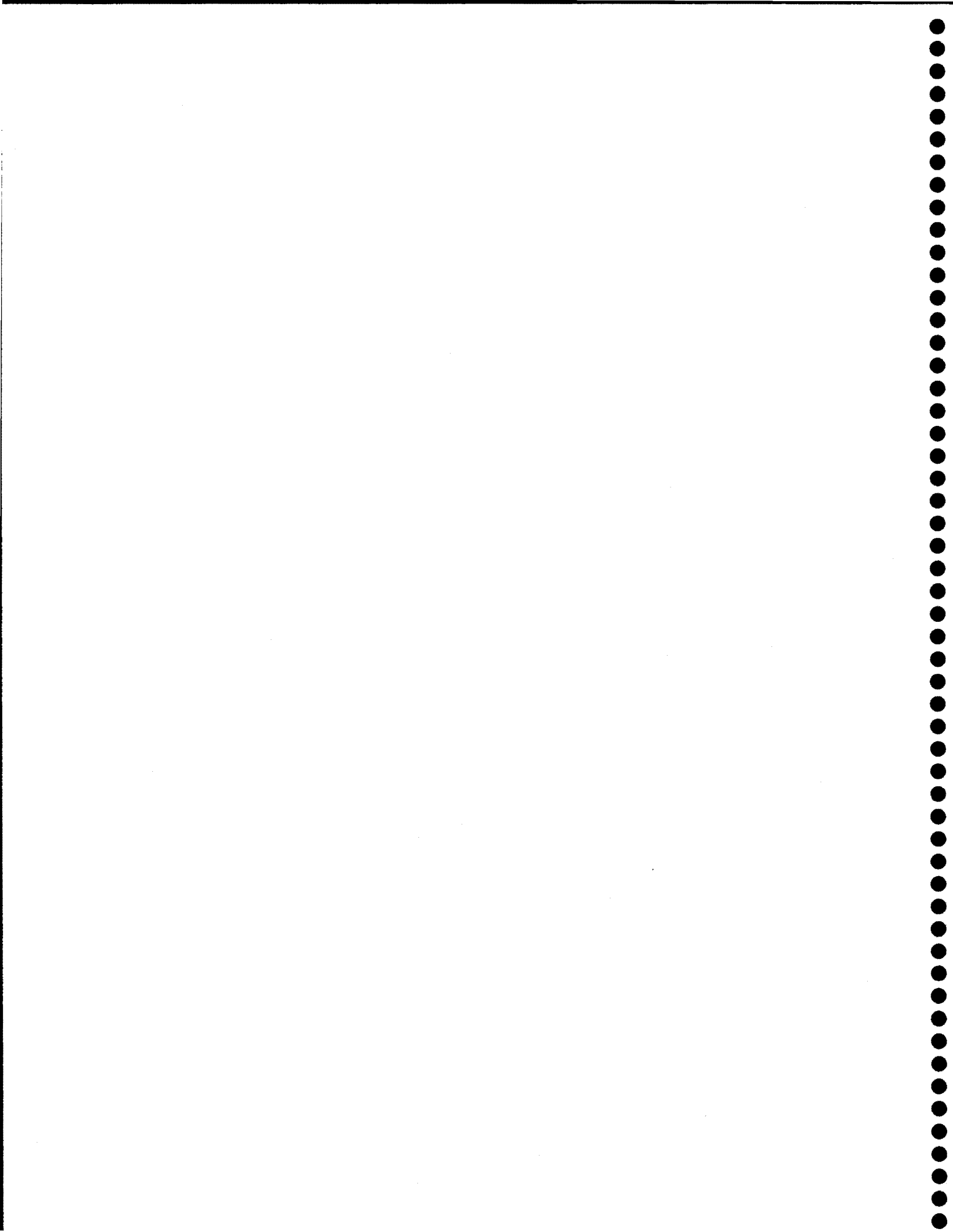
1. Within perimeter areas of development, landscaped buffers shall be provided to screen views of development from Los Peñasquitos Canyon Preserve.
2. Landscaping in areas adjacent to Los Peñasquitos Canyon Preserve shall utilize native and/or drought tolerant, non-invasive plant material.
3. Landscaping and brush management shall comply with the Landscape Technical Manual (November 1989) unless specifically modified through an amendment to the Local Coastal Program.

UTILITIES

1. Local utility distribution shall be underground in all new developments, whenever feasible.

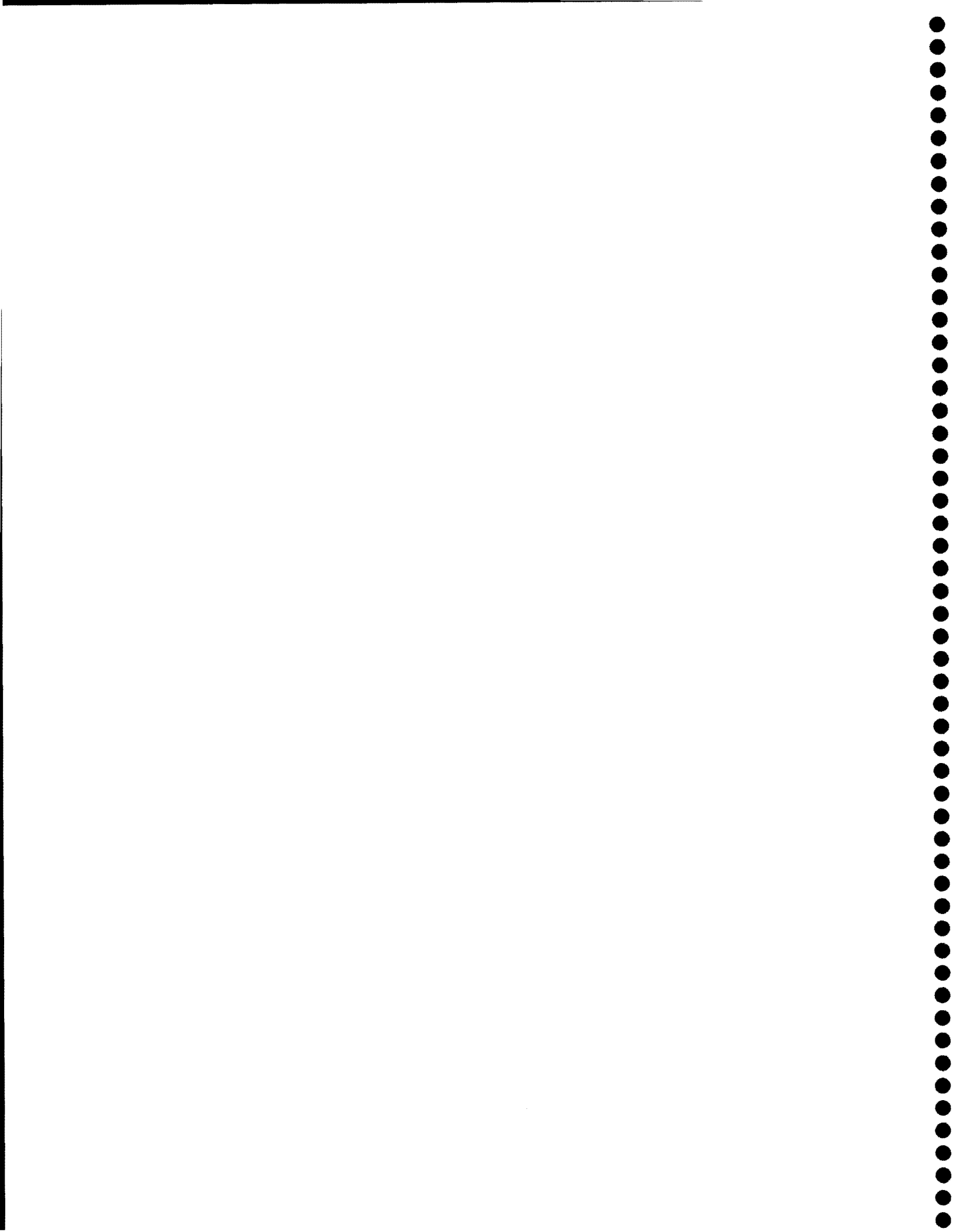
Appendices

- ☞ **Index**
- ☞ **Legislative Framework**
- ☞ **Land Use Intensity Comparison - 1994 Plan and 1996 Plan**
- ☞ **Land Use Intensity and Traffic Generation**
- ☞ **Community Plan Recommended Zoning**
- ☞ **Relationship to Progress Guide and General Plan**
- ☞ **Plan Update and Amendment Process**



INDEX

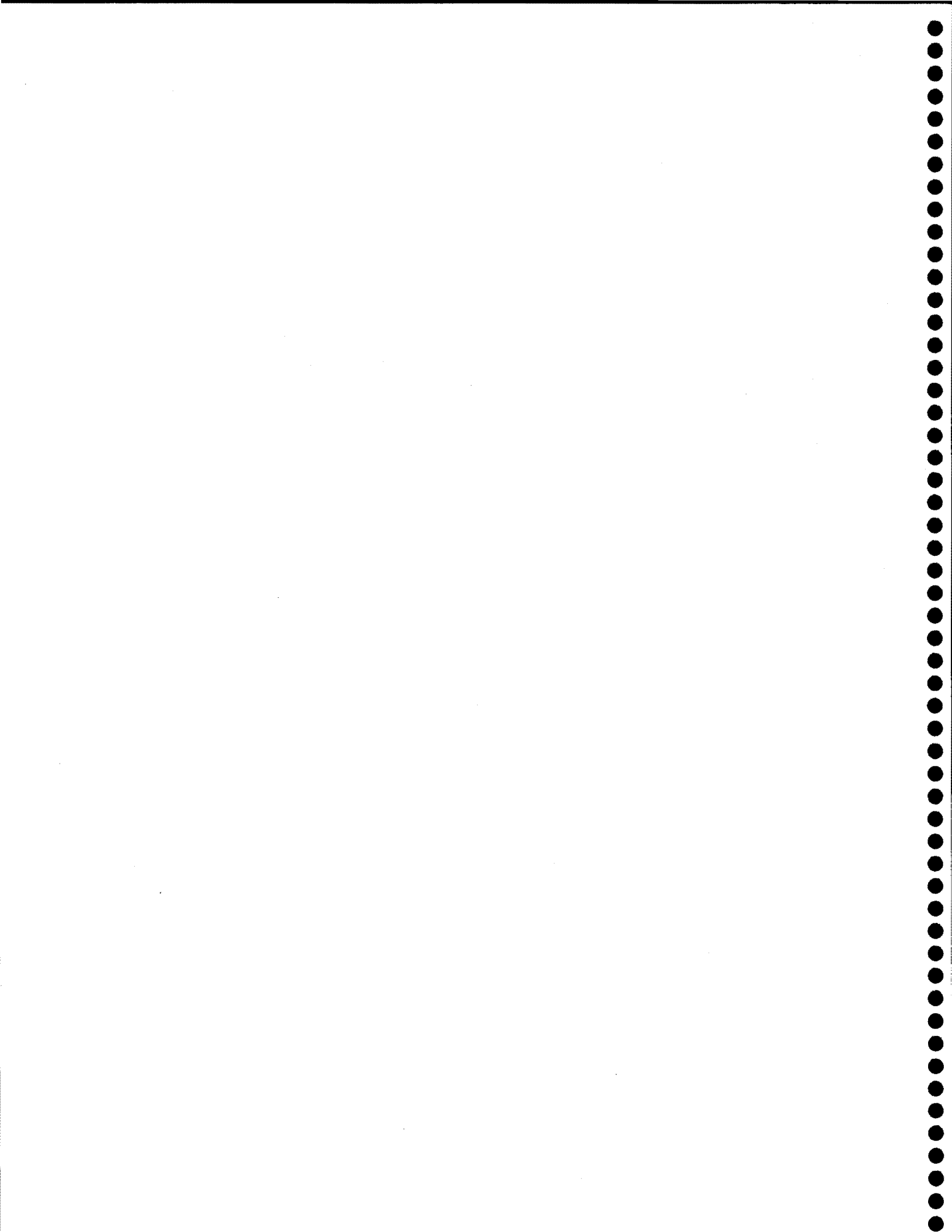
■ Appendix A	LEGISLATIVE FRAMEWORK
■ Appendix B	LAND USE INTENSITY COMPARISON - <u>1994</u> 1983 -PLAN AND <u>1996</u> 1994 PLAN
■ Appendix C	LAND USE INTENSITY AND TRAFFIC GENERATION
■ Appendix D	COMMUNITY PLAN RECOMMENDED ZONING
■ Appendix E	RELATIONSHIP TO THE CITY'S <i>PROGRESS GUIDE AND GENERAL PLAN</i>
■ Appendix F	PLAN UPDATE AND AMENDMENT PROCESS



Appendix

A

Legislative Framework

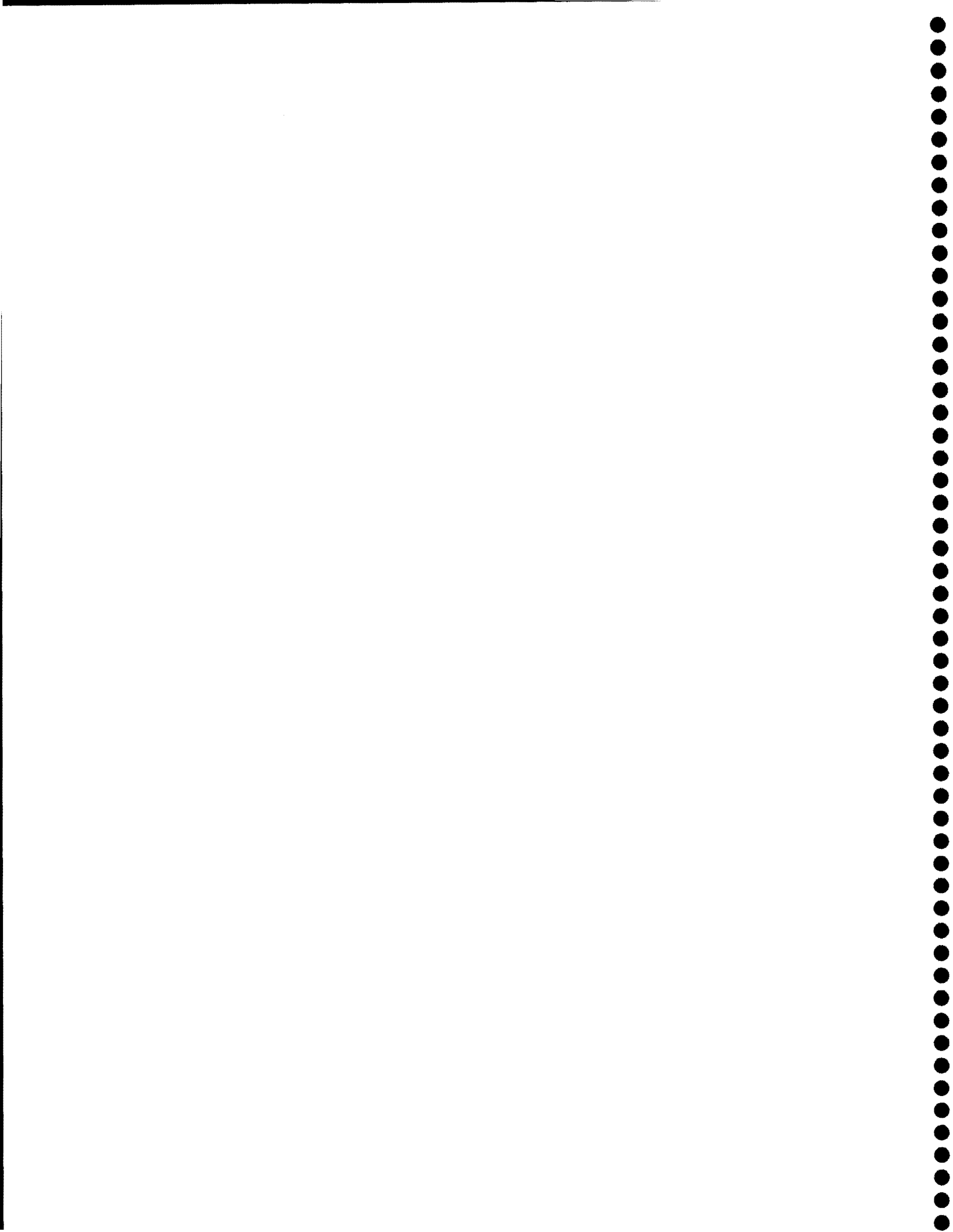


SORRENTO HILLS LEGISLATIVE FRAMEWORK

The Sorrento Hills Community Plan was developed within the context of a legislative framework on federal, state and local levels. Among the more important levels of influence are:

- Section 65450 of the Government Code of the State of California (State Planning and Zoning Act) which gives authority for the preparation of the community plan and specifies the elements which must appear in each plan. It also provides a means for adoption and administering these plans.
- Government Code Chapter 4.3 requires that local governments and agencies provide incentives to developers to include affordable units in housing projects. The City has adopted an ordinance which establishes an Affordable Housing Density Bonus that provides for an increase in density in a given zone to be granted for projects in which a portion of the total housing units are for low or moderate income persons.
- The California Environmental Quality Act of 1970 (CEQA), as amended, requires environmental documents be prepared for all community plans. Separate, detailed environmental impacts reports are also required for all projects which may adversely affect the environment, including actions related to implementing this plan.
- The Regional Air Quality Strategy (RAQS) was developed in 1977 to achieve a level of air quality in the San Diego Air Basin that would meet federal air quality standards set forth in the National Clean Air Act. A major recommendation pertinent to this planning effort is to include air quality considerations in all land use and transportation plans.
- The California Coastal Act 1976 mandates that all designated coastal areas develop a Local Coastal Plan which is consistent with state-wide goals and objectives. The North City Local Coastal Program and Land Use Plan, with revisions, was adopted by the City Council in March 1987. The plan provides specific guidelines for the development of that area of the community which lies within the coastal zone boundary. The Coastal Commission has also approved City Zoning Ordinance as implementation of the North City LCP.
- The Progress Guide and General Plan of the City of San Diego establishes city-wide goals, guidelines, standards and recommendation which serve as the basis for the goals, objectives and recommendations of the community plan.
- The city-wide zoning and subdivision ordinances which regulate the development and subdivision of land in the City of San Diego.

In addition to legislation and ordinances, the City Council had adopted a number of policies to serve as guidelines in the decision-making process. Many of the policies relate directly to planning issues and are used in implementing plan recommendations.



Appendix

B Land Use Intensity Comparison



SORRENTO HILLS
LAND USE INTENSITY COMPARISON
198394 PLAN AND 199496 PLAN

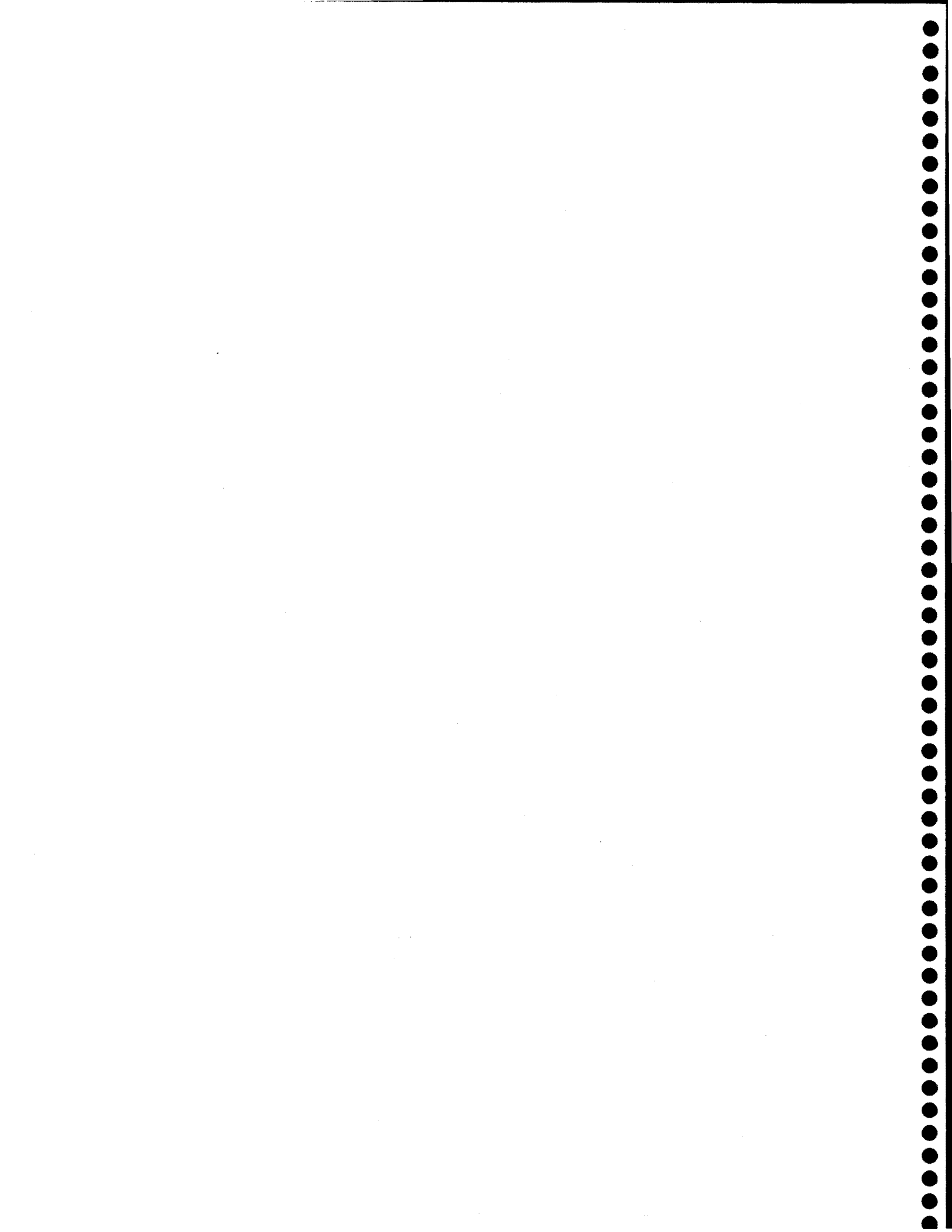
LAND USE	1994 COMMUNITY PLAN	1996 COMMUNITY PLAN
Single Family Residential	252 units	<u>1,334 units</u>
Multi Family Residential	2,460 units	<u>770 units</u>
Commercial	500,500 sq. ft.	<u>647,000 sq. ft.</u>
Industrial / Professional Office / Scientific Research	2,424,000 sq. ft.	<u>1,350,000 sq. ft.</u>
Other: Health Club Day Care	28,000 sq. ft. 3,000 sq. ft.	=
Neighborhood Park	10 acres	<u>14 acres</u>
Open Space	278 acres	<u>283 acres</u>
SDG&E Substation	40 acres	40 acres
Streets and Freeways	76 acres	<u>66 acres</u>



Appendix

C

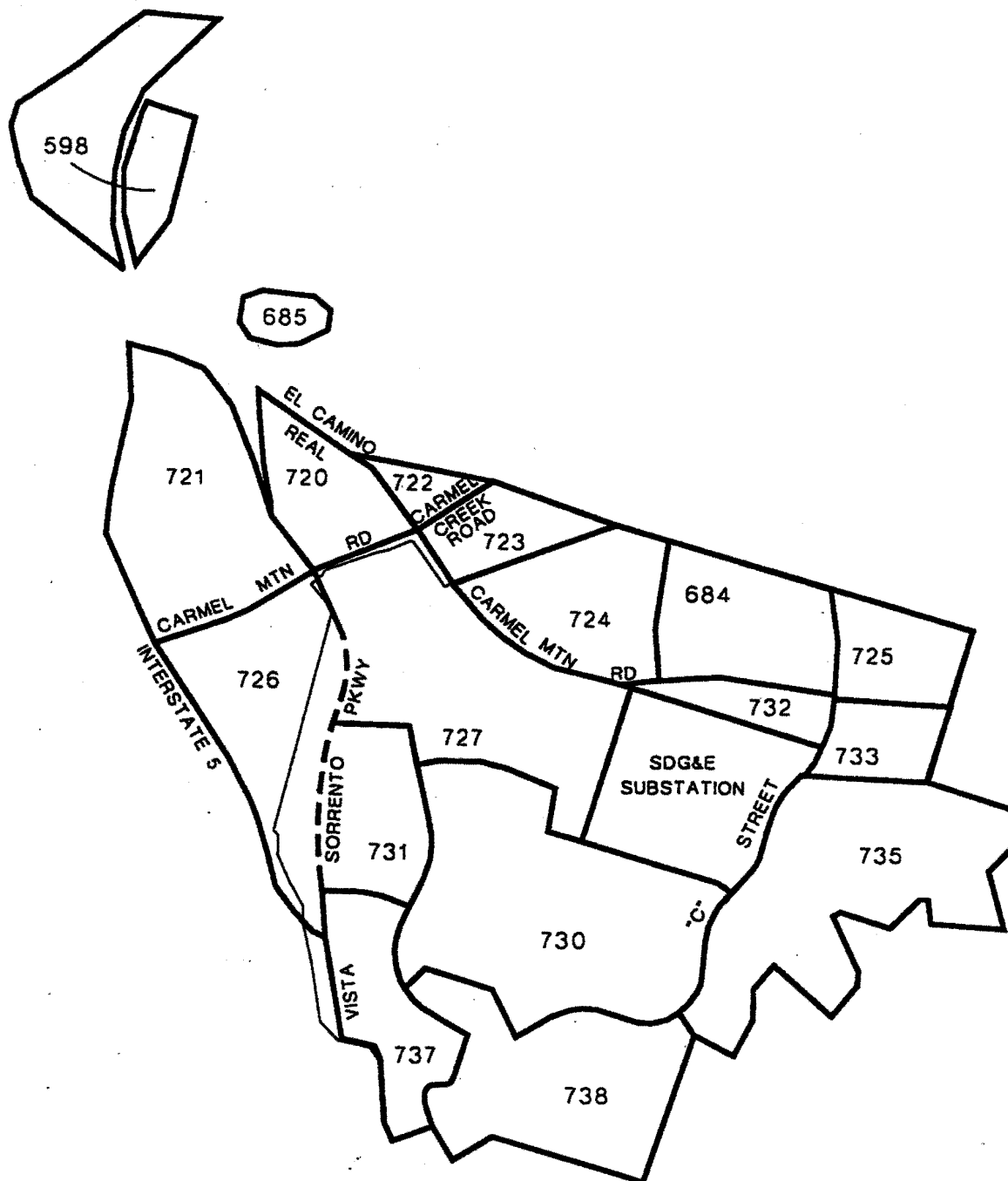
Land Use Intensity and Traffic
Generation



SORRENTO HILLS

LAND USE INTENSITY AND TRAFFIC GENERATION

Traffic generated by the ~~1996 1994-amendment update~~ of the Sorrento Hills Community Plan has been evaluated based upon land use intensities and City adopted generation rates. The Community Plan traffic study assigns the resultant traffic volumes to the community circulation network based upon Traffic Analysis Zones (TAZ). Figure C-1 shows the location of TAZs for the community, and Table C-1 summarizes the traffic expected from buildout of the community based upon the land use intensities recommended by the Community Plan.



LEGEND:

Vista Sorrento

Parkway Realignment - - - - -

Traffic Analysis Zones

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure C-1



T&B Planning Consultants
3000 HANLEY BLVD. SUITE 100
SAN DIEGO, CALIF. 92108 (619) 442-2700
1000 CLEVELAND DRIVE, SUITE 200
SAN DIEGO, CALIF. 92108 (619) 546-0700



TABLE C-1
SORRENTO HILLS COMMUNITY
LAND USES BY TRAFFIC ANALYSIS ZONE

TAZ	Use	Amount	Generation Rate	ADT*
725	SFDU	48 DU	10/DU	480
598	CORP/OFFICE	440,066 SF	15/KSF	6,601
	VISITOR SERVING	36,580 SF	20/KSF	732
685	SFDU	3 DU	10/DU	30
722	MFDU	121 DU	8/DU	968
723	MFDU	285 DU	8/DU	2,280
720	OFFICE	144,100 SF	20/KSF	2,882
721	IND:	330,000 SF	15/KSF	4,950
	SFDU	129 DU	10/DU	1,290
726	IND:	203,800 SF	15/KSF	3,057
727	R&D (513,672 SF)	479,733 SF	15/KSF	7,196
724	OFFICE (175,630 SF)	109,500 SF	20/KSF	2,190
684	OFFICE (323,840 SF)	180,350 SF	20/KSF	3,607
	SFDU	72 DU	10/DU	720
734	IND: (583,690 SF)	336,000 SF	15/KSF	5,040
735	IND: (972,910 SF)	424,266 SF	15/KSF	6,364
729	MFDU	452 DU	8/DU	3,616
733	OFFICE (79,580 SF)	46,050 SF	20/KSF	921
732	OFFICE (82,930 SF)	59,650 SF	20/KSF	1,193
730	MFDU	707 DU	8/DU	5,656
737	MFDU	533 DU	8/DU	4,264
728	MFDU	79 DU	8/DU	632
	PARK	10 AC	40/AC	400
738	MFDU	206 DU	8/DU	1,648
739	IND:	110,000 SF	15/KSF	1,650
731	COMMERCIAL	20,000 SF	120/KSF	2,400
	HEALTH CLUB	28,000 SF	45/KSF	1,260
	DAY CARE	3,000 SF	70/KSF	210
	OFFICE	3,500 SF	20/KSF	70
	MFDU	77 DU	8/DU	616
736	OS	0 SF	0/KSF	0
TOTALS				72,923

* ADT = AVERAGE DAILY TRAFFIC
 ** SOURCE: CITY OF SAN DIEGO
 *** PHT = PEAK HOUR TRAFFIC

REVISED TABLE C-1
SORRENTO HILLS COMMUNITY
LAND USES BY TRAFFIC ANALYSIS ZONE

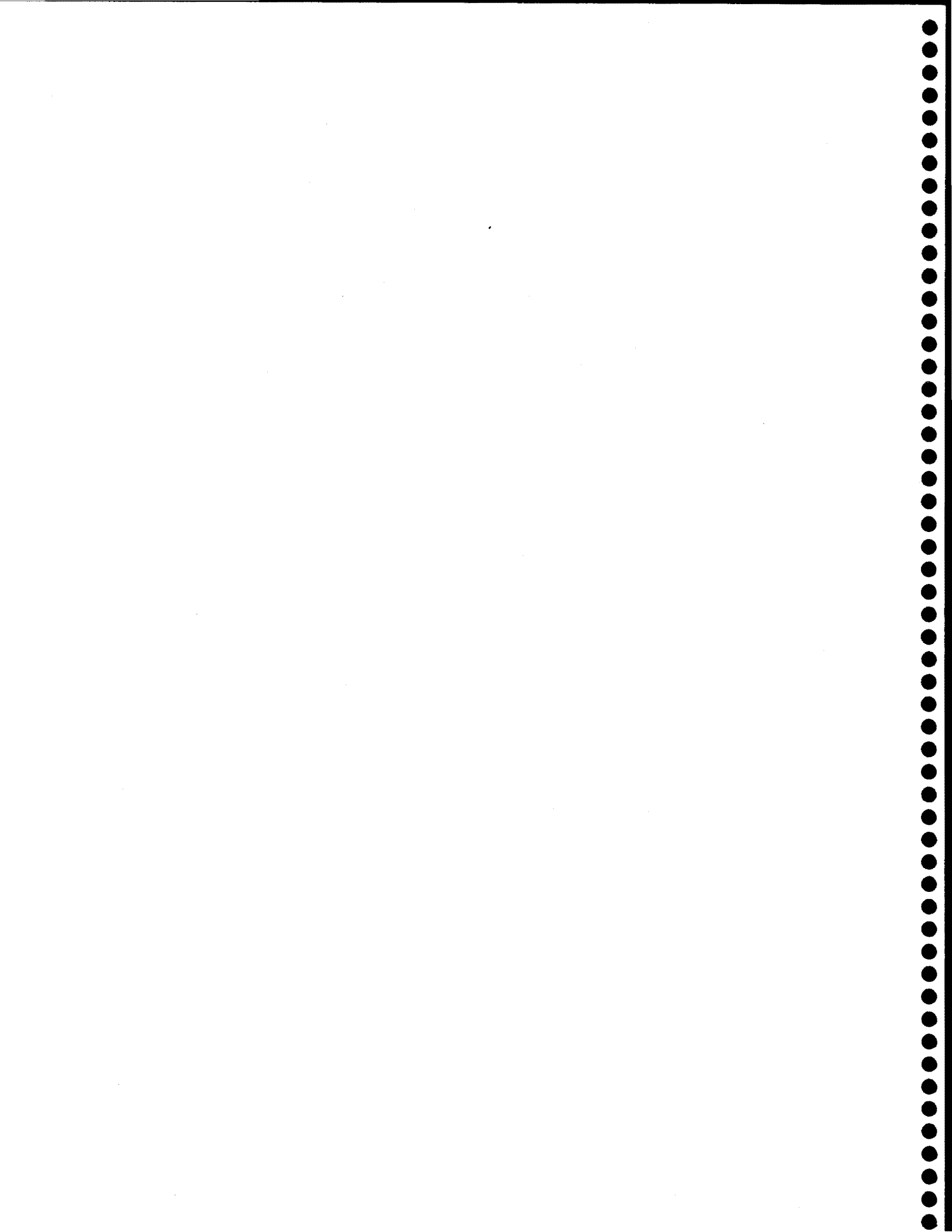
<u>TAZ</u>	<u>LAND USE</u>	<u>BUILDABLE INTENSITY</u>	<u>GENERATION RATE</u>	<u>ADT</u>
<u>598</u>	<u>OFFICE/CORPORATE</u> <u>VISITOR SERVING COMM.</u>	<u>440,066 SF</u> <u>36,580 SF</u>	<u>15/KSF</u> <u>20/KSF</u>	<u>6,601</u> <u>732</u>
<u>684</u>	<u>SINGLE FAMILY (4,000 SF)</u> <u>SINGLE FAMILY (5,000 SF)</u>	<u>121 DU</u> <u>37 DU</u>	<u>10/DU</u> <u>10/DU</u>	<u>1,210</u> <u>370</u>
<u>685</u>	<u>SINGLE FAMILY DWELLING</u>	<u>2 DU</u>	<u>10/DU</u>	<u>20</u>
<u>720</u>	<u>OFFICE</u>	<u>210,000 SF</u>	<u>20/KSF</u>	<u>4,200</u>
<u>721</u>	<u>OFFICE</u> <u>SINGLE FAMILY DWELLING</u> <u>INDUSTRIAL</u> <u>INDUSTRIAL</u>	<u>210,000 SF</u> <u>121 DU</u> <u>120,000 SF</u> <u>42,070 SF</u>	<u>20/KSF</u> <u>10/DU</u> <u>15/KSF</u> <u>15/KSF</u>	<u>4,200</u> <u>1,210</u> <u>1,800</u> <u>631</u>
<u>722</u>	<u>COURTYARD</u>	<u>52 DU</u>	<u>10/DU</u>	<u>520</u>
<u>723</u>	<u>COURTYARD</u>	<u>143 DU</u>	<u>10/DU</u>	<u>1,430</u>
<u>724</u>	<u>COURTYARD</u> <u>SINGLE FAMILY (5,000 SF)</u>	<u>120 DU</u> <u>30 DU</u>	<u>10/DU</u> <u>10/DU</u>	<u>1,200</u> <u>300</u>
<u>725</u>	<u>SINGLE FAMILY (5,000 SF)</u>	<u>83 DU</u>	<u>10/DU</u>	<u>830</u>
<u>726</u>	<u>INDUSTRIAL</u>	<u>237,930 SF</u>	<u>15/KSF</u>	<u>3,569</u>
<u>727</u>	<u>SINGLE FAMILY (5,000 SF)</u> <u>ELEMENTARY SCHOOL</u> <u>PARK</u>	<u>121 DU</u> <u>4 AC</u> <u>16.2 AC</u>	<u>10/DU</u> <u>60/AC</u> <u>68/AC</u>	<u>1,210</u> <u>240</u> <u>810</u>
<u>730</u>	<u>SINGLE FAMILY (4,000 SF)</u>	<u>242 DU</u>	<u>10/DU</u>	<u>2,420</u>
<u>731</u>	<u>MULTI-FAMILY</u> <u>OFFICE/INDUSTRIAL</u> <u>SUPPORT COMMERCIAL</u>	<u>340 DU</u> <u>310,000 SF</u> <u>40,000 SF</u>	<u>8/DU</u> <u>20/KSF</u> <u>72/KSF</u>	<u>2,720</u> <u>6,200</u> <u>2,880</u>
<u>732</u>	<u>NEIGHBORHOOD COMMERCIAL</u>	<u>10,000 SF</u>	<u>72/KSF</u>	<u>720</u>
<u>733</u>	<u>NEIGHBORHOOD COMMERCIAL</u>	<u>120,000 SF</u>	<u>72/KSF</u>	<u>8,640</u>
<u>735</u>	<u>MULTI-FAMILY</u> <u>SINGLE FAMILY (4,000 SF)</u>	<u>430 DU</u> <u>172 DU</u>	<u>8/DU</u> <u>10/DU</u>	<u>3,440</u> <u>1,720</u>
<u>737</u>	<u>OFFICE</u>	<u>220,000 SF</u>	<u>23/KSF</u>	<u>4,400</u>
<u>738</u>	<u>SINGLE FAMILY (5,000 SF)</u>	<u>90 DU</u>	<u>10/DU</u>	<u>900</u>
TOTAL TRAFFIC				65,123

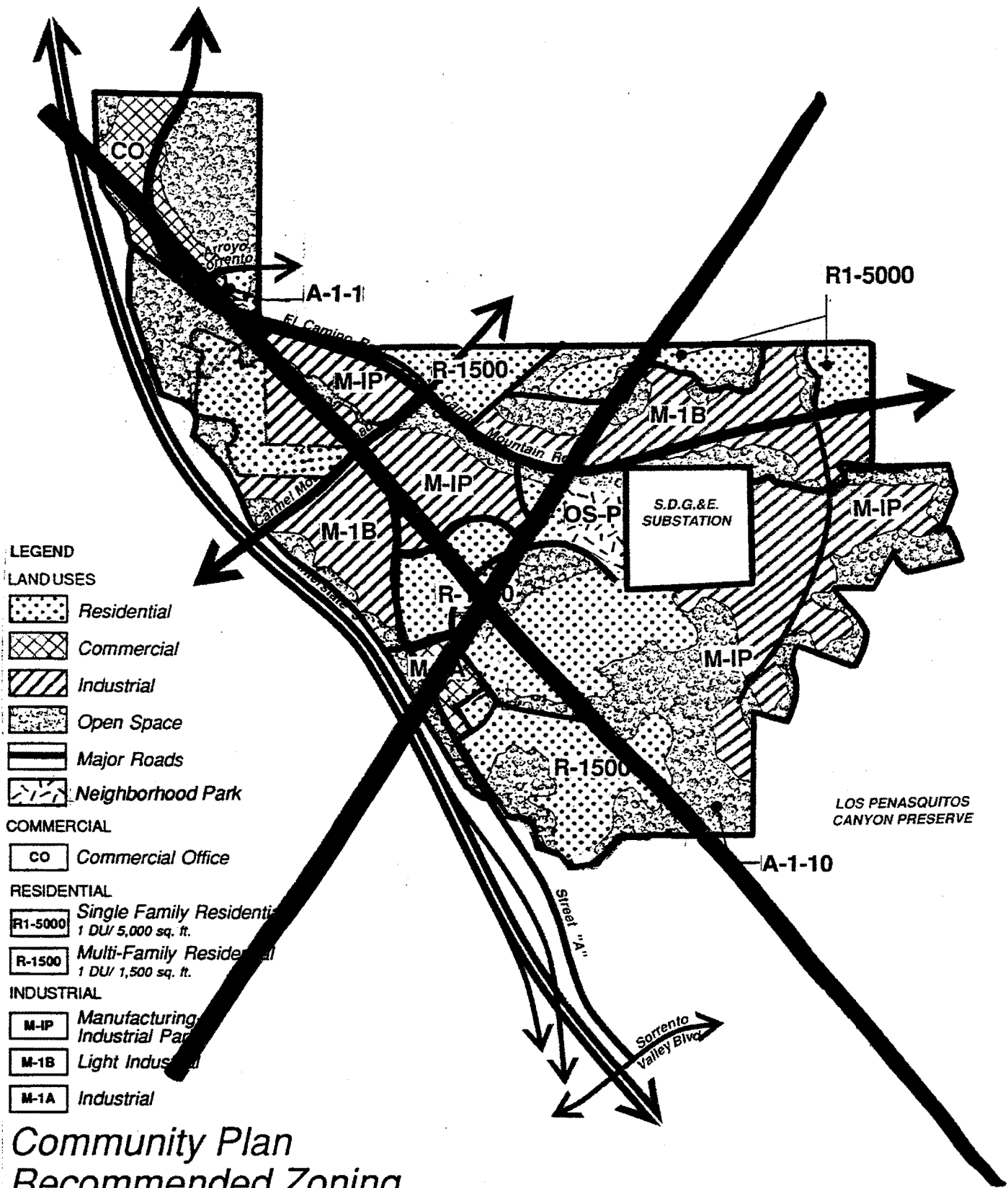
Legend: SF = Square Feet
 DU = Dwelling Unit
 KSF = One-Thousand Square Feet

Appendix

D

Community Plan Recommended
Zoning



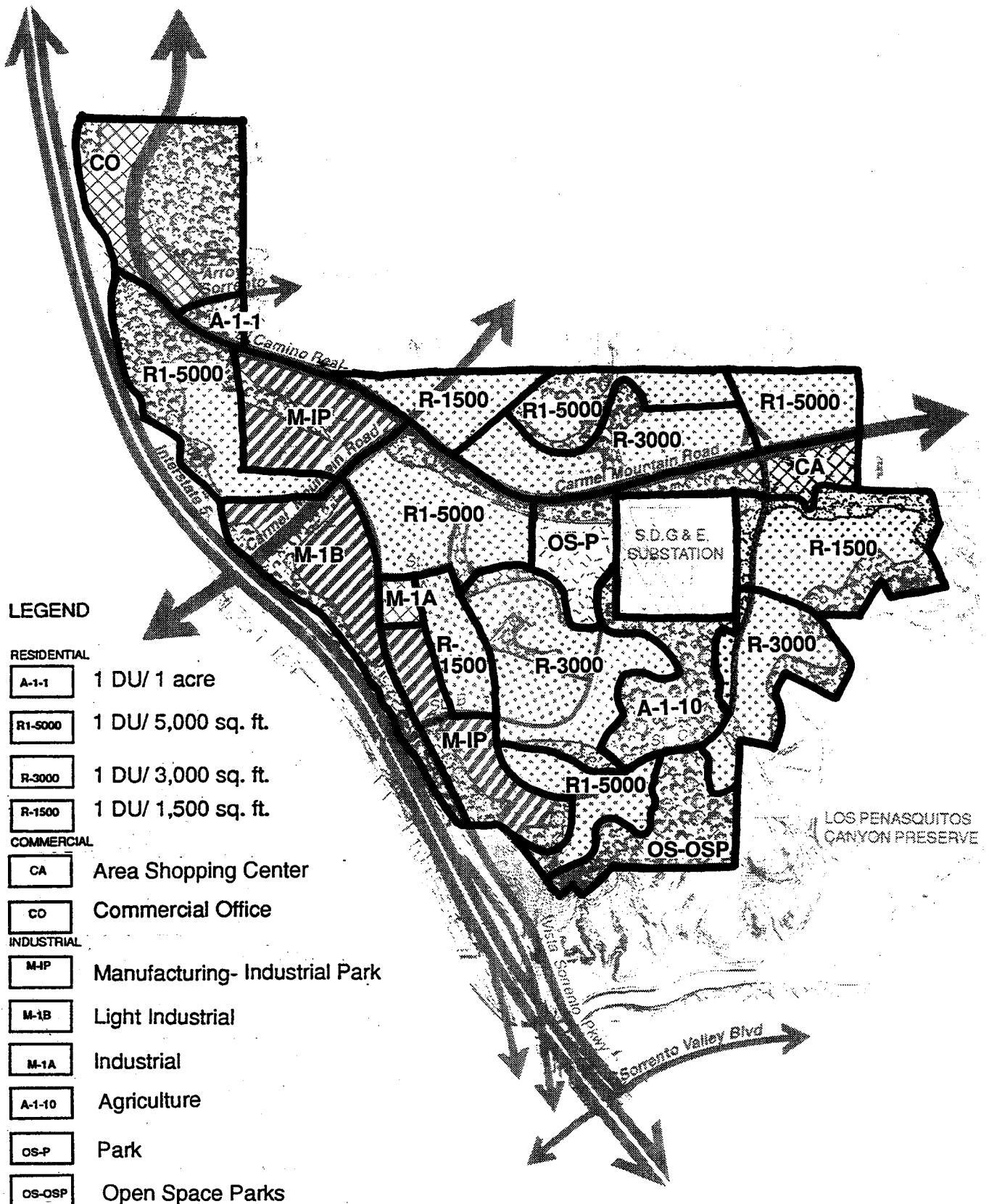


SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure D-1





Community Plan Recommended Zoning

SORRENTO HILLS COMMUNITY PLAN

AG LAND ASSOCIATES 9404 Genesee Avenue, Suite 340, La Jolla, CA 92037

Figure D-1



Appendix



Relationship to the City's
Progress Guide & General Plan



SORRENTO HILLS RELATIONSHIP TO THE GENERAL PLAN

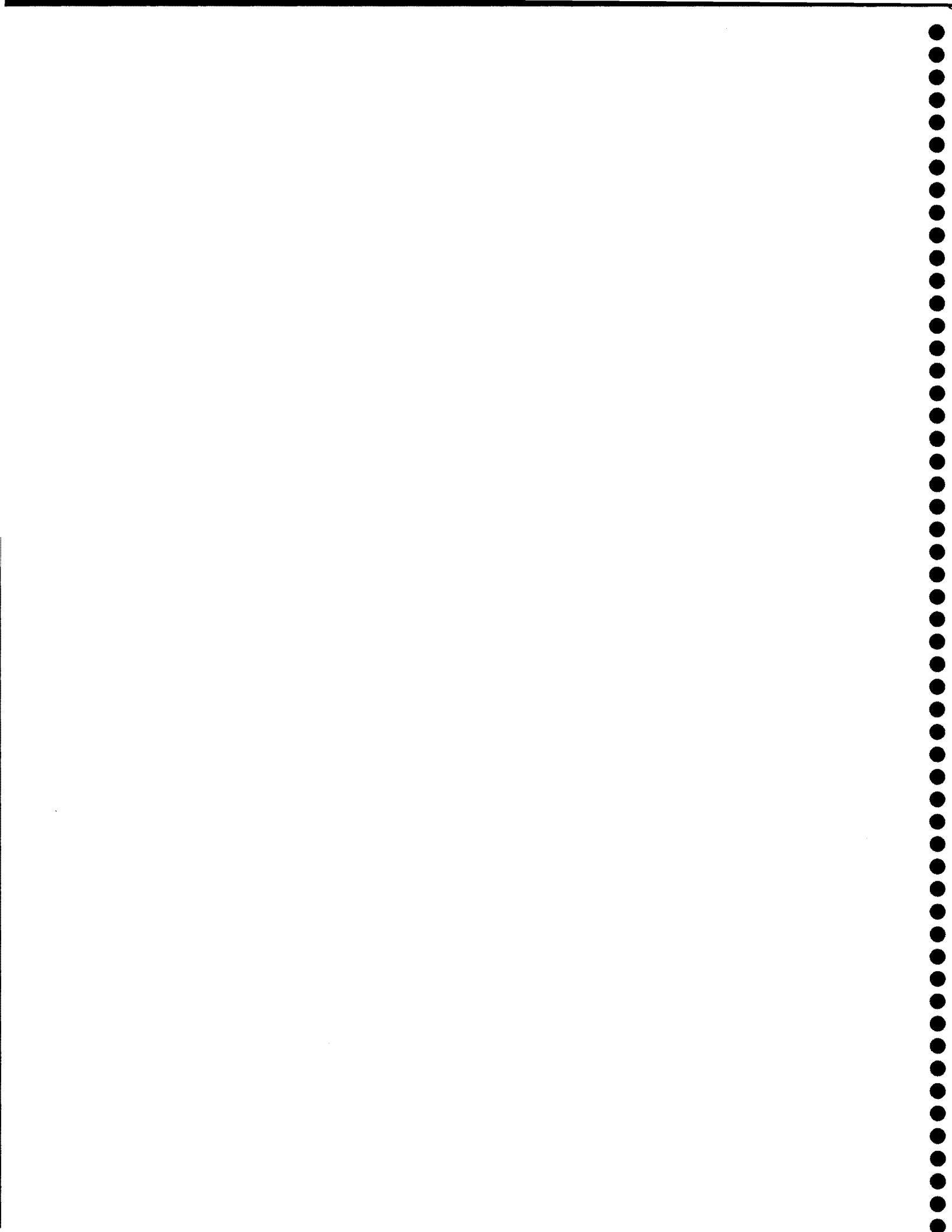
The Sorrento Hills Community Plan is a component of the Progress Guide and General Plan. Public Resources Code Section 21083.3 requires that a community plan include or reference the seven mandatory element of the general plan:

- Land Use
- Circulation
- Housing
- Conservation
- Open Space

The City of San Diego's community plans comprise the Land Use Element of the General Plan. The remaining six mandatory element, as well as the following optional elements, are addressed on a city-wide basis in the Progress Guide and General Plan:

- Commercial
- Industrial
- Community Facilities
- Resource Conservation
- Community Design

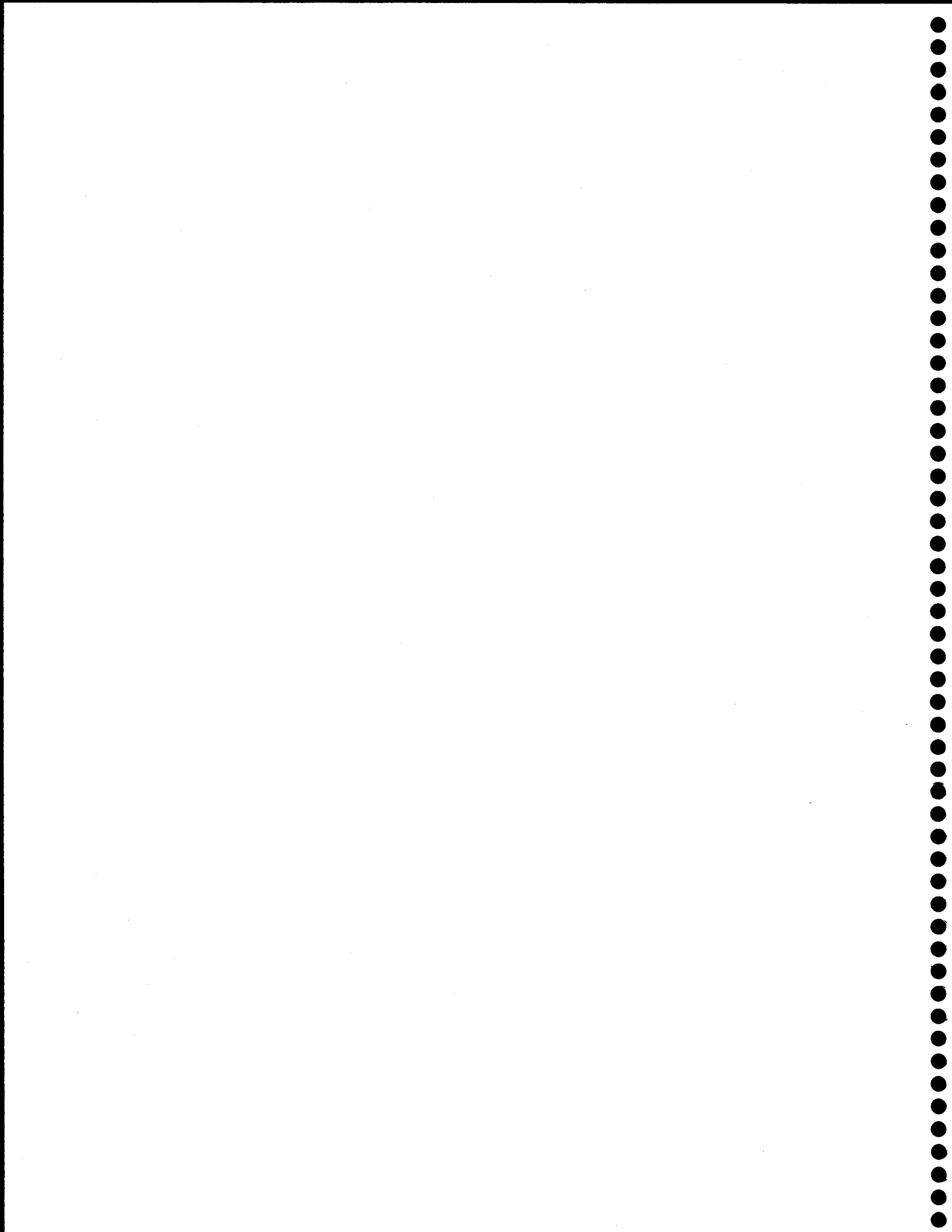
The policies established in these elements of the General Plan are included in the Sorrento Hills Community Plan by reference. The community plan contains specific proposals intended to implement the policies and standards of the General Plan.



Appendix

F

**Plan Update and Amendment
Process**



SORRENTO HILLS PLAN UPDATE AND AMENDMENT PROCESS

While the Sorrento Hills Community Plan sets forth many proposals for implementation, it does not establish new regulations or legislation, nor does it rezone property. Some rezonings are recommended to carry out the proposals of the plan, and public hearing for these will be held in conjunction with hearing for the plan. Should the land use recommendations in the plan necessitate future rezonings, subsequent public hearings would be held as necessary so that future development is consistent with the plan proposals.

This plan is not a static document. While it is intended to provide long-range guidance for the orderly growth of the community, in order to respond to unanticipated changes in environmental, social, or economic conditions, the plan must be continually monitored and updated as necessary to remain relevant to community and city needs.

Once the plan is adopted, two additional steps will follow; implementation and review. Implementation refers to the process of putting plan policies and recommendations into effect. Review is the process of monitoring the community and recommending changes to the plan as conditions in the community change. Guidelines for implementation area provided in the plan, but the process must be based on a cooperative effort of private citizens, city officials and other organizations, will provide the community needed for an effective implementation program.

