

CALIFORNIA COASTAL COMMISSION

CENTRAL COAST DISTRICT OFFICE
725 FRONT STREET, SUITE 300
SANTA CRUZ, CA 95060
27-4863
NG IMPAIRED: (415) 904-5200



W3b

RECORD PACKET COPY

Page 1 of 4
Permit Application No. **3-01-076**
Staff: SC-SC
Date: September 20, 2001

ADMINISTRATIVE PERMIT NUMBER 3-01-076

APPLICANT..... Rudy Martinez

PROJECT DESCRIPTION..... Construct a duplex consisting of a 2,158 square-foot main residence, an attached 546 secondary residence, and an attached 577 square-foot garage, on a 6,000 square foot lot,

PROJECT LOCATION..... Honolulu Avenue (approximately 150 ft. west of intersection of Honolulu Avenue and Aloha Place), Oceano (San Luis Obispo County) (APN 061-082-007) **See Exhibits 1 & 2.**

EXECUTIVE DIRECTOR'S DETERMINATION: The findings for this determination, and for any special conditions, appear on subsequent pages.

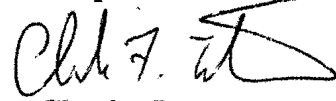
NOTE: Public Resources Code Section 30624 provides that this permit shall not become effective until it is reported to the Commission at its next meeting. If one-third or more of the appointed membership of the Commission so request, the application will be removed from the administrative calendar and set for public hearing at a subsequent Commission meeting. Our office will notify you if such removal occurs.

This permit will be reported to the Commission on **Wednesday October 10, 2001 at 9:00 a.m. at the Hotel Del Coronado, 1500 Orange Avenue, Coronado, CA 92118.**

IMPORTANT: Before you may proceed with development, the following must occur:

Pursuant to Title 14 of the California Code of Regulations, Sections 13150(b) and 13158, you must sign the enclosed duplicate copy acknowledging the permit's receipt and accepting its contents, including all conditions, and return it to our office. Following the Commission's meeting, and once we have received the signed acknowledgement and evidence of compliance with all special conditions, if applicable, we will send you a Notice of Administrative Permit Effectiveness. **Before you can obtain any local permits and proceed with development, you must have received both your administrative permit and the notice of permit effectiveness from this office.**

PETER DOUGLAS
Executive Director


By: Charles Lester
District Manager

STANDARD CONDITIONS

1. **Notice of Receipt and Acknowledgment.** The permit is not valid and development shall not commence until a copy of the permit, signed by the permittee or authorized agent, acknowledging receipt of the permit and acceptance of the terms and conditions, is returned to the Commission office.
2. **Expiration.** If development has not commenced, the permit will expire two years from the date this permit is reported to the Commission. Development shall be pursued in a diligent manner and completed in a reasonable period of time. Application for extension of the permit must be made prior to the expiration date.
3. **Interpretation.** Any questions of intent or interpretation of any condition will be resolved by the Executive Director or the Commission.
4. **Assignment.** The permit may be assigned to any qualified person, provided assignee files with the Commission an affidavit accepting all terms and conditions of the permit.
5. **Terms and Conditions Run with the Land.** These terms and conditions shall be perpetual, and it is the intention of the Commission and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.

EXECUTIVE DIRECTOR'S DETERMINATION

The Executive Director hereby determines that the proposed development is a category of development which, pursuant to PRC Section 30624, qualifies for approval by the Executive Director through the issuance of an administrative permit. Subject to standard and special conditions as attached, the said development is in conformity with the provisions of Chapter 3 of the Coastal Act of 1976, will not prejudice the ability of San Luis Obispo County to implement a Local Coastal Program that is in conformity with the provisions of Chapter 3, and will not have any significant impacts on the environment within the meaning of the California Environmental Quality Act.

FINDINGS FOR EXECUTIVE DIRECTOR'S DETERMINATION

The project site is located on a 6000 square foot lot on the south side of Honolulu Avenue, approximately 150 feet west of the intersection of Aloha Place and Honolulu Avenue, in the community of Oceano. This lot is currently undeveloped. Single family residences surround the project site. A wetland/lagoon area is located approximately 125 feet southwest of the project site. Please see Exhibit 1 for a regional location map and Exhibit 2 for a site location map. The proposed project involves the construction of a duplex consisting of a 2,158 primary residence, an attached 546 square foot secondary residence, and a 577 square foot garage (see Exhibit 3 for project plans). The proposed project is consistent with the San Luis Obispo County General Plan because the use is allowed in the Residential Multi-Family land use category.

Water and sewer service for the project will be provided from the Oceano Community Services District. A will serve letter, indicating that there are adequate capacities to provide these services, has been obtained by the applicant.

The site is within the Coastal Commission's permit jurisdiction by virtue of being located on historic tidelands associated with the confluence of Arroyo Grande Creek, Meadow Creek, and the Pacific Ocean, which were previously filled in order to build the Pismo-Oceano Airport and the surrounding neighborhood. The Coastal Act is therefore the standard of review. The County's LCP, however, may be used for guidance.

Coastal resource issues raised by the project include flood hazards associated with the confluence of Arroyo Grande Creek, Meadow Creek, and the Pacific Ocean. Regarding the nearby wetland/lagoon area, the proposed project is located approximately 125 feet from the upland extent of this wetland. This setback is consistent with the minimum 100-foot wetland setback required by San Luis Obispo County Coastal Zone Land Use Ordinance (CZLUO) Section 23.07.172.

In terms of flooding, the project is located within the flood hazard area delineated by the San Luis Bay Coastal Area Plan, which generally corresponds to the area that is subject to flooding under a 100-year storm. LCP Policy 3 for Hazards prohibits new residential, commercial and industrial development within flood hazard areas, except for those areas within an urban reserve line, as is the case with this project. In accordance with CZLUO Section 23.07.066, the County permit for the project requires the applicant to submit a flood hazard plan for review and approval as required by the County Public Works Department (see Exhibit 4). The flood hazard plan must show the finished grade to be elevated at least one foot above the 100-year storm flood profile level. With this condition, and recognizing that the project constitutes infill within an existing developed area (as opposed to new development in an undeveloped flood plain), the project is consistent with Coastal Act Section 30253(1), which requires that new development minimize risks to life and property in areas of high geologic, flood, and fire hazard.

SPECIAL CONDITIONS

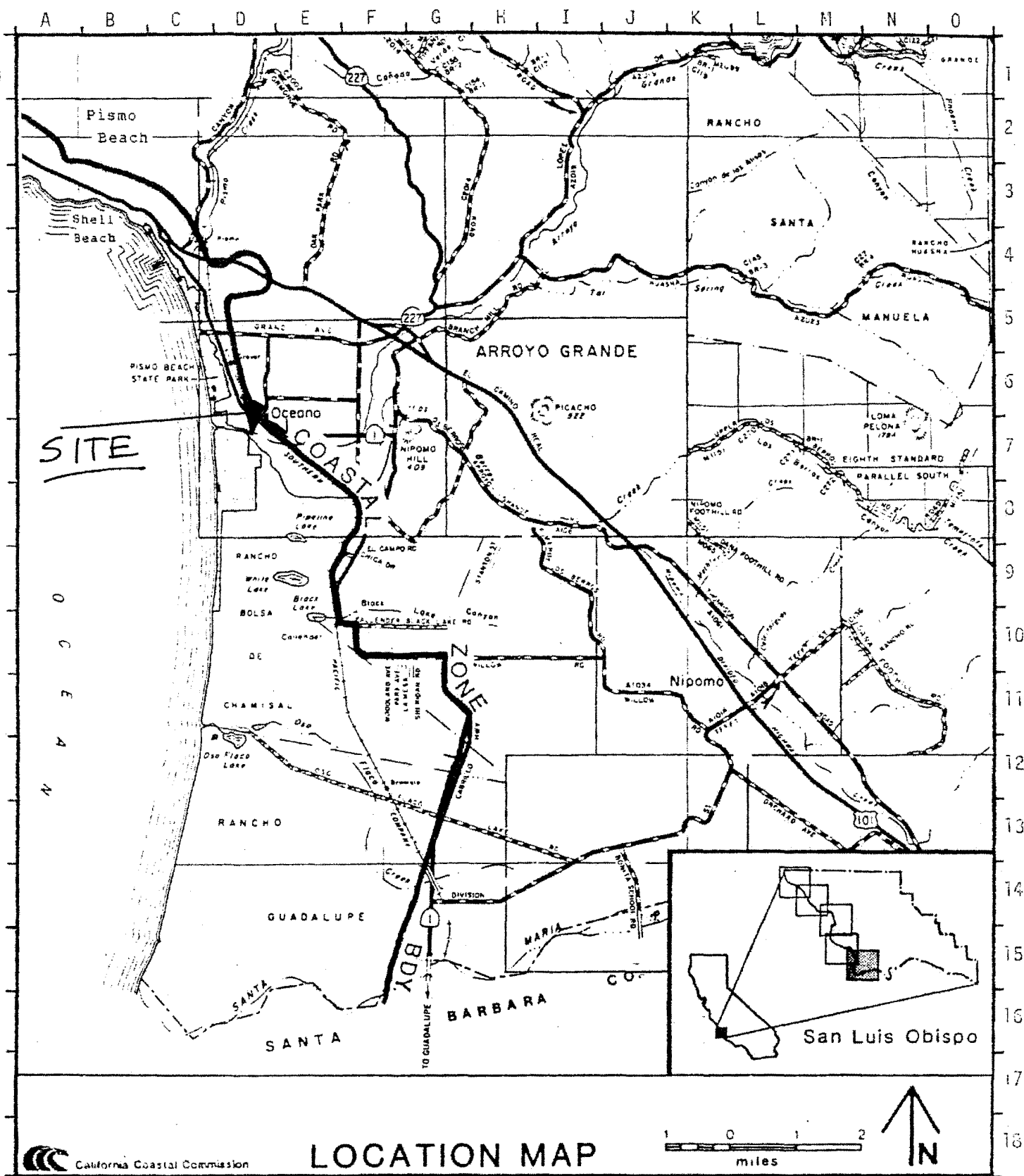
1. Compliance with Local Conditions of Approval. All development must occur in strict compliance with the terms of San Luis Obispo County Permit No. D000091P (attached as Exhibit 4). Any changes to the project, or modifications to the terms of D000091P, shall require an amendment to this permit unless the Executive Director determines that no amendment is required. Any questions regarding the interpretation of these terms, or the project's compliance with these terms, shall be referred to the Executive Director for resolution.

ACKNOWLEDGEMENT OF PERMIT RECEIPT/ACCEPTANCE OF CONTENTS

I acknowledge that I have received a copy of this permit and have accepted its contents including all conditions.

Applicant's Signature

Date of Signing



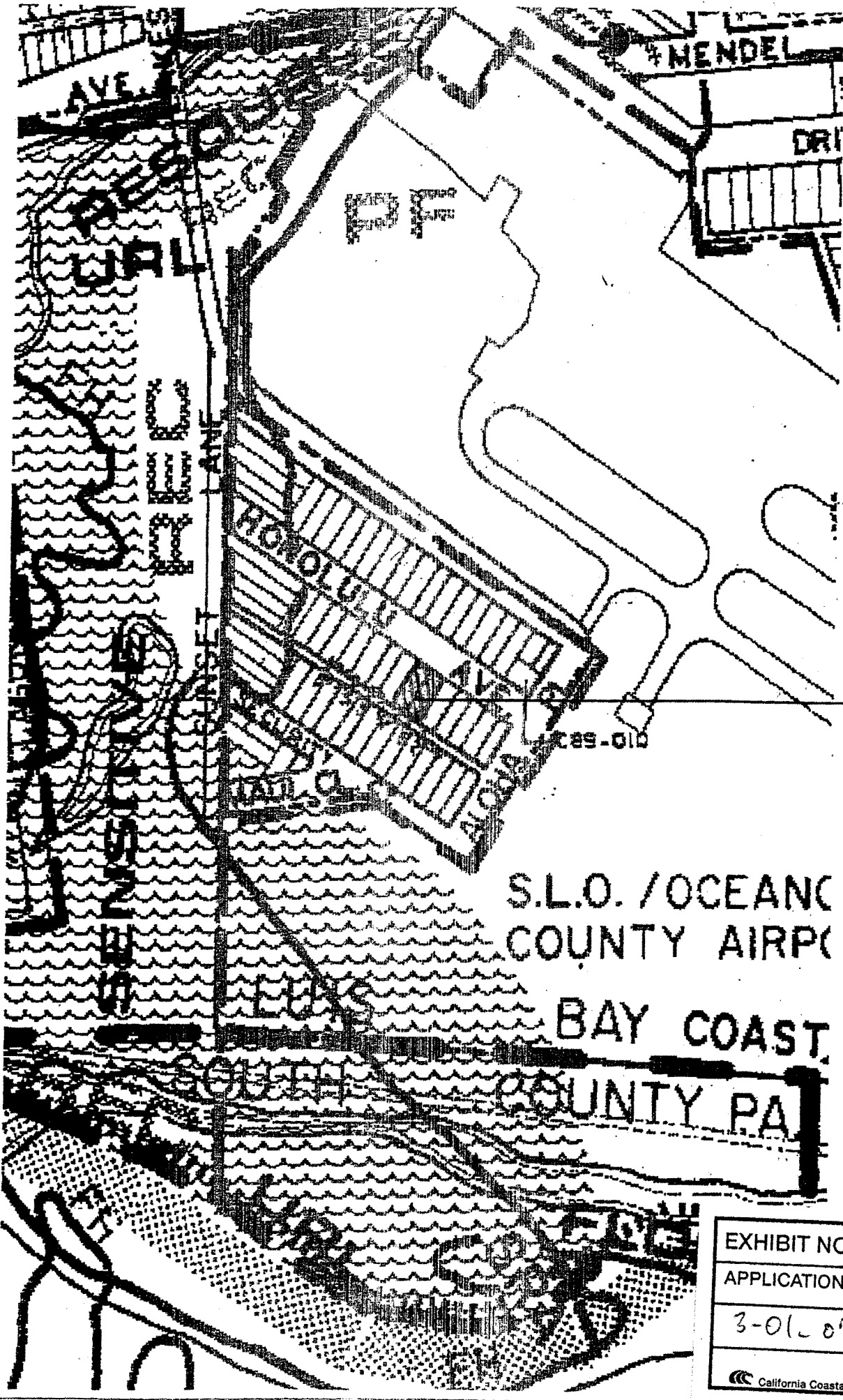
SITE

LOCATION MAP

California Coastal Commission

County of San Luis Obispo

EXHIBIT NO. 1
APPLICATION NO.
3-01-076
California Coastal Commission




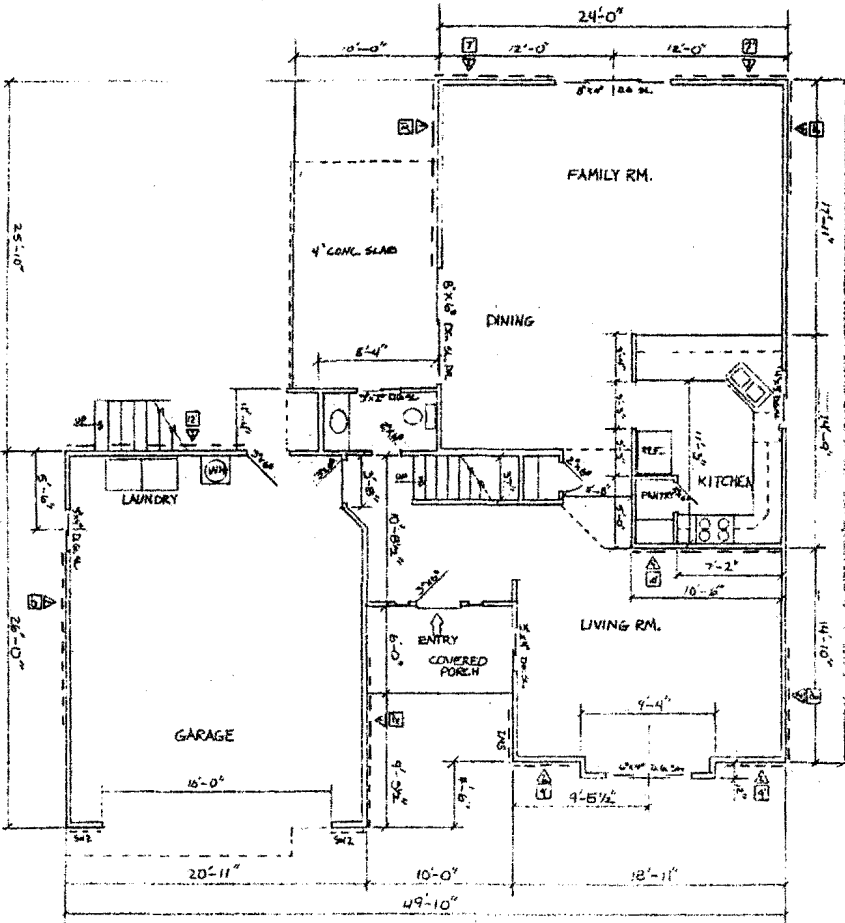
SITE

S.L.O. / OCEANO COUNTY AIRPORT

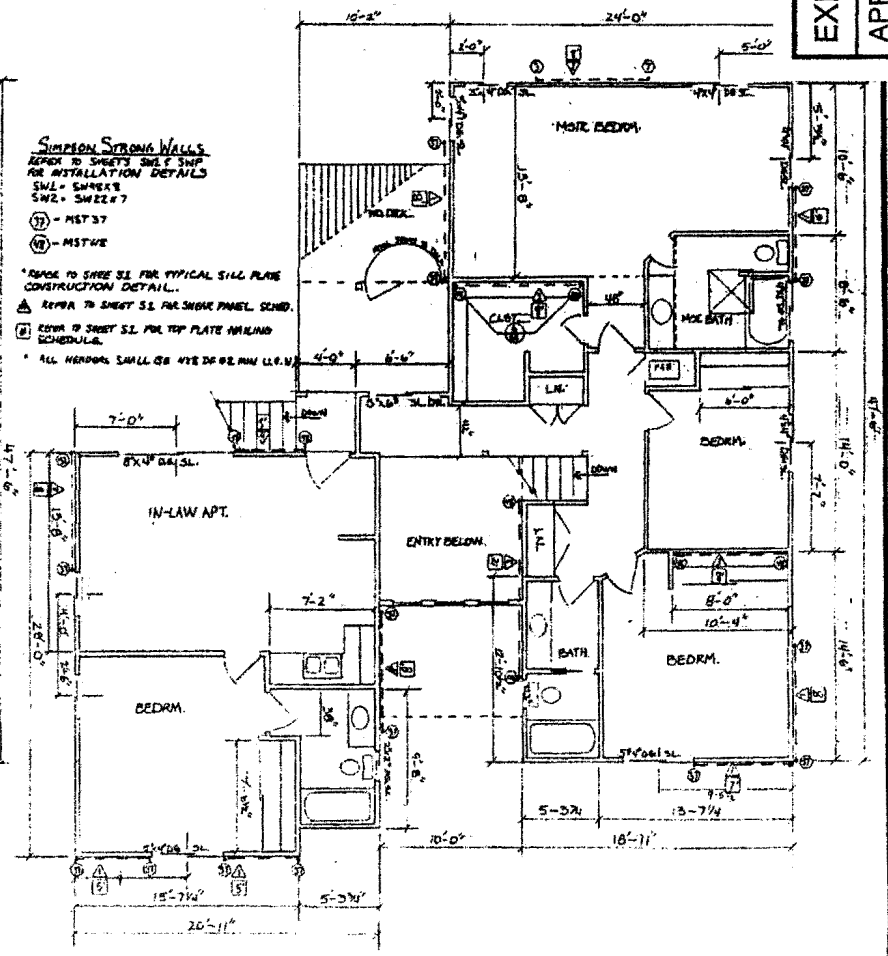
BAY COAST

COUNTY PA

EXHIBIT NO. 2
APPLICATION NO.
3-01-076
 California Coastal Commission



1st Story Floor Plan SCALE 1/4" = 1'-0"



2nd Story Floor Plan SCALE 1/4" = 1'-0"

SIMPSON STRONG WALLS
 REFER TO SHEET S11 SHEET SHIP
 FOR INSTALLATION DETAILS
 SW1 - SWIREX
 SW2 - SWIREX
 (M) - M5T 37
 (M) - M5T 4E

* REFER TO SHEET S11 FOR TYPICAL SILL PLANE
 CONSTRUCTION DETAIL.

* REFER TO SHEET S11 FOR SHORE PANEL SCHED.

* REFER TO SHEET S11 FOR TOP PLATE ANCHOR
 SCHEDULE.

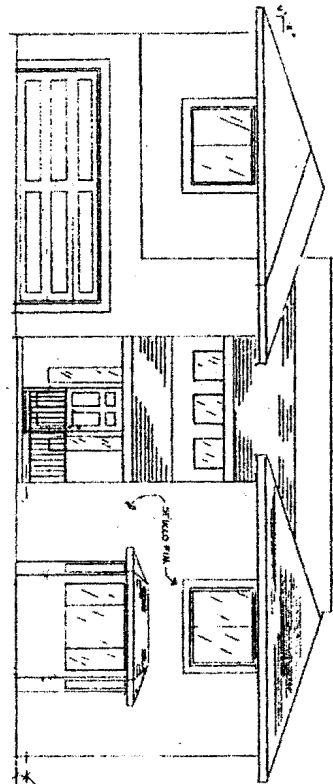
* ALL MEMBERS SHALL BE 4X8 OR 4X10 UNLESS NOTED OTHERWISE.

EXHIBIT NO. 3
 APPLICATION NO.
 3-01-076
 PG 2 of 5
 California Coastal Commission

14 1/2" x 14 1/2" Minimum
 Concrete Slab on Grade
 Minimum 4" Thick

Floor Plan

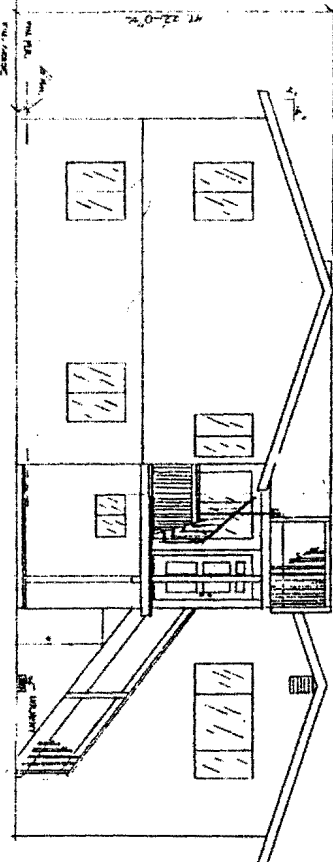
DRAWN
CHECKED
SCALE
JOB NO.
SHEET
2
DATE



NORTH ELEV.

SCALE 1/4" = 1'-0"

6'-0" Fin. Glass
Fin. Glass



SOUTH ELEV.

SCALE 1/4" = 1'-0"

6'-0" Fin. Glass
Fin. Glass

Mr. & Mrs. Adelle Marston
Owner / Builder / Designer
202554-1001

Elevation Plan

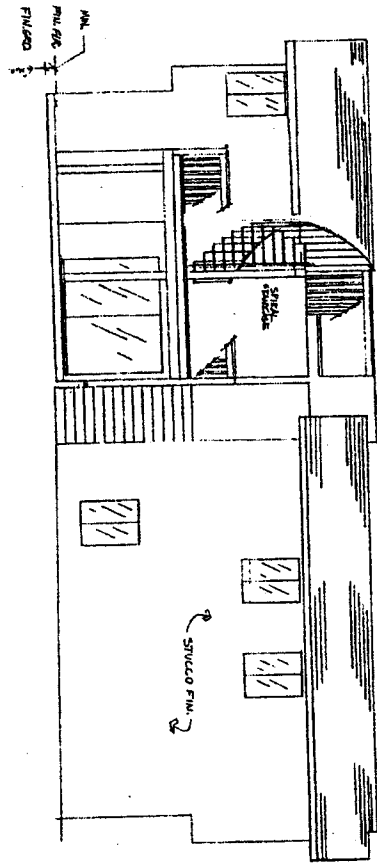
EXHIBIT NO. 3

APPLICATION NO.

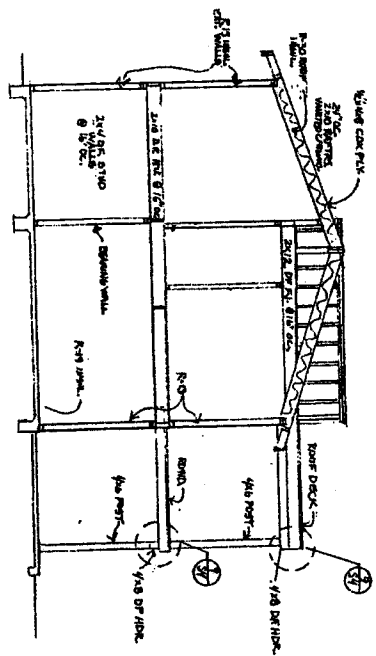
3-01-076

PR 3 of 5
California Coastal Commission

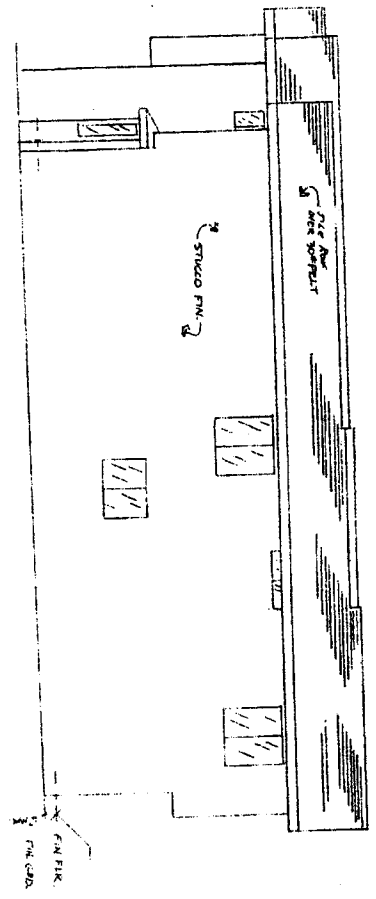
5



WEST ELEV. SCALE 1/4" = 1'-0"



TYPICAL CONSTRUCTION DETAIL SCALE 1/4" = 1'-0"



EAST ELEV. SCALE 1/4" = 1'-0"

EXHIBIT NO. 3
APPLICATION NO.
3-01-076
PR 4 of 5 California Coastal Commission

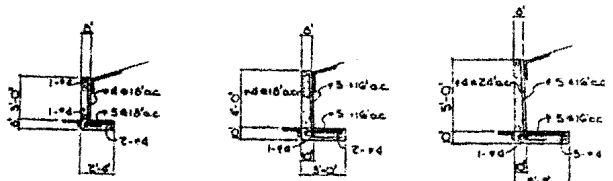
Mr. & Mrs. Adolfo Martinez
Owner / Builder / Designer
805-466-0961
Elevation Plan

6
RHC

GRADING & DRAINAGE PLAN

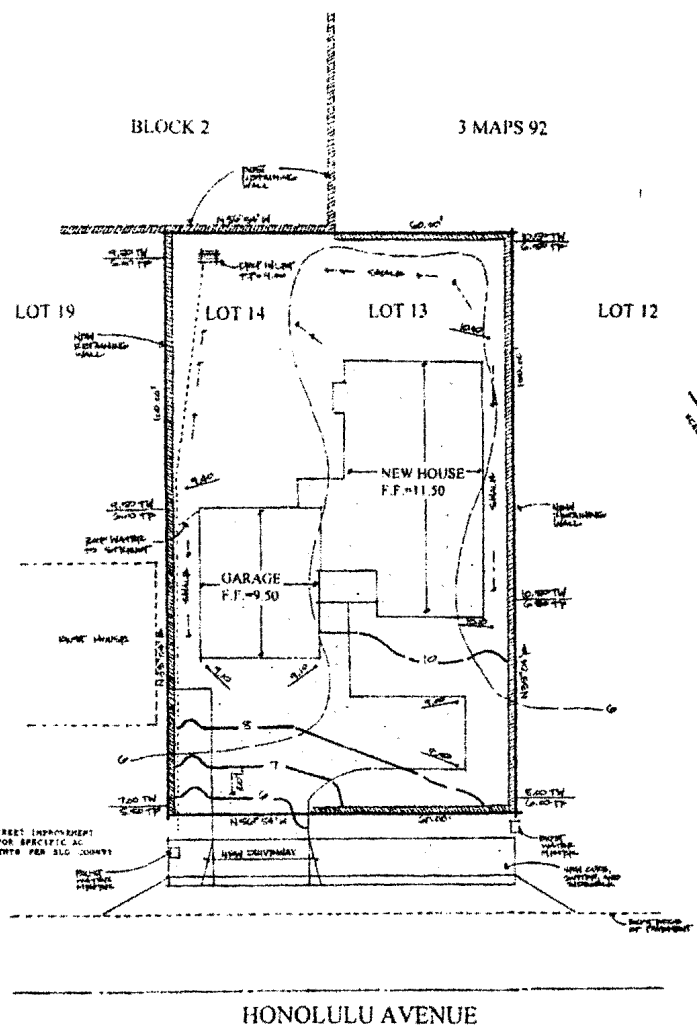
GENERAL NOTES

1. EXISTING GRADE: SHOWN TO APPLICABLE CODES (UNLESS SHOWN TO BE THE EXISTING BUILDING CODE AND ANY OTHER APPLICABLE CODES).
2. WITHIN THE BOUNDARY OF THE CONVEYANCE ALL EXISTING EXPOSED MEASURES OF ELEVATION, THE CONTRACTOR SHALL VERIFY, CORRECT AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE FULLY RESPONSIBLE FOR COMPLIANCE WITH LOCAL, STATE AND FEDERAL SAFETY AND HEALTH REGULATIONS, LAWS AND REGULATIONS. THE IMPORTANCE OF THESE PLANS SHALL NOT BE DIMINISHED BY COMPLIANCE WITH THE APPLICABLE REGULATIONS. CONTRACTORS OR AGENTS MUST BE RESPONSIBLE TO ENFORCE APPLICABLE SAFETY REGULATIONS.
3. ALL FILL AREAS AND FRENCH DRAINAGES SHALL BE COMPACTED TO AT LEAST 95% OF 20'.
4. LOCATION AND ELEVATION OF IMPROVEMENTS TO BE SET BY NAILS TO BE BUMP SHALL BE COMPARED BY FIELD MEASUREMENTS PRIOR TO CONSTRUCTION BY THE CONTRACTOR.
5. CONTRACTOR WILL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING UNDERGROUND FACILITIES SUFFICIENTLY PRIOR TO CONSTRUCTION TO PREVENT COLLISIONS TO PLANS IF COLLISIONS ARE NECESSARY BECAUSE OF ACTUAL LOCATION OF EXISTING FACILITIES.
6. BEFORE EXCAVATING FOR THIS CONTRACT, VERIFY LOCATION OF ALL UNDERGROUND UTILITIES. THE CONTRACTOR IS RESPONSIBLE TO TAKE PRECAUTIONS NECESSARY TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING LINES NOT SHOWN OR NOT SHOWN ON THESE PLANS. CONTRACTOR SHALL FOLLOW ALL LOCAL AND STATE REQUIREMENTS BEFORE EXCAVATING.
7. IN AREAS TO RECEIVE FILL AFTER MOBILE AGEN CLEANING, THE EXPOSED GRADE SHALL BE TIGHTENED, HANDSHEWED BY ORDER TO MEET OTHER REQUIREMENTS AND COMPACTED TO A DENSITY OF 95% DETERMINABLE BY ASTM-D 1557-70 TEST METHOD.
8. CLEANED MATERIAL MAY BE USED AS FILL SO LONG AS THE SOIL DOES NOT BE PLACED UNDER EXPOSED PILES, TRENCHES, AND HOLES, UNLESS AN OTHER APPLICABLE MATERIAL SHALL BE REQUIRED FROM THE SITE.
9. ALL CURB AND WALK SURFACES ARE OVER 18" IN THICKNESS. ELEVATION SHALL BE DETERMINED BY THE FOLLOWING:
 - STREET & SIDE LOTS PER SIDE
 - RETIRED 8" SIDE LOTS PER SIDE (18-4-4)
 - SIDE LOTS PER SIDE
 - SIDE LOTS PER SIDE
 - 100 SQUARE FEET SHALL BE
 - 100 SQUARE FEET SHALL
 - 100 CALIFORNIA GATS
 - BE DETERMINED BY
 - 10 CALIF. WATER DEVELOPMENT
 THE DETERMINATION SHALL BE DONE BY A COMMERCIAL MEASURING MACHINE.
10. CONTRACTOR SHALL VERIFY EXISTENCE OF ALL LINES EXCEPT AND ENGINEER BE HELD LIABLE TO INVENTION TO CORRECT WORK.



RETAINING WALL DETAILS

CURB GRADINGS SHOWN ARE ONLY APPROXIMATE. SEE STREET IMPROVEMENT PLANS OR PLS. BY HAWAII COUNTY ENGINEERING DEPT. FOR SPECIFIC CURB, PAVEMENT AND NEW STREET CONSTRUCTION REQUIREMENTS PER HAWAII COUNTY STANDARDS.



EARTHWORK

CUT -----
 FILL -----

EXHIBIT NO. 3
APPLICATION NO.
3-01-076
PR 5015 California Coastal Commission

ALAN E. CHEN Professional Engineer No. 10000	DATE
ALAN E. CHEN No. 10000	DATE
PREPARED FOR ALAN E. CHEN	
GRADING & DRAINAGE PLAN HAWAII COUNTY Division 1	

PROVIDE COMPACTION REPORT TO HAWAII COUNTY ENGINEERING DEPARTMENT PRIOR TO REQUESTING A FOUNDATION INSPECTION.

ENGINEER TO VERIFY FINISHED FLOOR ELEVATIONS PRIOR TO REQUESTING A FOUNDATION INSPECTION.

NOTICE TO CONTRACTOR
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES AND AGENCIES.

EXHIBIT B
CONDITIONS OF APPROVAL -D000091P

Approved Development

1. This approval authorizes:
 - a. The construction of an approximately 2,000 square foot duplex with an approximately 270 square foot attached garage, with a maximum height of 25 feet.
2. Site development shall be consistent with the approved site plan, floor plans and elevations. **All wetland setbacks shall be consistent with the approved site plan.**
3. **Prior to issuance of building permits, the applicant shall submit a flood hazard plan/ drainage plans for review and approval as required by the County Public Works Department.**
4. **Prior to issuance of a building permit, the applicant shall install concrete curb, gutters and sidewalks as approved by the County Public Works Department unless such requirements are waived by County Public Works in conjunction with Department of Planning and Building pursuant to Section 23.05.106.**

Water/Sewer Service


5. **Prior to issuance of a building permit, the applicant will satisfy the requirements in the Oceano Community Services District letter dated February 16, 2001.**

Avigation Easement

6. **Prior to final building inspection, the applicant shall grant/update an Avigation Easement to the County of San Luis Obispo via an avigation easement document prepared by the county. The avigation easement document shall be reviewed and approved by County Counsel prior to final approval.**

Coastal Original Jurisdiction

7. **Prior to issuance of a building permit, the applicant will demonstrate to the Department of Planning and Building that the California Coastal Commission has issued a Coastal Development Permit, or waived the requirement.**

EXHIBIT NO. <u>4</u>
APPLICATION NO.
<u>3-01-076</u>
 California Coastal Commission