

CALIFORNIA COASTAL COMMISSION

South Coast Area Office
200 Oceangate, Suite 1000
Long Beach, CA 90802-4302
(562) 590-5071

**W7a**

Staff:
Date:

E. Prahl-LB
03/26/2015

ADMINISTRATIVE PERMIT

Application No. **5-14-1395**

Applicant: **Jim Haskett & Larry Nodland**

Agent: Mark Wheeler

Project Description: Demolition of an existing concrete deck on the bay side of a residential lot including a portion cantilevered beyond the bulkhead and private property line over coastal waters and construction of a new concrete deck with an approximately 5 ft. x 56 ft. (280 sq. ft.) portion cantilevered beyond the bulkhead. Installation of new drought-tolerant, non-invasive landscaping in planters on the deck and at either end of the deck.

Project Location: 3301 Easter Circle, Huntington Beach (Orange County)

EXECUTIVE DIRECTOR'S DETERMINATION

The findings for this determination, and for any special conditions, appear on subsequent pages.

NOTE: P.R.C. Section 30624 provides that this permit shall not become effective until it is reported to the Commission at its next meeting. If one-third or more of the appointed membership of the Commission so request, the application will be removed from the administrative calendar and set for public hearing at a subsequent Commission meeting. Our office will notify you if such removal occurs.

This permit will be reported to the Commission at the following time and place:

Wednesday, April 15, 2015 9:00 am
Marin County Board of Supervisors
3501 Civic Center Drive, Suite 329
San Rafael, CA 94903

IMPORTANT - Before you may proceed with development, the following must occur:

Pursuant to 14 Cal. Admin. Code Sections 13150(b) and 13158, you must sign the enclosed duplicate copy acknowledging the permit's receipt and accepting its contents, including all conditions, and return it to our office. Following the Commission's meeting, and once we have received the signed acknowledgement and evidence of compliance with all special conditions, we will send you a Notice of Administrative Permit Effectiveness.

BEFORE YOU CAN OBTAIN ANY LOCAL PERMITS AND PROCEED WITH DEVELOPMENT, YOU MUST HAVE RECEIVED BOTH YOUR ADMINISTRATIVE PERMIT AND THE NOTICE OF PERMIT EFFECTIVENESS FROM THIS OFFICE.

CHARLES LESTER
Executive Director

By: Erin Prahl
Title: Coastal Program Analyst

STANDARD CONDITIONS:

This permit is granted subject to the following standard conditions:

1. **Notice of Receipt and Acknowledgment.** The permit is not valid and development shall not commence until a copy of the permit, signed by the permittee or authorized agent, acknowledging receipt of the permit and acceptance of the terms and conditions, is returned to the Commission office.
2. **Expiration.** If development has not commenced, the permit will expire two years from the date the Commission voted on the application. Development shall be pursued in a diligent manner and completed in a reasonable period of time. Application for extension of the permit must be made prior to the expiration date.
3. **Interpretation.** Any questions of intent or interpretation of any term or condition will be resolved by the Executive Director or the Commission.
4. **Assignment.** The permit may be assigned to any qualified person, provided assignee files with the Commission an affidavit accepting all terms and conditions of the permit.
5. **Terms and Conditions Run with the Land.** These terms and conditions shall be perpetual, and it is the intention of the Commission and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.

SPECIAL CONDITIONS: See pages five and six.

EXECUTIVE DIRECTOR'S DETERMINATION (continued):

The Executive Director hereby determines that the proposed development is a category of development, which, pursuant to PRC Section 30624, qualifies for approval by the Executive Director through the issuance of an Administrative Permit. Subject to Standard and Special Conditions as attached, said development is in conformity with the provisions of Chapter 3 of the Coastal Act of 1976 and will not have any significant impacts on the environment within the meaning of the California Environmental Quality Act. If located between the nearest public road and the sea, this development is in conformity with the public access and public recreation policies of Chapter 3.

FINDINGS FOR EXECUTIVE DIRECTOR'S DETERMINATION:

A. PROJECT DESCRIPTION

The applicant proposes to demolish an existing approximately 982 sq. ft. concrete deck extending beyond the private property line cantilevered over coastal waters and replace it with a concrete cantilevered deck of the same size. No railing is proposed along the perimeter of the cantilevered deck. The proposed deck is associated with the adjacent single family residential use. The subject site is a residentially zoned bayfront lot located at 3301 Easter Circle on Admiralty Island, Huntington Beach, (within Huntington Harbor) Orange County (**Exhibit 1**). The proposed development is consistent with past Commission actions in the area. Most of the Huntington Harbor water frontage is developed with single family homes, many of which also have cantilevered decks and boat docks. Virtually the entire water frontage in Huntington Harbor is supported by bulkheads.

Specifically, the proposed deck is 56 ft. 3 in. long and cantilevered 5 ft. beyond the bulkhead over coastal waters. Project plans are included in **Exhibit 2**. To address water quality concerns, the applicant is proposing to direct deck drainage and runoff landward of the deck on the subject lot. No products containing ammonia, sodium hypochlorite, chlorinated solvents, petroleum distillates or lye will be used on the deck; therefore pollutants from these products will not drain to the harbor during or after construction. Construction will occur from the land side of the bulkhead, and no bottom disturbing activities are proposed.

The City of Huntington Beach has a certified Local Coastal Program. However, due to the project location seaward of the mean high tide line, the project is within an area of the Commission's retained permit jurisdiction. Nonetheless, the City's certified Local Coastal Program may be used as guidance. The land use designation at the site is Open Space – Water (OS – W). The site is zoned Open Space Water Recreation. The proposed development is consistent with the City's certified LCP, specifically with Implementation Plan Chapter 213 Open Space District, which allows private cantilevered decks abutting residential uses, and with Chapter 210, which provides standards for cantilevered decks in Huntington Harbor in the Open Space Water Recreation zone. The City of Huntington Beach reviewed the proposed plans and issued an Approval-in-Concept dated February 19, 2015.

The proposed deck would cantilever over the open waters of Huntington Harbor. In this area of Huntington Harbor, the water area is owned by the State and administered by the City of Huntington Beach. A letter inviting the City to join as co-applicant was sent on August 13, 2014 and on August 21, 2014 a response declining to join as co-applicant was received. The Commission imposes **Special Condition 2** stating that the approval of a coastal development permit for the project does not waive any public rights or interests that exist or may exist on the property or on adjacent public waters.

The nearest public access in the area is at Sunset Beach, located approximately one quarter mile west of the subject site. Although cantilevered, the proposed deck would preclude the general public from utilizing the public water area underneath the dock for recreation or navigational purposes. The proposed development will not have any new adverse impact on public access to the coast or to nearby recreational facilities. There is no sandy beach area in front of the subject site; therefore, in this case, the placement of a deck cantilevered 5 ft. beyond the bulkhead would not create an impediment to public access as there is no opportunity for the public to walk upon the land in front of the bulkhead at this site.

In this case, there is an existing significant pattern of development of deck extensions cantilevered 5 ft. over the bulkhead (**Exhibit 1**). Thus, the construction of a cantilevered deck at this site and in this location would not be establishing a new pattern of development (nor create an adverse public access condition, as previously mentioned).

B. HABITAT

As conditioned, the development will not result in significant degradation of adjacent habitat, recreation areas or parks and is compatible with the continuance of those habitat, recreation, or park areas. Therefore, the Commission finds that the project, as conditioned, conforms to Section 30240(b) of the Coastal Act.

C. DEVELOPMENT

The development is located within an existing developed area and is compatible with the character and scale of the surrounding area. However, the proposed project raises concerns that future development of the project site potentially may result in a development which is not consistent with the Chapter 3 policies of the Coastal Act and the Commission's regulations. To assure that future development is consistent with the Chapter 3 policies of the Coastal Act, the Commission finds that a special condition must be imposed. As conditioned the development conforms to the Chapter 3 policies of the Coastal Act.

D. PUBLIC ACCESS

The proposed development will not affect the public's ability to gain access to, and/or to make use of, the coast and nearby recreational facilities. Therefore, as proposed the development conforms with Sections 30210 through 30214, Sections 30220 through 30224, and 30252 of the Coastal Act.

E. WATER QUALITY

The proposed work will be occurring on, within, or adjacent to coastal waters. The storage or placement of construction material, debris, or waste in a location where it could be discharged into coastal waters would result in an adverse effect on the marine environment. To reduce the potential

for construction related impacts on water quality, the Commission imposes special conditions requiring, but not limited to, the appropriate storage and handling of construction equipment and materials to minimize the potential of pollutants to enter coastal waters. To reduce the potential for post-construction impacts to water quality the Commission requires the continued use and maintenance of post-construction Best Management Practices. As conditioned, the Commission finds that the development conforms with Sections 30230 and 30231 of the Coastal Act.

F. LOCAL COASTAL PROGRAM

An LCP for the City of Huntington Beach was effectively certified in March 1985. However, the proposed development is occurring within an area of the Commission's original permit jurisdiction, due to the project location seaward of the mean high tide line. Consequently the standard of review is the Coastal Act and the City's LCP is used only as guidance. As conditioned, the proposed development is consistent with Chapter 3 of the Coastal Act and with the certified LCP for the area.

G. CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA)

As conditioned, there are no feasible alternatives or additional feasible mitigation measures available that would substantially lessen any significant adverse effect that the activity may have on the environment. Therefore, the Commission finds that the proposed project, as conditioned to mitigate the identified impacts, is the least environmentally damaging feasible alternative and can be found consistent with the requirements of the Coastal Act to conform to CEQA.

SPECIAL CONDITIONS:

This permit is granted subject to the following special conditions:

1. **Construction Responsibilities and Debris Removal.**
 - (a) No construction materials, equipment, debris, or waste shall be placed or stored where it may be subject to wave, wind, or rain erosion and dispersion.
 - (b) Any and all construction material shall be removed from the site within 10 days of completion of construction.
 - (c) Machinery or construction materials not essential for project improvements shall not be allowed at any time in the intertidal zone.
 - (d) If turbid conditions are generated during construction a silt curtain shall be utilized to control turbidity.
 - (e) Floating booms shall be used to contain debris discharged into coastal waters and any debris discharged shall be removed as soon as possible but no later than the end of each day.
 - (f) Non-buoyant debris discharged into coastal waters shall be recovered by divers as soon as possible after loss.
2. **Public Rights.** The Coastal Commission's approval of this permit shall not constitute a waiver of any public rights that exist or may exist on the property. The permittee shall not use this permit as evidence of a waiver of any public rights that may exist on the property.
3. **Future Improvements.** This permit is only for the development described in Coastal Development Permit No. 5-14-1395. Pursuant to Title 14 California Code of Regulations

Section 13253(b)(6), the exemptions otherwise provided in Public Resources Code Section 30610(b) shall not apply to this development governed by the Coastal Development Permit No. 5-14-1395. Accordingly, any future improvements to the structures authorized by this permit, including but not limited to, repair and maintenance identified as requiring a permit in Public Resources Section 30610(d) and Title 14 California Code of Regulations Sections 13252(a)-(b), shall require an amendment to Permit No. 5-14-1395 from the Commission or shall require an additional coastal development permit from the Commission or from the applicable certified local government.

ACKNOWLEDGMENT OF PERMIT RECEIPT/ACCEPTANCE OF CONTENTS:

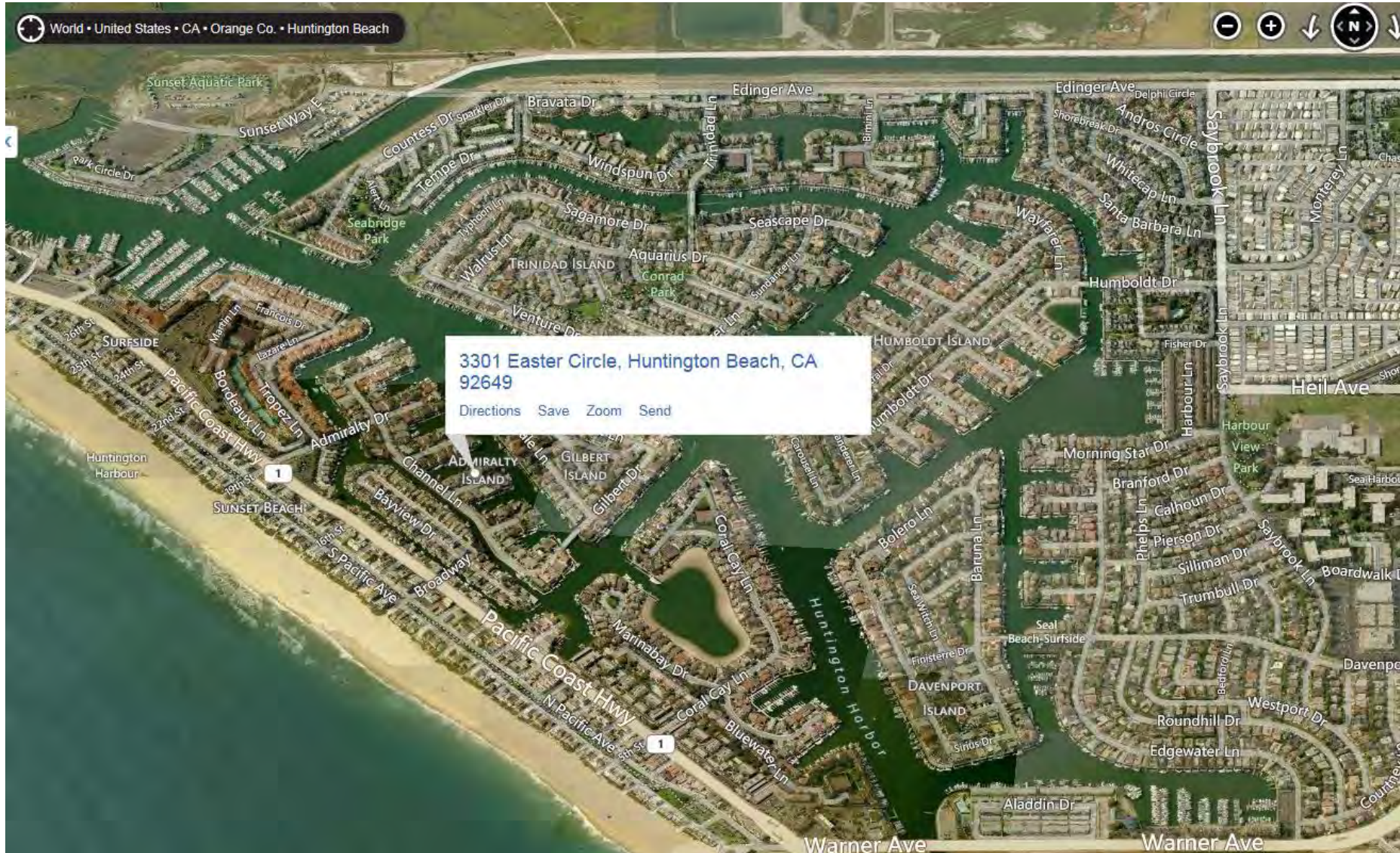
I/We acknowledge that I/we have received a copy of this permit and have accepted its contents including all conditions.

Applicant's Signature

Date of Signing

Exhibit 1

Page 1 of 2



3301 Easter Circle



VICINITY MAP

SCOPE OF WORK

* ADD NEW CONCRETE CANTILEVERED DECK.

SHEET INDEX

NO.	DESCRIPTION
1	SCOPE OF WORK, PROJECT DATA, GENERAL NOTES, TYPICAL DETAILS
2	STRUCTURAL PLAN & DETAILS

PROJECT DATA

OWNER : LARRY NODLAND & JIM HASKETT

ADDRESS : 3301 EASTER CIRCLE
HUNTINGTON BEACH, CA

TEL. NO.

TRACT: 4499 APN: 178-421-04 LOT: 59

LOT SIZE: 6828 S.F.

CONSTRUCTION TYPE: VB

OCCUPANCY: U

CODES: 2013 CALIFORNIA BUILDING CODE
2013 CALIFORNIA RESIDENTIAL CODE
2013 CALIFORNIA MECHANICAL CODE
2013 CALIFORNIA ELECTRICAL CODE (ARTICLE 680)
2013 CALIFORNIA PLUMBING CODE

GENERAL NOTES

REINFORCING STEEL

- Reinforcing steel shall conform to ASTM A615, Grade 40 for size #3 and Grade 60 for sizes #4 and larger. Maximum yield shall not exceed 1.3 times that specified.
- Welding of reinforcing steel shall conform to AWS D1.4 using proper E80XX (matching filler metal per AWS D1.4, Table 5.1), low hydrogen electrodes. All bars to be welded shall conform to ASTM A706.
- All bars in concrete shall be lapped a minimum of 48 bar diameters (2'-0" min.) for Grade 40 and 72 bar diameters (2'-6" min.) for Grade 60 at all splices unless noted otherwise.
- Splices of adjacent longitudinal rebar in slab shall be staggered 4'-0" minimum.
- All bending of reinforcing steel shall conform to the latest edition of the California Building Code.
- All rebar in areas of ground/sea water shall be epoxy coated.

MASONRY

- All masonry shall be reinforced grouted masonry (fm'=1500 psi). Grout solid all cells which contain rebar, bolts, etc. Grout solid all cells below grade. See CBC 2105 for quality assurance requirements.
- Mortar shall be Type "S" mixed in the proportion of 1 part Portland Cement to 1/2 to 1/4 parts lime putty to 2 1/4 to 3 times the sum of the cement plus lime putty parts of sand. Full head and bed joints are required.
- Grout shall attain a minimum compressive strength of 2000 psi and shall be mixed in proportions of 1 part Portland Cement to 1/10 part lime putty to 2 to 3 parts sand to a maximum of 2 parts gravel. All grout shall be vibrated.
- Aggregates for mortar and grout shall be natural sand and rock conforming to ASTM C-144 (mortar) and C-404 (grout).
- Cement shall be Portland Cement conforming to ASTM C-150, Type I or II, low alkali.
- All concrete block shall conform to ASTM C90, medium weight.
- All brick shall conform to ASTM C62, Grade MW.
- All reinforcement, bolts, etc. shall have a minimum grout coverage of 1/2". The clearance between bars in the same cell shall be at least 1 inch. All brick shall have a minimum 2 1/2" grout space.
- See the architectural drawings for type of units, laying pattern and joint details. Unless specifically shown otherwise, all concrete block and brick shall be laid in running bond.

CONCRETE

- Unless noted otherwise, all concrete shall attain a minimum compressive strength of 2500 psi at 28 days. Concrete for structural slab area shall attain a strength of 4000 psi at 28 days.
- All concrete in contact with sea/ground water shall attain a minimum compressive strength of 5000 psi at 28 days.
- Aggregates shall be natural sand and rock conforming to ASTM C33. Use approximately equal gradation of coarse, intermediate and fine aggregate (>3/8", <3/8">#8, <#8).
- Cement shall be Portland Cement conforming to ASTM C-150, Type II/V, low alkali. Use minimum 7 sack mix with a maximum water/cement ratio of .40 for concrete in contact with sea/ground water.
- Water shall be potable, clean and free from injurious amounts of oils, acids, alkalis, salts, organic materials, or other substances that may be deleterious to concrete or reinforcement.
- A water reducing admixture shall be used in all concrete. All concrete in contact with sea water shall be air entrained between 3% to 6%.
- Maximum permissible water-cement ratios for concrete shall conform to Table 4.2.2 and 4.3.1. of ACI 318-08. Maximum slump shall be 4 inches for slabs, and 5 inches for footings.
- Concrete shall be cured while in a moist condition for at least the first 7 days after placement. Methods for accelerated curing shall have prior approval of the Engineer.
- The following minimum clear distances between reinforcing steel and face of concrete shall be maintained unless noted otherwise:

Slabs on grade Center of slab

Concrete below grade, formed 2"

Concrete below grade, unformed (poured against earth).....3"

Concrete exposed to weather.....1 1/2"
- Pipes may pass through structural concrete in sleeves, but shall not be embedded therein. Pipes or ducts exceeding one-third the slab or wall thickness shall not be placed in the structural concrete unless specifically detailed.
- Provide 3/4" chamfers at all exposed corners.
- All concrete shall be vibrated.

TESTS AND INSPECTIONS

- Continuous inspection by a registered deputy inspector is required for concrete with a strength greater than 2500 psi. The extent of such inspection shall conform to Chapter 17 of the California Building Code. An affidavit shall be issued to the Engineer and the Building Department at the completion of each type of work stating whether the work was in conformance with the approved plans and specifications. Concrete inspection may be limited to slump tests, compression tests, and inspection of placed rebar.
- The following items require inspection by a licensed Deputy Inspector:

ITEM	YES	NO
Concrete	(Structural Slab) ✓	(Non-Structural Slab) ✓

SITE PLAN

NOTES

- SEE THIS SHEET FOR GENERAL NOTES AND SHEET 2 FOR STRUCTURAL PLAN AND DETAILS.
- NON STRUCTURAL SLAB:**
5" CONCRETE SLAB WITH #4 @ 16" O.C. EA. WAY AT CENTER OF SLAB OVER 2" SAND AND DAMP COMPACTED EARTH. PROVIDE TURNED DOWN SLAB EDGE/42 AT PERIMETER EDGES. PROVIDE TOOLED JOINTS AT 8'-0" O.C. MAX. EACH WAY.
- SEE THIS PLAN FOR DECK DRAINAGE. CONNECT AREA DRAINS IN 3" PVC UNDERGROUND DRAIN PIPE SLOPED MINIMUM 1/8"/FT TO CATCH BASINS. PROVIDE 6" AREA DRAIN WITH SUMP IN PLANTERS/PLANTING AREAS.

SLOPE BARE DIRT 1/2"/FT. FOR FIRST 6 FEET AWAY FROM HOUSE AND 1/4" PER FOOT FROM THERE TO AREA DRAIN. SLOPE CONCRETE TO DRAINS 1/4" PER FOOT.

CONCRETE DECK PROJECTING BEYOND THE BULKHEAD

TOTAL LENGTH OF (E) SEAWALL	103'-0"
NEW DECK LENGTH	56'-0"
%	54%

SCALE

1/8=1'-0"

A

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CONCRETE CANTILEVERED DECK
NODLAND-HASKETT RESIDENCE
3301 EASTER CIRCLE
HUNTINGTON BEACH, CA 92649

SHEET CONTENTS

SITE PLAN,
GENERAL NOTES
SCOPE OF WORK,
MISC

DRAWN
NB
CHECKED
WC
DATE
8/14
SCALE

JOB NO.
14064
SHEET

1

OF 2 SHEETS

REVISIONS	BY

CORREIA
CONSULTING & DESIGN

STRUCTURAL ENGINEERS

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email: correiad@verizon.net

REGISTERED PROFESSIONAL ENGINEER
J. CORREIA
No. 2137
Exp. 12/31/15
STATE OF CALIFORNIA

CONCRETE CANTILEVERED DECK
NODLAND-HASKETT RESIDENCE
3301 EASTER CIRCLE
HUNTINGTON BEACH, CA 92649

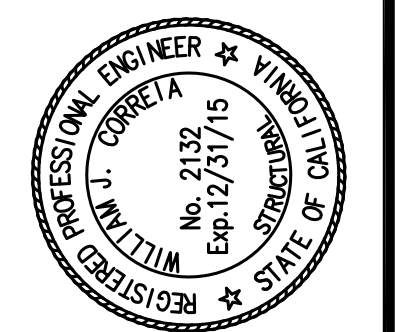
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GENERAL NOTES
SCOPE OF WORK,
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JOB NO. 14064 SHEET
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OF 2 SHEETS

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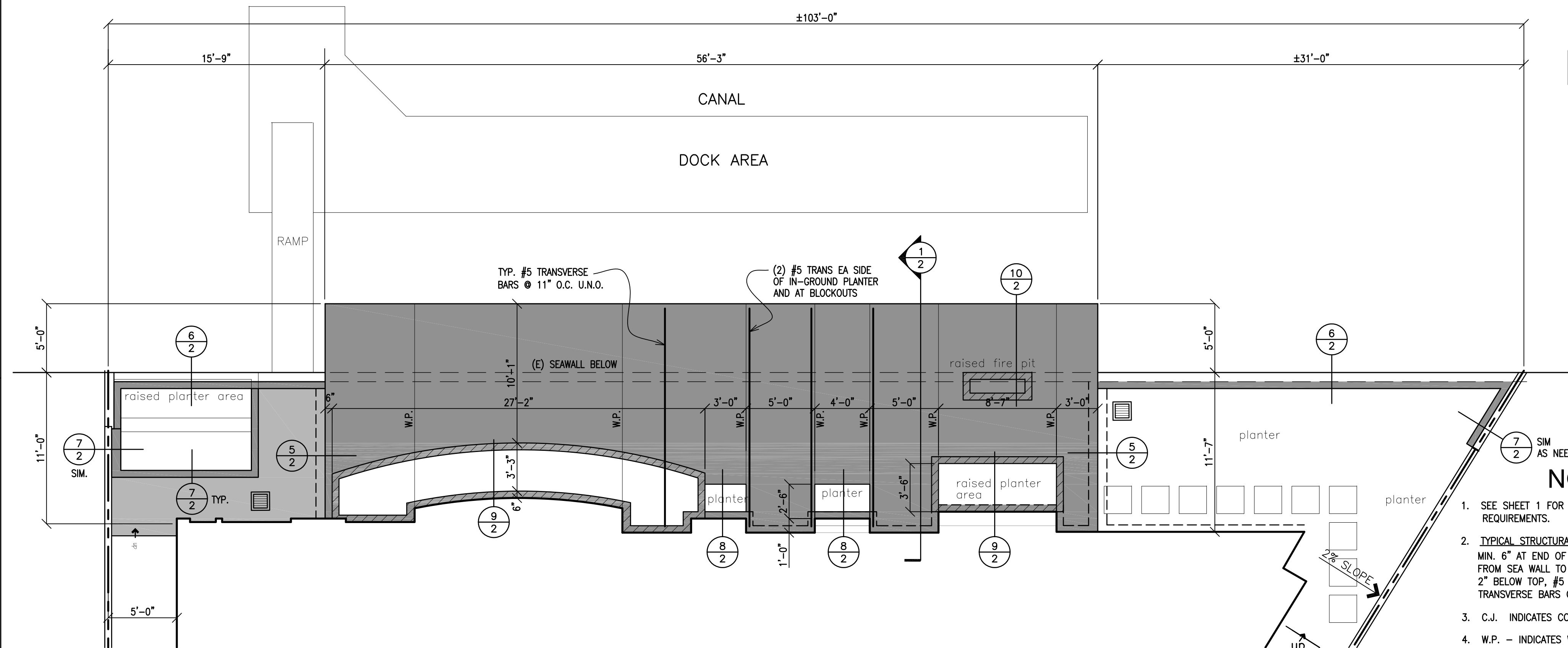
CONCRETE CANTILEVERED DECK
NODLAND-HASKETT RESIDENCE
3301 EASTER CIRCLE
HUNTINGTON BEACH, CA 92649

STRUCTURAL PLAN
& DETAILS

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2

OF 2 SHEETS



ENLARGED DECK STRUCTURAL PLAN

SCALE: 3/16"=1'-0"

A

TURNDOWN EDGE

4

TYPICAL SECTION AT DECK SLAB

1

TYPICAL REINFORCING at FOOTING AND WALL CORNERS AND INTERSECTIONS

5

TYPICAL REINFORCING BAR DETAIL

3

DETAILS

7

11

6

10

8

9

