

CALIFORNIA COASTAL COMMISSION

SAN DIEGO AREA

7575 METROPOLITAN DRIVE, SUITE 103

DIEGO, CA 92108-4402

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Staff: LRO-SD
Staff Report: 9/18/02
Hearing Date: 10/8-11/02

STAFF REPORT: CONSENT CALENDAR

Application No.: 6-02-116

Applicant: City of San Diego

Description: Widening of approximately 860 lineal feet of existing two-lane road to a four-lane major road including provision of turn lanes at intersection of Sunset Cliffs Blvd. with West Point Loma Blvd. and Nimitz Blvd., and the provision of a Class III bike lane and enhanced median.

Site: Sunset Cliffs Boulevard between West Point Loma Boulevard and Nimitz Boulevard, Mission Bay Park, San Diego, San Diego County.

Substantive File Documents: Certified Mission Bay Park Master Plan

I. STAFF RECOMMENDATION:

The staff recommends the Commission adopt the following resolution:

MOTION: *I move that the Commission approve the coastal development permit applications included on the consent calendar in accordance with the staff recommendations.*

STAFF RECOMMENDATION TO ADOPT CONSENT CALENDAR:

Staff recommends a **YES** vote. Passage of this motion will result in approval of all the permits included on the consent calendar. The motion passes only by affirmative vote of a majority of the Commissioners present.

II. Standard Conditions.

See attached page.

III. Special Conditions.

The permit is subject to the following conditions:

1. Timing of Construction. PRIOR TO ISSUANCE OF THE COASTAL DEVELOPMENT PERMIT, the applicant shall submit a final construction schedule, which shall be incorporated into construction bid documents, to the Executive Director for review and written approval. The schedule shall specify that no construction activities may occur at this site between the beginning of Memorial Day weekend and Labor Day of any year.

The permittee shall undertake development in accordance with the approved final construction schedule. Any proposed changes to the approved final construction schedule shall be reported to the Executive Director. No changes to the approved final construction schedule shall occur without an amendment to this coastal development

IV. Findings and Declarations.

The Commission finds and declares as follows:

A. Detailed Project Description. The applicant is proposing the widening of Sunset Cliffs Boulevard between West Point Loma Boulevard and Nimitz Boulevard, from an existing two-lane road to a four-lane major road including provision of turn lanes at the intersection of Sunset Cliffs Boulevard with West Point Loma Boulevard and Nimitz Boulevard, modification of traffic signal to accommodate right turn lane, the provision of a Class III bike lane and enhanced median. The City is also proposing to relocate the existing storm drain inlets that are along the edges of Sunset Cliffs Boulevard as a result of the widening. In addition, the City is adding a brow ditch drainage feature in the center of the new median that will direct flows to the replacement storm drain inlets. As such, no new storm drains are proposed.

The applicant is also proposing a few repair and maintenance activities that do not require a coastal development permit pursuant to Section II.B.4. of the Interpretive Guideline on Exclusions from Permit Requirements. These include the modifications to the existing signal light, and the striping of the roadway for the provision of a bicycle route along the south side of Sunset Cliffs Boulevard. These particular components of the overall project are exempted, and shall not be discussed further.

The applicant proposes to maintain public access along these roadways during construction through a proposed traffic control plan. In addition, the applicant has identified a 20' x 100' area at the far eastern end of the existing public parking lot of Dusty Rhodes Park for construction staging. This parking lot is located on the south side of Sunset Cliffs Boulevard. This is the only area required for the proposed development; thus, no public parking areas will be affected during construction, and the grassy area will be fully restored upon project completion. The City proposes to begin work

approximately in October, 2002 and continue until February, 2003. Because the parking lot is located near Robb Field and the San Diego River Channel it is possible it is used for public access to these nearby coastal areas. As such, the use of this parking lot for staging purposes is not permitted to occur during the peak summer season (between Memorial Day weekend and Labor Day). Given that the construction window lies outside of this time period, however, the City does not anticipate that this restriction will be problematic. Special Condition #1 requires submittal of a final construction schedule assuring no construction during the summer months.

The project will result in a slight increase of impermeable surfaces as it constitutes the widening of an existing public right-of-way. The applicant also proposes temporary erosion control measures during construction activities which include installation of sandbag silt basins immediately upstream of all storm drain inlets, removal of silt and debris after a major rainfall, and several other measures as shown on the submitted plans. Therefore, as proposed, no impacts to downstream resources will occur.

B. Biological Resources. The site is located in Ocean Beach just south of the San Diego River channel near Mission Bay Park. Coastal Act policies 30240 and 30251 restrict the alteration of natural landforms and protect sensitive habitats. Section 30231 of the Coastal Act requires that coastal waters are protected and runoff minimized.

The proposed development will not have an adverse impact on any sensitive habitat, and, as conditioned, will not result in erosion or adverse impacts to water quality, as adequate temporary erosion controls (construction BMPs) will be provided. Thus, the project is consistent with the resource protection policies of Chapter 3 of the Coastal Act.

C. Community Character /Visual Quality. The development is located within an existing developed area and, as conditioned, will be compatible with the character and scale of the surrounding area. Therefore, the Commission finds that the development, as conditioned, conforms to Sections 30250 and 30251 of the Coastal Act.

D. Public Access/Parking. As conditioned, the proposed development will not have an adverse impact on public access to the coast or to nearby recreational facilities. As conditioned, the proposed development conforms to Sections 30210 through 30214, Sections 30220 through 30224, Section 30252 and Section 30604(c) of the Coastal Act.

E. Local Coastal Program. The LUP for the Mission Bay Park LUP segment of the City of San Diego LCP was certified on May 11, 1995, but no implementation plan has been developed as yet, and Chapter 3 of the Coastal Act remains the legal standard of review. As conditioned, the proposed development is consistent with Chapter 3 of the Coastal Act and with the certified Land Use Plan for the area. Approval of the project, as conditioned, will not prejudice the ability of the local government to prepare a Local Coastal Program that is in conformity with the provisions of Chapter 3.

F. California Environmental Quality Act (CEQA). As conditioned, there are no feasible alternatives or feasible mitigation measures available which would substantially lessen any significant adverse effect, which the activity may have on the environment. Therefore, the Commission finds that the proposed project, as conditioned to mitigate the identified impacts, is the least environmentally damaging feasible alternative and can be found consistent with the requirements of the Coastal Act to conform to CEQA.

STANDARD CONDITIONS:

1. **Notice of Receipt and Acknowledgment.** The permit is not valid and development shall not commence until a copy of the permit, signed by the permittee or authorized agent, acknowledging receipt of the permit and acceptance of the terms and conditions, is returned to the Commission office.
2. **Expiration.** If development has not commenced, the permit will expire two years from the date on which the Commission voted on the application. Development shall be pursued in a diligent manner and completed in a reasonable period of time. Application for extension of the permit must be made prior to the expiration date.
3. **Interpretation.** Any questions of intent or interpretation of any condition will be resolved by the Executive Director or the Commission.
4. **Assignment.** The permit may be assigned to any qualified person, provided assignee files with the Commission an affidavit accepting all terms and conditions of the permit.
5. **Terms and Conditions Run with the Land.** These terms and conditions shall be perpetual, and it is the intention of the Commission and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.

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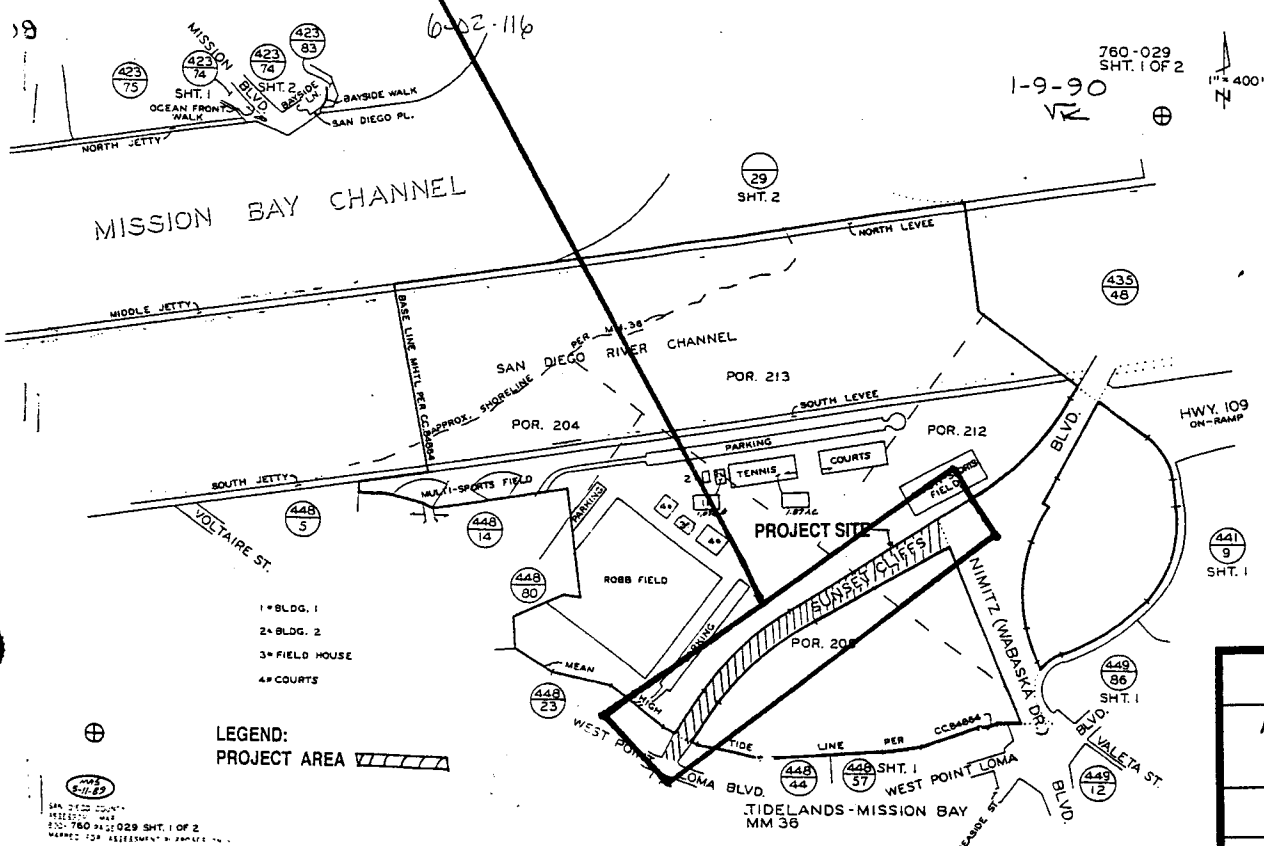
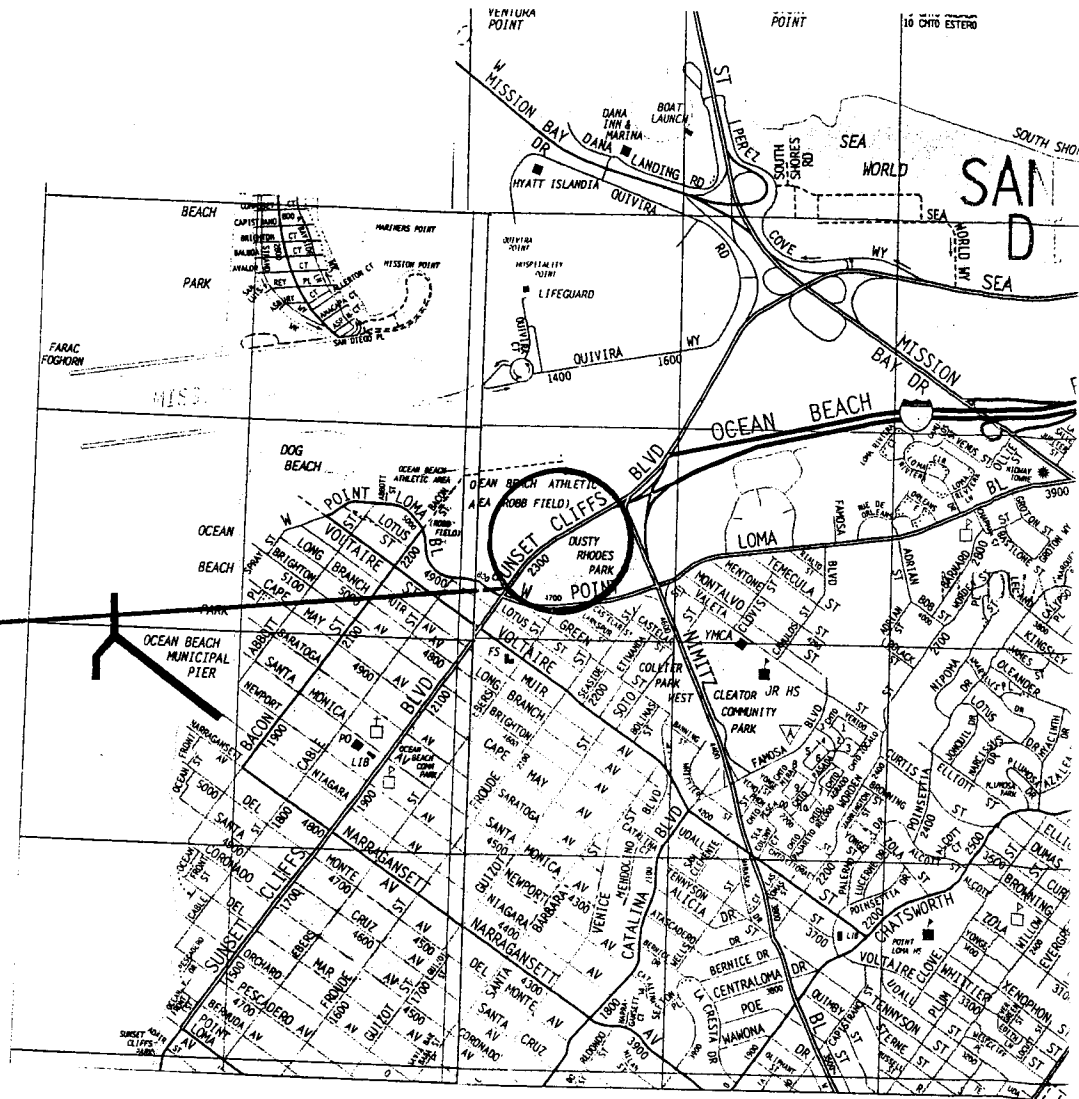


EXHIBIT NO. 1
APPLICATION NO.
6-02-116
Location Map

