

CALIFORNIA COASTAL COMMISSION

San Diego Coast District Office
7575 Metropolitan Drive, Suite 103
San Diego, California 92108-4402
(619) 767-2370 FAX (619) 767-2384



W15

SAN DIEGO COAST DISTRICT DEPUTY DIRECTOR'S REPORT

*For the
April Meeting of the California Coastal Commission*

MEMORANDUM

Date: April 10, 2015

TO: Commissioners and Interested Parties
FROM: Sherilyn Sarb, San Diego Coast District Deputy Director
SUBJECT: *Deputy Director's Report*

Following is a listing for the waivers, emergency permits, immaterial amendments and extensions issued by the San Diego Coast District Office for the April 2015 Coastal Commission hearing. Copies of the applicable items are attached for your review. Each item includes a listing of the applicants involved, a description of the proposed development, and a project location.

Pursuant to the Commission's direction and adopted procedures, appropriate notice materials were sent to all applicants for posting at the project site. Additionally, these items have been posted at the District office and are available for public review and comment.

This report may also contain additional correspondence and/or any additional staff memorandum concerning the items to be heard on today's agenda for the San Diego Coast District.

DETAIL OF ATTACHED MATERIALS

REPORT OF REGULAR WAIVERS

The Executive Director has determined that the following developments do not require a coastal development permit pursuant to Section 13250(c) and/or Section 13253(c) of the California Code of Regulations.

<i>Applicant</i>	<i>Project Description</i>	<i>Project Location</i>
6-15-0402-W John & Gundula Dunne	Construction of a 50 sq. ft. addition (enclosing an existing deck) on the east side of an existing 1,464 sq. ft. condominium. Work shall take place in accordance with the recommendations set forth in the 'Geotechnical Review Letter' by Engineering Design Group, dated April 9, 2015.	597 South Sierra Avenue, Unit 53, Solana Beach, (San Diego County). APN 298-211-71-53

REPORT OF DE MINIMIS WAIVERS

The Executive Director has determined that the following developments do not require a coastal development permit pursuant to Section 30624.7 of the California Coastal Act of 1976.

<i>Applicant</i>	<i>Project Description</i>	<i>Project Location</i>
6-15-0191-W Christopher Wakeham	Construction of a detached approximately 2,040 sq. ft. single family residence, conversion and remodel of an existing 847 sq. ft. single family residence and an existing 342 sq. ft. detached studio into one approximately 1,260 sq. ft. single family residence, and retention of an existing 513 sq. ft. garage on an existing 10,105 sq. ft. lot.	209 Cliff Street, Solana Beach, (San Diego County). APN 263-362-21
6-15-0289-W Jesus Benitez	Construction of a detached 515 square foot 2-car garage on a 15,126 square foot lot with an existing 2-story, 1,421 square foot single-family residence.	809 Seabright Lane, Solana Beach (San Diego County). APN 263-032-04

REPORT OF IMMATERIAL AMENDMENTS

The Executive Director has determined that there are no changes in circumstances affecting the conformity of the subject development with the California Coastal Act of 1976. No objections to this determination have been received at this office. Therefore, the Executive Director grants the requested Immaterial Amendment, subject to the same conditions, if any, approved by the Commission.

<i>Applicant</i>	<i>Project Description</i>	<i>Project Location</i>
6-01-099-A4 Prewitt/Schmucker/ Cavadias, Attn: Steve Cavadias	Consolidation of two existing lots into one lot totaling 15,195 sq.ft., demolition of two existing one-story single family residences and construction of three new residences (6,594 sq.ft., 7,108 sq.ft., and 5,713 sq.ft., respectively) on a bayfront site.	3712, 3720 Riviera Drive, Pacific Beach, San Diego (San Diego County). APNs 443-441-12, 443-441-21

REPORT OF EMERGENCY PERMITS

The Executive Director has determined that the following developments do not require a coastal development permit pursuant to Section 13142 of the California Code of Regulations because the development is necessary to protect life and public property, or to maintain public services.

<i>Applicant</i>	<i>Project Description</i>	<i>Project Location</i>
G-6-15-0010 San Diego Gas and Electric, Attn: Dash Meeks	Construction of erosion control features to protect existing gas pipelines. Includes construction of two earth berm water bars (swales and ridges built to redirect runoff) across an existing dirt service road, construction of one approximately 75 sq. ft. energy dissipater, backfilling three existing sink holes, and digging three approximately five ft. in diameter by six ft. deep test pits directly over an existing below-grade gas pipeline to confirm that erosion has not compromised support of the gas pipeline (Ref. Phase 1 Activity Area on attached plan titled "SDG&E Gas Transmission Line L-3010, Span 3008A").	Open space north of Manchester Avenue, east of El Camino Real, Encinitas, (San Diego County).

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April 9, 2015

SUBJECT: Coastal Development Permit Waiver Improvements to Existing Single-Family Residences or Structures Coastal Act Sections 30610(a) and (b)

Based on the project plans and information provided in your permit application for the development described below, the Executive Director of the Coastal Commission hereby waives the requirement for a Coastal Development Permit pursuant to Section 13250(c), Section 13252(e), or Section 13253(c), Title 14, California Code of Regulations. If, at a later date, this information is found to be incorrect or the plans revised, this decision will become invalid; and, any development occurring must cease until a coastal development permit is obtained or any discrepancy is resolved in writing.

Waiver: 6-15-0402-W

Applicant: John & Gundula Dunne

Location: 597 South Sierra Avenue, Unit 53, Solana Beach (San Diego County)
APN 298-211-71-53

Proposed Development: Construction of a 50 sq. ft. addition (enclosing an existing deck) on the east side of an existing 1,464 sq. ft. condominium. Work shall take place in accordance with the recommendations set forth in the 'Geotechnical Review Letter' by Engineering Design Group, dated April 9, 2015.

Rationale: The proposed addition is located on the 2nd floor of an existing 3-floor condominium structure. The existing condominium structure is located within 50 ft. of the coastal bluff; however, the proposed project will not affect the stability of the coastal bluff. The proposed development will not affect public views or coastal access, and no adverse impacts to coastal resources are anticipated. The project is consistent with the Chapter 3 policies of the Coastal Act, the zoning and land use designation for the City of Solana Beach and the certified City of Solana Beach Land Use Plan.

This waiver will not become effective until reported to the Commission at their May 2015 meeting. If three (3) Commissioners object to this waiver of permit requirements, a coastal development permit will be required.

Charles Lester,
Executive Director

Eric Stevens
Coastal Program Analyst

A handwritten signature in black ink, appearing to read 'Eric Stevens', written over the typed name.

cc: Commissioners/File

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April 2, 2015

SUBJECT: Waiver of Coastal Development Permit Requirement/De Minimis Developments-Section 30624.7 of the Coastal Act

Based on the project plans and information provided in your permit application for the development described below, the Executive Director of the Coastal Commission hereby waives the requirement for a Coastal Development Permit pursuant to Section 13238.1, Title 14, California Code of Regulations. If, at a later date, this information is found to be incorrect or the plans revised, this decision will become invalid; and, any development occurring must cease until a coastal development permit is obtained or any discrepancy is resolved in writing.

WAIVER#: 6-15-0191-W**APPLICANT:** Christopher T. Wakeham**LOCATION:** 209 Cliff Street, Solana Beach (San Diego County) APN 263-362-21**PROPOSED DEVELOPMENT:** Construction of a detached approximately 2,040 sq. ft. single family residence, conversion and remodel of an existing 847 sq. ft. single family residence and an existing 342 sq. ft. detached studio into one approximately 1,260 sq. ft. single family residence, and retention of an existing 513 sq. ft. garage on an existing 10,105 sq. ft. lot.**RATIONALE:** The proposed single family residences are located in an established neighborhood consisting of single family residences similar in size and scale to the proposed project; therefore, the project will be in character with the surrounding community. The subject property is zoned for the construction of two single family residences. The project is consistent with the zoning and land use designation for the City of Solana Beach and the certified City of Solana Beach Land Use Plan. The proposed project is consistent with all applicable Chapter 3 policies of the Coastal Act and no impacts to coastal resources are anticipated.

This waiver will not become effective until reported to the Commission at their April 15-17, 2015 meeting and the site of the proposed development has been appropriately noticed, pursuant to 13054(b) of the California Code of Regulations. The enclosed Notice Card shall remain posted at the site until the waiver has been validated and no less than seven days prior to the Commission hearing. If four (4) Commissioners object to this waiver of permit requirements, a coastal development permit will be required.

If you have any questions about the proposal or wish to register an objection, please contact Eric Stevens in the San Diego District office at the above address or phone number prior to the Commission meeting date.

CHARLES LESTER,
Executive Director

Eric Stevens
Coastal Program Analyst

A handwritten signature in black ink, appearing to read "Eric Stevens", written over the typed name and title.

cc: Commissioners/File

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April 2, 2015

SUBJECT: Waiver of Coastal Development Permit Requirement/De Minimis Developments-Section 30624.7 of the Coastal Act

Based on the project plans and information provided in your permit application for the development described below, the Executive Director of the Coastal Commission hereby waives the requirement for a Coastal Development Permit pursuant to Section 13238.1, Title 14, California Code of Regulations. If, at a later date, this information is found to be incorrect or the plans revised, this decision will become invalid; and, any development occurring must cease until a coastal development permit is obtained or any discrepancy is resolved in writing.

WAIVER#: 6-15-0289-W

APPLICANT: Jesus Benitez

LOCATION: 809 Seabright Lane, Solana Beach (San Diego County). (APN: 263-032-04-00).

PROPOSED DEVELOPMENT: Construction of a detached, 515 square foot 2-car garage on a 15,126 square foot lot with an existing 2-story, 1,421 square foot single-family residence.

RATIONALE: The proposed project requires a permit because it involves the construction of a significant non-attached structure and is located between the sea and first public road. The subject property is located within an established residential neighborhood consisting of single-family residences with garages similar in size and scale to the proposed development; therefore, the project will not be out of character with the existing community. The development will not block any public views and adequate parking will be maintained. Additionally, the project is consistent with the zoning and plan designations for the City of Solana Beach and its certified Land Use Plan, as well as all applicable Chapter 3 policies of the Coastal Act, and no adverse impacts to coastal resources are anticipated.

This waiver will not become effective until reported to the Commission at their April 2015 meeting and the site of the proposed development has been appropriately noticed, pursuant to 13054(b) of the California Code of Regulations. The enclosed Notice Card shall remain posted at the site until the waiver has been validated and no less than seven days prior to the Commission hearing. If four (4) Commissioners object to this waiver of permit requirements, a coastal development permit will be required.

CHARLES LESTER,
Executive Director

A handwritten signature in black ink, appearing to read 'Rick Casswell', written over a horizontal line.

Rick Casswell
Coastal Program Analyst

cc: Commissioners/File

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SAN DIEGO COAST DISTRICT OFFICE
7575 METROPOLITAN DRIVE, SUITE 103
SAN DIEGO, CALIFORNIA 92108-4402
PH (619) 767-2370 FAX (619) 767-2384
WWW.COASTAL.CA.GOV

**NOTICE OF PROPOSED IMMATERIAL PERMIT
AMENDMENT**Coastal Development Permit Amendment No. **6-01-099-A4**

April 9, 2015

To: All Interested Parties

From: Charles Lester, Executive Director

Subject: Permit No. **6-01-099** granted to **Dennis Schmucker; Steve Cavadias; Steven Prewitt Trust**

For: Consolidation of two existing lots into one lot totaling 15,195 sq. ft., demolition of two existing one-story single family residences and construction of three new residences (6,594 sq. ft., 7,108 sq. ft., and 5,713 sq. ft., respectively) on a bayfront site.

Project Site: 3712 Riviera Dr, Pacific Beach, San Diego (San Diego County)
3720 Riviera Dr, Pacific Beach, San Diego (San Diego County)

The Executive Director of the California Coastal Commission has reviewed a proposed amendment to the above referenced permit, which would result in the following change(s):

Modify design of permitted northernmost single family residence from a two-story, 24-foot tall, 4,310 sq. ft. single family residence to a three-story over basement, 30-foot tall, 8,033 sq. ft. single family residence with attached two-car garage.

FINDINGS

Pursuant to 14 Cal. Admin. Code Section 13166(b) this amendment is considered to be IMMATERIAL and the permit will be amended accordingly if no written objections are received within ten working days of the date of this notice. If an objection is received, the amendment must be reported to the Commission at the next regularly scheduled Commission hearing. This amendment has been considered "immaterial" for the following reason(s):

The proposed changes to the project will not result in the total gross floor area of the three permitted single family residences on the combined lot exceeding the F.A.R. requirements of the underlying zone. The redesign will also create a 4-foot southern side yard setback and view corridor next to the residence where previously there was no setback. The revised project will remain within the stringline of development along the bayfront. All previous conditions of approval addressing protection of public views, timing of construction, etc. will not be affected by the proposed changes and shall remain in full force and effect. As proposed, no impacts to coastal resources will result from the amended project, consistent with Coastal Act policies.

If you have any questions about the proposal or wish to register an objection, please contact Alexander Llerandi at the phone number provided above.

cc: Commissioners/File

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**EMERGENCY PERMIT**

Issue Date:
Emergency Permit No.

March 18, 2015
G-6-15-0010

Dash Meeks
Environmental Services Department
San Diego Gas and Electric
8315 Century Park Court
San Diego, 92123

LOCATION OF EMERGENCY WORK: Open space area north of Manchester Avenue, east of El Camino Real

WORK PROPOSED: Construction of erosion control features to protect existing gas pipelines. Includes construction of two earth berm water bars (swales and ridges built to redirect runoff) across an existing dirt service road, construction of one approximately 75 sq. ft. energy dissipater, backfilling three existing sink holes, and digging three approximately five ft. in diameter by six ft. deep test pits directly over an existing below-grade gas pipeline to confirm that erosion has not compromised support of the gas pipeline (Ref. Phase 1 Activity Area on attached plan titled "SDG&E Gas Transmission Line L-3010, Span 3008A").

PERMIT RATIONALE:

This letter constitutes approval of the emergency work you have requested be done at the location listed above. I understand from your information that an unexpected occurrence in the form of three storm events caused significant erosion in the vicinity of existing below-grade gas pipelines and that the erosion could result in the gas pipelines losing support and bending or breaking. The emergency situation requires immediate action to prevent or mitigate loss or damage to life, health, property or essential public services. 14 Cal. Admin. Code Section 13009. The Executive Director of the Coastal Commission hereby finds that:

- (a) An emergency exists which requires action more quickly than permitted by the procedures for administrative or ordinary permits and the development can and will be completed within 30 days unless otherwise specified by the terms of this permit;
- (b) Public comment on the proposed emergency action has been reviewed if time allows;
- (c) As conditioned, the work proposed would be consistent with the requirements of the California Coastal Act of 1976.

Emergency Permit Number: G-6-15-0010
Date: March 18, 2015
Page 2 of 4

The work is hereby approved, subject to conditions listed on the attached page.

Sincerely,

A handwritten signature in cursive script, appearing to read "Charles Lester".

CHARLES LESTER,
Executive Director

By: Sherilyn Sarb, Deputy Director

cc: Local Planning Department
Attachments: Plan titled "SDG&E Gas Transmission Line L-3010, Span 3008A"
Emergency Permit Acceptance Form

Emergency Permit Number: G-6-15-0010

Date: March 18, 2015

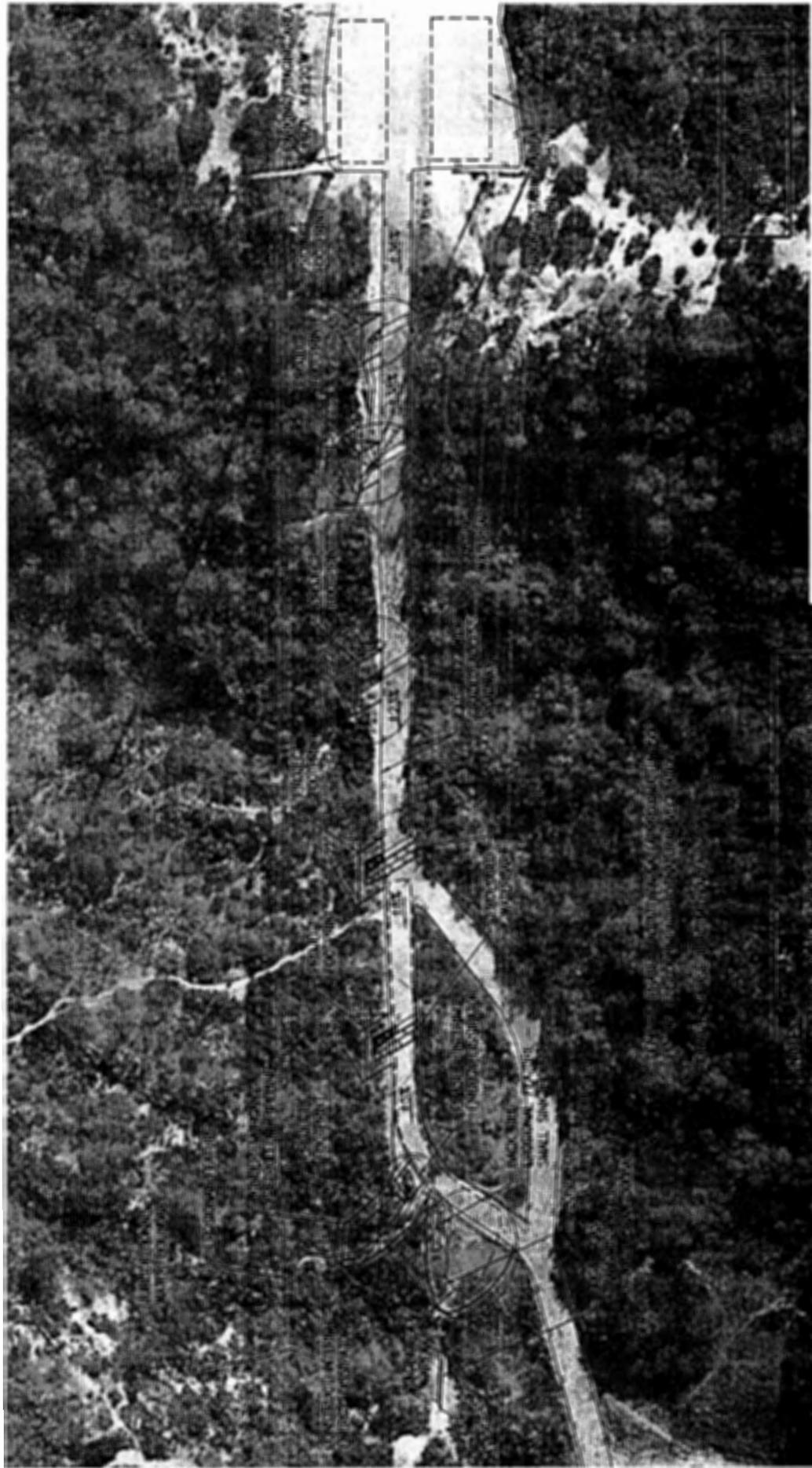
Page 3 of 4

CONDITIONS OF APPROVAL:

1. The enclosed Emergency Permit Acceptance form must be signed by the PROPERTY OWNER and returned to our office within 15 days.
2. Only that work specifically described in this permit and for the specific property listed above is authorized. Any additional work requires separate authorization from the Executive Director.
3. The work authorized by this permit must be completed within 30 days of the date of this permit (i.e., by April 17, 2015)
4. Within 180 days of the date of this permit (i.e., by September 14, 2015), the permittee shall obtain a regular Coastal Permit from the City of Encinitas to have the emergency work be considered permanent. If no such permit is obtained, the emergency work shall be removed in its entirety within 180 days of the date of this permit (i.e., by September 14, 2015), unless this requirement is waived in writing by the Executive Director.
5. Any additional work requires separate authorization from the Executive Director. In exercising this permit, the applicant agrees to hold the California Coastal Commission harmless from any liabilities for damage to public or private properties or personal injury that may result from the project.
6. This permit does not obviate the need to obtain necessary authorizations and /or permits from the other agencies (i.e. CA Dept. of Fish & Wildlife, U.S. Fish & Wildlife, U.S. Army Corps of Engineers, State Lands Commission.)

As noted in Condition #4, the emergency work carried out under this permit is considered to be TEMPORARY work done in an emergency situation. If the property owner wishes to have the emergency work become a permanent development, a Coastal Permit must be obtained. A regular permit would be subject to all of the provisions of the Local Coastal Program of the City of Encinitas and may be conditioned accordingly. The follow-up permit would be appealable to the Coastal Commission.

If you have any questions about the provisioning of this emergency permit, please call the Commission at the address and telephone number listed on the first page.



SOQUE GAS TRANSMISSION LINE
L-3070, SPAN 3000A
CITY OF ENCINITAS, CALIFORNIA



CREATED BY: DL DATE: 10/22/2015
FIG. NO: 1

URS

Emergency Permit Number: G-6-15-0010
Date: March 18, 2015
Page 4 of 4

EMERGENCY PERMIT ACCEPTANCE FORM

TO: CALIFORNIA COASTAL COMMISSION
SAN DIEGO COAST AREA
7575 METROPOLITAN DRIVE, SUITE 103
SAN DIEGO, CA 92108-4402
(619) 767-2370

RE: Emergency Permit No. G-6-15-0010

INSTRUCTIONS: After reading the attached Emergency Permit, please sign this form and return to the San Diego Coast Area Office within 15 working days from the permit's date.

I hereby understand all of the conditions of the emergency permit being issued to me and agree to abide by them.

I also understand that a regular Coastal Permit from the City of Encinitas is necessary to permanently authorize the emergency work. I agree to obtain a regular Coastal Permit within 180 days of the date of the emergency permit (i.e., by September 14, 2015).

Dashiell S. Meeks
Signature of property owner *representative (Applicant)*
EASEMENT

DASHIELL S. MEEKS
Name
SAN DIEGO GAS & ELECTRIC COMPANY
Address
6315 CENTURY PARK COURT
SAN DIEGO, CA 92123
3-20-2015
Date of Signing