

**CALIFORNIA COASTAL COMMISSION**

SOUTH COAST DISTRICT  
200 Oceangate, Suite 1000  
LONG BEACH, CA 90802-4302  
(562) 590-5071 FAX (562) 590-5084  
[www.coastal.ca.gov](http://www.coastal.ca.gov)

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# **SOUTH COAST DISTRICT (LONG BEACH) DEPUTY DIRECTOR'S REPORT**

*For the  
January Meeting of the California Coastal Commission*

MEMORANDUM

Date: January 2, 2013

TO: Commissioners and Interested Parties

FROM: Sherilyn Sarb, South Coast District Deputy Director, (Orange County)

SUBJECT: ***Deputy Director's Report***

Following is a listing for the waivers, emergency permits, immaterial amendments and extensions issued by the South Coast District Office for the January 11, 2013 Coastal Commission hearing. Copies of the applicable items are attached for your review. Each item includes a listing of the applicants involved, a description of the proposed development, and a project location.

Pursuant to the Commission's direction and adopted procedures, appropriate notice materials were sent to all applicants for posting at the project site. Additionally, these items have been posted at the District office and are available for public review and comment.

This report may also contain additional correspondence and/or any additional staff memorandum concerning the items to be heard on today's agenda for the South Coast District.

***DE MINIMIS WAIVERS***

1. 5-12-327-W Mike Schmidt (Newport Beach, Orange County)
2. 5-12-329-W Mr. & Mrs. James Mc Cunniff (Newport Beach, Orange County)
3. 5-12-333-W Mr. & Mrs. John Maney (Newport Beach, Orange County)
4. 5-12-340-W Mr. & Mrs. Larry Wood (Newport Beach, Orange County)
5. 5-12-346-W 211 Goldenrod Llc., Attn: John Montgomery, Trustee (Corona Del Mar, Orange County)
6. 5-12-347-W David William Hanna (Laguna Beach, Orange County)

**TOTAL OF 6 ITEMS**

**DETAIL OF ATTACHED MATERIALS****REPORT OF DE MINIMIS WAIVERS**

The Executive Director has determined that the following developments do not require a coastal development permit pursuant to Section 30624.7 of the California Coastal Act of 1976.

<i>Applicant</i>	<i>Project Description</i>	<i>Project Location</i>
5-12-327-W Mike Schmidt	Demolition of an existing single family residence and detached garage and construction of a new 3,582 sq. ft., three story, 29' tall, two unit duplex with attached 2-car garage and 2-tandem parking spaces, second story balcony deck, and roof deck. Outdoor improvements consist of a paved side courtyard and side yards; drainage improvements and minimal landscaping utilizing artificial turf, drought tolerant, non-invasive plants proposed.	819 W. Balboa Blvd., Newport Beach (Orange County)
5-12-329-W Mr. & Mrs. James Mc Cunniff	Removal of existing mobile home and installation of a new 1,303 sq. ft. one-story 16' tall manufactured home with steel pier tiedown foundation system, 180 sq. ft. attached one-car aluminum carport awning, 757 sq. ft. hardscape (concrete patio and carport) area and 361 sq. ft. landscape area. No grading is proposed. Drainage from the roof and concrete patio proposed to be directed into landscaped areas for onsite infiltration before entering the main storm drain system. Landscaping proposed to be drought tolerant and non-invasive plants.	252 Mayflower (within De Anza Bayside Village Mobile Home Park located at 300 E. Coast Hwy.), Newport Beach (Orange County)
5-12-333-W Mr. & Mrs. John Maney	Demolition of existing 1,314 sq. ft. single-family residence and construction of a new two-story 29 tall, 3,676 sq. ft. single-family residence including a 3-car garage, new hardscape including and a landscaping plan utilizing drought tolerant plant palette is proposed. Roof water run-off will be conducted through gutters and downspouts into landscaped areas to allow for natural percolation, excess overflow will be directed to the public storm drain system. Minimal grading limited to over-excavation cut/fill for soil re-compaction for site preparation is proposed.	2732 Circle Drive, Newport Beach (Orange County)
5-12-340-W Mr. & Mrs. Larry Wood	Demolition of existing one-story single-family residence and construction of a new three-story, 2,859 sq. ft., 29' tall, single family dwelling including an attached 2-car garage, third story 306 sq. ft. roof deck and hardscape improvements. Grading limited to over-excavation cut/fill for soil re-compaction and site preparation. Run off water will sheet flow towards permeable areas and surface area drains; roof downspouts will be directed to a perforated drainline and to French drains prior to reaching the main storm drain system. Landscaping is proposed utilizing woolly yarrow a drought tolerant non-invasive plant.	234 Agate Ave, Newport Beach (Orange County)

**SOUTH COAST DISTRICT DEPUTY DIRECTOR'S REPORT CONTINUED**

<p><b>5-12-346-W</b> 211 Goldenrod Llc., Attn: John Montgomery, Trustee</p>	<p>Demolition of an existing single family residence and construction of a new 1,848 sq. ft., three-story, 24' tall, single family residence including an attached 2-car garage and third story balcony decks are proposed. Outdoor improvements consist of a paved side courtyard and side yards; drainage improvements and landscaping utilizing drought tolerant, non-invasive plants proposed.</p>	<p>211 Goldenrod, Corona Del Mar (Orange County)</p>
<p><b>5-12-347-W</b> David William Hanna</p>	<p>Demolition of existing single-story, 3,713 sq. ft. single-family residence and garage and construction of new one-story 24' high (above lowest finished floor) 9,202 sq. ft. single-family residence including a basement level with a 4-car garage, new hardscape including pool, spa, water feature, outdoor fireplace, bbq and new fences at property lines; landscaping consisting of a low water use plant palette. Roof water runoff will be collected from rain gutters and downspouts and stored in a water cistern and reused. Ground surface low-flow water run-off will be collected by area drains and channel drains and treated through a filter before directed to the public storm drain system. Grading consisting of 3,530 cubic yards of cut is proposed for the basement/garage level and 40 cubic yards of fill.</p>	<p>2455 Monaco Drive, Laguna Beach (Orange County)</p>

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South Coast Area Office  
 200 Oceangate, Suite 1000  
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December 20, 2012



Mike Schmidt  
 18544 San Felipe St.  
 Fountain Valley, CA 92708

**SUBJECT: Waiver of Coastal Development Permit Requirement/De Minimis  
 Developments-Section 30624.7 of the Coastal Act**

Based on your project plans and information provided in your permit application for the development described below, the Executive Director of the Coastal Commission hereby waives the requirement for a Coastal Development Permit pursuant to Section 13238.1, Title 14, California Code of Regulations. If, at a later date, this information is found to be incorrect or the plans revised, this decision will become invalid; and, any development occurring must cease until a coastal development permit is obtained or any discrepancy is resolved in writing.

**WAIVER#:** 5-12-327

**APPLICANT:** Mike Schmidt

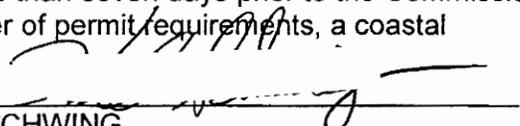
**LOCATION:** 819 W. Balboa Blvd., Newport Beach, Orange County

**PROPOSED DEVELOPMENT:** Demolition of an existing single family residence and detached garage and construction of a new 3,582 sq. ft., three story, 29' tall, two unit duplex with attached 2-car garage and 2-tandem parking spaces, second story balcony deck, and roof deck. Outdoor improvements consist of a paved side courtyard and side yards; drainage improvements and minimal landscaping utilizing artificial turf, drought tolerant, non-invasive plants proposed.

**RATIONALE:** The subject site is a 3,151 sq. ft. interior lot designated Two Unit Residential (RT-D) in the City of Newport Beach LUP. Some residential projects sited on inland lots in Newport Beach are excluded from coastal development permit (CDP) requirements under Categorical Exclusion E-77-5. However, the proposed project does not qualify for exclusion from CDP requirements because it does not have less than a 1.5 floor to buildable-lot area ratio. A lot line adjustment or condominium conversion would also require a CDP. Adequate measures to address water quality have been incorporated into the construction phase and into the project design. Surface area drains are directed to underground stormwater infiltration chambers at paved front side yard courtyard to channel drains at the rear of the lot and to landscaped areas. The proposed project meets the Commission's parking requirement (2 spaces per residential unit) and is compatible with the character of the surrounding development. Public coastal access is available to Newport Bay approximately 250 feet southwest of the site at the 9<sup>th</sup> St. street-end. The project will not result in adverse impacts to coastal access, coastal resources, public recreation, or coastal views. Furthermore, the proposed project would not prejudice the City's ability to prepare a certified Local Coastal Program and is consistent with the land use designation in the City's certified Land Use Plan, past Commission actions in the area and Chapter Three policies of the Coastal Act.

This waiver will not become effective until reported to the Commission at their **January 9-11, 2013** meeting and the site of the proposed development has been appropriately noticed, pursuant to 13054(b) of the California Code of Regulations. The enclosed Notice Card shall remain posted at the site until the waiver has been validated and no less than seven days prior to the Commission hearing. If four (4) Commissioners object to this waiver of permit requirements, a coastal development permit will be required.

CHARLES LESTER  
 Executive Director

by:   
 KARL SCHWING  
 Supervisor Regulation and Planning

cc: Commissioners

**CALIFORNIA COASTAL COMMISSION**

South Coast Area Office  
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December 19, 2012

Coastline Construction & Awning, Attn: Steve Almquist  
22481 Goldrush  
Lake Forest, CA 92630

**SUBJECT: Waiver of Coastal Development Permit Requirement/De Minimis  
Developments-Section 30624.7 of the Coastal Act**

Based on your project plans and information provided in your permit application for the development described below, the Executive Director of the Coastal Commission hereby waives the requirement for a Coastal Development Permit pursuant to Section 13238.1, Title 14, California Code of Regulations. If, at a later date, this information is found to be incorrect or the plans revised, this decision will become invalid; and, any development occurring must cease until a coastal development permit is obtained or any discrepancy is resolved in writing.

**WAIVER#:** 5-12-329                      **APPLICANT:** Mr. and Mrs. James McCunniff

**LOCATION:** 252 Mayflower (Bayside Village Mobile Home Park), Newport Beach (Orange County)

**PROPOSED DEVELOPMENT:** Removal of existing mobile home and installation of a new 1,303 sq. ft. one-story 16' tall manufactured home with steel pier tiedown foundation system, 180 sq. ft. attached one-car aluminum carport awning, 757 sq.ft. hardscape (concrete patio and carport) area and 361 sq. ft. landscape area. No grading is proposed. Drainage from the roof and concrete patio proposed to be directed into landscaped areas for onsite infiltration before entering the main storm drain system. Landscaping proposed to be drought tolerant and non-invasive plants.

**RATIONALE:** The subject site consists of a 2,421 sq. ft. mobile home space located on a larger parcel designated as Multiple Residential (RM) in the City of Newport Beach Land Use Plan (LUP) and is located between the first public road and the sea. The subject site is located in the Bayside Village Mobile Home Park which is identified by the City as one of its affordable housing resources. However, the City does not include any of the mobile homes in their inventory of affordable units within the City because these mobile home parks are regulated by HCD, not the City. The proposed project will not change any existing affordable restrictions, will not result in any division of land or change the manner of ownership of the land, and will not adversely impact the inventory of lower cost housing available in the Coastal Zone. One parking space is provided on site. Additional parking for the guests and residents of the Bayside Village Mobile Home Park is provided within the park grounds. Public access is not available on site, but the proposed development will not change public access conditions on-site. Public access to the Upper Newport Bay is available near the site at the end of North Bayside Drive. Directing storm drain runoff to permeable surfaces is consistent with the marine protection policies of the Coastal Act. The proposed project is compatible with the character of surrounding development, does not have any negative affects on visual or coastal resources, public recreation or coastal access. The project will not prejudice the City's ability to prepare a Certified Local Coastal Plan and is consistent with past Commission actions in the area and Chapter Three policies of the Coastal Act.

This waiver will not become effective until reported to the Commission at their January 9-11, 2013 meeting and the site of the proposed development has been appropriately noticed, pursuant to 13054(b) of the California Code of Regulations. The enclosed Notice Card shall remain posted at the site until the waiver has been validated and no less than seven days prior to the Commission hearing. If four (4) Commissioners object to this waiver of permit requirements, a coastal development permit will be required.

CHARLES LESTER  
Executive Director

  
KARL SCHWING  
Orange County Area Supervisor



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December 19, 2012

George W. Seitz, Architect  
18023-A Sky Park Circle  
Irvine, CA 92614

**SUBJECT: Waiver of Coastal Development Permit Requirement/De Minimis  
Developments-Section 30624.7 of the Coastal Act**

Based on your project plans and information provided in your permit application for the development described below, the Executive Director of the Coastal Commission hereby waives the requirement for a Coastal Development Permit pursuant to Section 13238.1, Title 14, California Code of Regulations. If, at a later date, this information is found to be incorrect or the plans revised, this decision will become invalid; and, any development occurring must cease until a coastal development permit is obtained or any discrepancy is resolved in writing.

**WAIVER#:** 5-12-340                      **APPLICANT:** Mr. and Mrs. Larry Wood

**LOCATION:** 234 Agate Avenue, Balboa Island, Newport Beach (Orange County)

**PROPOSED DEVELOPMENT:** Demolition of existing one-story single-family residence and construction of a new three-story, 2,859 sq. ft., 29' tall, single family dwelling including an attached 2-car garage, third story 306 sq. ft. roof deck and hardscape improvements. Grading limited to over-excavation cut/fill for soil re-compaction and site preparation. Run off water will sheet flow towards permeable areas and surface area drains; roof downspouts will be directed to a perforated drainline and to French drains prior to reaching the main storm drain system. Landscaping is proposed utilizing woolly yarrow a drought tolerant non-invasive plant.

**RATIONALE:** The subject site is a 2,550 square foot lot designated two-unit residential in the City of Newport Beach Land Use Plan (LUP) and is located on an inland lot within the first public road and the sea on Balboa Island. The proposed project conforms to the Commission's parking requirement (2 spaces per residential unit) and is designed to be compatible with the character of the surrounding development. Adequate measures to address water quality have been incorporated during construction and into the project design. Surface area drains and downspouts are directed to an underground drainage system with perforated drain line encased in gravel for greater filtration on site. Public coastal access to the bay is available ~50 feet north of the site at N. Bayfront along a public walkway surrounding Balboa Island. The proposed development will not result in adverse impacts to coastal access, coastal resources, public recreation or coastal views. Also, the proposed development will not prejudice the City's ability to prepare a Certified Local Coastal Program and is consistent with the land use designation in the City's certified Land Use Plan, past Commission actions in the area and Chapter Three policies of the Coastal Act.

This waiver will not become effective until reported to the Commission at their **January 9-11, 2013** meeting and the site of the proposed development has been appropriately noticed, pursuant to 13054(b) of the California Code of Regulations. The enclosed Notice Card shall remain posted at the site until the waiver has been validated and no less than seven days prior to the Commission hearing. If four (4) Commissioners object to this waiver of permit requirements, a coastal development permit will be required.

CHARLES LESTER  
Executive Director

by:   
KARL SCHWING  
Supervisor Regulation and Planning

cc: Commissioners/File

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(562) 590-5071

December 27, 2012



Wiley Architects  
220 Newport Center Drive #166  
Newport Beach, CA 92660

**SUBJECT: Waiver of Coastal Development Permit Requirement/De Minimis  
Developments-Section 30624.7 of the Coastal Act**

Based on your project plans and information provided in your permit application for the development described below, the Executive Director of the Coastal Commission hereby waives the requirement for a Coastal Development Permit pursuant to Section 13238.1, Title 14, California Code of Regulations. If, at a later date, this information is found to be incorrect or the plans revised, this decision will become invalid; and, any development occurring must cease until a coastal development permit is obtained or any discrepancy is resolved in writing.

**WAIVER#:** 5-12-346

**APPLICANT:** 211 Goldenrod LLC

**LOCATION:** 211 Goldenrod, Newport Beach, Orange County

**PROPOSED DEVELOPMENT:** Demolition of an existing single family residence and construction of a new 1,848 sq. ft., three-story, 24' tall, single family residence including an attached 2-car garage and third story balcony decks are proposed. Outdoor improvements consist of a paved side courtyard and side yards; drainage improvements and landscaping utilizing drought tolerant, non-invasive plants proposed.

**RATIONALE:** The subject site is a 1,770 sq. ft. interior lot designated Single Unit Residential (RSD-B) in the City of Newport Beach Land Use Plan. Some residential projects sited on inland lots in Newport Beach are excluded from coastal development permit (CDP) requirements under Categorical Exclusion E-77-5. However, the proposed project does not qualify for exclusion from CDP requirements because it does not have less than a 1.5 floor to buildable-lot area ratio. Adequate measures to address water quality have been incorporated into the construction phase and into the project design. Low flow water runoff will sheet flow over a paved side yard to a fossil filter catch basin before directed to public storm drain; a second perforated pipe subdrain will collect and infiltrate runoff from major storm events. The proposed project meets the Commission's parking requirement (2 spaces per residential unit) and is compatible with the character of the surrounding development. Public coastal access is available to Newport Bay approximately 700 feet southwest of the site at China Cove Beach. The project will not result in adverse impacts to coastal access, coastal resources, public recreation, or coastal views. Furthermore, the proposed project would not prejudice the City's ability to prepare a certified Local Coastal Program and is consistent with the land use designation in the City's certified Land Use Plan, past Commission actions in the area and Chapter Three policies of the Coastal Act.

This waiver will not become effective until reported to the Commission at their **January 9-11, 2013** meeting and the site of the proposed development has been appropriately noticed, pursuant to 13054(b) of the California Code of Regulations. The enclosed Notice Card shall remain posted at the site until the waiver has been validated and no less than seven days prior to the Commission hearing. If four (4) Commissioners object to this waiver of permit requirements, a coastal development permit will be required.

CHARLES LESTER  
Executive Director

by:   
for KARL SCHWING  
Supervisor Regulation and Planning

cc: Commissioners

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December 26, 2012

C.J. Light Associates  
 1401 Quail St. #120  
 Newport Beach, CA 92660

**SUBJECT: Waiver of Coastal Development Permit Requirement/De Minimis  
 Developments-Section 30624.7 of the Coastal Act**

Based on your project plans and information provided in your permit application for the development described below, the Executive Director of the Coastal Commission hereby waives the requirement for a Coastal Development Permit pursuant to Section 13250(c) or Section 13253(c), Title 14, California Code of Regulations. If, at a later date, this information is found to be incorrect or the plans revised, this decision will become invalid; and, any development occurring must cease until a coastal development permit is obtained or any discrepancy is resolved in writing.

**WAIVER#:** 5-12-347      **APPLICANT:** David William Hanna

**LOCATION:** 2455 Monaco Drive, Laguna Beach (Orange County)

**PROPOSED DEVELOPMENT:** Demolition of existing single-story, 3,713 sq. ft. single-family residence and garage and construction of new one-story 24' high (above lowest finished floor) 9,202 sq. ft. single-family residence including a basement level with a 4-car garage, new hardscape including pool, spa, water feature, outdoor fireplace, bbq and new fences at property lines; landscaping consisting of a low water use plant palette. Roof water runoff will be collected from rain gutters and downspouts and stored in a water cistern and reused. Ground surface low-flow water run-off will be collected by area drains and channel drains and treated through a filter before directed to the public storm drain system. Grading consisting of 3,530 cubic yards of cut is proposed for the basement/garage level and 40 cubic yards of fill.

**RATIONALE:** The subject site is seaward of Pacific Coast Highway and located within the existing locked gate community of Irvine Cove, one of three areas of deferred certification due to public access issues in the otherwise certified City of Laguna Beach. The 15,522 sq. ft. lot is not a bluff top or oceanfront lot, but is located between the sea and the first public road within a locked gate community. The area is zoned low-density residential by the City and the proposed project conforms to the permitted uses for a low-density zone. Adequate measures to address water quality have been incorporated during construction and into the project design. Public coastal access exists in the project vicinity at Crystal Cove State Park (approximately 1½ mile upcoast) and at Crescent Bay (approximately 1 mile down-coast). The development exceeds the Commission's typical parking requirement of two spaces per residential unit. The proposed landscaping plan provides non-invasive drought-tolerant plant species.

The proposed development will not prejudice the City's ability to prepare a certified Local Coastal Program for this area. Furthermore, the proposed development will not adversely impact coastal resources, public access, coastal views or public recreation opportunities, and is consistent with past Commission actions in the area, and the Chapter 3 policies of the Coastal Act.

This waiver will not become effective until reported to the Commission at their **January 9-11, 2013** meeting. If three (3) Commissioners object to this waiver of permit requirements, a coastal development permit will be required.

CHARLES LESTER  
 Executive Director

by: \_\_\_\_\_  
 for KARL [Signature]  
 Supervisor Regulation and Planning

cc: Commissioners/File