

CALIFORNIA COASTAL COMMISSION

South Coast Area Office
200 Oceangate, Suite 1000
Long Beach, CA 90802-4302
(562) 590-5071

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Staff: FSY-LB
Staff Report: June 20, 2002
Hearing Date: July 8-12, 2002
Commission Action:

**Mon 9a****STAFF REPORT: REGULAR CALENDAR****APPLICATION NO.:** 5-01-174**RECORD PACKET COPY****APPLICANTS:** Daniel & Bonnie Leonard**AGENT:** Culbertson, Adams & Associates, Mr. David B. Neish and Mr. David J. Neish**PROJECT LOCATION:** 3124 Breakers Drive, City of Newport Beach (County of Orange)

PROJECT DESCRIPTION: Demolition of the existing two (2) story duplex and construction of a new 4,588 square foot four (4) story duplex with two attached two (2) car garages totaling 1,986 square feet, stepped up the hillside to an approximate height of 24 ft from existing grade. Retaining walls will be constructed along portions of the west and east property lines and along the northern portion of the proposed duplex. Grading will consist of 1,020 cubic yards of cut, 20 cubic yards of fill and 1,000 cubic yards of export.

SUMMARY OF STAFF RECOMMENDATION:

The applicants propose to construct a duplex and retaining walls on a coastal bluff face immediately inland of a private street, a public parking lot and public beach (Corona Del Mar State Beach). Associated construction includes retaining walls, planters, stairs, decks, drainlines, subdrain and interior elevator. The primary issues before the Commission is the appropriateness of approving the project given landform alteration, the importance of preserving scenic resources and community character. Staff recommends that the Commission **DENY** the proposed project.

As submitted, the proposed project is primarily inconsistent with the Sections 30251 and 30253 of the Coastal Act and the City of Newport Beach Land Use Plan (LUP) regarding development on coastal bluffs. The pattern of development along this segment of Breakers Drive is such that structures are sited at the base of the coastal bluff, while the bluff face remains largely undisturbed and vegetated. In addition, the proposed development is inconsistent with Sections 30251 and 30253 in that the project alters a largely undeveloped vegetated coastal bluff through grading and utilizes retaining walls and caissons to support the proposed development.

Furthermore, alternatives to the proposed project exist. For example, the existing duplex could be demolished and rebuilt within the existing footprint, consistent with the pattern of development. Such an alternative would be consistent with the existing pattern of development and would preserve the integrity of the coastal bluff. Therefore, staff recommends that the project be denied, as it would have adverse impacts on the naturally appearing landform and a cumulative adverse impact on visual coastal resources.

LOCAL APPROVALS RECEIVED: Approval In Concept from the City of Newport Beach dated April 30, 2001 and a revised Approval In Concept from the City of Newport Beach, dated October 12, 2001.

SUBSTANTIVE FILE DOCUMENTS: City of Newport Beach Certified Land Use Plan; Coastal Development Permits 5-01-199 (Butterfield), 5-01-191 (Tabak), 5-01-080 (Palmero), 5-00-452 (Cowan); letter from staff dated June 8, 2001; letter from John Danielian dated June 25, 2001; letter from the Regional Water Quality Control Board dated June 20, 2001; letter from staff dated July 25, 2001; letter from John Danielian dated October 25, 2001; letter from staff dated November 21, 2001; letter from staff dated January 22, 2002; letter from John Danielian dated February 4, 2002; letter from Culbertson, Adams & Associates dated May 14, 2002; letter from Culbertson, Adams & Associates dated June 5, 2002; letter from John Danielian dated June 4, 2002; *Geotechnical Investigation, Proposed Residence, 3324 Breakers Drive, Corona Del Mar, California*, prepared by Petra (Project No. J.N. 448-00) dated February 12, 2001; and *Geotechnical Review of Revised Grading Plan, Proposed Residence, 3324 Breakers Drive, Corona Del Mar, California*, prepared by Petra (Project No. J.N. 448-00) dated December 18, 2001.

EXHIBITS

1. Vicinity Map
2. Assessor's Parcel Map
3. Assessor's Parcel Map
4. Site Plan
5. Floor Plans
6. Roof Plan
7. Sections
8. Exterior Elevations
9. Grading Plan
10. Foundation Plan
11. Aerial of Project Vicinity
12. Vicinity Picture

STAFF RECOMMENDATION:

I. STAFF RECOMMENDATION OF DENIAL

Staff recommends that the Commission adopt the following resolution to deny the coastal development permit application. The motion passes only by affirmative vote of a majority of the Commissioners present.

A. Motion

I move that the Commission approve Coastal Development Permit No. 5-01-174 for the development proposed by the applicants.

B. Staff Recommendation of Denial

Staff recommends a **NO** vote. Failure of this motion will result in denial of the permit and adoption of the following resolution and findings. The motion passes only by affirmative vote of a majority of the Commissioners present.

C. Resolution to Deny the Permit

The Commission hereby **DENIES** a coastal development permit for the proposed development on the ground that the development will not conform with the policies of Chapter 3 of the Coastal Act and will prejudice the ability of the local government having jurisdiction over the area to prepare a Local Coastal Program conforming to the provisions of Chapter 3. Approval of the permit would not comply with the California Environmental Quality Act because there are feasible mitigation measures or alternatives that would substantially lessen the significant adverse impacts of the development on the environment.

II. FINDINGS AND DECLARATIONS

The Commission hereby finds and declares as follows:

A. Project Location, Description and Background

1. Project Location

The proposed project is located at 3124 Breakers Drive in Corona Del Mar, City of Newport Beach, County of Orange (Exhibits #1-3). The project site is between the Corona Del Mar beach access driveway and Breakers Drive (Exhibits #1-3). The property has steep slopes as it is part of the coastal bluff and vehicular access is provided from below on Breakers Drive, a private street. Ocean Boulevard is located north of the proposed project at the top of the approximately 65 foot high bluff. South of the project site is Breakers Drive, a wall, bushes and an approximately 200 foot wide parking lot for Corona Del Mar State Beach and then Corona Del Mar State Beach. West of the project site are existing residential structures and further west is a public street (Iris Avenue), which leads to the Corona Del Mar State Beach and public parking lot. East of the project site are existing residential structures and further east Breakers Drive ends. The project is located within an existing developed urban residential area and the historic bluff has been substantially altered by other similar residential structures. The subject site consists of both an area of relatively flat land at the base of a bluff (altered by previous developments on-site and on the adjacent lots) and also a portion of the bluff face (approximately 2.6:1 slope). No development is located at the top of the bluff of this project site.

The existing pre-coastal duplex is located at the base of the coastal bluff and vegetation within the building area of the lot consists of some small to large landscape bushes and shrubs and a tall palm tree. The lower part of the bluff is mantled with a dense growth of native grasses and shrubs. The upper portion of the bluff is mantled with a very dense growth of large, woody shrubs whereas the steep, middle portion of the bluff is virtually devoid of vegetation. The first level of the proposed duplex would be primarily on the flat portion of the site and would be embedded into the bluff face. The second, third and fourth floors would step up and be recessed into the bluff face. The maximum height of the proposed development would be approximately 40 ft high from centerline of frontage road (Breakers Drive).

The pattern of development along this segment of Breakers Drive is such that residential structures are approximately two to three stories in height and are sited at the base of the coastal bluff, while the bluff face remains largely undisturbed and vegetated. The existing adjacent residence to the southeast is approximately 24 feet high from centerline of the

frontage road and the existing adjacent residence to the northwest is approximately 30 feet high from the centerline of the frontage road. The existing two story duplex on the project site is approximately 25 ft high from centerline of frontage road.

2. Project Description

The original project, as submitted to the Commission, consisted of demolition of the existing two (2) story duplex (approximately 25 ft high from centerline of frontage road) and construction of a new 6,590 square foot five (5) story duplex with two attached two (2) car garages, stepped up the hillside to an approximate height of 52 ft from the centerline of the frontage road. Retaining walls would have been constructed along portions of the west and east property lines and along the northern most portion of the proposed duplex. Footings and a caisson foundation system would have been used to support the proposed structure. Grading would have consisted of 1,600 cubic yards of cut and 1,600 cubic yards of export. The applicants decided to scale down this original proposal due to associated costs.

The proposed project was revised and now consists of the following: demolition of the existing two (2) story duplex (approximately 40 ft high from centerline of frontage road) and construction of a new 4,588 square foot four (4) story duplex with two attached two (2) car garages totaling 1,986 square feet, stepped up the hillside to an approximate height of 40 ft from the centerline of the frontage road (Exhibits #4-10). Retaining walls will be constructed along portions of the west (varying from approximately 4 feet to 9 feet in height) and east (varying from 2 feet to 8 feet in height) property lines and along the northern (approximately 30 feet in height) portion of the proposed duplex (Exhibit #9). Footings and a caisson foundation system will support the proposed structure. Grading will consist of 1,020 cubic yards of cut, 20 cubic yards of fill and 1,000 cubic yards of export. This will be accomplished by grading virtually the entire lower portion of the bluff.

Associated construction includes retaining walls, planters, stairs, decks, drainlines, subdrain, and an interior elevator. Removal of vegetation is also part of the proposed project. Planters on the lower part of the site will have an irrigation drip system.

3. Prior Commission Action in Subject Area

On May 7, 2001, the Commission approved Coastal Development Permit #5-00-452 (Cowan) for the construction of a residential development stepped up into the bluff at 3030 & 3030 ½ Breakers Drive, approximately 200 feet northwest of the project site. The project site is well setback from the ocean by a public sandy beach, an approximately 200 foot wide parking lot for Corona Del Mar State Beach, vegetation, a wall, and Breakers Drive. The Commission found that the specific location of the proposed development is in a limited area where bluff face development already exists and has been allowed by the Commission, which would not result in a significant cumulative impact. However, the Commission does not routinely approve development on the bluff face because it raises concerns with Section 30251 and Section 30253 of the Coastal Act and the potential for significant cumulative impacts. Section 30251 of the Coastal Act states that permitted development should minimize landform alteration and visual impacts. Section 30253 of the Coastal Act states that new development should not contribute significantly to erosion and geologic instability.

Coastal Development Permit #5-00-452 (Cowan) allowed the demolition of an existing two (2) story duplex with a two (2) car garage and construction of a four (4)-story, 6,073 square foot residential duplex, stepped up the hillside to a maximum height of 55.5 ft above the base of the hillside, with two (2) attached two (2) car garages totaling 840 square feet.

Retaining walls would be constructed along the west and portions of the east property lines and along the concrete deck on the 4th floor. Also, a caisson and grade beam foundation system supporting front portions of the residence would be utilized. The permit was approved with special conditions, which required the following: 1) adherence to the geotechnical consultant's recommendations; 2) submittal of a drainage and runoff control plan; and 3) submittal of a landscaping plan. The primary issue addressed by the staff report was consistency with the geologic hazard policies of the Coastal Act.

On January 8, 2002, the Commission denied Coastal Development Permit #5-01-080 (Palmero) for the construction of a pool house, pool, spa and exercise room on a lower portion of a bluff face down to the toe of the bluff at 3317 Ocean Boulevard, approximately 550 feet southeast of the project site. Proposed construction also included retaining walls, fences, a BBQ, trellis, iron gate, glass railing, drainline, concrete paving, steps, including the repair and modification of the existing stairs. A total of 120 cubic yards of grading would have taken place. Proposed grading would have consisted of 60 cubic yards of cut and 60 cubic yards of fill. Footings, slab on grade and a caisson foundation system would have supported the proposed structures. The proposed project was located along a lower portion of the bluff face and at the toe of the bluff immediately inland of Corona Del Mar State Beach, which is a public beach.

The Commission found the proposed project, Coastal Development Permit #5-01-080 (Palmero), inconsistent with Sections 30240 (b), 30251 and 30253 of the Coastal Act and the City of Newport Beach Land Use Plan (LUP) regarding coastal bluff sites due to the project's landform alteration, the importance of preserving scenic resources, the seaward encroachment of the development, the community character, and impacts to public access. The pattern of development along this segment of Ocean Boulevard is such that structures are sited at the top of the coastal bluff, while the bluff face remains largely undisturbed and vegetated. Although several lots have stairways traversing the bluff face and some have unpermitted development at the toe of the bluff (currently under investigation by the Commission's Enforcement staff), the overall appearance of the bluff in this area is natural and undeveloped. Additionally, the toe of the bluff is immediately inland of Corona Del Mar State Beach, which is a public beach. The project site is consequently highly visible from the public beach. The proposed development constituted new development seaward of the existing line of development, and it would have altered a largely undeveloped vegetated coastal bluff through grading, utilized retaining walls and caissons to support the proposed development, and had an adverse impact on public use of a public beach and thus was denied.

On January 8, 2002, the Commission denied Coastal Development Permit #5-01-191 (Tabak) for the demolition of an existing three (3) story single family residence and construction of a new 6,305 square foot five (5) story single family residence with an attached 782 square foot three (3) car garage, down a coastal bluff to a maximum height of 24 feet above finished grade at 3431 Ocean Boulevard, approximately 900 feet southeast of the project site. Proposed additional construction consisted of retaining walls, elevator, new concrete steps to the beach, spa and pool, kayak storage, shower, trash enclosure, waterfalls, decks, BBQ, tree wells, planters, an aqueduct, and a loggia. Proposed grading would have consisted of 2,395 cubic yards of cut, 23 cubic yards of fill and 2,372 cubic yards of export. A caisson and grade beam foundation system would have supported the proposed structure. The proposed project was located along a coastal bluff (top of the bluff to the base of the bluff) immediately inland of Corona Del Mar State Beach, which is a public beach.

The Commission found the proposed project, Coastal Development Permit #5-01-191 (Tabak), inconsistent with Sections 30240 (b), 30251 and 30253 of the Coastal Act and the City of Newport Beach Land Use Plan (LUP) regarding coastal bluff sites due to the project's landform alteration, the importance of preserving scenic resources, community character and impacts to public access similar to the denial for Coastal Development Permit #5-01-080 (Palmero), discussed previously.

B. Development Requiring Protective Devices

Section 30253 of the Coastal Act states, in pertinent part:

New development shall:

- (1) *Minimize risks to life and property in areas of high geologic, flood, and fire hazard.*
- (2) *Assure stability and structural integrity, and neither create nor contribute significantly to erosion, geologic instability, or destruction of the site or surrounding area or in any way require the construction of protective devices that would substantially alter natural landforms along bluffs and cliffs.*

Development on a bluff is inherently risky due to the potential for bluff failure. Bluff development poses potential adverse impacts to the geologic stability of bluffs and the stability of residential structures. In general, bluff instability is caused by environmental factors and impacts caused by man. Environmental factors include seismicity, wave attack, drying and wetting of soils, wind erosion, salt spray erosion, rodent burrowing, percolation of rain water, poorly structured bedding, and soils conducive to erosion. Factors attributed to man include bluff oversteepening from cutting roads and railroad tracks, irrigation, over-watering, building too close to the bluff edge, improper site drainage, use of impermeable surfaces to increase runoff, use of water-dependent vegetation, pedestrian or vehicular movement across the bluff top and toe, and breaks in water or sewage lines.

1. Site Conditions and Geotechnical Recommendations

To address site-specific geotechnical issues, the applicants have submitted a *Geotechnical Investigation, Proposed Residence, 3324 Breakers Drive, Corona Del Mar, California*, prepared by Petra (Project No. J.N. 448-00) dated February 12, 2001. The primary objective of the *Geotechnical Investigation* was: "...to determine the nature of subsurface soil and bedrock conditions, to evaluate their in-place characteristics, and then to provide geotechnical recommendations with respect to site clearing and grading, and for design and construction of building foundations." The *Geotechnical Investigation* consisted of a limited subsurface exploration, sampling of earth materials, lab testing and engineering analysis.

The *Geotechnical Investigation* stated that the proposed development is located at the base of the coastal bluff at the southwesterly edge of the elevated coastal marine terrace that extends from Corona del Mar to Laguna Beach. The existing single family residence that is located at the base of the bluff is underlain by talus and beach deposits overlying Monterey Formation bedrock. The ascending bluff at the rear (north side) of the property is underlain by bedrock materials consisting of interbedded moderately hard to very hard, thinly laminated thickly bedded siltstone, sandstone, conglomeratic sandstone and sandstone breccia. The agent has supplied an aerial picture that demonstrates how the proposed project will be embedded approximately 11 to 14 feet more into the bluff than the existing residence (Exhibit #11).

With regards to slope stability, the *Geotechnical Investigation* stated: "...virtually the entire lower portion of the bluff face will be excavated and retained behind the proposed building retaining walls. Therefore, surficial slope stability within the construction area is not an issue...Due to the presence of the well-established, very dense growth of woody vegetation, the relatively thin mantle of surficial deposits, and lack of evidence of surficial instability (slumps, mud flows, etc.), this uppermost portion of the bluff is considered to be surficially stable and expected to remain so throughout the duration of the project." Consequently, the *Geotechnical Investigation* concludes: "From a soils engineering and engineering geologic point of view, the subject property is considered suitable for the proposed construction provided the following conclusions and recommendations are incorporated into the design criteria and project specifications. Furthermore, it is our opinion that the proposed grading and construction will not adversely affect the stability of adjacent properties provided that the recommendations presented herein are adhered to."

The proposed project was revised after the original *Geotechnical Investigation* was completed and thus an updated *Geotechnical Investigation* report was submitted. A *Geotechnical Review of Revised Grading Plan, Proposed Residence, 3324 Breakers Drive, Corona Del Mar, California*, was prepared by Petra (Project No. J.N. 448-00) dated December 18, 2001. The revised *Geotechnical Investigation* stated: "Based on our review of the revised grading plan, the conclusions and recommendations presented in our referenced February 12, 2001 geotechnical investigation report remain valid and should be adhered to in the design and construction phases of the project. However, due to the change in configuration of the proposed residence, some additional recommendations are required."

Although the *Geotechnical Investigation* and *Revised Geotechnical Investigation* stated that the proposed project is feasible from an engineering perspective, the reports discussed some major concerns of the proposed project. These concerns deal with the stability for temporary excavations, liquefaction and bluff overhang.

In regards to the stability for temporary excavations, the *Geotechnical Investigation* stated that: "Temporary excavation with sidewalls ranging up to a maximum height of 28 feet will be required to accommodate construction of the building retaining walls and the exterior retaining walls (see plate 2.) The sidewalls of these temporary excavations within the lower portions of the site will expose beach deposits, fill and talus materials consisting of relatively cohesionless sands and silty sands while the sidewalls within the upper portions of the site will expose bedrock consisting primarily of moderately hard to very hard sandstone with minor siltstone. The beach deposits, fill and talus materials that will be exposed within the excavation sidewalls in the lower portions of the site will be susceptible to failure when excavated at steep gradients. It is not possible to lay back the sidewalls of the temporary excavations for the easterly and westerly property line retaining walls and basement walls at flatter gradients without intruding into the adjacent properties or removing the lateral support of adjacent neighboring structures. Therefore, it would be anticipated that shoring will be required along the easterly and westerly property lines within the lower position of the site. However, within the upper portions of the site, the temporary excavation sidewalls will expose hard to very hard, competent bedrock materials with favorable bedding."

The *Geotechnical Investigation* further stated the following regarding liquefaction: "The groundwater level at the time of their subsurface exploration was at a depth of approximately 4 feet below the proposed elevation of the garage-level floor. Therefore, portions of the sand materials that will remain in place beneath and adjacent to the front portion of the garage are below the groundwater elevation...Due to the potential for the beach deposits

beneath the site to liquefy during a significant seismic event, the residence and adjacent improvements should be supported on either deepened conventional footings or caissons that are tied together with grade beams and extend into the underlying bedrock. The grade beams should derive all of their support from the caissons."

The *Revised Geotechnical Investigation* stated that a potential hazardous bluff overhang issue is located on the project site: "As mentioned previously and as shown on the enclosed grading plan (Plate 1) and cross section (Plate 2), an overhang condition exists approximately midway up the bluff face at the rear of the proposed residence. Due to the inaccessibility of this overhang posed by the steep bluff face from below and very dense woody brush from above, the composition of the earth materials within the actual overhanging portion was not able to be determined during our exploration. However, based on the morphology of the bluff, regional geologic maps and our experience in the vicinity, the overhanging portion of the bluff is probably composed of hard sandstone overlain by sandy terrace deposits. Several large, loose fragments of cemented sandstone ranging up to approximately 2.5 feet in diameter were observed in the vicinity of the base of the bluff within the backyard of the subject site. These fragments appear to have fallen from the bluff overhang since the morphology and stratigraphy of the lower bluff faces not indicate that such large fragments could have originated in this area. These fragments appear to have broken loose from the overhang area along joint planes in the recent past, tumbled down the underlying talus slope and onto the existing retaining wall located between the bluff and the existing house...Due to the proximity of the bluff overhang to the rear of the upper floor of the proposed residence, a potential rockfall hazard exists in this area. Therefore, to mitigate this condition, it is recommended that the bluff overhang be laid (excavated) back to a flatter gradient during grading to mitigate the potential for the occurrence of rockfalls."

Although the *Geotechnical Investigation* and *Revised Geotechnical Investigation* stated that the stability for temporary excavations, liquefaction and bluff overhang, were major concerns with the proposed project, the *Geotechnical Investigation* and the *Revised Geotechnical Investigation* still concluded that the construction of the proposed structures is feasible from the engineering perspective provided the applicants comply with the recommendations contained in the report. Recommendations include: all structural materials associated with the existing residence and hardscape should be demolished and removed from the site; clearing operations should also include the removal of all landscape vegetation not to remain; and all fill should be placed in lifts not exceeding 8 inches in thickness, watered or air dried as necessary to achieve near optimum moisture conditions, and then compacted in place to a minimum relative compaction of 90 percent. Additional recommendations include those related to, site preparation, site drainage, structural design of foundation. In addition, the proposed project will consist of retaining walls and caissons. These retaining walls and caissons will serve as protective devices for the bluff (landform) and for the proposed structures.

Additionally, the consultant states that there are no known active faults or projections of active faults transecting the site and indicates that groundwater was observed on site. In response to groundwater observed on site as discussed in the *Geotechnical Investigation*, staff requested from the applicants review of the proposed project by the Regional Water Quality Control Board (RWQCB). The RWQCB submitted a letter that stated that since they were informed by the applicants that dewatering was not needed even though groundwater levels were high and that there no other activities that may impact water quality on site, that the RWQCB had no objections to the proposed project.

2. Wave Uprush and Flooding Hazards

The coastal bluff is not subject to direct coastal processes such as wave attack considering that it is separated from the ocean by Breakers Drive and an approximately 200 foot wide parking lot for the Corona Del Mar State Beach. Therefore, there are currently no wave uprush or flooding hazards.

3. Conclusion

Although the *Geotechnical Investigation* concludes that the proposed project is feasible from the engineering perspective, the Commission notes that, given sufficient engineering, virtually any project can be constructed. However, the requirements of Section 30253 of the Coastal Act establish the standard for evaluating the proposed development. Section 30253 prohibits new development that requires the use of protective devices that would substantially alter natural landforms along bluffs and cliffs. Consequently, the fact that a project could technically be built at this location is not sufficient to conclude that it is consistent with Section 30253 or that it *should* be undertaken. This proposed project would be incompatible with Section 30253 as it has **not** been sited and designed to prevent the use of protective devices (such as retaining walls and caissons), which would alter natural landforms. In fact the proposed development depends on grading the undeveloped slope and the use of protective devices for its construction. The impact of the proposed development on Scenic Resources will be discussed in the following Section.

The grading of virtually the entire lower portion of the bluff and installation of a subterranean caisson foundation system and retaining walls to serve as protective devices for the proposed structures at the subject site would result in substantial disturbance of the existing coastal bluff landform and would consist of protective devices in the bluff inconsistent with Section 30253 of the Coastal Act. Retaining walls will be constructed along portions of the west (varying from approximately 4 feet to 9 feet in height) and east (varying from 2 feet to 8 feet in height) property lines and along the northern (approximately 30 feet in height) most portion of the proposed duplex (Exhibit #9). New development requiring these construction features would thus be inconsistent with Section 30253 of the Coastal Act.

Due to the project's impact on coastal views, the alteration of natural land forms and cumulative impacts, project alternatives were requested from the applicants in order to find an approvable project that would limit impact on coastal views, alteration of natural landforms and cumulative impacts. This current submission is evidence that the process of building larger residential structures that incrementally alter the bluff is occurring. If allowed to continue, the entire bluff will be covered with residential development rather than appear as an undisturbed and vegetated natural bluff face.

The original project, as submitted to the Commission, consisted of demolition of the existing two (2) story duplex (approximately 25 ft high from centerline of frontage road) and construction of a new 6,590 square foot five (5) story duplex with two attached two (2) car garages totaling, stepped up the hillside to an approximate height of 52 ft from the centerline of the frontage road. Grading would have consisted of 1,600 cubic yards of cut and 1,600 cubic yards of export.

The applicants decided to scale down this original proposal due to associated costs, thus the current proposal consists of: demolition of the existing two (2) story duplex

(approximately 40 ft high from centerline of frontage road) and construction of a new 4,588 square foot four (4) story duplex with two attached two (2) car garages totaling 1,986 square feet, stepped up the hillside to an approximate height of 40 ft from the centerline of the frontage road. Grading will consist of 1,020 cubic yards of cut, 20 cubic yards of fill and 1,000 cubic yards of export. This will be accomplished by grading virtually the entire lower portion of the bluff. Although, the project has been reduced in height and that grading has been reduced, the proposed project is still inconsistent with Section 30253 of the Coastal Act. An alternatives analysis conducted by staff has been provided on page 14 of this staff report.

Therefore, the Commission finds that the current proposed project is considered new development which is dependent on protective devices and landform alteration that is inconsistent with Section 30253 of the Coastal Act and must therefore be denied.

C. Scenic Resources

Section 30251 of the Coastal Act states, in relevant part:

The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural land forms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas...

The City of Newport Beach Land Use Plan (LUP) was certified on May 19, 1982. Since the City only has an LUP, the policies of the LUP are used only as guidance. The Newport Beach LUP includes the following policies that relate to development at the subject site:

Development of Coastal Bluff Sites, Policy 2 (b) states,

Grading, cutting and filling of natural bluff face or bluff edges shall be prohibited in order to preserve the scenic value of bluff areas, except for the purpose of performing emergency repairs, or for the installation of erosion-preventive devices or other measures necessary to assure the stability of the bluffs.

The proposed project is located along the bluff base and face and south of the site is Breakers Drive, a wall, bushes and an approximately 200 foot wide parking lot for Corona Del Mar State Beach and then Corona Del Mar State Beach. The project site is visible from the public beach (Corona Del Mar State Beach). The pattern of development along this segment of Ocean Boulevard is such that structures are sited at the base of the bluff, while the bluff face remains largely undisturbed and vegetated (Exhibits #11-12). Development at this site, if approved, must be sited and designed to be visually compatible with the undisturbed character of the surrounding area. It is also necessary to ensure that new development be sited and designed to protect views to and along the beach area and minimize the alteration of existing landforms and seaward encroachment of development. This proposed bluff face development also raises the concern over the cumulative impacts that would occur if others propose to develop the coastal bluff face. The Commission has recently denied two similar projects and partially denied a third project all in this area due to the projects' landform alterations, adverse visual impacts and their incompatibility with the character of the surrounding area.

1. Landform Alteration & Community Character

The applicants are proposing to demolish an existing two (2) story duplex (approximately 40 ft high from centerline of frontage road) and construction of a new 4,588 square foot four (4) story duplex with two attached two (2) car garages totaling 1,986 square feet, stepped up the hillside to an approximate height of 40 ft from the centerline of the frontage road. Associated construction includes retaining walls, planters, stairs, decks, drainlines, subdrain and an interior elevator. Removal of vegetation is also part of the proposed project. Planters on the lower part of the site will have an irrigation drip system. Retaining walls will be constructed along portions of the west (varying from approximately 4 feet to 9 feet in height) and east (varying from 2 feet to 8 feet in height) property lines and along the northern (approximately 30 feet in height) most portion of the proposed duplex. Grading will consist of 1,020 cubic yards of cut, 20 cubic yards of fill and 1,000 cubic yards of export. This will be accomplished by grading virtually the entire lower portion of the bluff. Footings and a caisson foundation system will support the proposed structure. The proposed project will affect public views of the vegetated bluff from the adjacent public beach (Corona Del Mar State Beach), inconsistent with the pattern of development in the subject area. The Commission finds that the proposed project does not minimize alteration of natural landforms, is not visually compatible with the character of surrounding development, will affect the scenic and visual qualities of the subject area and will have a significant adverse cumulative impact. As such, the proposed project is inconsistent with Section 30251 of the Coastal Act and the City's LUP policy regarding coastal bluff sites as discussed below.

a. Landform Alteration

The Coastal Act requires new development to be sited to "*minimize the alteration of natural land forms.*" The *Geotechnical Investigation* indicates that the proposed project would be located on the bluff base and face. The existing bluff is a natural landform visible from public vantage points such as the beach (Corona Del Mar State Beach). Limiting the development to the existing footprint would minimize landform alteration. In addition, if the proposed project was designed to match the community character, landform alteration would be minimized and impacts to scenic views of the coastline from the State Beach would be minimized. However, the proposed project will not be limited to the existing footprint and as the *Geotechnical Investigation* states the project would result in grading of virtually the entire lower portion of the bluff. Thus, the proposed project is inconsistent with Section 30251 of the Coastal Act regarding scenic resources.

The City's LUP policy regarding coastal bluffs states that grading, cutting and filling of natural bluff face or bluff edges is prohibited in order to preserve the scenic value of the bluff area. Grading, cutting and filling are allowed though if it is for the purpose of performing emergency repairs or for the installation of erosion-preventive devices to assure the stability of the bluffs. The existing condition of the bluff is such that no protective devices are needed to secure the stability of the existing bluff, but the grading of the bluff for the proposed duplex would necessitate the need for these protective structures to protect the duplex from the resulting bluff instability. Excavation into the bluff face for the residence would alter the natural land form and thus be inconsistent with the City LUP policy regarding coastal bluff sites. The proposed project would cause the alteration of natural land forms and would impact

the coastal scenic views of the area thus violating the City's LUP policy on coastal bluff sites.

b. Community Character

The proposed project would be incompatible with the surrounding development. Although several lots in the most northwestern most stretch of the bluff (3002-3036 Breakers Drive) constitute the limited area where development occurs over the majority of the bluff face, the overall appearance of the bluff, and particularly in this area where the proposed development would occur, is natural and undeveloped (Exhibits #3 & #11-12). The project site and the three (3) lots (3130-3200 Breakers Drive) located to the southeast and the three (3) lots (3100-3116 Breakers Drive) located to the northwest have bluff faces that are principally covered with vegetation (Exhibits #3 & #11-12). The residential structures (3100-3200 Breakers Drive) are approximately two to three stories in height. In addition, the existing adjacent residence to the southeast is approximately 24 feet high from centerline of the frontage road and the existing adjacent residence to the northwest is approximately 30 feet high from the centerline of the frontage road. The existing two story duplex on the project site is approximately 25 ft high from centerline of frontage. The project proposal was revised and now consists of a four story duplex approximately 40 ft high from centerline of frontage road. This is significantly out of character with the adjacent development.

Following the line of residential development further to the northwest along Breakers Drive are thirteen (13) homes, which take their addresses from Breakers Drive (Exhibits #3 & #11-12). Of the thirteen (13) homes on Breakers drive, six (6) of the homes in the northwestern most stretch (3002-3036 Breakers Drive) constitute the limited area where development occurs over the majority of the bluff face (Exhibits #3 & #11-12). The Commission has recently approved Coastal Development Permit 5-00-452 (Cowan) for a residential development located at 3030 & 3030 ½ Breakers Drive, which is located within these six (6) homes where development occurs over the majority of the bluff face. The four (4) residential developments that are to the northwest of 3030 & 3030 ½ Breakers Drive and the one lot immediately southeast, consist of residential structures which start at beach level (toe of bluff) and cascade up the bluff face. Thus, the new residential development at 3030 & 3030 ½ Breakers Drive will be in-fill development similar to the existing development in this limited area. The Commission approved Coastal Development Permit #5-00-452 (Cowan) and found that the specific location of the proposed development is in a limited area where bluff face development already exists and has been allowed by the Commission, but development on the bluff face is not routinely approved by the Commission because it raises concerns with Section 30251 and Section 30253 of the Coastal Act. Section 30251 of the Coastal Act states that permitted development should minimize landform alteration, visual impacts and the cumulative adverse impact that would occur if other lots develop the bluff face. Section 30253 of the Coastal Act states that new development should not contribute to significant erosion and geologic instability.

The project site and the three (3) lots (3130-3200 Breakers Drive) located to the southeast and the three (3) lots (3100-3116 Breakers Drive) located to the northwest are constructed at the toe of the bluff with only limited portions recessed into the bluff face (Exhibits #3 & #11-12). The bluff face above the residential units is principally covered with vegetation in contrast to the developments located along the bluff face

to the northwest. In addition, these homes do not terrace up the bluff like the developments located to the northwest. As such, the proposed project would result in a visible intensification of use of the site, inconsistent with the surrounding undeveloped area.

Therefore, the Commission finds that the proposed project does not minimize alteration of natural landforms, is not visually compatible with the character of surrounding development and will affect the scenic and visual qualities of the subject area, which is inconsistent with Sections 30251 and 30253 of the Coastal Act.

c. Cumulative Impacts

The proposed project does not conform to the existing pattern of development located on the bluff face, if allowed it would set a precedent for future development to terrace up the bluff face. Over time, incremental impacts can have a significant cumulative adverse visual impact. Applicants have begun to request construction on the bluff face and if development were approved, the bluff along the unimproved portion of Breakers Drive could eventually become a wall of buildings located on the bluff face, thus causing significant, cumulative adverse visual impacts. The process has already started as applications have been submitted for development southeast of the subject area consisting of development that would encroach seaward. The pattern of development along this segment of Ocean Boulevard, which is further southeast of the subject site, is such that structures are sited at the top of the bluff, while the bluff face remains largely undisturbed and vegetated. Coastal Development Permit Application #5-01-080 (Palmero) was for development consisting of development of a pool house, pool, spa and exercise room on a lower portion of the bluff face down to the toe of the bluff that would encroach seaward and was heard at the January 2002 Coastal Commission hearing. This site is approximately 550 feet southeast of the project site. The Commission denied the proposed project due to the project's landform, adverse visual impacts, seaward encroachment and its incompatibility with the character of the surrounding area and impacts to public access.

Coastal Development Permit Application #5-01-191 (Tabak) was a residential structure located on a lot on the bluff face that would encroach seaward and was heard at the January 2002 Coastal Commission hearing. This site is approximately 900 feet southeast of the project site. The Commission denied the proposed project due the same issues proposed by Coastal Development Permit #5-01-080 (Palmero) to the project's landform, adverse visual impacts, seaward encroachment and its incompatibility with the character of the surrounding area and impacts to public access.

Another application for a project located in the subject area is located approximately 700 feet southeast of the project site at 3401 Ocean Boulevard for the development on the toe of the bluff and was recently heard at the December 2001 Coastal Commission hearing. A portion of this recently heard Coastal Development Permit Application #5-01-199 (Butterfield) was for the after-the-fact-approval for a "sand pit" cut-out at the base of the bluff on private property. This portion of the application was denied by the Commission due to the project's alteration of the naturally appearing landform, adverse visual impacts, seaward encroachment and its incompatibility with the character of the surrounding area.

The project site is visible from the public beach (Corona Del Mar State Beach). The pattern of development along this segment of Ocean Boulevard is such that structures are sited at the bottom of the bluff, while the bluff face remains largely undisturbed and vegetated. Approval of the proposed project would set a precedent for the construction of other development in the future along the bluff face that would significantly alter the natural land form and cause adverse visual impacts and encroach seaward. Scenic resources would not be preserved. Development at this site must be sited and designed to be visually compatible with the undisturbed character of the surrounding area. Therefore, the Commission cannot allow the proposed project to be constructed as submitted.

2. Conclusion

The Commission finds that the proposed project, as currently proposed, is not sited and designed to protect scenic and visual qualities of coastal areas. Denial of the proposed project would preserve existing scenic resources and would be consistent with preserving the existing community character where development occurs at the base of the coastal bluff. The alteration of the bluff would result in an adverse visual effect when viewed from public vantage points such as the beach. The Commission finds that the proposed project would result in the alteration of natural landforms and would not be visually compatible with the character of the surrounding area. Consequently, the proposed project would increase adverse impacts upon visual quality in the subject area. Therefore, the Commission finds that the proposed project is inconsistent with Section 30251 of the Coastal Act and with the City's LUP policy regarding coastal bluff sites and must be denied.

D. Alternatives

Denial of the proposed project will neither eliminate all economically beneficial or productive use of the applicants' property, nor unreasonably limit the owners' reasonable investment backed expectations of the subject property. The applicants already possess a substantial residential development of significant economic value of the property. In addition, several alternatives to the proposed development exist. Among those possible alternative developments are the following (though this list is not intended to be, nor is it, comprehensive of the possible alternatives):

1. No Project

No changes to the existing site conditions would result from the "no project" alternative. As such, there would be no disturbance of the bluff face. The bluff face would remain as an undeveloped vegetated slope and would be consistent with community character as development occurs at the base of the coastal bluff. The applicants would still have full use of the duplex. This alternative would result in the least amount of effects to the environment and also would not have any adverse effect on the value of the property.

2. Remodeling of the Existing Home

An alternative to the proposed project would be remodeling of the existing home located at the base of the bluff. As such, there would be no disturbance of the bluff base or face. The bluff face would remain as an undeveloped vegetated slope and would be consistent with community character as development occurs at the base of the coastal bluff.

3. Demolishing and Rebuilding the Existing Home

Another alternative to the proposed project would be demolishing and constructing a new residential structure, consistent with the pattern of development, located at the base of the bluff. As such, there would be no disturbance of the bluff base or face. The bluff face would remain as an undeveloped vegetated slope and would be consistent with community character as development occurs at the base of the coastal bluff.

E. Local Coastal Program

Section 30604(a) of the Coastal Act provides that the Commission shall issue a coastal development permit only if the project will not prejudice the ability of the local government having jurisdiction to prepare a Local Coastal Program which conforms with the Chapter 3 policies of the Coastal Act.

The City of Newport Beach Land Use Plan (LUP) was certified on May 19, 1982. Since the City only has an LUP, the policies of the LUP are used only as guidance. The Newport Beach LUP includes the following policies that relate to development at the subject site:

Development of Coastal Bluff Sites, Policy 2 (b) states,

Public Views. The location and design of a proposed project shall take into account public view potential.

Development of Coastal Bluff Sites, Policy 2 (b) states,

Grading, cutting and filling of natural bluff face or bluff edges shall be prohibited in order to preserve the scenic value of bluff areas, except for the purpose of performing emergency repairs, or for the installation of erosion-preventive devices or other measures necessary to assure the stability of the bluffs.

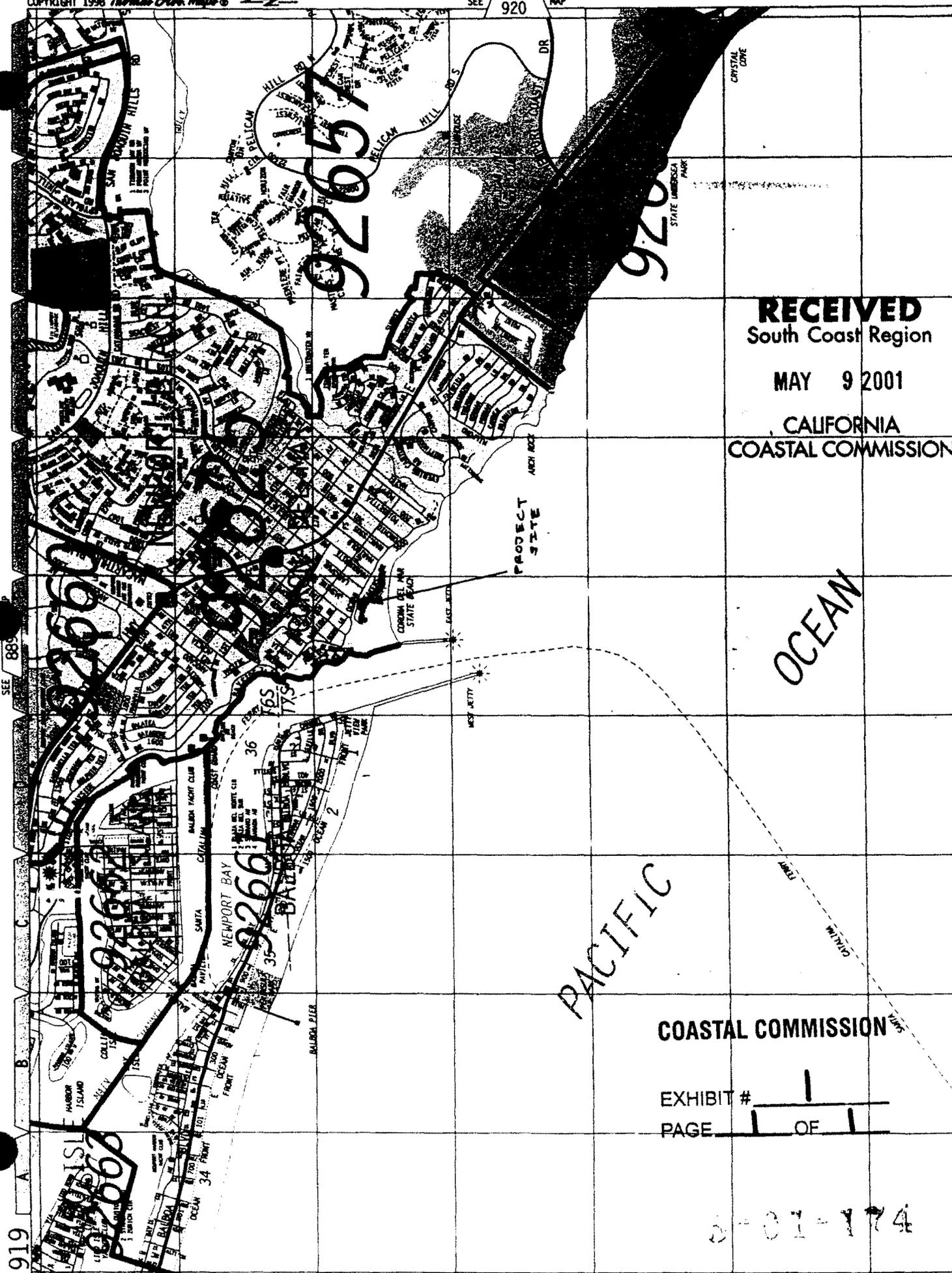
The construction of the proposed project is inconsistent with the policies in the City's certified LUP as well as the Chapter 3 policies of the Coastal Act discussed previously, specifically Sections 30251 and 30253 of the Coastal Act. Section 30251 of the Coastal Act states that permitted development should minimize landform alteration, visual impacts and the cumulative adverse impact that would occur if other lots develop the bluff face. Section 30253 of the Coastal Act states that new development should not contribute significantly to erosion and geologic instability. The proposed development would prejudice the City's ability to prepare a Local Coastal Program for Newport Beach that is consistent with the Chapter 3 policies of the Coastal Act, as required by Section 30604(a). Therefore, the project is found inconsistent with the policies in the City's certified LUP and the Chapter 3 policies of the Coastal Act and must be denied.

F. California Environmental Quality Act

Section 13096 of Title 14 of the California Code of Regulations requires Commission approval of Coastal Development Permits to be supported by a finding showing the permit, as conditioned by any conditions of approval, to be consistent with any applicable requirements of the California Environmental Quality Act (CEQA). Section 21080.5(d)(2)(A) of CEQA prohibits a proposed development from being approved if there are feasible alternatives or feasible mitigation measures available which would substantially lessen any significant adverse effect, which the activity may have on the environment.

As described above, the proposed project would have adverse environmental impacts. There are feasible alternatives or mitigation measures available, such as remodeling of the existing home. Therefore, the proposed project is not consistent with CEQA or the policies of the Coastal Act because there are feasible alternatives, which would lessen significant adverse impacts, which the activity would have on the environment. Therefore, the project must be denied.

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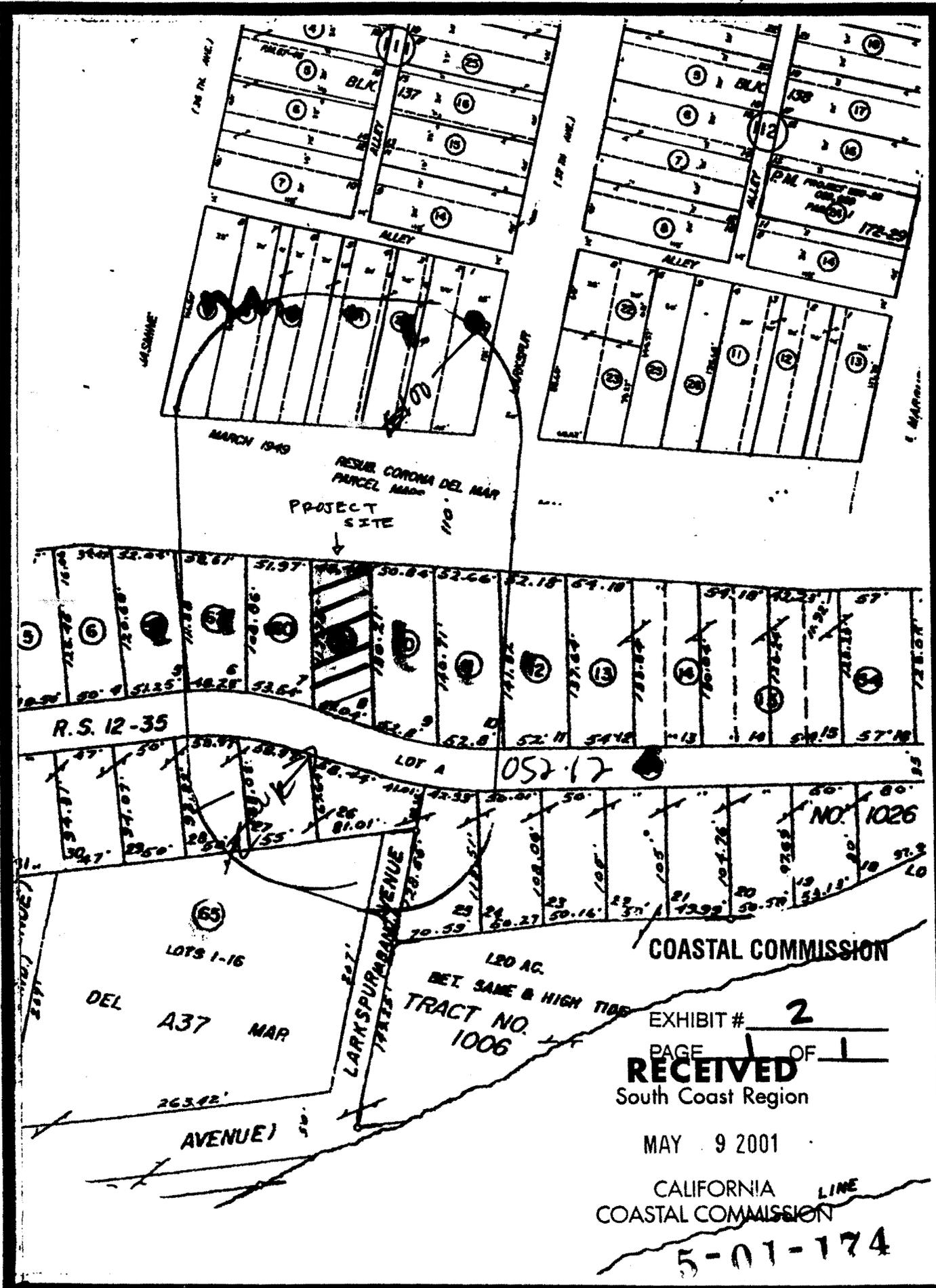
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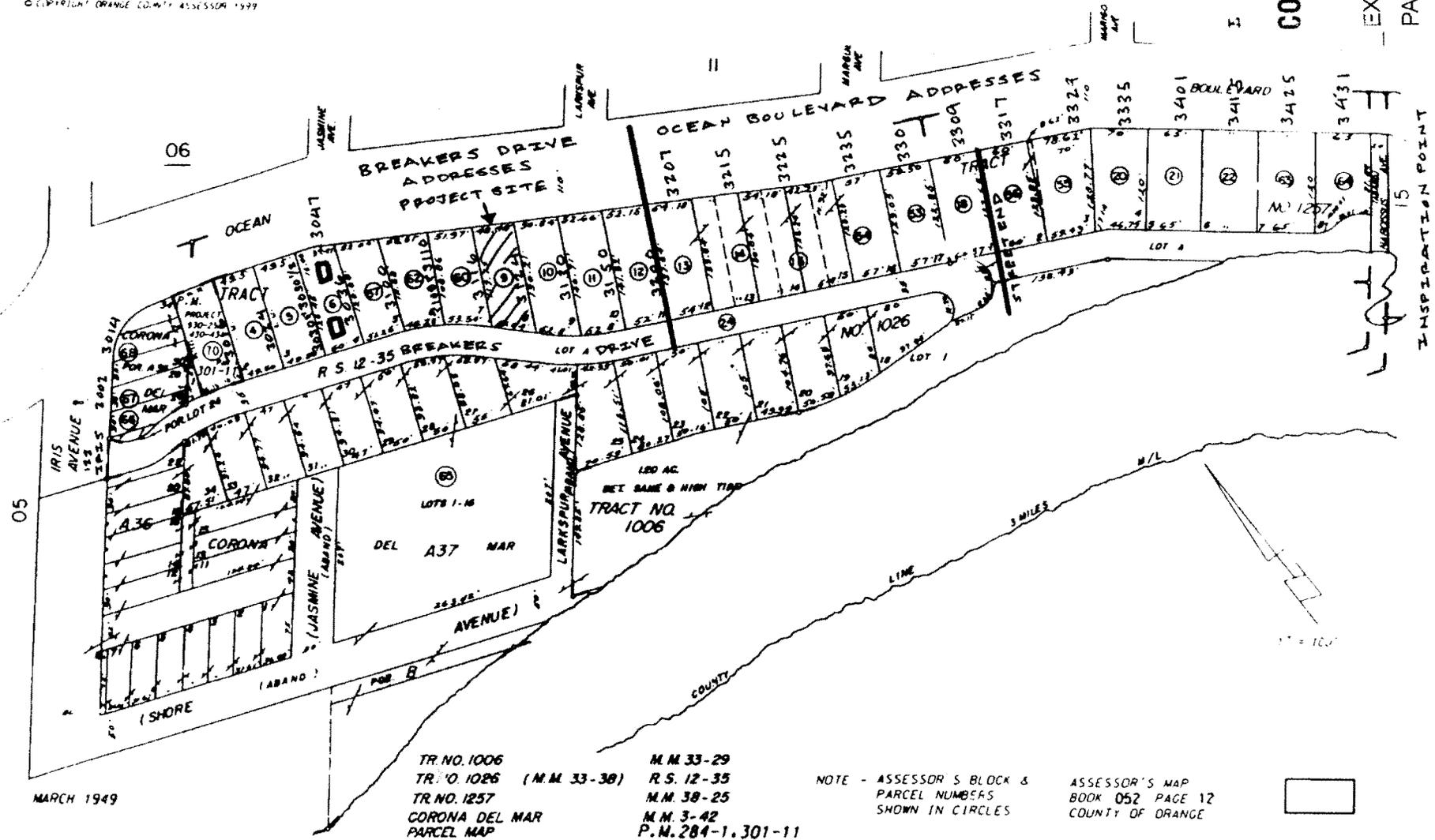
EXHIBIT # 1
PAGE 1 OF 1

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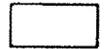
MARCH 1949

TR. NO. 1006
TR. NO. 1026 (M.M. 33-38)
TR. NO. 1257
CORONA DEL MAR
PARCEL MAP

M.M. 33-29
R.S. 12-35
M.M. 38-25
M.M. 3-42
P.M. 284-1, 301-11

NOTE - ASSESSOR'S BLOCK & PARCEL NUMBERS SHOWN IN CIRCLES

ASSESSOR'S MAP BOOK 052 PAGE 12 COUNTY OF ORANGE



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DANIELIAN ASSOCIATES
ARCHITECTURE & PLANNING
SIXTY CORPORATE PARK
IRVINE, CALIFORNIA 92618
PHONE 949-474-8080
FAX 949-474-4433
WWW.DANIELIAN.COM

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NO.	DATE	REVISION

PROJECT TITLE
**LEONARD
RESIDENCE**
224 BREAKERS DRIVE
CORONA DEL MAR, CA

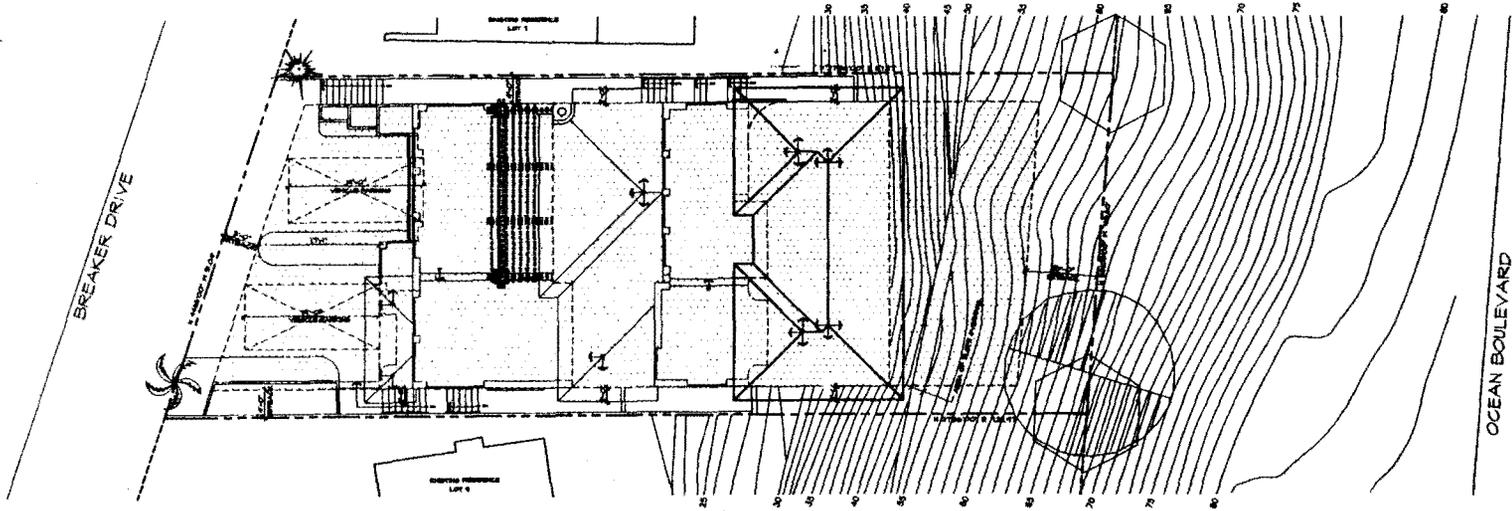
PROJECT NO. 99088-04

SHEET TITLE
SITE PLAN

ORIGINAL DATE:
• OCT 08 2001

PRINT DATE

SHEET NO.
C-1



SITE PLAN
SCALE: 1/8"=1'-0"

ZONING APPROVAL IN CONCEPT ONLY.
THESE PLANS HAVE NOT BEEN
REVIEWED FOR COMPLIANCE
WITH THE BUILDING CODES
OR PUBLIC WORKS DEPARTMENT
REGULATIONS.

Approved Plans
CITY OF CORONA DEL MAR
APPROVED FOR THE CITY OF CORONA DEL MAR
ON OCT 25 2001
BY: [Signature]
[Signature]

REFERENCE NOTES

FIG.	REFER TO	FIG.	REFER TO
SYMBOLS AND ABBREVIATIONS	SHEET S-1	EXTERIOR FINISH SCHEDULE	GENERAL NOTES SECTION 1A
FOUNDATION INFORMATION	T-1 (SEE) FOUNDATION PROFILE STRUCTURAL DRAWING / DETAILS BY OTHERS GENERAL NOTES SECTION 8A	EX-1 HARDSCAPE, SEWER PLANTERS, ETC.	LANDSCAPE DRAWING BY: [Signature] CIVIL DRAWING BY OTHERS
PLUMBING INFORMATION	SPRINKLER DRAWING / DETAILS BY OTHERS GENERAL NOTES SECTION 8A	FINISH INFORMATION	6-1 and GENERAL NOTES SECTION 10A
ELECTRICAL INFORMATION	T-1 (SEE) ELECTRICAL PLANS BY OTHERS GENERAL NOTES SECTION 8A		

BUILDABLE AREA
BUILDABLE AREA 4994 SQ. FT.
ALLOWABLE AREA 6091 SQ. FT.

ZONE: R-2
SETBACKS:
FRONT 10 (Ocean Blvd)
SIDE 5 (Breakers Dr)
REAR 10
LOT AREA 44
TOTAL LOT: 24,500 sq ft
DEVELOPER APPROVAL:

PAGE 1 OF 1
EXHIBIT # 4
COASTAL COMMISSION

da

DANIELIAN ASSOCIATES
ARCHITECTURE & PLANNING
SUITE 200, CONCORDIA PARK
10000 CONCORDIA PARKWAY, SUITE 200
FARMINGTON, CT 06030
PHONE: (860) 474-8080
FAX: (860) 474-8423
WWW.DANIELIAN.COM



NO.	DATE	REVISION

PROJECT TITLE
LEONARD RESIDENCE
8204 BRADSHAW DRIVE
CONCORDIA ONE, FARMINGTON, CT

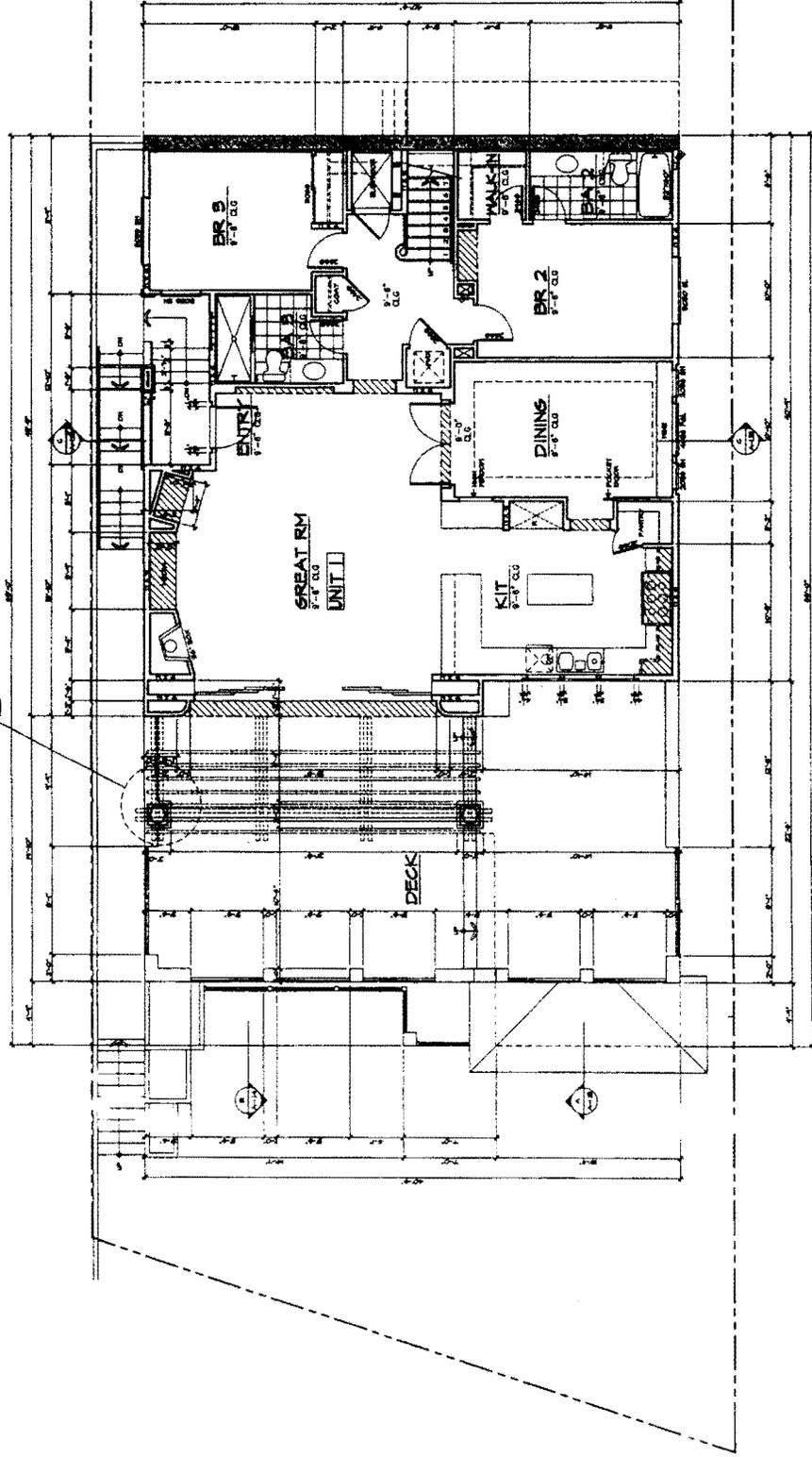
PROJECT NO. 910885.04
SHEET TITLE

SECOND FLOOR PLAN
UNIT 1 / UNIT 2

ISSUE DATE: **OCT 09 2001**

DESIGNED BY: _____
CHECKED BY: _____
DATE: _____

SHEET NO. **A-1.4**



Revised Plan
DATE: 10/9/01
BY: [Signature]

SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

REFERENCE NOTES

1. ALL DIMENSIONS UNLESS OTHERWISE NOTED ARE IN FEET AND INCHES.

2. FINISHES TO BE DETERMINED BY THE ARCHITECT IN CONSULTATION WITH THE OWNER.

3. ALL MATERIALS TO BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.

4. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE BUILDING CODES AND REGULATIONS.

5. ALL WORK TO BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE MANUFACTURER'S INSTRUCTIONS.

COASTAL COMMISSION

EXHIBIT # 5
PAGE 3 OF 4

DA

DANIELIAN ASSOCIATES
ARCHITECTURE & PLANNING
15000 CORPORATE PARK
IRVINE, CALIFORNIA 92618
(949) 474-6000
FAX: (949) 474-1422
PFD@DANIELIAN.COM

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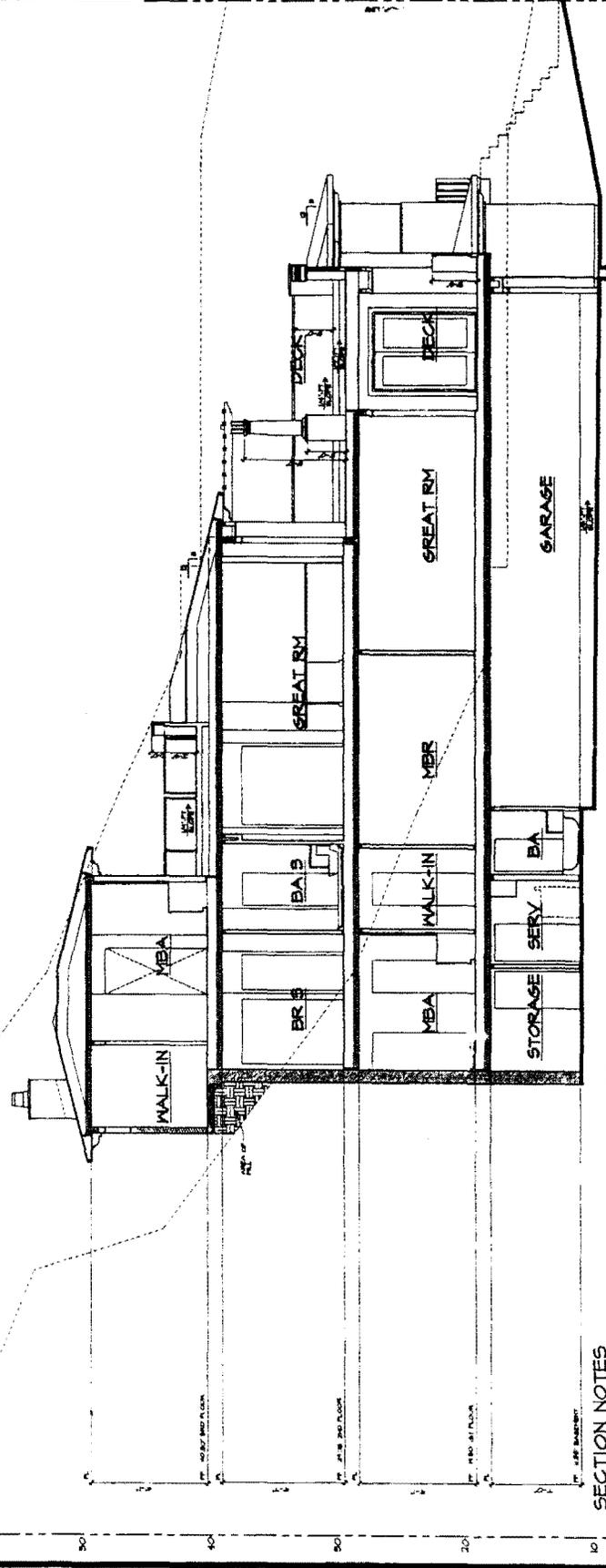
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PROJECT TITLE
**LEONARD
RESIDENCE**
1624 BILMORING DRIVE
COSTA MESA, CA, U.S.A.

PROJECT NO. 910986-04
SHEET TITLE
SECTION B

ORIGINAL DATE
• OCT 09 2001

SHEET NO. **A-1.4**



Approved Plans
DATE: 08.14.2001
BY: [Signature]
FOR: [Signature]

SECTION NOTES

- 1. REFER TO ALL OTHER SHEETS FOR DIMENSIONS AND FINISHES.
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COASTAL COMMISSION

EXHIBIT # 7
PAGE 2 OF 3



DAWEIAN ASSOCIATES
 ARCHITECTURE & PLANNING
 8471 CORCORAN PARK
 IRVINE, CALIFORNIA 92618
 (714) 441-8000
 FAX: (714) 441-1022
 PIEDMONT@DAWEIAN.COM

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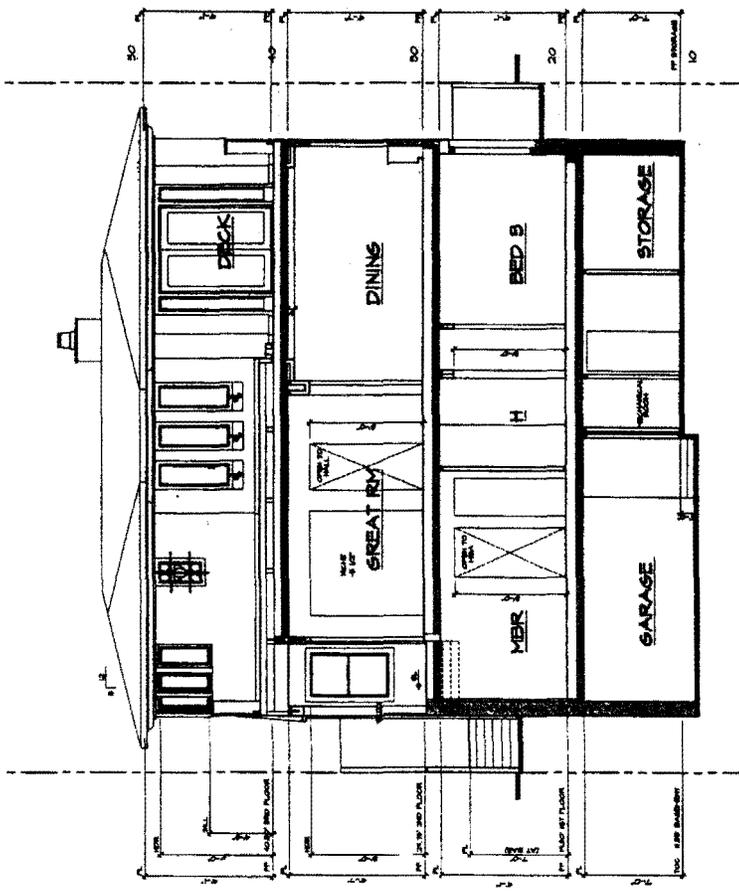
PROJECT TITLE
LEONARD RESIDENCE
 8004 BRANDENBURY DRIVE
 COSTA MESA, CALIF. 92626

PROJECT NO. 94000004
 SHEET TITLE
SECTION C

CONTRACT DATE
 OCT 08 2001

DATE
 PRICE DATE
 SHEET NO.
A-115

Revised
 08/24/2007
 The information on this drawing was prepared by the architect under the supervision of the architect. The architect is not responsible for the accuracy of the information provided by others. The architect is not responsible for the accuracy of the information provided by others. The architect is not responsible for the accuracy of the information provided by others.



SECTION SCALE: 1/4" = 1'-0"

- SECTION NOTES**
1. FINISHES TO BE SHOWN AT 1/2" SCALE UNLESS OTHERWISE NOTED.
 2. WALLS TO BE 12" THICK UNLESS OTHERWISE NOTED.
 3. FLOOR FINISHES TO BE 1/2" THICK UNLESS OTHERWISE NOTED.
 4. CEILING FINISHES TO BE 1/2" THICK UNLESS OTHERWISE NOTED.
 5. ROOF FINISHES TO BE 1/2" THICK UNLESS OTHERWISE NOTED.
 6. FOUNDATION FINISHES TO BE 1/2" THICK UNLESS OTHERWISE NOTED.
 7. STRUCTURAL FINISHES TO BE 1/2" THICK UNLESS OTHERWISE NOTED.
 8. MECHANICAL FINISHES TO BE 1/2" THICK UNLESS OTHERWISE NOTED.
 9. ELECTRICAL FINISHES TO BE 1/2" THICK UNLESS OTHERWISE NOTED.
 10. PLUMBING FINISHES TO BE 1/2" THICK UNLESS OTHERWISE NOTED.
 11. HVAC FINISHES TO BE 1/2" THICK UNLESS OTHERWISE NOTED.
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 99. CARPET FINISHES TO BE 1/2" THICK UNLESS OTHERWISE NOTED.
 100. HARDWOOD FINISHES TO BE 1/2" THICK UNLESS OTHERWISE NOTED.

COASTAL COMMISSION

EXHIBIT # 7
 PAGE 3 OF 3

da

DANIELIAN ASSOCIATES
ARCHITECTURE & PLANNING
SUNNY CORPORATE PARK
IRVINE, CALIFORNIA 92618
(949) 414-4000
WWW.DANIELIAN.COM
P: DANIELIAN@DANIELIAN.COM

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NO.	DATE	REVISION

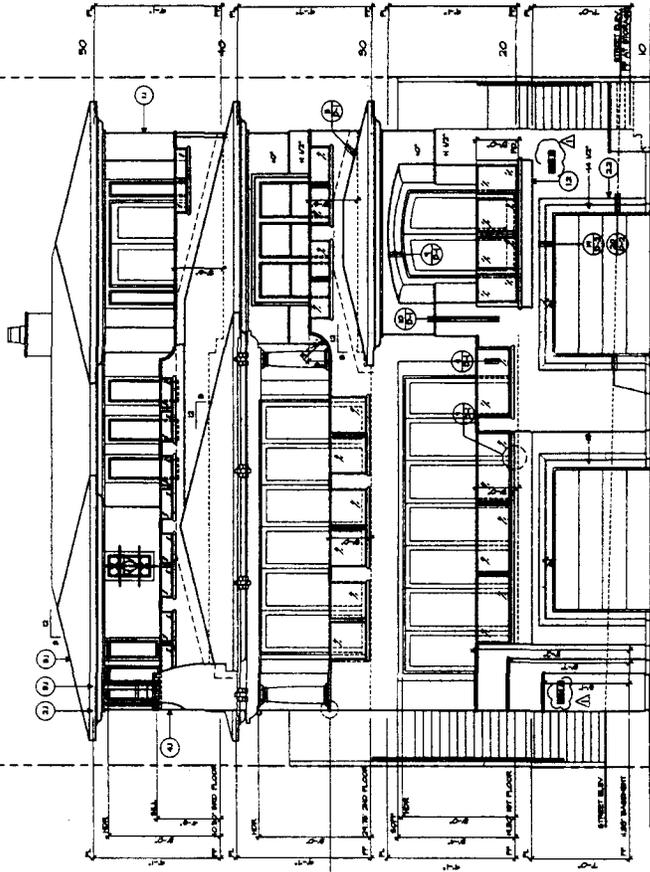
PROJECT TITLE
**LEONARD
RESIDENCE**
5124 BRANDING DRIVE
CORNWALL, CA 94024

PROJECT NO. 910288-04
SHEET TITLE

**EXTERIOR
ELEVATIONS**

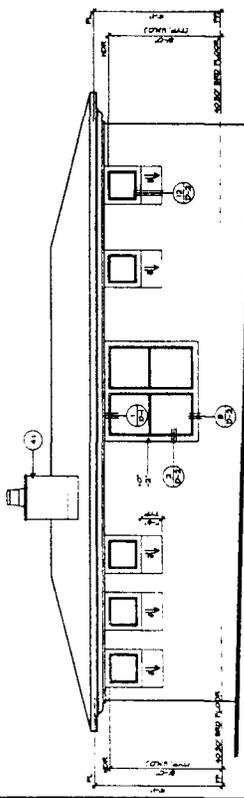
ORIGINAL DATE: OCT 09 2001

SHEET NO. **A-1.16**



FRONT ELEVATION
SCALE: 1/4" = 1'-0"

Remodeling
TO EXISTING PLAN
DATE: 08-17-2001
BY: [Signature]
CHECKED BY: [Signature]



REAR ELEVATION

ELEVATION NOTES

- EXTERIOR MATERIALS
- 1.1 ROOF: 24" X 24" ASPHALT/FLY ASH
- 1.2 ROOF: 24" X 24" ASPHALT/FLY ASH
- 1.3 ROOF: 24" X 24" ASPHALT/FLY ASH
- 1.4 ROOF: 24" X 24" ASPHALT/FLY ASH
- 1.5 ROOF: 24" X 24" ASPHALT/FLY ASH
- 1.6 ROOF: 24" X 24" ASPHALT/FLY ASH
- 1.7 ROOF: 24" X 24" ASPHALT/FLY ASH
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- 1.50 ROOF: 24" X 24" ASPHALT/FLY ASH

COASTAL COMMISS
EXHIBIT # 8
PAGE 1 OF 3



DANIELIAN ASSOCIATES
 ARCHITECTURE & PLANNING
 SUITE 300 CORPORATE PARK
 IRVINE, CALIFORNIA 92614
 TEL: (949) 451-1100
 FAX: (949) 451-1102
 WWW.DANIELIAN.COM

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 ASSOCIATES ARCHITECTURE & PLANNING.



NO.	DATE	REVISION

PROJECT TITLE
LEONARD RESIDENCE
 10000 BURNING OAK DRIVE
 CORONA DEL MAR, CA

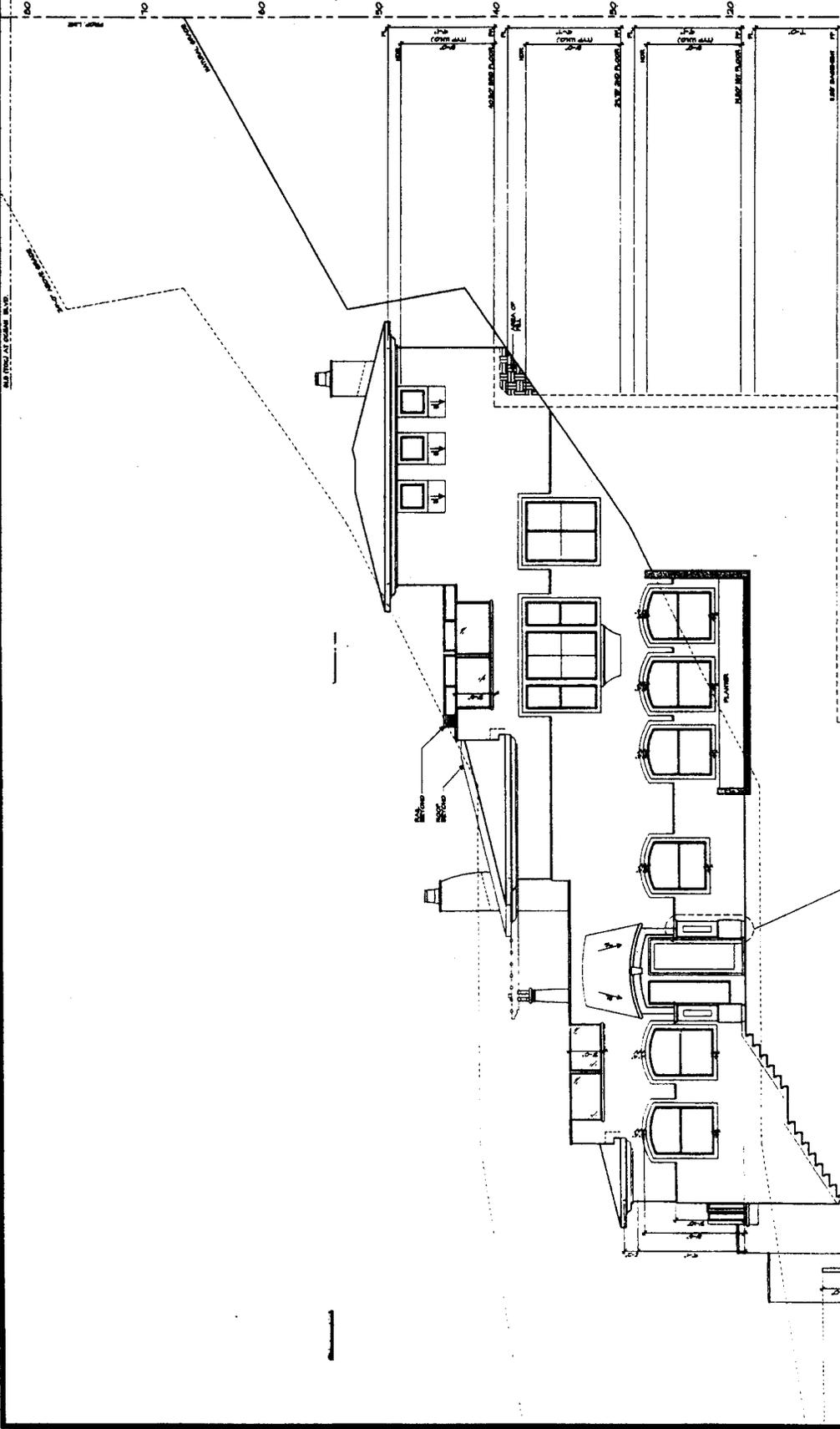
PROJECT NO. 010008.04
 SHEET TITLE

EXTERIOR ELEVATIONS

ORIGINAL DATE: OCT 09 2001

PRINT DATE

SHEET NO. A-1.17



RIGHT ELEVATION
 SCALE: 1/4"=1'-0"

Approved
 STATE OF CALIFORNIA
 ARCHITECTURE BOARD
 REGISTERED ARCHITECT
 DANIELIAN ASSOCIATES ARCHITECTURE & PLANNING
 10000 BURNING OAK DRIVE
 CORONA DEL MAR, CA 92626
 (949) 451-1100
 WWW.DANIELIAN.COM
 10/17/01

ELEVATION NOTES

- 1. REFER TO MATERIALS
- 2. REFER TO SECTIONS OF CAUTIONED AREAS
- 3. FINISH
- 4. FINISH
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COASTAL COMMISSIC
 EXHIBIT # 8
 PAGE 2 OF 3

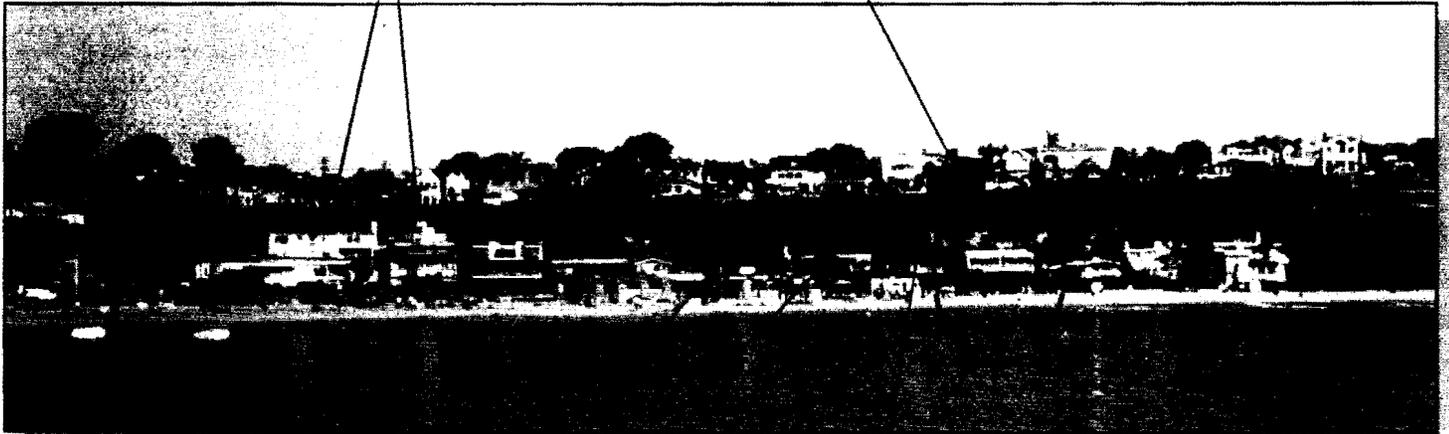
AERIAL



PHOTOS

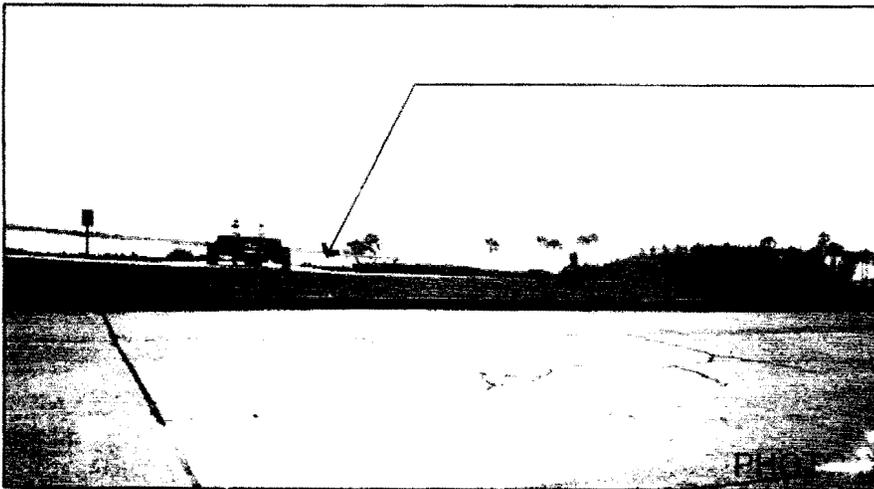
NEW DEVELOPMENT ON
BREAKERS DRIVE

3124 BREAKERS DR.
ORIGINAL TWO STORY
DUPLEX TO BE DEMOLISHED



OCEAN BLVD
THE BLUFFS

VEGETATION PLANTED BY
CITY OF NEWPORT BEACH



VIEW FROM OCEAN
DRIVE. PROPOSED
STRUCTURE TO BE
APPROX. 29'-0" BELOW
TOP OF CURB ON
OCEAN BLVD.

COASTAL COMMISSION

EXHIBIT # 12
PAGE 1 OF 1

