

CALIFORNIA COASTAL COMMISSION

South Coast Area Office
200 Oceangate, Suite 1000
Long Beach, CA 90802-4302
(62) 590-5071

Filed: July 6, 2001
49th Day: August 24, 2001
180th Day: January 2, 2002
Staff: KFS-LB
Staff Report: October 25, 2001
Hearing Date: November 13-17, 2001
Commission Action:

**Item T13d****STAFF REPORT: REGULAR CALENDAR****RECORD PACKET COPY****APPLICATION NUMBER:** 5-01-259**APPLICANT:** Chris & Diana Linskey**AGENT:** Newland Construction, Terry Booth**PROJECT LOCATION:** 227 Tenth Street, City of Seal Beach, Orange County

PROJECT DESCRIPTION: Demolition of an early 1900's single family residence with basement and construction of a new two-story, 31'6" high, 3,155 square foot single family residence with a 252 square foot basement, 656 square feet of decks on the first floor and a 113 square foot balcony on the second floor plus a detached 18'3" tall, 509 square foot 2 vehicle garage.

SUMMARY OF STAFF RECOMMENDATION

The major issue of this staff report relates to the demolition of a circa 1900's single family residence and potential impacts upon community character. However, the house is not part of a historical community. In addition, the applicant is proposing to construct a new house that is architecturally similar to the old house. Commission staff recommend **APPROVAL** of the proposed project with a special condition that requires the applicant to undertake the proposed project in accordance with the plans that have been submitted.

Please note, the existing house has been demolished and the site is presently vacant. The subject permit, if approved as recommended, would authorize, "after-the-fact", the demolition of the circa 1900's single family residence.

LOCAL APPROVALS: City of Seal Beach Conditional Use Permit No. 01-2 (Planning Commission Resolution 01-10); Conditional Use Permit No 01-3 (Planning Commission Resolution 01-11).

SUBSTANTIVE FILE DOCUMENTS: Letter from Christopher Linskey to Commission staff dated September 4, 2001; Letter regarding *Structural Integrity of Existing 2-Story Dwelling @ 227 10th Street, Seal Beach, CA* by Erstad Engineering, Inc. dated August 28, 2001; Coastal Development Permits P-9-22-78-4103 (Oliver et. al.), 5-88-236 (Flahive); Coastal Development Permit Waivers 5-00-230 (Furnari); 5-87-746 (Ericksen); 5-96-252 (Modaffari); 5-97-019 (Leu); 5-97-362 (Kroha); 5-97-193 (Kroha); 5-86-172 (Frahm); 5-86-173 (Shears).

I. STAFF RECOMMENDATION, MOTION AND RESOLUTION OF APPROVAL:

The staff recommends that the Commission adopt the following resolution to **APPROVE** the coastal development permit application with special conditions:

MOTION:

"I move that the Commission approve with special conditions Coastal Development Permit 5-01-259 per the staff recommendation as set forth below."

STAFF RECOMMENDATION OF APPROVAL:

Staff recommends a **YES** vote which would result in approval of the permit as conditioned and adoption of the following resolution and findings. An affirmative vote by a majority of the Commissioners present is needed to pass the motion.

RESOLUTION TO APPROVE A PERMIT:

The Commission hereby approves a coastal development permit for the proposed development and adopts the findings set forth below on grounds that the development as conditioned will be in conformity with the policies of Chapter 3 of the Coastal Act and will not prejudice the ability of the local government having jurisdiction over the area to prepare a Local Coastal Program conforming to the provisions of Chapter 3. Approval of the permit complies with the California Environmental Quality Act because either 1) feasible mitigation measures and/or alternatives have been incorporated to substantially lessen any significant adverse effects of the development on the environment, or 2) there are no further feasible mitigation measures or alternatives that would substantially lessen any significant adverse impacts of the development on the environment.

II. STANDARD CONDITIONS

1. **Notice of Receipt and Acknowledgment.** The permit is not valid and development shall not commence until a copy of the permit, signed by the permittee or authorized agent, acknowledging receipt of the permit and acceptance of the terms and conditions, is returned to the Commission office.
2. **Expiration.** If development has not commenced, the permit will expire two years from the date this permit is reported to the Commission. Development shall be pursued in a diligent manner and completed in a reasonable period of time. Application for extension of the permit must be made prior to the expiration date.
3. **Interpretation.** Any questions of intent or interpretation of any condition will be resolved by the Executive Director or the Commission.
4. **Assignment.** The permit may be assigned to any qualified person, provided assignee files with the Commission an affidavit accepting all terms and conditions of the permit.

5. Terms and Conditions Run with the Land. These terms and conditions shall be perpetual, and it is the intention of the Commission and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.

III. SPECIAL CONDITIONS

1. PERMIT COMPLIANCE

All development must occur in strict compliance with the proposal as set forth in the application for permit, subject to any special conditions set forth herein. Any deviation from the approved plans must be reviewed and approved by the Executive Director and may require Commission approval.

IV. FINDINGS AND DECLARATIONS

The Commission finds and declares:

A. Project Description

The applicant is requesting an "after-the-fact" coastal development permit to demolish a two story single family residence which was constructed in 1906 (herein 'existing' house/single family residence) (Exhibit 2). The applicant is also proposing to construct a new two story single family residence that would be 31'6" high and have 3,155 square feet of living space plus a 252 square foot basement, 656 square feet of decks on the first floor and a 113 square foot balcony on the second floor. In addition, the applicant is proposing construction of a detached 18'3" tall, 509 square foot 2 vehicle garage (Exhibit 3). The proposed residence would be architecturally similar to the pre-existing house.

The subject site is located at 227 Tenth Street, City of Seal Beach, Orange County, at the southwest corner of Tenth Street and Electric Avenue (Exhibit 1). The subject site is two blocks (at least 1000 feet) inland of East Beach which is a popular beach area flanking the Seal Beach Pier. Tenth Street is approximately two blocks off of Main Street, the primary visitor serving commercial area within the City. The subject site is within a residential area.

B. Community Character

Section 30251 of the Coastal Act states:

The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural land forms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas. New development in highly scenic areas such as those designated in the California Coastline Preservation and Recreation Plan prepared by the Department of Parks and Recreation and by local government shall be subordinate to the character of its setting.

Section 30253 of the Coastal Act state, in relevant part:

e)
New development shall:

...(5) Where appropriate, protect special communities and neighborhoods which, because of their unique characteristics, are popular visitor destination points for recreational uses.

The presence of structures dating from a community's early period can contribute to the character of the neighborhood and surrounding community and provide a direct linkage to the community's history. In addition, historic structures are often architecturally unique and can provide an example of the types of structures which were once prevalent in the community. Due to their unique features, historic structures are often used as museums or visitor accommodations, thus they can be used for visitor serving purposes. For instance, several historic houses in Pacific Grove, California, are used as Bed and Breakfast accommodations. In addition, the presence of several historic structures in an area, such as Carmel, California, may cause such areas to become destinations for visitors who come to appreciate the architecture and unique ambiance of the area.

The existing single family residence was constructed in 1906. The structure is commonly known as the "Proctor House" in accordance with the original builder's name. The house has been described by some as a 'turn of the century Victorian style home'. According to a letter submitted to Commission staff from Charles Harrison (Exhibit 6) the existing house is one of five houses left within Seal Beach which were constructed in the early 1900's.

The subject house is not listed on the California Historic Resources Inventory maintained by the California Office of Historic Preservation. However, the City of Seal Beach has designated the existing house as a "Locally Recognized Historic Structure". The City's historic designation allows the property owner some flexibility with respect to compliance with zoning, building and fire codes. However, the designation does not mandate preservation of the structure. Recognizing the deteriorated condition of the house (noted more fully below), the City has authorized the demolition of the house and construction of an architecturally similar house, as is proposed under this coastal development permit application.

Although Seal Beach has a rich history, there has not been any long-term concerted effort on the part of the Commission (or the City) to preserve historical structures within the community. Visitors to Seal Beach are attracted to the 'small-town' atmosphere of the Main Street shopping district, the municipal pier, and the wide sandy beaches which flank the pier. Efforts related to the preservation of community character have focused on maintaining the function and ambiance of Main Street rather than the preservation of historical structures within Seal Beach's residential neighborhoods. If the subject house were preserved it might be an attraction for individuals particularly interested in historic structures. However, the preserved house would not contribute to any existing historic neighborhood. Thus, any preserved structure at the site would not be a part of a neighborhood that is a popular visitor destination point for recreational uses, unlike towns such as Carmel and Pacific Grove, where individual historic houses may be part of historic communities that are in-and-of-themselves attractions.

According to a letter from the applicant (Exhibit 4) the originally intended project was to restore and upgrade the existing house. However, the existing structure was dilapidated and structural integrity was poor. According to a structural engineering report (Exhibit 5) structural deficiencies included sub-standard wall, floor and roof framing; an extremely deteriorated foundation which needed complete replacement; and un-reinforced chimney and fireplace which also needed to be

completely replaced. The structural engineer recommended demolition and replacement of the structure with one of similar architectural characteristics. The replacement structure would be structurally superior and safer from a seismic engineering standpoint than reinforcement and restoration of the existing structure.

Recognizing the architectural value of the existing house, the applicant is proposing to replace the structure with one that is architecturally similar. The proposed house would have a similar foot print and height. In addition, the roof lines, windows, doors, and other exterior fascia would be similar to the existing house. When viewed from the street, the proposed house would be almost indistinguishable (excepting a new second floor balcony) from the existing house. Also, the proposed house does include additional floor area on the first and second floors. However, these additions occur on those parts of the house which face away from the street.

The applicant is also proposing to salvage and re-use materials from the original house to the maximum extent feasible. For instance, the applicant is proposing to salvage certain windows, light fixtures, electrical fixtures, doors, bath tub and sink, intact bricks, etc. Re-incorporation of these features into the proposed house would re-create some of the historic value of the structure.

The proposed project also includes a new detached two car garage. Currently, there is no on-site parking. Therefore, the project would improve public access in the area by reducing the on-street demand for parking that presently exists. The garage would be accessible from an alley and would not be a prominent feature when viewing the site from Tenth Street or Electric Avenue.

The applicant is proposing to replace the existing house with an architecturally similar house. Such replacement would maintain the visual characteristics of the existing site. In order to assure the proposed development is undertaken as proposed, the Commission imposes Special Condition 1. Special Condition 1 requires the applicant to undertake the development in strict compliance with the proposal as set forth in the application for permit and requires that any deviation from the approved plans must be reviewed and approved by the Executive Director and may require Commission approval.

Due to it's age and architecture, the 'existing' house is unique to the area. However, the house is not a part of any larger cluster of historic structures. Rather, the subject site is surrounded by single family homes and duplexes built in modern architectural styles. Therefore, the structure is not part of a special community or neighborhood which attracts visitors due to the presence of unique, historic structures. In addition, the applicant is proposing to substantially maintain the visual characteristics of the site by constructing a new single family residence that is architecturally similar to the existing house. Therefore, the Commission finds the proposed project, as conditioned, is consistent with Section 30251 and 30253 of the Coastal Act.

C. Unpermitted Development

Pursuant to Coastal Act section 30600, any person wishing to perform or undertake any development in the coastal zone is required to obtain a coastal development permit authorizing such development. Demolition is a form of 'development' as defined under Section 30106 of the Coastal Act. Development has occurred on site without benefit of the required coastal development permit, including demolition of the existing house.

Consideration of the permit application by the Commission has been based solely on the consistency of the proposed development with the policies of Chapter 3 of the Coastal Act. Approval of this permit does not constitute a waiver of any legal action with regard to the alleged unpermitted development, nor does it constitute admission as to the legality of any development undertaken on the subject site without a coastal development permit.

D. Local Coastal Program

Section 30604 of the Coastal Act provides for the issuance of coastal development permits directly by the Commission in regions where the local government having jurisdiction does not have a certified local coastal program. The permit may only be issued if the Commission finds that the proposed development will not prejudice the ability of the local government to prepare a Local Coastal Program which conforms with the Chapter 3 policies of the Coastal Act.

On July 28, 1983, the Commission denied the City of Seal Beach Land Use Plan (LUP) as submitted and certified it with suggested modifications. The City did not act on the suggested modifications within six months from the date of Commission action. Therefore, pursuant to Section 13537(b) of the California Code of Regulations, the Commission's certification of the land use plan with suggested modifications expired. The LUP has not been resubmitted for certification since that time.

The proposed development is consistent with the Chapter Three policies of the Coastal Act. Therefore, the Commission finds that the proposed development would not prejudice the ability of the City to prepare a certified coastal program consistent with the Chapter Three policies of the Coastal Act.

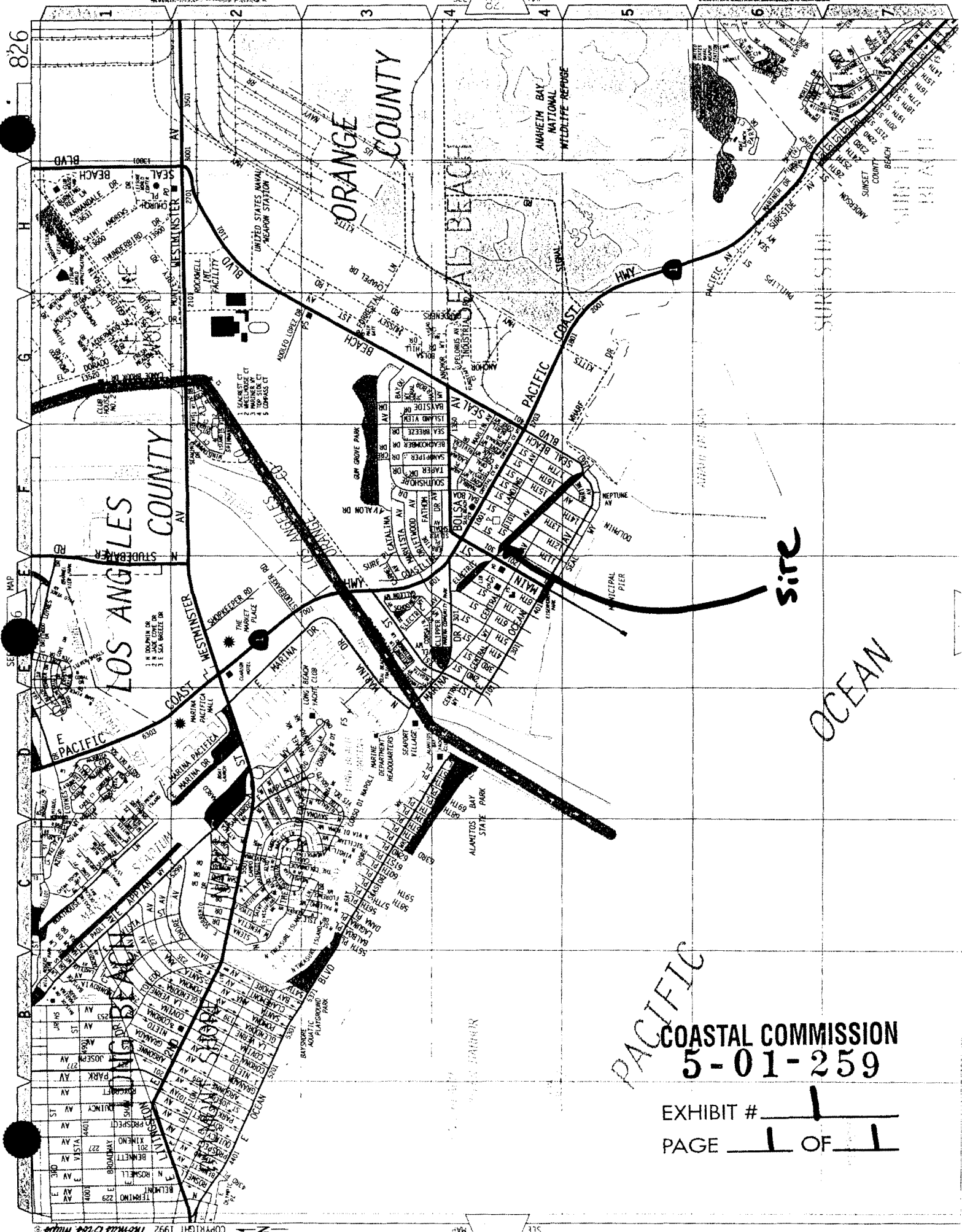
E. California Environmental Quality Act

Section 13096 of the Commission's regulations requires Commission approval of Coastal Development Permit applications to be supported by a finding showing the application, as conditioned by any conditions of approval, to be consistent with any applicable requirements of the California Environmental Quality Act (CEQA). Section 21080.5(d)(2)(A) of CEQA prohibits a proposed development from being approved if there are feasible alternatives or feasible mitigation measures available which would substantially lessen any significant adverse effect which the activity may have on the environment.

The proposed project is located in an urban area. All infrastructure necessary to serve the site exist in the area. The Commission has imposed a special condition to assure that development is undertaken in accordance with the plans as submitted. The proposed project has been found consistent with the visual resource protection policies of Chapter Three of the Coastal Act.

As conditioned, no feasible alternatives or feasible mitigation measures are known which would substantially lessen any identified significant effect which the activity may have on the environment. Therefore, the Commission finds that the proposed project is consistent with CEQA and the policies of the Coastal Act.

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site

OCEAN

PACIFIC

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EXHIBIT # 1
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227 Tenth Street



View from Tenth Street

Exhibit Courtesy of City of Seal Beach Community Development Department.

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EXHIBIT # 2

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227 Tenth Street



View of front and North side from Electric Avenue

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EXHIBIT # 2
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Exhibit Courtesy of City of Seal Beach Community Development Department.

227 Tenth Street



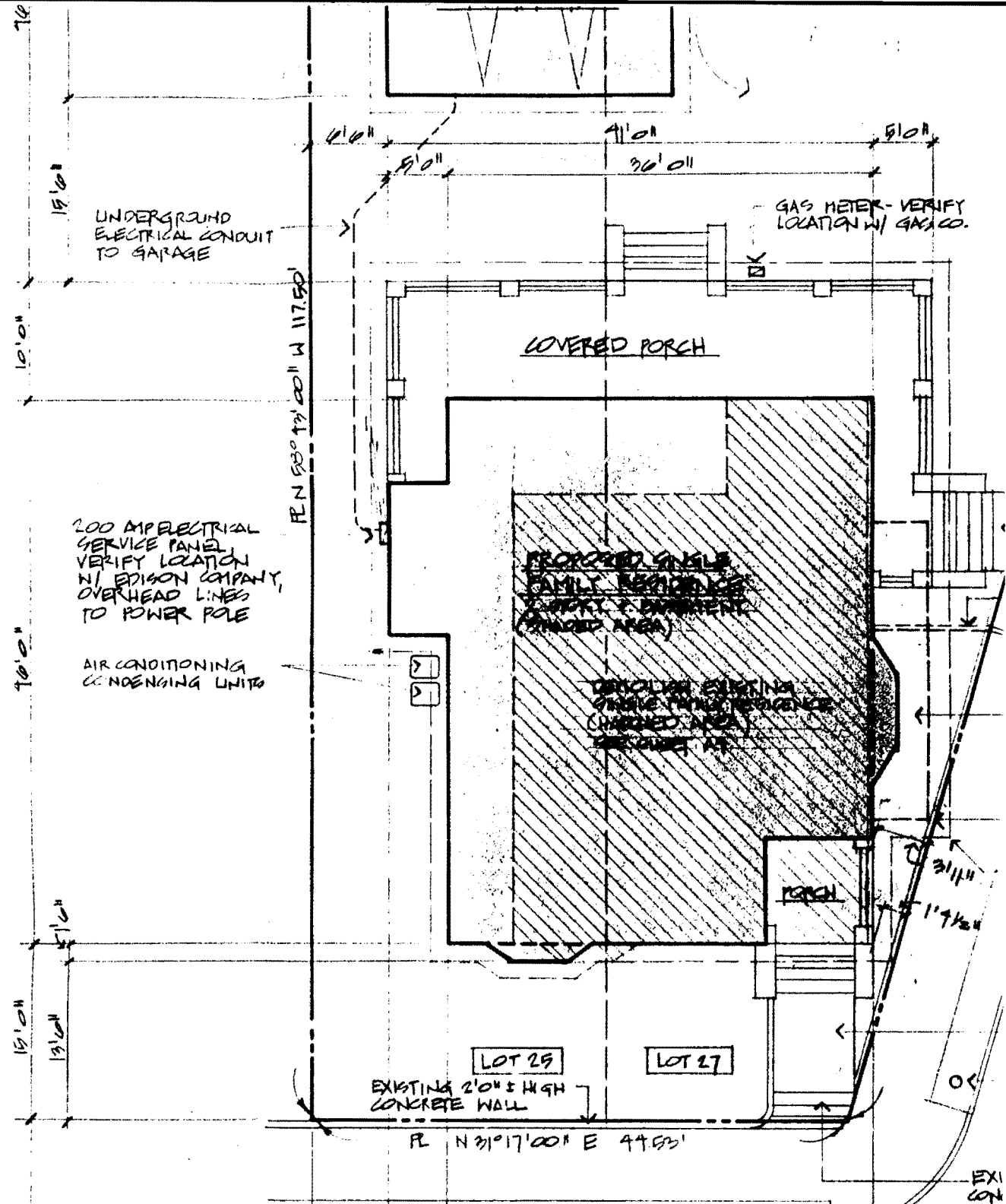
View of rear from alley

Exhibit Courtesy of City of Seal Beach Community Development Department.

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EXHIBIT # 2

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UNDERGROUND ELECTRICAL CONDUIT TO GARAGE

200 AMP ELECTRICAL SERVICE PANEL, VERIFY LOCATION W/ EDISON COMPANY, OVERHEAD LINES TO POWER POLE

AIR CONDITIONING CONDENSING UNITS

GAS METER - VERIFY LOCATION W/ GAS CO.

COVERED PORCH

PROPOSED SINGLE FAMILY RESIDENCE

ORIGINAL EXISTING GARAGE

LOT 25

LOT 27

EXISTING 2'0" x HIGH CONCRETE WALL

R N 31°17'00" E 44.53'

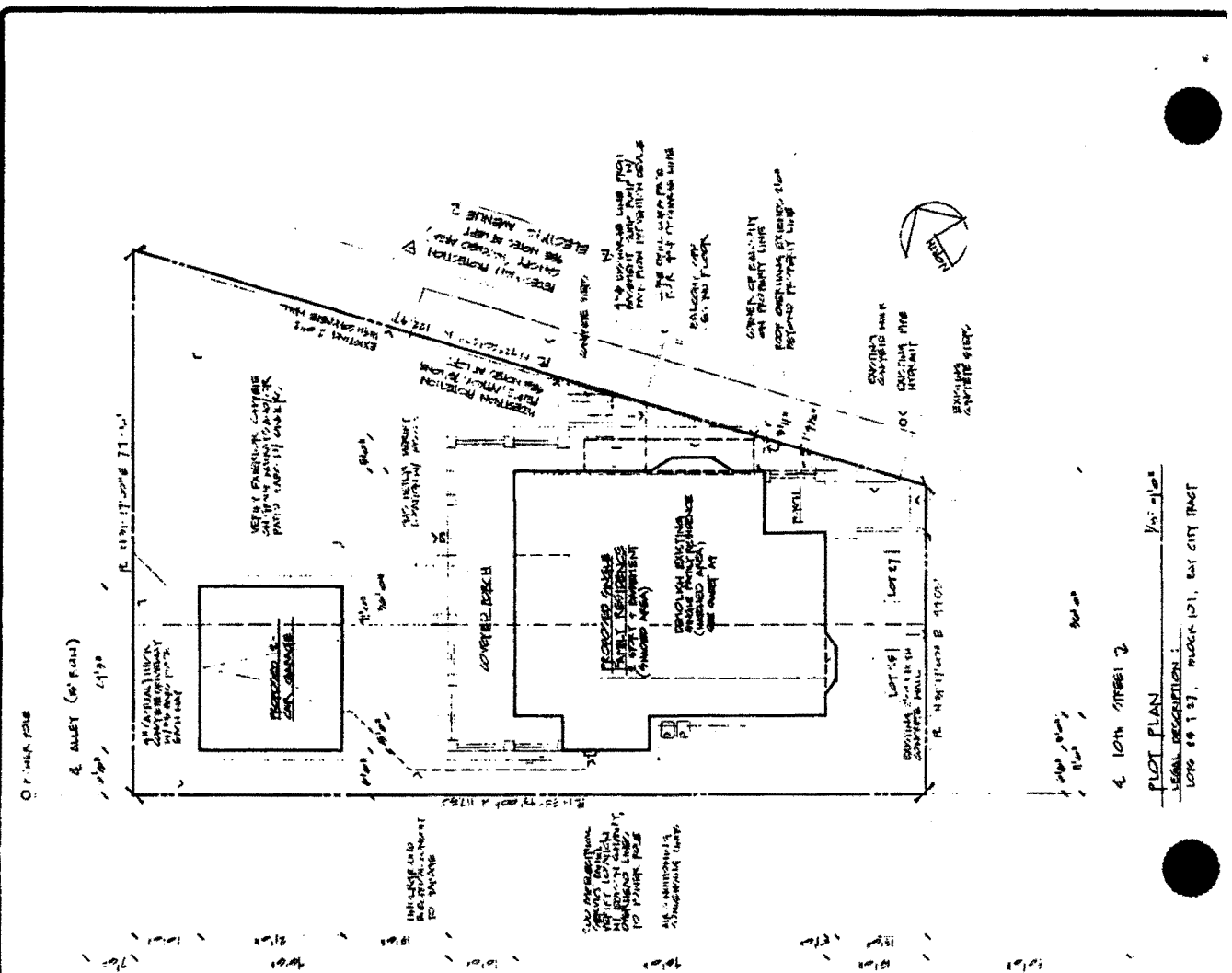
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EXHIBIT # **3a**

PAGE **1** OF **1**

4 10th STREET 2

PLOT PLAN 1/8" = 1'0"
LEGAL DESCRIPTION :



IN THE EVENT OF THE FIRE SPRINKLER SYSTEM BEING INSTALLED IN THE BUILDING, THE SYSTEM SHALL BE INSTALLED TO AND APPROVED BY THE CITY OF SEAL BEACH. BUILDINGS AND FIRE DEPARTMENTS PRIOR TO INSTALLATION.

PEDESTRIAN PROTECTION: WHERE TRAFFIC PROTECTION PER U.S.C. SECTION 30037 IS REQUIRED AT THE POINT OF A DRIVE AND A CANOPY IS REQUIRED ALONG THE DRIVE.

FENCES SHALL BE 50.0' AND SUBSTANTIALLY UNCLIMBABLE. THE FENCE SHALL BE 50.0' HIGH AND SHALL BE BUILT ON THE WALKWAY ADJACENT TO THE BUILDING. SEE THE PLAT FOR LAYOUT. REFER TO U.S.C. SECTION 30037 FOR CONSTRUCTION OF FENCE.

THE PROTECTIVE CANOPY SHALL HAVE A MINIMUM CLEARANCE OF 7.0' ABOVE THE WALKWAY WITH A MINIMUM WOOD SLANDED OR SOLID THE CANOPY SHALL HAVE A SOLID FLOOR THAT SHALL BE CONSTRUCTION OF CONCRETE. THE CANOPY SHALL BE CONSTRUCTION OF CONCRETE. THE CANOPY SHALL BE CONSTRUCTION OF CONCRETE. THE CANOPY SHALL BE CONSTRUCTION OF CONCRETE.

BUILDING ADDRESS: BUILDING ADDRESS SHALL BE PROVIDED ON THE PLAT. BUILDING ADDRESS SHALL BE PROVIDED ON THE PLAT. BUILDING ADDRESS SHALL BE PROVIDED ON THE PLAT. BUILDING ADDRESS SHALL BE PROVIDED ON THE PLAT.

PROJECT DESCRIPTION

2-1/2 STORY SINGLE FAMILY RESIDENCE
 COVERED FRONT PORCH
 COVERED REAR PORCH
 COVERED SECOND FLOOR BALCONY
 COVERED 3-CAR GARAGE
 LOT AREA: 7281 SQ. FT.

FLOOR AND LOT AREAS

NET FLOOR RESIDENCE	5650 SQ. FT.
COVERED FRONT PORCH	410 SQ. FT.
COVERED REAR PORCH	575 SQ. FT.
COVERED SECOND FLOOR BALCONY	1000 SQ. FT.
COVERED 3-CAR GARAGE	5000 SQ. FT.
LOT AREA	7281 SQ. FT.

SHEET INDEX

INDEX NUMBER	DESCRIPTION
1	TI TITLE SHEET
2	A1 HOUSE VEG/PLANTING PLAN (SEE)
3	A2 FURNITURE PLAN
4	A3 FLOOR PLAN, RAMP, & SHEET METAL
5	A4 PAINT PLAN (CERTAIN EXTERIOR PAINTS)
6	A5 ROOF PLAN, TRUSS, & VENT PLAN
7	A6 POOL DECK PLAN
8	A7 POOL PLAN
9	A8 SECOND FLOOR PLAN
10	A9 FURNITURE UNIT PLAN
11	A10 FLOOR PLAN, TRUSS, & VENT
12	A11 GARAGE PLAN, TRUSS, & VENT
13	A12 RAMP PLAN
14	A13 EXTERIOR ELEVATIONS
15	A14 THIRD FLOOR, STAIRS, & SHEET METAL
16	A15 PAINTING PLAN
17	A16 FIRST FLOOR FINISHES PLAN
18	A17 SECOND FLOOR FINISHES PLAN
19	A18 FINISH SCHEDULE
20	A19 FINISH SCHEDULE
21	A20 FINISH SCHEDULE
22	A21 FINISH SCHEDULE
23	A22 FINISH SCHEDULE
24	A23 FINISH SCHEDULE
25	A24 FINISH SCHEDULE
26	A25 FINISH SCHEDULE

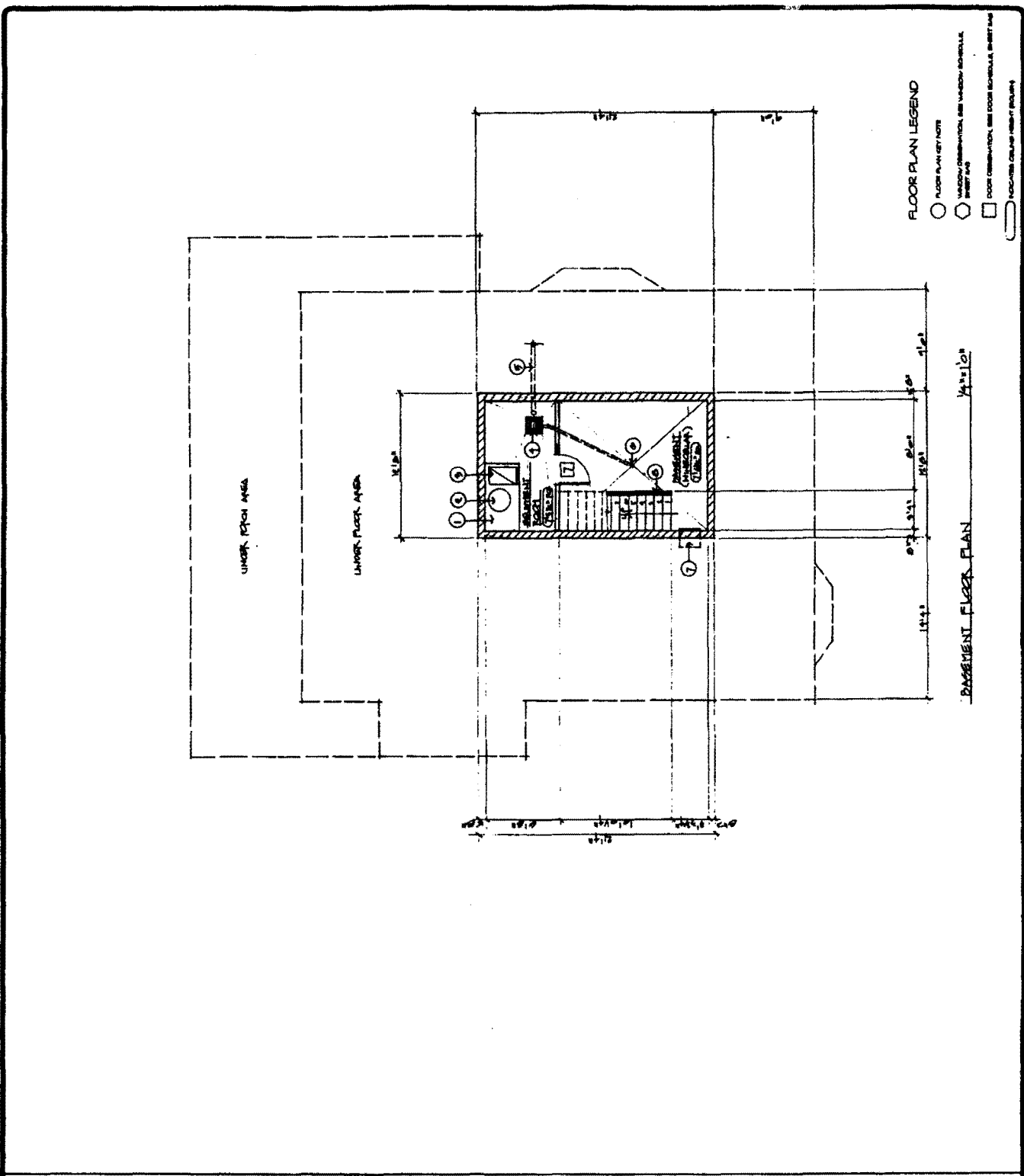
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 EXHIBIT # 3b
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4th AVE
 10th STREET
 LOT PLAN
 227 10th STREET, SEAL CITY TRACT
 10th STREET

- BASEMENT LEVEL KEY NOTES**
- 1) WASH TUBS
 - 2) WATER HEATER SEE UTILITY PLAN
 - 3) FURNACE SEE UTILITY PLAN
 - 4) CATCH BASIN WITH SUMP PUMP AND BRINE SEE UTILITY PLAN
 - 5) DOWNSTREAM OF FRESH SUMP PUMP THROUGH CLEARANCE
 - 6) FLOOR DRAIN TO CATCH BASIN
 - 7) TROUGH WALL WARE COOLER / FREEZER
 - 8) MOUNTED REFRIGERATION UNIT ABOVE AND BARRIER TO REAR DOOR

COASTAL COMMISSION

EXHIBIT # 3b
PAGE 2 OF 6



DATE	BY	REVISION

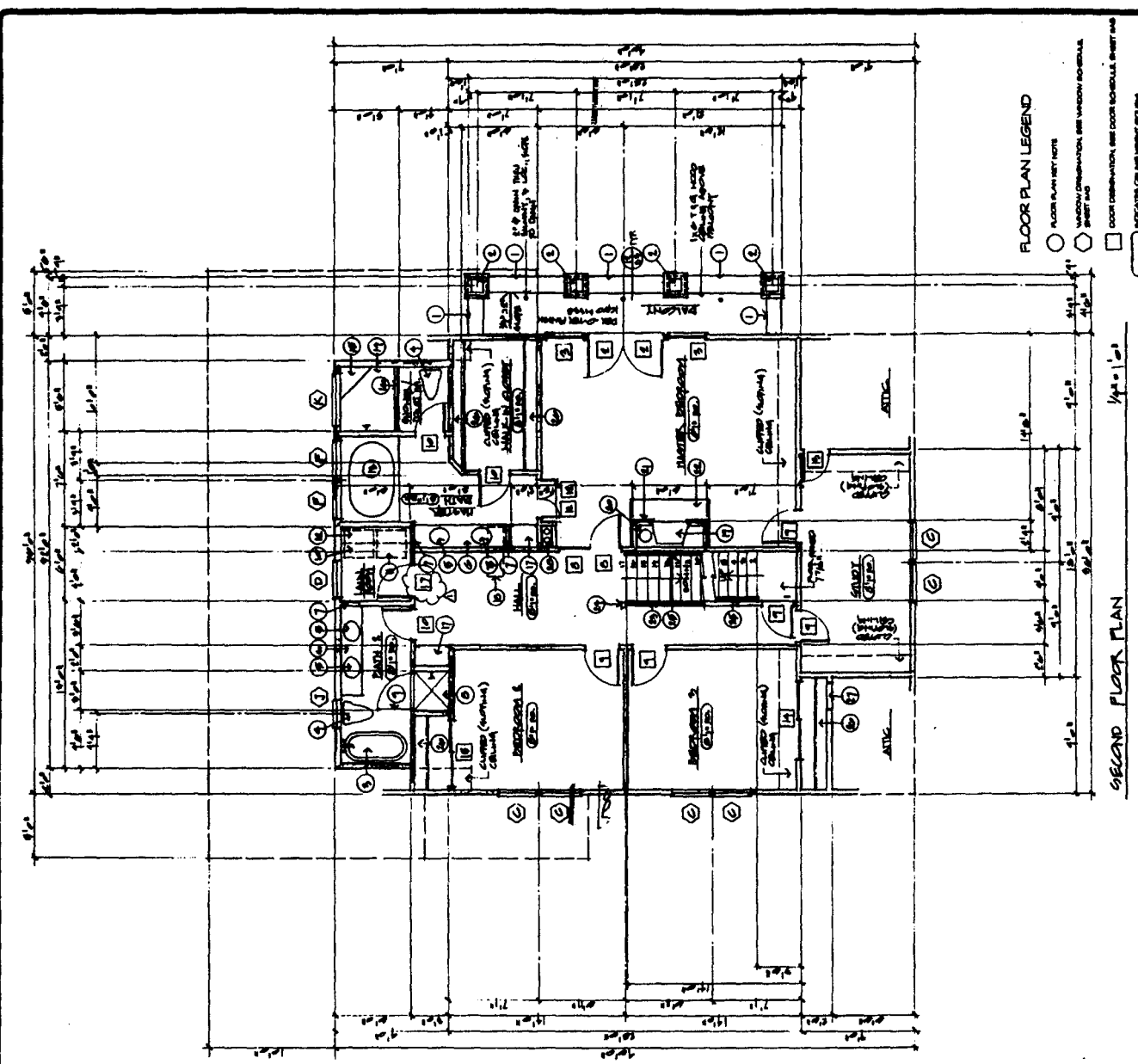
DESIGN & DRAFTING BY:
BRYAN W. DEJUN
 6627 BELLMEAD DRIVE
 LAUNTINGTON BEACH
 CALIFORNIA 92646
 (714) 539-0900

GENERAL CONTRACTOR:
NEWMAN CONSTRUCTION
 428 S. HUNTINGTON WAY
 ORANGE, CA 92668

PROJECT:
LINSKEY RESIDENCE
 227 10th STREET
 SEAL BEACH, CA 90740

DATE	BY	REVISION

AB



FLOOR PLAN LEGEND

- FLOOR PLAN KEY NOTE
- WINDOW OR PARTITION, SEE WINDOW SCHEDULE SHEET AND
- DOOR OR PARTITION, SEE DOOR SCHEDULE SHEET AND
- INDICATES CLEAN MEANS POLISH

SECOND FLOOR PLAN

COASTAL COMMISSION

EXHIBIT # 36
 PAGE 4 OF 6

SECOND FLOOR PLAN KEY
NOTES

- 1 3/4" HIGH WOOD FINISH WALL, SEE SHEET 14/10
- 2 3/4" HIGH WOOD FINISH WALL, SEE SHEET 14/10
- 3 3/4" HIGH WOOD FINISH WALL, SEE SHEET 14/10
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- 98 3/4" HIGH WOOD FINISH WALL, SEE SHEET 14/10
- 99 3/4" HIGH WOOD FINISH WALL, SEE SHEET 14/10
- 100 3/4" HIGH WOOD FINISH WALL, SEE SHEET 14/10

COASTAL COMMISSION

EXHIBIT #

3b

PAGE 5 OF 6

NO.	DATE	BY

DESIGN & DRAWINGS BY:
 BRIAN W. OSLIN
 6621 BELLMEAD DRIVE
 HUNTINGTON BEACH
 CALIFORNIA 92648
 (714) 832-4545

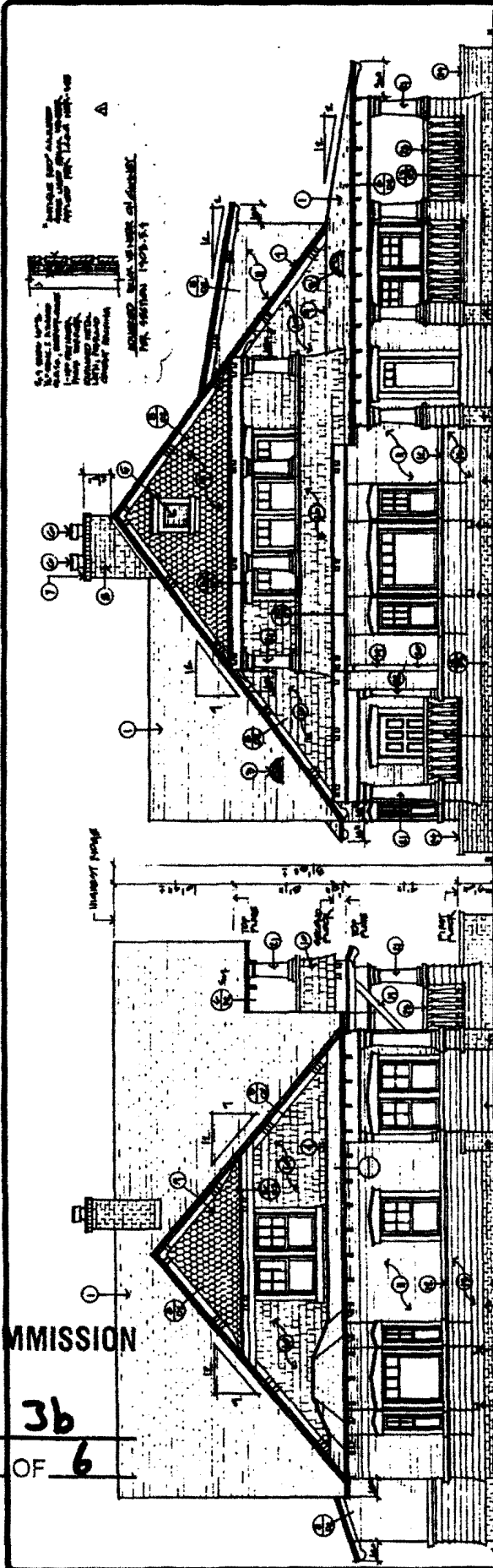
GENERAL CONTRACTOR
 NEWLAND CONSTRUCTION
 429 S. HONTSICHER WAY
 ORANGE, CA 92666
 (714) 639-0300
 OWNERS: CHRIS & DIANA LINSKEY
 SEAL BEACH, CA 92740

PROJECT
LINSKEY RESIDENCE
 227 10th STREET
 SEAL BEACH, CA 92740

DATE
 12/20/2011

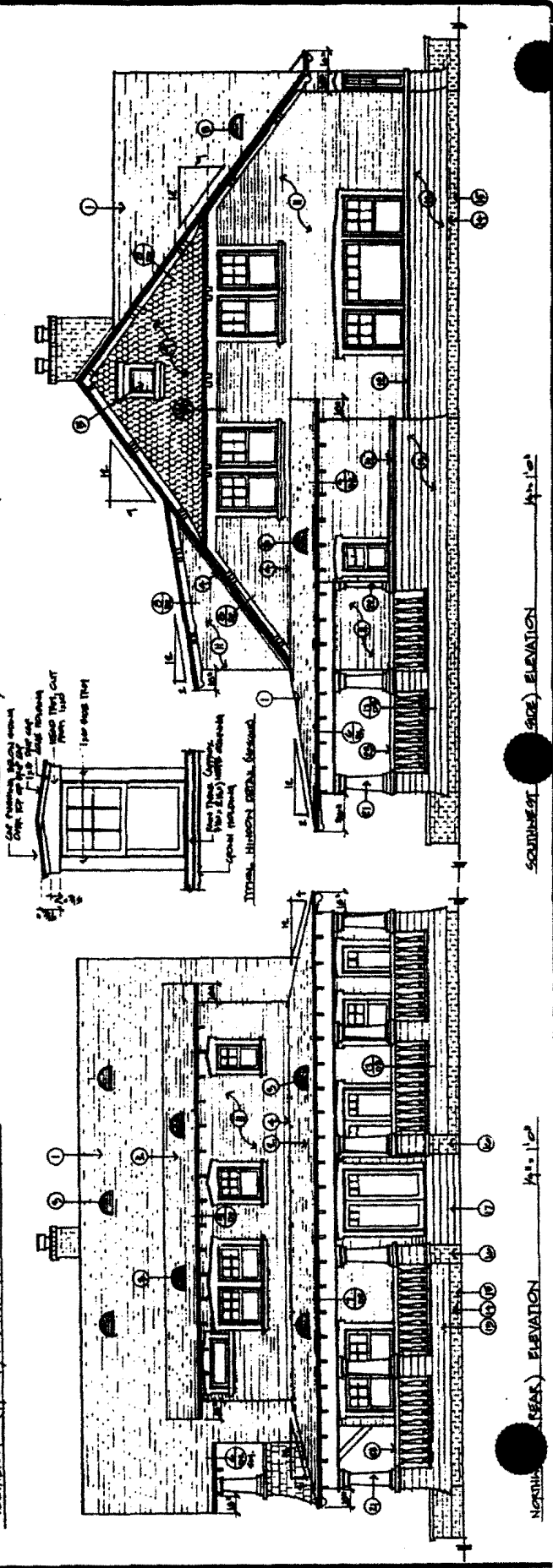
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A13



NORTH EAST (RIGHT SIDE) ELEVATION 1/4" = 1'-0"

SOUTH EAST (FRONT) ELEVATION 1/4" = 1'-0"



SOUTH WEST (BACK) ELEVATION 1/4" = 1'-0"

NORTH WEST (REAR) ELEVATION 1/4" = 1'-0"

GARAGE FLOOR PLAN
KEY NOTES

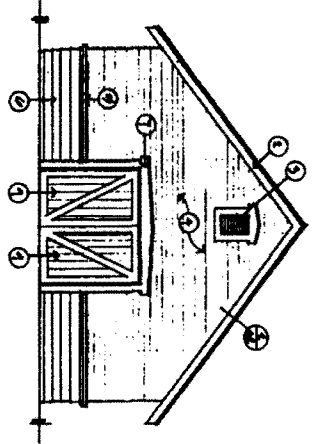
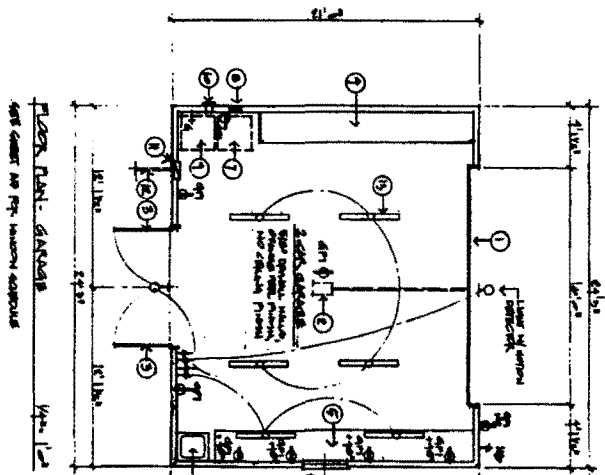
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GARAGE EXTERIOR ELEVATIONS
KEY NOTES

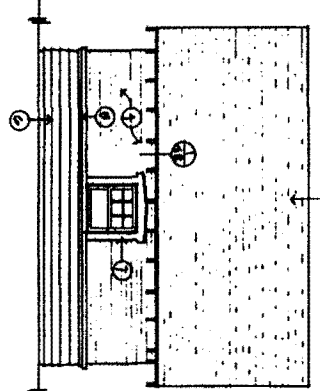
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COASTAL COMMISSION

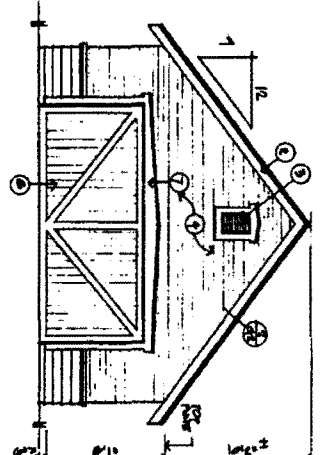
EXHIBIT # 36
PAGE 6 OF 6



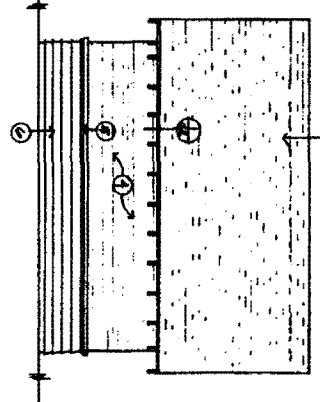
SOUTHWEST (REAR) ELEVATION 1/4" = 1/8"



WESTWEST (REAR SIDE) ELEVATION 1/4" = 1/8"



NORTHWEST (REAR) ELEVATION 1/4" = 1/8"



SOUTHWEST (LEFT SIDE) ELEVATION 1/4" = 1/8"

PROJECT NO. 24
 DATE 10/1/00

PROJECT:
LINSKEY RESIDENCE
 227 10th STREET
 SEAL BEACH, CA 90710
 OWNERS: CHRIS & DIANA LINSKEY

GENERAL CONTRACTOR:
NEWLAND CONSTRUCTION
 428 S. MONTGOMERY WAY
 ORANGE, CA 92668
 (714) 639-0300
 LIC. #451478

DESIGN & DRAFTING BY:
BRIAN W. OSLIN
 6621 BELLHEAD DRIVE
 HUNTINGTON BEACH
 CALIFORNIA 92646
 (714) 962-1146

DATE	BY	REVISION

Christopher T. Linskey
4601 Ironwood Avenue
Seal Beach, CA 90740

RECEIVED
South Coast Region

SEP 13 2001

CALIFORNIA
COASTAL COMMISSION

September 4, 2001

Carl Schwing
Coastal Program Analyst
The Coastal Commission
200 Oceangate
10th Floor
Long Beach, CA 90802

Re: 227 10th Street/ Construction Permit

Dear Mr. Schwing,


The purpose of this document is to outline the background and intent of our project at 227 10th Street in Seal Beach. It is our hope that you will approve our permit.

We saw the house for sale last April and purchased the house in May. It was our original intent to restore the house because of it's age and condition. You can see from the video the house was in great need of rehabilitation.

After the purchase of the house we set about discussions with contractors, designers, and engineers explaining our options for the project. Estimates for the work were in our opinion ridiculously high because of the age and construction of the house. We were advised by the experts to bring the house to code would be difficult and perhaps impossible. We would probably be better off just rebuilding the entire house. They said it would be easier, less expensive, and we would end up with a safer home. We ultimately chose that the course of action. The house plans before you have been drafted to match the old house. We have also salvaged certain windows, light fixtures, electrical fixtures, doors, the old claw bath tub, the old bathroom sink, all of the intact bricks, etc.; to try to incorporate as much of the old house into the new house. It is our intent after the project is complete, to have the building look like the original old house. The inside of the home will also contain pieces of the old house that should evoke a feeling of nostalgia. It is not our intent to do a complete historic preservation, however we are very sensitive to the history of Seal Beach. Rebuilding the house the way it looked should keep the charm and feel of the corner the same as it's been for 100 years.

I thank you in advance for your time and consideration.

Sincerely,


Chris Linskey

encl.

COASTAL COMMISSION

5-01-259

EXHIBIT # 4

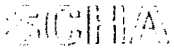
PAGE 1 OF 1



Vice President of
Corporate Marketing

**VONS EMPLOYEES
FEDERAL CREDIT UNION**

Director



South Coast Hockey Association
President



Director



Servite High School Varsity Baseball
Parent Representative



Pediatric Cancer Research Foundation
A Non-Profit Organization
Advisory Board Member

Erstad
STRUCTURAL CONSULTING
Engineering, Inc.

RECEIVED
South Coast Region

August 28, 2001

SEP 13 2001

Mr. Chris Linskey
4601 Ironwood Ave.
Seal Beach, CA 90740

CALIFORNIA
COASTAL COMMISSION
COASTAL COMMISSION
5-01-259

Subject: Structural Integrity of Existing 2- Story Dwelling @
227 10th St., Seal Beach, CA

EXHIBIT # 5
PAGE 1 OF 2

Dear Mr. Linskey,

My structural observations of the 2-story wood framed house at the above site revealed that the house is dilapidated and built with very poor structural integrity throughout, even when considering the age of the house. The following is a list of several of the major structural deficiencies that occur within the house:

- The wood stud bearing walls are framed with 1½"x 2½" (2x3) redwood studs which does not conform with the minimum standards for bearing walls. All of the studs for the exterior and bearing walls will have to be reinforced with new 2x4 studs.
- None of the interior or exterior wall openings have headers (lintel beams). New wood headers will have to be installed above all wall openings.
- All of the floor and roof framing members are grossly over-spanned and will have to be reinforced.
- The foundation is constructed of un-reinforced brick masonry that is in extremely deteriorated condition. The entire foundation will have to be completely removed and replaced.
- The fire place and chimney is constructed of un-reinforced brick masonry that is in extremely poor condition and will have to be completely removed and replaced.
- Neither the floor nor the roof sheathings have seismic diaphragm integrity and will have to be properly re-sheathed with plywood.
- There are many off-sets and discontinuities between the bearing and shear walls of the first and second floors. This will likely require that additional beams and connection hardware be installed that will protrude down from the ceilings.
- Due to the many windows that occur throughout the dwelling, the exterior walls will not have adequate shear panel dimensions to meet current building codes. Even if proprietary shear panels are used, it will likely be necessary to add one or two interior steel moment frames located below the second floor shear walls.

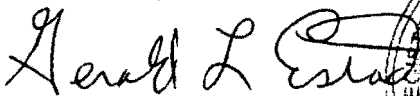
These frames would protrude from the walls and the ceilings or have to be concealed inside of walls.

Based on these preliminary observations of these structural deficiencies and the dilapidated condition of the interior and exterior finishes and fixtures, it is my opinion that it would be better to build a new house with similar architectural characteristics that would have far better seismic and structural integrity and have more usable floor space and room layouts. Because of the extensive amount of work required, the new home could likely be built for roughly the same or less money than it would cost to restore and upgrade the existing house.

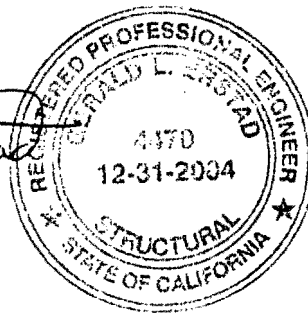
Mr. Tomas Osinky, Architect, also reviewed this house. He has designed the restorations of many old and historical homes. After reviewing the condition of this house he was convinced it would be much better to tear the house down and build a new house to replace it.

I hope that this letter helps you better determine the future of this house. Should you have any questions, please feel free to call me.

Respectfully Submitted,



Gerald Erstad
Structural Engineer



COASTAL COMMISSION

5-01-259

EXHIBIT # 5

PAGE 2 OF 2

Charles R Harrison, Jr
201 S. Walnut St
Anaheim, CA 92805

California Coastal Commission,

In regards to the demolition of the Property located 227 10th St. Seal Beach, CA

I am submitting this letter to your commission as an official objection to the scheduled demolition of the historical property described above located in Seal Beach. Due to the late notice, I am unable to attend this meeting in person. For this I apologize, please accept this letter as substitute.

Nearly 6 months ago, I "discovered" the turn of the century Victorian style home located off Main St. in Seal Beach. Although I am currently restoring a circa 1909 home in Anaheim, I made some inquiries about the property. Due to its prime location and architectural detail, I felt the home to be historically significant. I was told the home was not for sale and is in the hands of private owners. Locals said the home was in its current dilapidated condition for some time, and they were not aware of its future plans. I incorrectly assumed someone would either sell it or eventually fix it up. Unfortunately, I was wrong.

I visited the home on Sunday, 8/5/01, to find the Notice of Demolition posted. I was upset to find the current owners had either no plans or abandoned plans to rehab the home. I immediately hit the phones Monday morning (yesterday) and found out about this meeting. I am writing to implore you to please reconsider the rubber stamping approval that is about to take place.

I contacted the Seal Beach Historical and Cultural Society. They mentioned "The Proctor House" as it is known as one of only a handful (less than five) that exist in the entire City of Seal Beach. To their knowledge, it contained structural damage that the homeowners deemed too extensive to rehab. I was told the damage is from termites. I am not an engineer. I have, however, restored two vintage homes. While many things in home restoration appear to be too great a challenge to overcome, I do not want the future of such a historically significant property to be left in the hands of an unformed commission.

I ask that this commission please reconsider the approval for this demolition until it is determined if the house can be saved from demolition and is restorable. The City of Seal Beach should be advised to draw up ordinance regarding the facilitation of such requests as they regard historically significant properties.

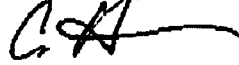
COASTAL COMMISSION
5-01-259

EXHIBIT # 6
PAGE 1 OF 2

I offer to assist in the research involved in determining the historical significance of the home, and I would entertain solutions involving the moving of this property or the purchase of this property. I have contacted the National Trust for Historic Preservation, the California Preservation Foundation, and the State Historical Preservation Office for further assistance.

It is impossible to ignore the character, architectural detail, and location of this home. It is an asset to the citizens of Seal Beach and the local economy. Please consider these factors before deciding the fate of such a significant property.

Respectfully,



Charles R. Harrison, Jr

COASTAL COMMISSION
5-01-259

EXHIBIT # 6

PAGE 2 OF 2