

**MENDOCINO TOWN ZONING CODE UPDATE AMENDMENT
(LCPA-1-MEN-14-0840)**

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JAN - 8 2016

CALIFORNIA
COASTAL COMMISSION
NORTH COAST DISTRICT

APPENDIX 1

INVENTORY OF HISTORIC STRUCTURES

MENDOCINO TOWN PLAN APPENDIX

INVENTORY OF HISTORIC STRUCTURES

The attached inventory of buildings and sites, historic and non-historic, in the Mendocino Historic Preservation District, Zone A is in preliminary form.

It represents research into the history of Mendocino over the past ten years and is still incomplete. However, in the interests of planning for the future it is believed that the County and MHRB or successor organizations may find the survey helpful in establishing guidelines for planning Mendocino's future. There are few communities that could include all buildings in a survey.

When working on the inventory it was noticeable that there are quite a number of sites not included here. Whether they are important only to historians, or of interest to planners is a question not answered thus far.

Another fact noticed is the discrepancy in house numbers where the old numbering system is still used and people did not change over to the County's numbering system.

At one time it was considered sufficient to use two categories for the Inventory: Historic and Non-Historic, but as research continued it became apparent this simplistic approach would not suffice. The Categories now number four with Categories II and IV having two parts. Category IIa has been established as sort of a holding category until further research is made regarding the historical significance of the building. Several questions need to be asked: Is the building historically important, does it deserve Landmark status or will it fall into Category III or Category IVa.

CATEGORIES

- I. Landmark: Construction dated, history substantiated, only minor alterations in character with original architecture.
- II. Historically Important:
 - a. Construction date known or closely estimated, research in progress, architecture modified.
 - b. There were a number of semi-bungalows built at about the same time, not Maine architecture but historic by age and design in Mendocino.
- III. Architecture ostensibly altered but basic structure is still discernible.
- IV Non-Historic:

- a. Reproductions or buildings constructed to resemble historic buildings.
- b. Buildings erected between 1930 and 1979, and not copies of historic buildings.

Map numbers refer to the locations of the buildings. Numbers without the letter E locate buildings west of Lansing Street, by far the largest section of Zone A, and numbers followed by E locate buildings east of Lansing Street.

Source: Research provided by Mendocino Historical Research, Inc., 7-24-79.

**MENDOCINO HISTORICAL RESEARCH, INC.
INVENTORY OF HISTORIC BUILDINGS
ZONE A - HISTORIC PRESERVATION DISTRICT
WEST OF LANSING STREET**

Assessor's Parcel Number	Category	Map Number	Historic Name	Date Built	Address	Present Use
119-240-01	I	1	Ford House	1854	Main Street	State Park Interpretive Center
119-210-08	I	2	Carlson Hotel Site and Water Tower	1857	10401 Main Street	Dwelling where Heeser's Store was and vacant land where hotel was
119-210-13		3	N/H		Main Street	Store building-rental
119-210-13	III	4	Neto's Hotel		450 Main Street	Offices and apartment upstairs
119-210-10	S	5	Site of Gus' Saloon	1870's	Main Street	Open Lot
119-237-01	IVb	6	N/H		480 Main Street	Medical building & dwelling upstairs
119-237-02	I	7	Lemos' Saloon	1870's	Main Street	Store and offices
119-237-03	IVa	8	Ramus Boarding House	c1875	45160 Main Street	Rebuilt into shops and offices
119-237-13	IVa	9	Tank Alley Site	1978	Main Street	Store
119-237-04	I	10	Ramus Saloon	c1875	Main Street	Vacant and deteriorated
119-237-05	I	11	Bank of Commerce	1905	522 Main Street	Stores
119-237-06	III	12	Barn-Store	c1875	530 Main Street	Stores
119-237-07	I	13	Eugene Brown House	1878	Main Street	Dwelling
119-237-12	IVb	14	N/H		Main Street	Art Gallery, Bay Window
119-237-11	III	15	Eagle Saloon		Main Street	Dwelling-Duplex
119-237-10	I	16	Bank of Commerce	1908	45100 Main Street	Bank of America
119-238-01	I	17	Jarvis-Nichols Bldg	c1871	45080 Main Street	Stores and offices
119-238-14	Ila	18	Drug Store Toggery		Main Street	Arcade-Shops
119-238-15	IVa	19	N/H		Main & Albion Streets	Ice Cream Parlor and Le Voyage
119-238-05	I	20	Mendocino Hotel	1878	Main Street	Hotel
119-238-04						
119-238-06	I	21	Dr. Milliken's Office	1880's	Main Street	Dwelling
119-238-06	I	22	H	1880's	45070 Main Street	Saloon
119-238-08	Ila	23	H		690 Main Street	Ragtime Clothing Store
119-238-09	S/IIb	24	Site of Alhambra Hotel		710 Main Street	Dwelling and dentist's office
119-238-10	IVb	25	N/H		45040 Main Street	Deli and restaurant, dwelling on Albion Street
119-238-10	I	25a	Kelley Rental	1870's	Main Street	Media building on Kelley Pond
119-238-10	I	25b	H		Main Street	Kelley Pond

Assessor's Parcel Number	Category	Map Number	Historic Name	Date Built	Address	Present Use
119-238-17	I	26	Kelley House	1861	Main Street	Historical library and Museum
119-238-16	I	27	Kelley Water Tower	1920's	Main Street	On property of Kelley Store building
119-238-16	IVa	27a	N/H	1979	45000 Main Street	Reproduction of Kelley Store
119-236-05	S	28	Site of Boyd and Switzer Livery		Lansing Street	Demolished 1923 for present building
119-236-05	I	28a	Shell Garage	1923	Lansing Street	Service station and rentals
119-236-12	S	?	Site of Kelley Barn	1800's	Albion Street	Demolished in 1978 Barn
119-236-12	IVa	?	Reconstructed using material and design of barn	1978	Albion Street	Apartments rented by MacCallum House
119-236-10	I	29	MacCallum House	1882/1908	45020 Albion Street	Inn 1908 rear half was added
119-238-07	IVb	30	N/H		Albion Street	Dwelling
119-236-01	I	31	Heeser House	1852	620 Albion Street	Expected to be Hotel Annex
119-237-09	I	32	Bank House	1908	390 Kasten Street	Coffee House and gifts
119-235-12	IVb	33	N/H		Kasten Street	Wildlife Gallery
119-235-15	IIa	34	?		Albion Street	Dwelling-rental
119-235-05	IV	35	N/H	1935	540 Albion Street	Dwelling
119-235-02	I	36	Joss House	c1867	Albion Street	Joss House
119-235-02	IVa	36a	N/H	1940's	45160 Albion Street	Dwelling (Hee)
119-235-14	IVa	37	N/H		500 Albion Street	Dwelling Rental
119-217-07	IVa	38	N/H		470 Albion Street	Dwelling Studio
119-217-06	IIa	39	H		460 Albion Street	Dwelling
119-217-02	IVb	40	N/H		45301 Albion Street	Dwelling
119-217-01		41	N/H		Albion Street	Open Lot
119-217-03	I	42	Crown Hall	1901	Ukiah Street	Rental for large functions
119-217-04	I	43	Marcellino House		45281 Ukiah Street	Dwelling and Jewelry Studio
119-217-05	I	44	Pimentel House	c1866	45271 Ukiah Street	Dwelling
119-235-13	I	45	Golgert House	c1890	Ukiah Street	Dwelling - Rental
119-235-13	IVb	46	N/H	c1960's	511 Ukiah Street	Dwelling
119-235-04	IVb	47	N/H	c1960's	Ukiah Street	Dwelling
119-235-07	I	48	Lisbon-Paoli Hotel	1881	Ukiah Street	Shop and partially vacant
119-235-09	I	49	Dougherty House	1870's	571 Ukiah Street	Dwelling and shop on rear
119-235-10	I	50	Odd Fellows Hall	1878	Ukiah Street	Art gallery

Assessor's Parcel Number	Category	Map Number	Historic Name	Date Built	Address	Present Use
119-216-05		82				Open Lot
119-216-04		83				Open Lot
119-216-03	III	84			Kelly Street	Dwelling
119-216-02	III	85	Casmero Silvia House	c1890	10451 Kelly Street	Dwelling and Chiropractic Office
119-216-01	Ila	86			311 Ukiah Street	Dwelling
119-211-10	I	87	Annie Silveria Barn		Kelly Street	Barn, Outbuildings
119-211-09	I	88	Annie Silveria House		Kelly Street	Dwelling
119-211-08	Ila	89	Belle Silveria House		10520 Kelly Street	Dwelling
119-211-07	IVb	90	N/H		Kelly Street	Dwelling
119-214-15 119-214-20	Ila	91			Carlson Street	Dwelling
119-214-06	III	92			Calpella Street	Dwelling
119-214-07	III	93			Heeser Street	Dwelling
119-232-03	Ila	94	Noia House		Calpella Street	Dwelling
119-232-04	Ila	95	Marshall House		Calpella Street	Dwelling
119-232-05	Ila	96	Thomas House	c1880	45125 Calpella Street	Dwelling
119-232-09	Ila	97	Gomes House		10550 Kasten Street	Dwelling
119-233-01	IVb	98	Remnants of 2nd Odd Fellows Hall		551 Kasten Street	Apartments and Offices
119-234-05	IVa	99	N/H	1878	10540 Lansing Street	Bakery and Offices
119-160-31	Ila	100	H		Lansing Street	Mendoza's Warehouse
119-160-31	IVb	101	N/H		620 Lansing Street	Village Spirits
119-160-31		102			Lansing Street	Open Lot Thompson Lumber
119-160-30	IVb	103	N/H		45010 Calpella Street	Dwelling
119-160-29	Ila	103a	H		45201 Little Lake St.	Real Estate Office
119-160-28	I	104	Fraga House and W T		45040 Calpella Street	Dwelling
119-160-27	I	105	Madera House and Barn		Calpella Street	Dwelling
119-160-26	I	106	Beggs House	1881	Ford Street	Dwelling
119-231-09	I	107	Denslow-Maxwell House	c1880	Kasten Street	Dwelling – Rentals
119-231-07	I	108	Vincent House		Calpella Street	Dwelling
119-231-06	I	109	Silvia House		570 Calpella Street	Duplex – Rentals
119-231-04	I	110	Valadao House		45130 Calpella Street	Dwelling
119-231-03	I	111	Jerome House	1868	45150 Calpella Street	Dwelling

Assessor's Parcel Number	Category	Map Number	Historic Name	Date Built	Address	Present Use
119-250-20 119-150-25	Ila	E30	H		571 Evergreen Street	Dwelling
119-150-24	I	E31	J.D. Johnson Rental		Evergreen Street	Dwelling
119-150-34 119-150-35	IVb	E32	N/H		Ukiah Street	Trailers and Garage
119-150-18 119-150-19	I	E33	Bowman House	1879	Ukiah Street	Dwelling
119-150-08	I	E34	Walsh-Doolittle House		Ukiah Street	Dwelling
119-150-07	Ila	E35	J.D. Johnson-2 Rentals	c1880	Ukiah Street	Dwellings
119-150-07	I	E36	Stauer Building	1898	Lansing Street	Apartments and Offices
119-150-07	I	E37	Old Bakery Building		531 Lansing Street	Real Estate Office
119-150-07	IVb	E38	N/H		Lansing Street	Justice Court
119-150-06	III	E39	Priest's House	1866	601 Lansing Street	Office Building
119-150-04	I	E40	Mendoza's Store	1909	Lansing Street	Mendoza's Store
119-150-05	Ila	E41	Paddleford House		Howard Street	Dwelling
119-150-17	IVb	E42	N/H		Howard Street	Dwelling
119-150-16	IVb	E43	N/H		Howard Street	Pacific Telephone Substation
119-150-21	I	E44	Flanagan-Escola House	1889	School Street	Dwelling
119-150-22	I	E45	Packard-Johnson House		991 Pine Street	Dwelling
119-150-23	I	E46	Packard-Gibbs House	1891	44681 Pine Street	Dwelling
119-150-27	Iib	E47	H		Pine Street	Dwelling
119-140-19	S	E48	Site of Mendocino Grammar School	1885	School Street	School
119-150-38	Ila	E49	Jaspersen House		650 School Street	Dwelling
119-150-11	I	E50	Henry Gorden House	c1890	School Street	Dwelling
119-150-15	Ila	E51	H		Pine Street	Dwelling Rental
119-150-14	Ila	E52	H		Pine Street	Dwelling
119-150-13	Ila	E53	H		Pine Street	Dwelling
119-150-12	Ila	E54	H		Pine Street	Dwelling
119-150-01	I	E55	Williams House		10575 Lansing Street	Dwelling Rental
119-150-36 119-150-37		E56	Open Lot		Little Lake Street	Open Lot
119-140-08	S	E57	Site of Saint Vincent Catholic Church	1864	Little Lake Street	Hillcrest Cemetery
119-140-09		E58	Open Lot		Little Lake Street	Open Lot
119-140-10	IVb	E59	N/H		Little Lake Street	Dwelling
119-140-24	I	E60	Spencer Hills House	1855	44900 Little Lake St.	Dwelling
119-140-13	I	E61	Joshua Grindle House	1879-85	44800 Little Lake St.	Joshua Grindle Inn

APPENDIX 2

**MENDOCINO TOWN PLAN
VISITOR SERVING FACILITIES**

APPENDIX 2: MENDOCINO TOWN PLAN VISITOR SERVING FACILITIES		Visitor Serving Guest Room Distribution		
Name	Address	1992 Rooms (Allowed)	2012 Rooms (In Use)	2015 Rooms (Allowed)
* Hill House Hotel	10865 Lansing Street/ 10701 Palette Drive	44	44	
Heeser House	45080 Albion Street	25	25	
MacCallum House	45020/45065 Albion Street	21	19	
Mendocino Hotel	45080 Albion Street	26	26	
Joshua Grindle House	44800 Little Lake Street	10	10	
MacCallum House Suites	43700/44950 Little Lake Street 10691 Palette Drive	5	10	
Dougherty House	45110 Albion Place	8	8	
Sea Gull Inn	44960 Albion Street	9	9	
Headlands Inn	44950 Albion Street	6	7	
Whitegate/Blue Door Inn	10481 Howard Street	5	5	
Sears House/ Sweetwater Inn	44840 Main Street	8	9	
1021 Main St/Allegría Inn	44781 Main Street	5	6	
Village/Didgeradoo Inn	44860 Main Street	13	12	
Nicholson House	44861 Ukiah Street	-0-	7	
Hotels and Inns TOTAL		185	197	
*B				
Lockey	10940 Lansing Street	3	5	
Schrode/Mendocino Views	44920 Little Lake Street	2	2	
Cameron/Mattos	10521 School Street	2	2	
McNamara/Packard House	45170 Little Lake Street	4	6	
Wickersham/Blair House	45110 Little Lake Street	4	4	
Friedman Village Cottages	45320 Little Lake Street	3	3	
Parsons/Langters Inn	45101 Little Lake Street	2	2	
Reeves	45141 Ukiah Street	2	1	
Blue Heron Inn	390 Kasten Street	4	3	
McElroy's Inn/Raku House	44800/44820 Main Street	4	4	
Bed&Breakfast TOTAL		30	32	
	Guest Rooms Available for Allocation.....	221*		237**
	Guest Rooms in Use.....	215	229	

* The original 1992 Visitor Serving allocation of 234 guest rooms is corrected to remove 13 residential units previously counted as VSF.

** The proposed 2015 Visitor Serving allocation of 237 guest rooms includes 16 guest units to be reallocated by reducing the number of Single Unit Rental/Vacation Home Rental units from 46 to 30, added to the original 221 guest room allocation.

APPENDIX 3

**BIG RIVER ESTUARY
MARINE PROTECTED AREA
LIMITATIONS ON FISHING
(14 CCR Sec. 632(B)(1)(25))**

TOWN PLAN UPDATE

**APPENDIX 3. CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE
MARINE PROTECTED AREA REGULATIONS FOR
THE BIG RIVER ESTUARY (MENDOCINO ESTUARY)**

Title 14, California Code of Regulations, Section 632. Marine Protected Areas (MPAs), Marine Managed Areas (MMAs), and Special Closures. California Department of Fish and Wildlife. <https://www.wildlife.ca.gov/Conservation/Marine/MPAs/Network/Title-14-Section-632> Last accessed November 12, 2015.

(a) General Rules and Regulations:

The areas specified in this section have been declared by the commission to be marine protected areas, marine managed areas, or special closures. Public use of marine protected areas, marine managed areas, or special closures shall be compatible with the primary purposes of such areas. MPAs, MMAs, and special closures are subject to the following general rules and regulations in addition to existing Fish and Game Code statutes and regulations of the commission, except as otherwise provided for in subsection 632(b), areas and special regulations for use. Nothing in this section expressly or implicitly precludes, restricts or requires modification of current or future uses of the waters identified as marine protected areas, special closures, or the lands or waters adjacent to these designated areas by the Department of Defense, its allies or agents.

(1) Protection of Resources.

(A) State Marine Reserves: In a state marine reserve, it is unlawful to injure, damage, take, or possess any living, geological, or cultural marine resource, except under a scientific collecting permit issued by the department pursuant to Section 650 or specific authorization from the commission for research, restoration, or monitoring purposes.

(B) State Marine Parks: In a state marine park, it is unlawful to injure, damage, take, or possess any living or nonliving marine resource for commercial purposes. Any human use that would compromise protection of the species of interest, natural community or habitat, or geological, cultural, or recreational features, may be restricted by the commission as specified in subsection 632(b), areas and special regulations for use. The department may issue scientific collecting permits pursuant to Section 650. The commission may authorize research, monitoring, and educational activities and certain recreational harvest in a manner consistent with protecting resource values.

(C) State Marine Conservation Areas: In a state marine conservation area, it is unlawful to injure, damage, take, or possess any living, geological, or cultural marine resource for commercial or recreational purposes, or a combination of commercial and recreational purposes except as specified in subsection 632(b), areas and special regulations for use. The department may issue scientific collecting permits pursuant to Section 650. The commission may authorize research, education, and recreational activities, and certain commercial and recreational harvest of marine resources, provided that these uses do not compromise protection of the species of interest, natural community, habitat, or geological features.

TOWN PLAN UPDATE

**APPENDIX 3. CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE
MARINE PROTECTED AREA REGULATIONS FOR
THE BIG RIVER ESTUARY (MENDOCINO ESTUARY)**

area. Anchoring regulations shall be consistent with federal law and allowances made for anchoring required by emergency or severe weather.

(8) Transit or Drifting.

(A) Vessels shall be allowed to transit through MPAs and marine managed areas (MMAs) with catch onboard. Fishing gear shall not be deployed in the water while transiting through a state marine reserve. Fishing gear, except legal fishing gear used to take species identified as allowed for take in subsection 632(b), shall not be deployed in the water while transiting through a state marine recreational management area, state marine park or state marine conservation area.

(B) Spearfishermen with or without catch shall be allowed to transit through MPAs and MMAs. While transiting MPAs and MMAs that prohibit spearfishing or while in possession of species not identified as allowed for take in the MPA or MMA being transited, spearfishing gear shall be in an unloaded condition, not carried in hand, and the diver shall remain at the surface.

(9) Water Quality Monitoring. Sampling of water, sediment and marine life, for water quality monitoring or pollution research, or as required in a Monitoring and Reporting Program of a National Pollutant Discharge Elimination System (NPDES) Permit and Waste Discharge Requirements issued by the State or Regional Water Boards pursuant to the United States Clean Water Act and the California Water Code, is allowed within state marine reserves, state marine conservation areas, state marine parks, and state marine recreational management areas pursuant to a valid scientific collecting permit issued by the department.

(10) Public Safety. Public safety activities, including installation, maintenance and/or seasonal placement and removal of safety-related artificial structures, including but not limited to lifeguard towers, are allowed within any MPA classification pursuant to any required federal, state and local permits, or as otherwise authorized by the department.

(11) Tribal Take. For purposes of this regulation, "federally recognized tribe" means any tribe on the List of Indian Entities Recognized and Eligible to Receive Services from the United States Bureau of Indian Affairs, published annually in the Federal Register. Any member of a federally recognized tribe authorized to take living marine resources from an area with area-specific take restrictions in subsection 632(b), when engaging in take within an authorized area shall possess on his person, in his immediate possession, or where otherwise specifically required by law to be kept, any valid license, report card, tag, stamp, validation, permit, or any other entitlement that is required in the Fish and Game Code, or required by other state, federal, or local entities, in order to take living marine resources. Members shall possess a valid photo identification card issued by a federally recognized tribe that contains expiration date, tribal name, tribal member number, name, signature, date of birth, height, color of eyes, color of hair, weight, and sex; and display any of the items listed above upon demand to any peace officer. Members taking living

TOWN PLAN UPDATE

**APPENDIX 3. CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE
MARINE PROTECTED AREA REGULATIONS FOR
THE BIG RIVER ESTUARY (MENDOCINO ESTUARY)**

(D) State Marine Recreational Management Areas: In a state marine recreational management area, it is unlawful to perform any activity that would compromise the recreational values for which the area may be designated. Recreational opportunities may be protected, enhanced, or restricted, while preserving basic resource values of the area. No other use is restricted unless specified in subsection 632(b), areas and special regulations for use.

(2) Finfish. Finfish, for the purpose of this section, are defined as any species of bony fish or cartilaginous fish (sharks, skates and rays). Finfish do not include amphibians, invertebrates, plants or algae. The definition of finfish provided in Section 159 does not apply to this Section.

(3) Pelagic Finfish. Pelagic finfish, for the purpose of this section, are a subset of finfish defined as: northern anchovy (*Engraulis mordax*), barracudas (*Sphyraena* spp.), billfishes* (family Istiophoridae), dolphinfish (*Coryphaena hippurus*), Pacific herring (*Clupea pallasii*), jack mackerel (*Trachurus symmetricus*), Pacific mackerel (*Scomber japonicus*), salmon (*Oncorhynchus* spp.), Pacific sardine (*Sardinops sagax*), blue shark (*Prionace glauca*), salmon shark (*Lamna ditropis*), shortfin mako shark (*Isurus oxyrinchus*), thresher sharks (*Alopias* spp.), swordfish (*Xiphias gladius*), tunas (family Scombridae) including Pacific bonito (*Sarda chiliensis*), and yellowtail (*Seriola lalandi*). *Marlin is not allowed for commercial take.

(4) Access. Access into marine protected areas or marine managed areas for non-consumptive uses including but not limited to swimming, surfing, diving, boating, hiking and walking is allowed unless otherwise specified in subsection 632(b), areas and special regulations for use.

(5) Introduction of Species. Unless authorized by the commission or as a result of authorized fishing activities, the release of any fish or wildlife species, including domestic or domesticated species, or the introduction of any plant species, is prohibited. The department may reintroduce endemic species to marine protected areas or marine managed areas for management purposes.

(6) Feeding of Fish and Wildlife. The feeding of fish and wildlife is prohibited except permitted scientific collection pursuant to Section 650 or as a result of authorized fishing within state marine conservation areas, state marine parks, and state marine recreational management areas, or unless feeding of fish is specifically authorized in subsection 632(b) for purposes of marine life viewing.

(7) Anchoring. Vessels shall be allowed to anchor in any marine protected area or marine managed area with catch onboard unless otherwise specified in subsection 632(b), areas and special regulations for use. Fishing gear shall not be deployed in the water while anchored in a state marine reserve. Fishing gear, except legal fishing gear used to take species identified as allowed for take in subsection 632(b), shall not be deployed in the water while anchored in a state marine recreational management area, state marine park or state marine conservation

TOWN PLAN UPDATE

**APPENDIX 3. CALIFORNIA DEPARTMENT OF FISH AND WILDLIFE
MARINE PROTECTED AREA REGULATIONS FOR
THE BIG RIVER ESTUARY (MENDOCINO ESTUARY)**

(B) Take of all living marine resources is prohibited except:

1. The recreational take of surfperch (family Embiotocidae) by hook and line from shore only; and Dungeness crab by hoop net or hand is allowed.

2. The following federally recognized tribes (listed alphabetically) are exempt from the area and take regulations found in subsection 632(b)(25) of these regulations and shall comply with all other existing regulations and statutes:

Big Valley Band of Pomo Indians of the Big Valley Rancheria
Cahto Indian Tribe of the Laytonville Rancheria
Coyote Valley Band of Pomo Indians
Elem Indian Colony of Pomo Indians of the Sulphur Bank Rancheria
Guidiville Rancheria
Habematolel Pomo of Upper Lake
Hopland Band of Pomo Indians of the Hopland Rancheria
Lower Lake Rancheria
Manchester Band of Pomo Indians of the Manchester-Point Arena Rancheria
Middletown Rancheria of Pomo Indians
Pinoleville Pomo Nation
Potter Valley Tribe
Redwood Valley Rancheria of Pomo Indians
Robinson Rancheria of Pomo Indians
Round Valley Indian Tribes of the Round Valley Reservation
Scotts Valley Band of Pomo Indians, and
Sherwood Valley Rancheria of Pomo Indians.

3. Take pursuant to activities authorized in subsection 632(b)(25)(D) is allowed.

(C) Waterfowl may be taken in accordance with the general waterfowl regulations (Sections 502, 550, 551, and 552).

(D) Operation and maintenance of artificial structures inside the conservation area is allowed pursuant to any required federal, state and local permits, or as otherwise authorized by the department.

**MENDOCINO TOWN ZONING CODE UPDATE AMENDMENT
(LCPA-1-MEN-14-0840)**

APPENDIX 4

**CALIFORNIA COASTAL COMMISSION
ADOPTED CATEGORICAL EXCLUSION
ORDER E-96-1
(NOVEMBER 14, 1996)**

CALIFORNIA COASTAL COMMISSION

NORTH COAST AREA

45 FREMONT, SUITE 2000

SAN FRANCISCO, CA 94105-2219

(415) 904-5260

Th 6a



November 12, 1996

TO: Commissioners and Interested Parties

FROM: Peter Douglas, Executive Director
Steven Scholl, Deputy Director
Jo Ginsberg, North Coast District Manager

SUBJECT: Addendum to Proposed Categorical Exclusion Order No. E-96-1 for
County of Mendocino, Town Segment
(For Commission consideration at the meeting of November 14, 1996
in San Diego)

Following discussion with the Mendocino County Planning Director, Commission staff is making some minor revisions to the recommended conditions of Mendocino County Town Categorical Exclusion Order No. E-96-1. The changes primarily affect proposed Condition No. 1, which requires the County to submit revised categorical exclusion order maps for review and approval prior to the order becoming effective. The changes allow the County to display certain limitations on the areas where the exclusion order applies as map notes rather than as mapped boundaries. The changes will speed revision of the map and implementation of the order while still providing sufficient clarity for those interpreting the revised map to understand the limitations of the categorical exclusion order. In addition, to be clearer about the contents of the proposed order, staff has integrated the categories of development proposed by the County to be covered by the exclusion order with the recommended conditions, as revised, into one final document that comprises the proposed Categorical Exclusion Order. The proposed order is attached.

If the Commission adopts the proposed categorical exclusion order, the County will need to make the necessary map revisions and adopt a resolution accepting the order. Once the County adopts such a resolution, the Executive Director will determine whether the resolution and revised map are legally adequate and report his determination to the Commission for its consideration at a subsequent meeting. By that time, Commission staff will also prepare revised findings for the Commission to review and approve to reflect the changes to the order. Once the Commission concurs with the Executive Director's determination of adequacy, and the requisite notice has been filed with the Secretary of Resources, the categorical exclusion order will become effective.

COUNTY OF MENDOCINO
TOWN OF MENDOCINO
CATEGORICAL EXCLUSION ORDER NO. E-96-1

A. CATEGORY OF EXCLUDED DEVELOPMENT.

The Commission by a two-thirds vote of its appointed members hereby adopts an order, pursuant to Public Resources Code Section 30610(e) and 30610.5(b), which excludes the following categories of development in the designated areas of the coastal zone of the Town of Mendocino (Mendocino County) from the permit requirements of the California Coastal Act of 1976. However, no development located on tidelands or submerged lands, beaches, lots immediately adjacent to the inland extent of any beach, or the mean high tide line of the sea where there is no beach and all land and water subject or potentially subject to the public trust is excluded by this order. The Commission hereby orders that the following developments within the excludable areas shall not require a coastal development permit:

SINGLE-FAMILY RESIDENCES

A. The construction of a single-family residence will be excluded from coastal development permit requirements in Historic Zone A where:

1. a single-family residence is a principal permitted use; and
2. the Mendocino City Community Services District has granted a groundwater extraction permit or an exemption to groundwater extraction permit requirements for the residence; and
3. the single-family residence will be the only residence to be located on a legally created parcel; and
4. the Mendocino Historical Review Board has approved the residence; and
5. the residence will not be located within 100 feet of an environmentally sensitive habitat area.

B. ~~Improvements to a single-family residence, in locations not otherwise exempted from requiring a coastal development permit under Section 13250 of the California Code of Regulations, will be excluded from coastal development permit requirements in Historic Zone A where:~~

1. a single-family residence is a principal permitted use; and
2. the Mendocino City Community Services District has granted a groundwater extraction permit or an exemption to groundwater extraction permit requirements for the improvements; and

COUNTY OF MENDOCINO
TOWN OF MENDOCINO
ADDENDUM TO CATEGORICAL EXCLUSION ORDER NO. E-96-1
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3. the improvements would be made to a legal, conforming single-family residence; and
 4. the Mendocino Historical Review Board has approved the improvements, or the improvements are exempt from Review Board approval; and
 5. the improvements will not be located within 100 feet of an environmentally sensitive area.
- C. The construction of a single-family residence will be excluded from coastal development permit requirements in mapped exclusion areas of Historic Zone B where:
1. a single-family residence is a principal permitted use; and
 2. the Mendocino City Community Services District has granted a groundwater extraction permit or an exemption to groundwater extraction permit requirements for the residence; and
 3. the single-family residence will be the only residence to be located on a legally created parcel; and
 4. the residence will not be located within 100 feet of an environmentally sensitive habitat area; and
 5. the improvements will not be located on an area that contains pygmy vegetation.
- D. Where a parcel contains only one single-family residence, a coastal development permit shall not be required for the removal of the existing residence and replacement with a new residence where:
1. a single-family residence is a principal permitted use; and
 2. the parcel is in Historic Zone A, or in a mapped single-family residence exclusion area; and
 3. the Mendocino City Community Services District has granted a ~~groundwater extraction permit or an exemption to groundwater~~ extraction permit requirements for the replacement residence; and
 4. the Mendocino Historical Review Board has approved the removal of the existing residence and the replacement residence, or the removal and replacement of the residence is exempt from Review Board approval; and

5. the replacement residence will not be located within 100 feet of an environmentally sensitive habitat area; and
6. the replacement residence will not be located on an area that contains pygmy vegetation.

WATER WELLS

When the Mendocino City Community Services District has granted a groundwater extraction permit or an exemption to groundwater extraction permit requirements, water wells shall be excluded in three cases:

- a. where there are no permanent facilities for production (e.g., test wells); or
- b. replacement or supplemental wells to serve an existing legal use on the property; or
- c. production wells in association with single-family residences exempt under this exclusion order.

The well shall not be located within 100 feet of an environmentally sensitive habitat area.

SEPTIC SYSTEMS

The repair or replacement of existing septic systems will be excluded from coastal development permit requirements where:

- a. there is an existing, legal use on the parcel; and
- b. the replacement or repair will not increase septic capacity; and
- c. the replacement or repair will not be located on a parcel that contains pygmy vegetation in the area of replacement or repair; and
- d. the replacement or repair will not be located within 100 feet of an environmentally sensitive habitat area.

The expansion of an existing septic system is excluded from coastal development requirements where:

- a. the expansion is associated with the addition to an existing single-family residence that is statutorily exempt from coastal development permit requirements, and the expansion meets all of the criteria cited above for replacement and repair except (b).

COUNTY OF MENDOCINO
TOWN OF MENDOCINO
ADDENDUM TO CATEGORICAL EXCLUSION ORDER NO. E-96-1
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The installation of a septic system will be excluded from coastal development permit requirements where:

- a. the installation is associated with the construction of a single-family residence subject to this categorical exclusion; and
- b. the septic system will not be located within 100 feet of an environmentally sensitive habitat area.

BOUNDARY LINE ADJUSTMENTS

The adjustment of a lot line or boundary line as defined in Section 66412(d) of the California Government Code (Subdivision Map Act) will be excluded from coastal development permit requirements, provided that ~~the resulting parcels each have an adequate site outside any environmentally sensitive habitat area and 100-foot buffer for the eventual development of the parcels including appurtenant roads, parking, wells, septic systems, etc.~~ no portion of the adjusted boundary line or lot line is within 200 feet of the outward extent of an Environmentally Sensitive Habitat Area (ESHA), as defined above and in the County's LCP and the Town Zoning Code, or within 200 feet of the outward extent of an area of pygmy vegetation.

B. SPECIAL CONDITIONS.

LIMITATIONS OF EXCLUSION.

Pursuant to Section 30610.5, tide and submerged land, beaches, and lots immediately adjacent to the inland extent of any beach or of the mean high tide line and all lands and waters subject to the public trust shall not be excluded. Also, this exclusion shall not apply to any areas of deferred certification or to uncertified segments where the County does not have coastal permit-issuing responsibility.

1. Revised Categorical Exclusion Maps.

This Categorical Exclusion Order shall not become effective until Mendocino County has submitted, for the review and approval of the Executive Director, ~~revised Categorical Exclusion Order maps that contain a note stating that (a) the categorical exclusion for single-family residences applies to those areas so designated on the map (the shaded Historic Zones A and B); (b) the categorical exclusion for wells, septic systems, and boundary line adjustments applies throughout the Town of Mendocino; (c) all of the categorical exclusions are subject to the criteria and limitations described in the categorical exclusion order as conditioned by the Commission; and (d) none of the categorical exclusions apply in the following areas:~~

COUNTY OF MENDOCINO
TOWN OF MENDOCINO
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- a. those areas that are statutorily prohibited from being exempted; i.e., tidelands, submerged lands, public trust lands/waters, beaches and lots immediately adjacent to the inland extent of any beach or mean high tide line where there is no beach;
- b. those areas within 100 feet of the upland limit of any stream, wetland, marsh, or estuary, regardless of whether such coastal waters are mapped or unmapped; and
- c. any areas that contain both pygmy vegetation and pygmy soils and therefore are within the Pygmy Forest Segment of the Mendocino County LCP.

2. Definition of ESHA.

The term Environmentally Sensitive Habitat Area (ESHA), as it is used in criteria governing the proposed exclusion, shall be defined consistent with the definition in Section 3.1 of the County's LUP and Section 20.308.040(F) of the County's Zoning Code, and with Section 20.608.024(C) of the Town Zoning Code, as follows:

Any area in which plant or animal life or their habitats are either rare or especially valuable because of their special nature or role in an ecosystem and which could be easily disturbed or degraded by human activities or developments. In Mendocino County, environmentally sensitive habitat areas include, but are not limited to: anadromous fish streams, sand dunes, rookeries and marine mammal haul-out areas, wetlands, riparian areas, areas of pygmy vegetation that contain species of rare or endangered plants, and habitats or rare and endangered plants and animals.

3. Streams and Wetlands.

This order shall not apply to any development within 100 feet of the upland limit of any stream, wetland, marsh, or estuary, regardless of whether such coastal waters are mapped or unmapped.

4. Determination by the Executive Director.

This order granting a categorical exclusion for these categories of development in the Town of Mendocino shall not become effective until the Executive Director of the Commission has certified, in writing, that the local government has taken the necessary action to carry out the exclusion order pursuant to Section 13244 of the Coastal Commission regulations.

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5. Exclusion Limited to Coastal Permits.

This exclusion shall apply to the permit requirements of the Coastal Act of 1976, pursuant to Public Resources Code 30610(e) and 30610.5(b), and shall not be construed to exempt any person from the permit requirements of any other federal, state, or local government agency.

6. Records.

Mendocino County shall maintain a record of any other permits which may be required for categorically exempt development which shall be made available to the Commission or any other interested person upon request.

7. Notice.

Within five working days of local approval of a development covered by this exclusion, the Coastal Commission area office and any person who has requested such notice shall receive notification of development exempted under this order on a form containing the following information:

- a. the developer's name;
- b. street address and parcel number of the subject property;
- c. description of the development;
- d. date of application for other permits; and
- e. all terms and conditions of approval imposed by the local government in granting other permits.

8. Conformity with the LCP.

Development under this exclusion shall conform with the Mendocino County LCP in effect on the date of this exclusion as adopted by the Commission or to the terms and conditions of this exclusion where such terms and conditions specify more restrictive development criteria.

9. Amendment of LCP.

In the event an amendment of the Mendocino County LCP is certified by the Coastal Commission pursuant to Section 30514 of the Coastal Act, development under this order shall comply with the amended LCP except where the terms and conditions of this order specify a more restrictive criteria. However, such amendment shall not authorize the exclusion of any category of development not excluded herein, nor shall such amendment alter the geographic areas of the exclusion.

RECISSION AND REVOCATION.

Pursuant to Title 14 of the California Code of Regulations Section 13243(e), the Commission hereby declares that the order granting this exclusion amendment may be rescinded at any time, in whole or in part, if the Commission finds by a majority vote of its appointed membership, after public hearing, that the terms and conditions of the exclusion order no longer support the findings specified in Public Resources Code Section 30610(e). Further, the Commission declares that this order may be revoked at any time that the terms and conditions are violated.

9118p

Public Resources Code Section 30610.

Notwithstanding any other provision of this division, no coastal development permit shall be required pursuant to this chapter for the following types of development and in the following areas:

(a) Improvements to existing single-family residences; provided, however, that the commission shall specify, by regulation, those classes of development which involve a risk of adverse environmental effect and shall require that a coastal development permit be obtained pursuant to this chapter.

(b) Improvements to any structure other than a single-family residence or a public works facility; provided, however, that the commission shall specify, by regulation, those types of improvements which (1) involve a risk of adverse environmental effect, (2) adversely affect public access, or (3) involve a change in use contrary to any policy of this division. Any improvement so specified by the commission shall require a coastal development permit.

(c) Maintenance dredging of existing navigation channels or moving dredged material from those channels to a disposal area outside the coastal zone, pursuant to a permit from the United States Army Corps of Engineers.

(d) Repair or maintenance activities that do not result in an addition to, or enlargement or expansion of, the object of those repair or maintenance activities; provided, however, that if the commission determines that certain extraordinary methods of repair and maintenance involve a risk of substantial adverse environmental impact, it shall, by regulation, require that a permit be obtained pursuant to this chapter.

(e) Any category of development, or any category of development within a specifically defined geographic area, that the commission, after public hearing, and by two-thirds vote of its appointed members, has described or identified and with respect to which the commission has found that there is no potential for any significant adverse effect, either individually or cumulatively, on coastal resources or on public access to, or along, the coast and, where the exclusion precedes certification of the applicable local coastal program, that the exclusion will not impair the ability of local government to prepare a local coastal program.

(f) The installation, testing, and placement in service or the replacement of any necessary utility connection between an existing service facility and any development approved pursuant to this division; provided, however, that the commission may, where necessary, require reasonable conditions to mitigate any adverse impacts on coastal resources, including scenic resources.

(g) (1) The replacement of any structure, other than a public works facility, destroyed by a disaster. The replacement structure shall conform to applicable existing zoning requirements, shall be for the same use as the destroyed structure, shall not exceed either the floor area, height, or bulk of the destroyed structure by more than 10 percent, and shall be sited in the same location on the affected property as the destroyed structure.

(2) As used in this subdivision:

(A) "Disaster" means any situation in which the force or forces which destroyed the structure to be replaced were beyond the control of its owner.

(B) "Bulk" means total interior cubic volume as measured from the exterior surface of the structure.

(C) "Structure" includes landscaping and any erosion control structure or device which is similar to that which existed prior to the occurrence of the disaster.

(h) Any activity anywhere in the coastal zone that involves the conversion of any existing multiple-unit residential structure to a time-share project, estate, or use, as defined in Section 11212 of the Business and Professions Code. If any improvement to an existing structure is otherwise exempt from the permit requirements of this division, no coastal development permit shall be required for that improvement on the basis that it is to be made in connection with any conversion exempt pursuant to this subdivision. The division of a multiple-unit residential structure into condominiums, as defined in Section 783 of the Civil Code, shall not be considered a time-share project, estate, or use for purposes of this subdivision.

(i) (1) Any proposed development which the executive director finds to be a temporary event which does not have any significant adverse impact upon coastal resources within the meaning of guidelines adopted pursuant to this subdivision by the commission. The commission shall, after public hearing, adopt guidelines to implement this subdivision to assist local governments and persons planning temporary events in complying with this division by specifying the standards which the executive director shall use in determining whether a temporary event is excluded from permit requirements pursuant to this subdivision. The guidelines adopted pursuant to this subdivision shall be exempt from the review of the Office of Administrative Law and from the requirements of Chapter 3.5 (commencing with Section 11340) of Part 1 of Division 3 of Title 2 of the Government Code.

(2) Exclusion or waiver from the coastal development permit requirements of this division pursuant to this subdivision does not diminish, waive, or otherwise prevent the commission from asserting and exercising its coastal development permit jurisdiction over any temporary event at any time if the commission determines that the exercise of its jurisdiction is necessary to implement the coastal resource protection policies of Chapter 3 (commencing with Section 30200).

Source: http://leginfo.legislature.ca.gov/faces/codes_displayText.xhtml?lawCode=PRC&division=20.&title=&part=&chapter=7.&article=1. (2015)

APPENDIX 5

**PUBLIC ACCESS COMPONENT
DETAILED ACCESS WAY AERIAL MAPS**

MENDOCINO TOWN PLAN UPDATE: DETAILED PUBLIC ACCESS AERIAL MAPS
BOARD OF SUPERVISORS PUBLIC HEARING DRAFT (DECEMBER 8, 2015)



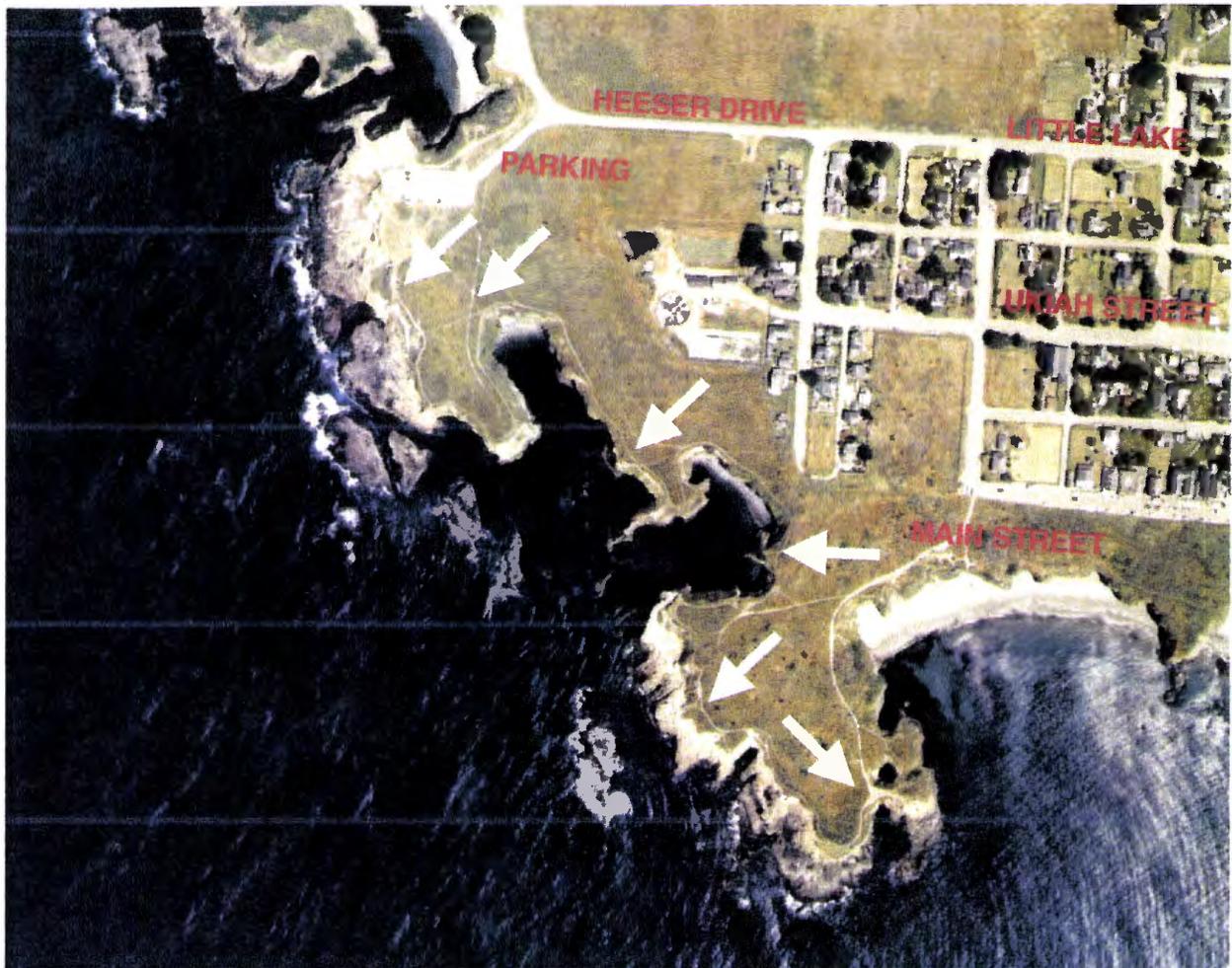
Appendix 5.1. Vertical Aerial Photograph of coastal access in the Town of Mendocino, California: Mendocino Estuary Beaches west and east of the California Highway 1 Big River Bridge (constructed in 1961). Main Street extends west from Highway 1 in the upper left; Big River Road provides access from Highway 1 to the Big River Flat beach (site of the lumber mill between 1854 and the 1930's) in the lower right, to trails in the protected Big River watershed (part of expanded Mendocino Headlands State Park), and contiguous adjacent State Parks and Jackson Demonstration State Forest. Lateral public access is available along Big River Beach beneath the Highway 1 bridge; the updated Mendocino Town Plan (2015) proposes a continuous lateral upland trail in Mendocino Headlands State Park to connect Big River Beach with the State Park to the west and safe pedestrian and bikeways on Big River Bridge for enhanced access along the California Coastal Trail. Photo source: California Department of Boating and Waterways Image CDBW-BBK-C 166-13 6-13-93. Used with permission. Copyright © 2002-2015 Kenneth & Gabrielle Adelman, California Coastal Records Project, www.Californiacoastline.org

MENDOCINO TOWN PLAN UPDATE: DETAILED PUBLIC ACCESS AERIAL MAPS
BOARD OF SUPERVISORS PUBLIC HEARING DRAFT (DECEMBER 8, 2015)



Appendix 5.2. Vertical Aerial Photograph of coastal access in the Town of Mendocino, California: Parking along westerly Main Street, blufftop and beach access paths in Mendocino Headlands State Beach, Ford House Visitor Center, westerly Big River beach at lower right Lansing Street extends north along the right side of the photograph; Kasten and Heeser Streets parallel Lansing Street to the west. North of east-west Main Street are narrow Albion Street, Ukiah Street, and Little Lake Street near the top of the photograph.. California Department of Boating and Waterways Image CDBW-BBK-C 166-13 6-13-93. Used with permission. Copyright (C) 2002-2015 Kenneth & Gabrielle Adelman, California Coastal Records Project, www.Californiacoastline.org

MENDOCINO TOWN PLAN UPDATE: DETAILED PUBLIC ACCESS AERIAL MAPS
BOARD OF SUPERVISORS PUBLIC HEARING DRAFT (DECEMBER 8, 2015)



Appendix 5.3. Vertical Aerial Photograph of coastal access in the Town of Mendocino, California: Blufftop paths, parking, and beaches in southwesterly Mendocino Headlands State Park at west Heeser Drive (upper left-center) and west Main Street at Heeser Street (lower center). State Parks owns the rectangular parcel west of the intersection of Main and Heeser Streets, where recommended recreational upland support facilities should be located to serve the southwesterly area of the State Park. Additional public parking is recommended along westerly Main Street, lower Heeser Street, and easterly Heeser Drive, west of its intersection with Heeser Street. The peninsula at lower middle was the site of the 1850's-1930's Mendocino railroad, lumber yard, and wharves/chutes maritime shipping facility. California Department of Boating and Waterways Image CDBW-BBK-C 166-13 6-13-93. Used with permission. Copyright (C) 2002-2015 Kenneth & Gabrielle Adelman, California Coastal Records Project, www.Californiacoastline.org

MENDOCINO TOWN PLAN UPDATE: DETAILED PUBLIC ACCESS AERIAL MAPS
BOARD OF SUPERVISORS PUBLIC HEARING DRAFT (DECEMBER 8, 2015)



Appendix 5.4. Vertical Aerial Photograph of coastal access in the Town of Mendocino, California: Paths, pocket beaches, parking areas, grass lands, and offshore islets in westerly and northwesterly Mendocino Headlands State Park. California Department of Boating and Waterways Image CDBW-BBK-C 166-13 6-13-93. Used with permission. Copyright (C) 2002-2015 Kenneth & Gabrielle Adelman, California Coastal Records Project, www.Californiacoastline.org

MENDOCINO TOWN PLAN UPDATE: DETAILED PUBLIC ACCESS AERIAL MAPS
BOARD OF SUPERVISORS PUBLIC HEARING DRAFT (DECEMBER 8, 2015)



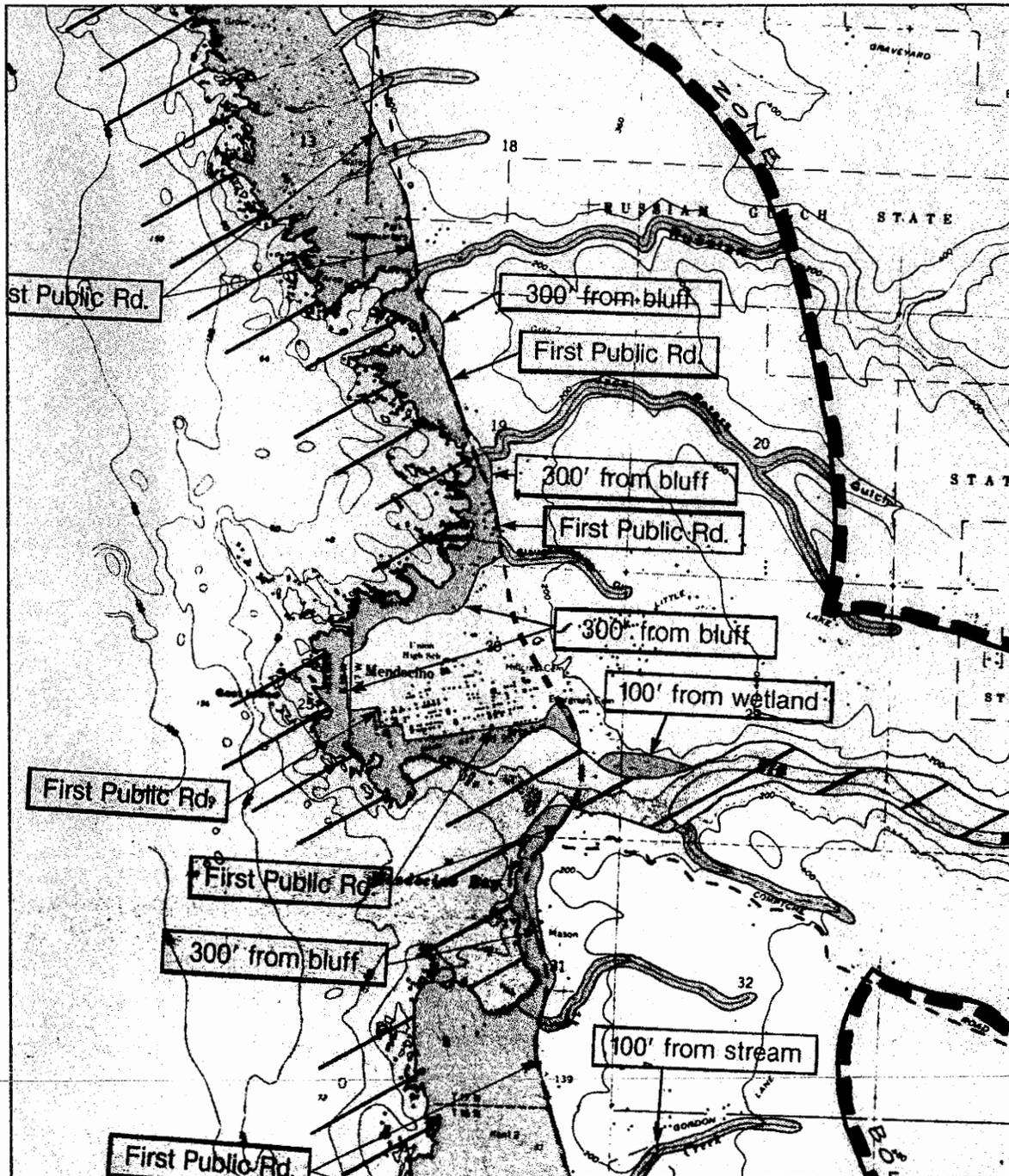
Appendix 5.5. Vertical Aerial Photograph of coastal access in the Town of Mendocino, California: Heeser Drive, paths, parking, rocky northwest-facing beach (center right), and lavatory (center right) in northerly Mendocino Headlands State Park, with offshore islets. California Department of Boating and Waterways Image CDBW-BBK- C 166-13 6-13-93. Used with permission. Copyright (C) 2002-2015 Kenneth & Gabrielle Adelman, California Coastal Record Project, www.Californiacoastline.org

APPENDIX 6

**CALIFORNIA COASTAL COMMISSION
POST-LCP CERTIFICATION
PERMIT AND APPEAL JURISDICTION
MAP 32 (EXCERPT)
TOWN OF MENDOCINO AREA**

TOWN PLAN UPDATE
APPENDIX 6. COASTAL COMMISSION-ADOPTED POST-LCP
CERTIFICATION PERMIT AND APPEAL JURISDICTION MAP 32
(EXCERPT)

DECEMBER 8, 2015

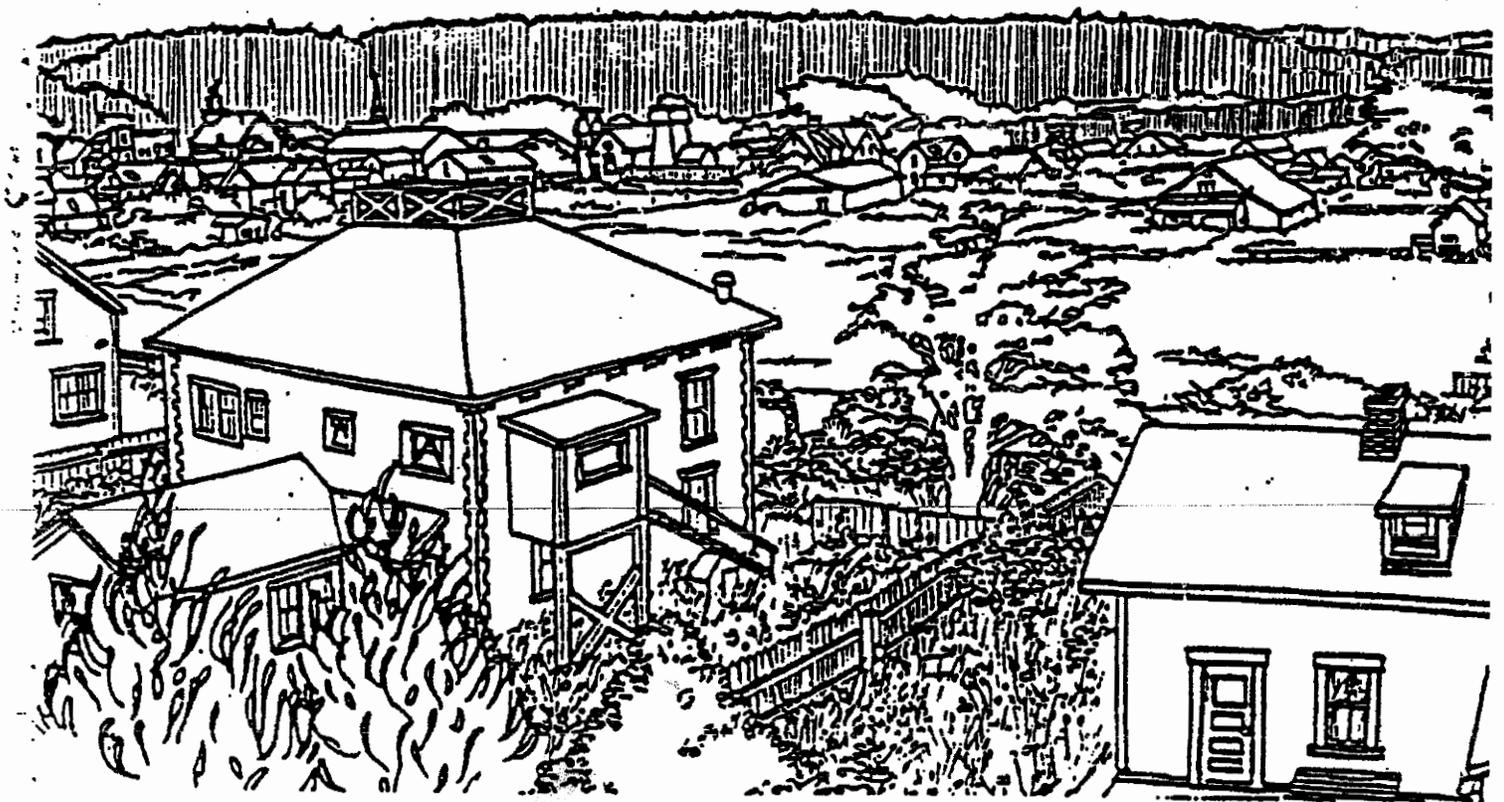


**MENDOCINO TOWN ZONING CODE UPDATE AMENDMENT
(LCPA-1-MEN-14-0840)**

APPENDIX 7

MHRB DESIGN GUIDELINES

MENDOCINO
HISTORIC
REVIEW BOARD
DESIGN GUIDELINES
1987



MENDOCINO HISTORICAL REVIEW BOARD

DESIGN GUIDELINES

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- II. Brief History of Mendocino
- III. Historic Preservation District Boundaries
- IV. Historic Architectural Styles
- V. General Guidelines
- VI. Site Development Guidelines
- VII. Structural Guidelines
- VIII. Non-Structural Guidelines
- IX. Mendocino Historical Review Board Procedures and Required Information
- X. California Environmental Quality Act (CEQA) Considerations and Flow Chart
- XI. Glossary
- XII. Appendix - Mendocino Historical Preservation Ordinance No. 1057A, adopted 1973, as amended.

I. STATEMENT OF INTENT

The Mendocino Historical Review Board (MHRB) of the Town of Mendocino (appointed by the County Board of Supervisors to implement Historical Preservation Ordinance #1057A as amended) has adopted the following Design Review Guidelines in order to ensure that development, as defined, within the Town of Mendocino will be compatible with, preserve, and enhance the unique historic character and cultural resources of the community which have been recognized in Mendocino's designation as a National Historic Landmark District.

These Guidelines are based upon historic design characteristics commonly observed in Mendocino and will serve as a basis against which plans for new construction and for rehabilitation or renovation of existing structures can be judged for harmony, compatibility and appropriateness.

Supportive of this intent is Sec. 30253(5) of the California Coastal Act (1976) which cites: "New development shall, where appropriate, protect special communities and neighborhoods which, because of their unique characteristics, are popular visitor destination points for recreational uses."

The intent of the Design Guidelines is to provide a range of design choices which will encourage development that is compatible with the existing or desired character of the area and which will discourage the introduction of incompatible elements of design or building style. Present day designs and materials are encouraged when used in a manner which is compatible with the sense of the past that is being preserved.

It is not the intent of these guidelines to return the Town to a bygone era. Nor is the intent to create an artificial atmosphere or to invite mimicry that will only caricature the past. The intent is to preserve and protect the special character and the identity of Mendocino.

Mendocino Town Plan

Design Review Standards which are not addressed in these guidelines but which are set forth in the Mendocino Town Plan, adopted by the Mendocino County Board of Supervisors, shall be the guideline criteria for determination by the Mendocino Historical Review Board within the Historic District as defined in Ordinance 1057A as amended.

II. BRIEF HISTORY OF MENDOCINO

Native inhabitants - Pomo Indians

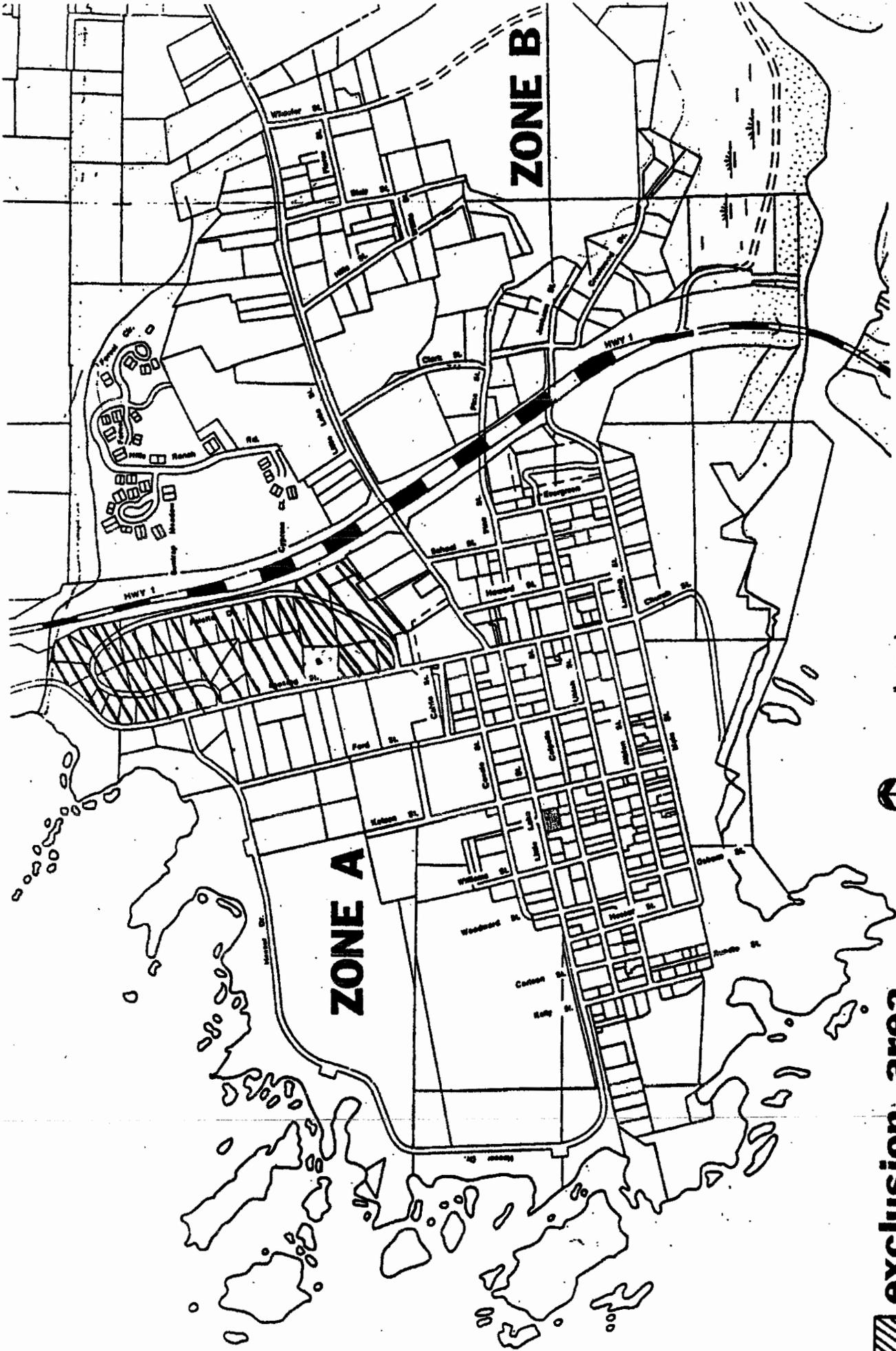
- 1850 - William Kasten, reportedly a lone survivor of a ship wreck, builds shelter.
- 1851 - Kasten files notice of pre-emption for area that was to become Mendocino.
- Ship with valuable cargo of oriental silk is lost off Cabrillo Point.

- Salvage party comes by ship and discovers virgin forest of redwoods.
- 1852 - Word of redwoods reaches San Francisco.
- Company of men arrive by ship and overland with equipment to build first lumber mill on headlands.
- 1854 - Mill is moved from hostile headlands to flats of Big River.
- 1860 - Population, 150 (about 300 Indians still live one mile east of mill area and as many as 3,000 from south of Noyo River to north of Ten Mile and a few miles inland).
- 1863 - Mill is destroyed by fire but rebuilt.
- 1865 - Population, 700
- 1869 - Plat of town is surveyed and recorded.
- 1870 - Fire destroys 25 buildings, all west of Kasten (started in hotel).
- To date, 30 ships lost to circumstances of operating in remote, hostile coast area.
- 1880 - Population, 3,100
- Most of the large homes already built.
- 1930's - Mill operations cease after 7 billion feet of redwood processed since 1853.
- 1959 - Art Center is founded.
- 1970 - Vote to incorporate - failed.
- 1972 - Proposition 20, the California Coastal Zone Conservation Act, is passed by voters.
- Portion of Mendocino Headlands is acquired by Department of Parks and Recreation.
- 1973 - Mendocino becomes a Historic Preservation District of the National Register.
- Mendocino Historic Review Board is formed.
- 1976 - California Coastal Act legislation mandates coastal plan for California to come from counties and cities with the "widest opportunity for public participation" possible.
- Mendocino is designated as "special community" within the Coastal Commission planning and zoning.
- 1980 - Citizens Advisory Committee completes the Mendocino Town Plan as mandated by the Coastal Commission after three years of citizen input and corroboration with County and independent planners.
- Advisory vote on Incorporation - failed
- 1982 - Vote to incorporate - failed
- 1983 - County Board of Supervisors adopted Mendocino Town Plan
- 1985 - California Coastal Commission certified Mendocino Town Plan

III. HISTORIC PRESERVATION DISTRICT BOUNDARIES

The Historic Preservation District is that area as shown on the following map:

Town of Mendocino



 **exclusion area**

 North 1" = 775'

IV. EXAMPLES OF HISTORIC ARCHITECTURAL STYLES

Residential Area:

Mendocino homes accurately reflect the diversity of architecture in the latter half of the 19th Century. New construction within the Historic District should reflect the scale, continuity, and texture of the historic structures without duplicating these exact styles.

All the houses are not described here. There are, however, a few simple guidelines which can be used when looking at Mendocino structures. The architecture of the town has been called "victorian" but the term indicates a period rather than a style. The "Victorian" era saw many styles or combined styles which are described herein as they apply to the Mendocino Preservation District.

Commercial Area:

The existing historic structures in Mendocino's commercial area represent all combinations existent in the residential area. Like many business districts in other lumber towns, it was partially destroyed by fire but a variety of historic styles has survived to the present to serve as guidelines for neighborhood compatibility and community ambience through site development, scale and building design for the future.

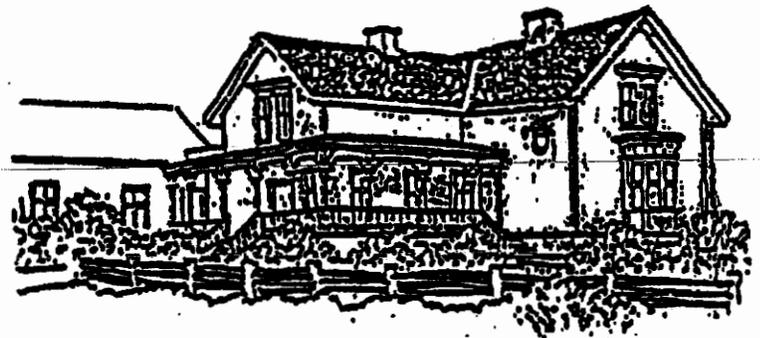
New England "Salt Box"

Mendocino's lumber camp period was characterized by the construction of simple wooden structures which were more or less temporary. These houses can still be recognized by their steep gable roofs and central covering of clapboard. A salt box variation to these homes consisted of adding another slanted roof to the lower end of the existing roof.



Gothic Revival

As the town prospered, the erection of more permanent structures began. These structures are characterized by steep gable roofs, bay windows, wide horizontal clapboard siding and cut out trim known as carpenter's lace. These larger houses were sometimes embellished with large



porches supported by wooden posts and brackets which were shaped like scrolls or volutes. The placement of other pierced curvilinear ornament under the eaves of roofs created a gingerbread look on some homes.



Italianate

The Italian box style of architecture is also to be seen in Mendocino. These rectangular homes are characterized by hipped roofs and ornamental brackets under the eaves. However, the presence of multiple bay windows illustrates a combination of styles rather than an authentic design.



Vernacular

Commercial structures, as with residential, began with rough cut lumber. However, as the town grew, these original rough buildings were either demolished or covered over by clapboard and/or decoratively shingled false fronts for which western architecture is so noted. These buildings were termed vernacular which indicates that local custom and materials took precedence over any particular architectural style. They were simple structures with large show windows on the bottom floor for the shops, and long narrow windows upstairs for living quarters or offices. Some embellishments were added in the way of paint trim, brackets, cornices, dentils, etc. (See illustrated Glossary).



V. GENERAL GUIDELINES

Improvements regulated by Ordinance (see Section F-20-115 of the Mendocino County Code for further clarification):

Zone A

Demolition or removal of structures; all new construction, remodeling or alteration of exteriors; outdoor advertising signs, or construction of any outdoor display of materials for sale, indoor lighting designed to be seen from outside the structure, outdoor lighting; excavation or deposit of material on land in such a manner as to materially alter the existing contour or condition of the land, including leveling, grading piling or paving; painting of exteriors; and public utility poles.

Zone B

Construction of any structure, or portion thereof, requiring a building permit; commercial signs or commercial lighted device; or construction of utility poles; capable of being seen by a person standing on any point in Zone A.

Note: Those improvements which are not capable of being seen by any person standing on any point in Historic Zone A require a letter of clearance from the Mendocino Historical Review Board prior to obtaining building permits.

Historic Structures

Historic structures may utilize the State Historic Building Code as an alternative to the Uniform Building Code. Historic structure is defined as any structure deemed of importance to this history, architecture, or culture of an area by an appropriate local or state government jurisdiction. (Health and Safety Code Section 18955) This alternative code may aid owners in cost effectiveness of repairs, alterations or additions while maintaining the historic quality of the structure.

VI. SITE DEVELOPMENT GUIDELINES

The Historic District has a rectangular block pattern with narrow edges of property lots facing the street. The key design element is the diversity of structures. The major or primary facade of new buildings should be oriented toward the street and should be aligned parallel to the neighboring structures.

Property Line Setbacks: Setbacks as required by County Code (Ord. 359, Section 39.01, adopted 1956) do not necessarily contribute to historic preservation and applicants may find it necessary to apply for variances in order to meet MHRB approvals. (It is anticipated that the town zoning ordinance to implement the town plan will greatly reduce the necessity of obtaining a variance.)

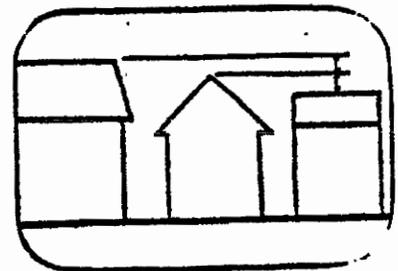
1. Residential: Setbacks and placement of structures on site should conform to those on the block front.
2. Commercial: Buildings should form a continuous facade along the property line adjacent to the major street.
3. The orientation, setback, alignment, spacing and placement of a building on site will be considered with special consideration given to the retention of natural topography and vegetation. All structural landscape elements and fences will be considered.

VII. STRUCTURAL GUIDELINES

BUILDING DESIGN

Forms, materials, textures and colors shall be in general accord with the appearance of structures built in Mendocino prior to 1900. To this end, they shall be in general accord with the designs as exemplified, but not limited to, those depicted in the photographs contained in "Exhibit B", a book of photographs which is incorporated herein by reference and is available for public inspection through the Clerk of the Mendocino Historical Review Board. This section shall not be interpreted as requiring construction to be with the forms, materials, textures, colors or design as used in Mendocino prior to 1900, but only that the proposed work be compatible with and not in disharmony with the architectural standards herein expressed (Sec. 20-119a).

1. Scale and Proportion: The height, width and general proportions of a building shall conform with other buildings in the surrounding neighborhood. Ratio of wall surface to openings, and the ratio of width and height of windows and doors shall also be consistent with the surrounding neighborhood. Secondary buildings shall not overwhelm the primary structure on the lot.



2. Vertical Emphasis: The structures of the Historic District are definitely vertical in appearance. This appearance is created by the general proportions of door and window openings. Buildings should be of a vertical appearance.



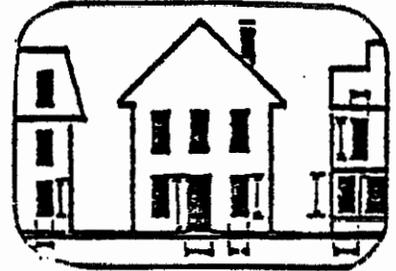
This is not acceptable

3. Exterior Building Materials:

The Historical Review Board favors the use of natural materials. These include Lap siding, V-rustic, T & G, ship-lap siding, Ansac, wood shingles and vertical Board and Batten.

Imitation or synthetic materials, such as aluminum or vinyl siding, imitation stone, imitation brick and "Rustic", used brick, plastic, laminated beams and laminated wood panels, concrete block, stucco, asbestos or asphalt shingles or panels, and plywood panels shall be deemed inappropriate. Painting of new structures is encouraged.

4. Windows and Doors: The proportions and relationships between windows and doors, and of each to the structure as a whole, shall be compatible with the architectural style and character of landmark structures, and with surrounding structures within the Historic District. Metal or plastic frames are not acceptable. Shutters should be inconspicuous as possible. Raw aluminum combination storm windows or doors and plastic contemporary coverings are not acceptable. Windows and doors may have accent ornamentation when it is integral to the building design.

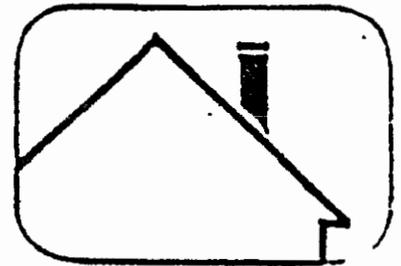


a. Residential: Windows are typically tall, double hung, wood frame windows. Dormers, oriel bay, bow and small accent windows are common. Wood panel and wood carved doors are appropriate. Single pane picture windows, horizontal awning windows, sliding windows and windows with horizontally oriented panes are not appropriate. Metal doors and sliding glass doors are unacceptable.

b. Commercial: Display windows are appropriate on the ground floor. Upper story windows should be vertical. Doorways may be recessed.

5. Foundation Walls: In general, the maximum exposure should be ten (10) inches. Exposed foundation walls above ten (10) inches should be of stone face or wood and should be inconspicuous as possible.

6. Roof Form: The design line created by the shape of the roof shall constitute the roof form. The design of the roof shall be compatible with the architectural style and character of the subject structure and shall not detract from landmark structures and surrounding structures in the district. Designs deemed inappropriate include, but are not limited to: low gable, shed, vaulted, domed, free form, A-frame and geometric shape. Shed roofs may be used for small additions. All roofs shall have appropriate over-hangs.

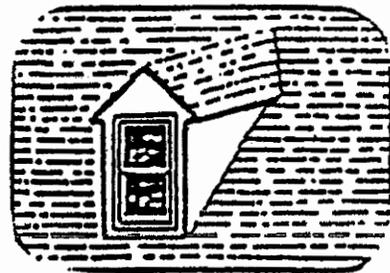


a. Residential: Hip, mansard and high pitched gable roofs are acceptable for main structures with lesser pitch common for porches or additions. Gable end roofs should face the street.

b. Commercial: Roofs may be hipped, mansard or gable. False front in combination with hipped or gable roofs are acceptable where appropriate.

c. Roof Materials: Any roofing material must be compatible with surrounding buildings. Wood materials are encouraged. Asphalt shingles are allowed but are not encouraged. Roll roofing, built up, tar and gravel, plastic or other glass fiber roofing materials are not appropriate. On flat roofs which are not visible from public areas, roof materials may be of any type which conforms to the building and fire codes of the town.

7. Architectural Features: Balconies, decks, covered porches, decorative shingles, bracketed eaves, columns, balustrades, towers, turrets, skylights and arches are among the details to be considered. All features and details should be in proportion with the building. The use of historic details on contemporary structures would only be included where they are appropriate to the building design. Use of metal, fiberglass or plastic awnings is not acceptable.



On historic structures, architectural features should be preserved and restored whenever possible. New construction should use architectural embellishments only where integral to the building design.

RECONSTRUCTIONS:

Reconstruction in the Historic District is encouraged and will be considered if sufficient historical data and expertise can be demonstrated to insure the integrity of the building.

FENCES AND WALLS:

Fences should be made of wood, iron, stone or plant materials. Solid wood fences are discouraged except where they are necessary for screening parking and storage. Retaining walls should be of wood, dry stone and stone masonry. Logs and railroad ties may be used on a limited scale provided that the horizontal method of construction is utilized.

Chain link or metal fences, concrete block, plastic, fiberglass or plywood fences are not acceptable. Concrete or smooth concrete block are not acceptable.

SIDEWALKS AND DRIVEWAYS:

Where walkways and driveways are necessary, brick, flagstone, board, grass and gravel are appropriate. Asphalt and concrete are generally not acceptable. Major coverage of front yard setbacks is not acceptable.

OTHER STRUCTURES:

No mobile home, trailer, or camper homes, shall be constructed, maintained or installed in any portion of the Historical District without prior approval by the Review Board (see Section F-20-117 of the Mendocino County Code for further clarification).

VIII. NON-STRUCTURAL GUIDELINES

SIGNS AND LIGHTING:

1. Lighting: Outdoor lighting as defined in Sec. 20-126 is regulated by these Guidelines. If sign lighting is required, it shall be indirect, low key, and restricted to business hours only, and shall not create a glare or reflection onto adjacent properties or public streets. Neon lighted signs are prohibited. Indoor lighted signs visible to the public from outside the building are subject to the approval of the Mendocino Historical Review Board.

2. Signs:

(a) Signs should be made of wood.

(b) Only one sign will be allowed per business when one sign will suffice.

(c) Use of a "directory" type sign is recommended for buildings containing more than one business and using a common entrance.

(d) Size, design, and location of sign shall be in harmony with the building and surrounding buildings.

(e) Signs shall not block public views or lines of sight. Signs flush to building are preferable; signs perpendicular to building are permitted under special circumstances.

(f) Signs advertising businesses outside of the Historic District or advertising local businesses not located on the same property are prohibited.

DEMOLITION

Demolition of any structure within the Historic Preservation District shall require approval of the Mendocino Historical Review Board prior to demolition. Structures include housing, garages, commercial buildings, outbuildings, water towers, fencing, signs, etc.

UTILITY SERVICES

1. All utility installations on new construction should be placed underground.
2. Any utility installation remaining above ground, such as pad mounted transformers, should be integrated into the architecture or landscaping of the project and be compatible with the structure and surrounding neighborhood.
3. Installations should be effectively screened from public view wherever possible.

SERVICE AREAS

1. All trash/waste pickup areas shall be effectively screened from public view with vegetation landscaping, fencing, etc., and shall adhere to public health and safety codes.
2. All trash/waste pickup areas shall be easily accessible to commercial carriers and as far removed from occupied or heavily traffic areas as possible.

EXTERIOR PAINTING

Repainting or routine maintenance in the same basic shade or color is permitted without prior approval. Painting of the exterior of new construction, or repainting existing structures that involves a change in color scheme requires Review Board approval.

DUTY TO MAINTAIN

All buildings and structures of historic significance, (as described in the Inventory of Historic Buildings, Appendix 14, "Historic Structures" of the Mendocino County Local Coastal Plan dated August 17, 1983, as amended) in the Mendocino Historic Preservation District should be preserved against decay, deterioration, and structural defects.

It should be the responsibility of the owner or other person(s) having legal possession and control of such buildings and structures to ensure there is reasonable care, maintenance and upkeep appropriate for the preservation, protection, enhancement, re-habilitation, reconstruction, and perpetuation consistent with the intent of Mendocino Historical Preservation District for the Town of Mendocino, (MCC Art. XLII, as amended).

DEMOLITION BY NEGLECT

Failure of a property owner to reasonably maintain any structure against deterioration may not be construed as sufficient grounds for a demolition permit and new construction. The primary purpose of the historic district is preservation of historic structures.

PARKING, ACCESS AND EGRESS

Objective: to retain the quality and historic aspect of the town of Mendocino while addressing the needs of modern day transportation.

1. Residential Parking: Unobstructed spaces or areas within the boundaries of a parcel intended for use by occupants of the structure shall not be located in any front or side yard facing street. Residential parking areas shall be effectively screened with material appropriate to the Historic District.

2. Commercial Parking: Any unobstructed space or area within the boundaries of a parcel intended to accommodate visitors, customers, clientele, etc. utilizing adjacent services.

a. Development of off-street parking lots (areas in which four (4) or more vehicles are parked) are deemed inconsistent with historic preservation and shall be unacceptable.

b. Location and number of driveways from public streets shall be designed to reduce visual impact of vehicles while providing for the safety of the public.

c. Surfacing shall be limited to gravel or turfstone. ACP overlay, chip seal and paving is unacceptable. (turfstone: a permeable surface for walkways, patios, parking areas, etc., consisting of a layer of interlocking concrete blocks containing holes which are filled with sand or soil and seeded with grass or other ground cover.)

SOLAR ENERGY AND WIND DEVICES

Where solar energy is to be used as a primary or supplementary source of heat or other energy, solar collection devices should be located on the rear or other non-public sides of a building, or on roof surfaces which are not visible from adjacent streets or other public areas in town. Solar collection devices which are not attached to the building should be located only in the side or rear yards.

OTHER MECHANICAL EQUIPMENT

To minimize the impact of mechanical equipment on the appearance of the building and the community, window air conditioning units or condenser elements should not be located on the facades. Antennas shall be located where they are not visible on the primary facade. Mechanical equipment on the ground shall be housed in a structure which is in harmony with the surroundings. Mechanical equipment attached to the side of a building, shall be properly screened. Mechanical equipment attached to a roof is not appropriate and strongly discouraged.

IX. REVIEW BOARD PROCEDURES AND REQUIRED INFORMATION

All persons desiring to construct, demolish, move or in any way alter the exterior of a building or property, must obtain formal approval from the Mendocino Historical Review Board. Routine maintenance activities such as repainting with same color, re-roofing with same materials and color, or reconstruction of existing deteriorate building elements do not need approval. Wood fences under six feet do not need approval, but all other fences, structural landscape elements and signs do need approval. In no event will a person be excused for not having obtained approval before beginning construction. Approvals representing a final paint color, architectural details, fencing, etc., shall be completed as applied for prior to the Building Department's approval. The approval is valid for one year and evidence of such approval must be presented to the Mendocino County Building Department when applying for permits.

Public hearings are held the first Monday of each month.

Applications must be submitted no later than twelve (12) days, (Wednesday Noon to the Department of Planning & Building Services, 153 W. Spruce Street, Fort Bragg) before each public hearing.

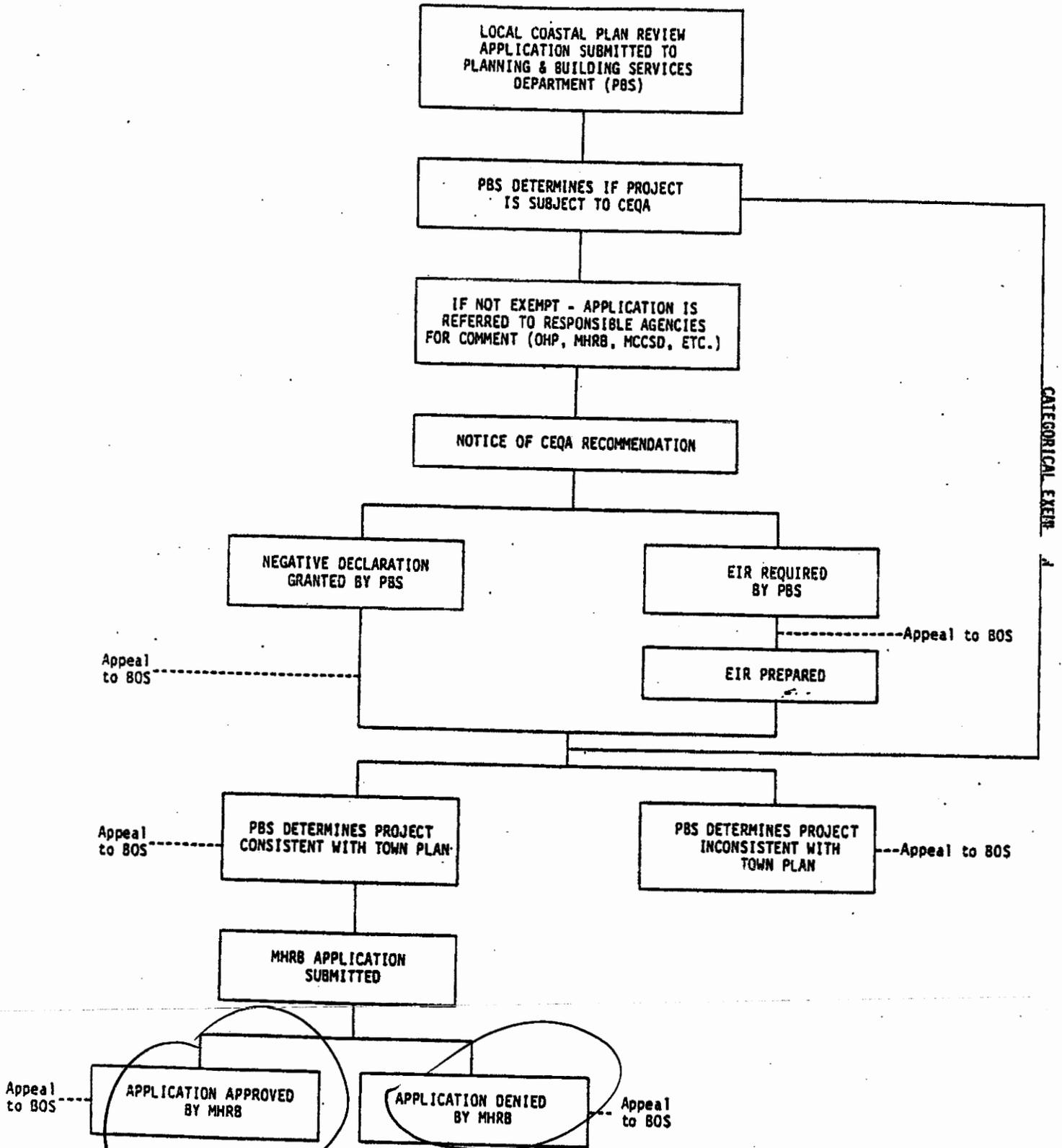
"Structural" and "Signs and Lighting" application forms contain detailed requirements for submission.

Appeals: Decisions of the Mendocino Historical Review Board may be appealed to the County Board of Supervisors in writing within ten (10) days of a decision. An appeal fee is required.

Findings: (Sec. 20-123) The Mendocino Historical Review Board may not approve, or conditionally approve, any application for proposed work unless it affirmatively finds:

- (a) That the exterior appearance and design of the proposed work is in harmony with the exterior appearance and design of existing structures within the District and the existing subject structure;
- (b) That the appearance of the proposed work will not detract from the appearance of other property within the District;
- (c) And, if the proposed work consists of alteration or demolition of an existing structure, that such work will not necessarily damage or destroy a structure of historical, architectural or cultural significance.

PROJECT REVIEW
TOWN OF MENDOCINO*



CATEGORICAL EXEMPT

* This specific procedure is not applicable if the Town Plan describes the proposed project as a "Conditional Use."

XI. GLOSSARY

BALUSTER: A small column supporting a handrail. A series of such is called a balustrade.

BARGEBOARD: Projecting boards placed against the incline of the gable or a building and hiding the ends of the horizontal roof timbers. Often carved or decorated.

BAY WINDOW: A projecting bay with windows that form an extension to the floor space of the internal rooms. On the outside the bay should, properly, extend right down to ground level - as opposed to an Oriel window, which emerges from the building somewhere above ground level; the two terms, however, are frequently confused.

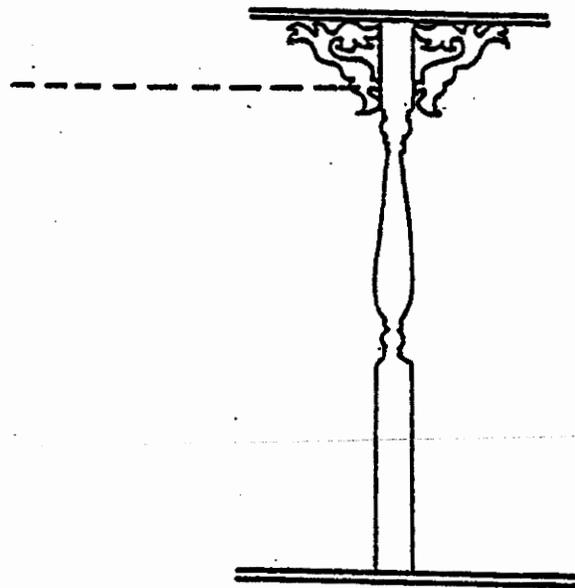
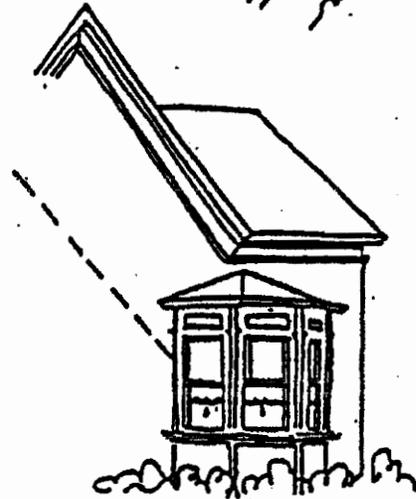
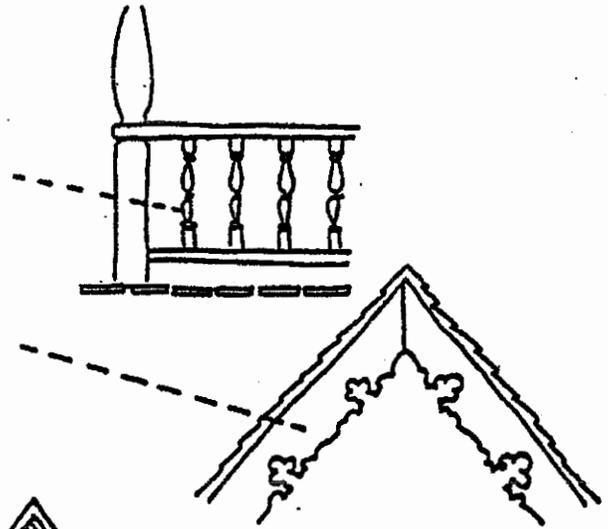
BEAM: A large horizontal structural member, usually of wood or metal, that spans between columns or supporting walls.

BOW WINDOW: A curved bay window taking the form of a segment of a circle in plan.

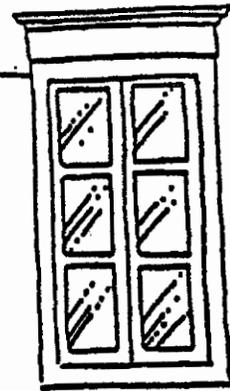
BRACKET: A small supportive member used to carry a projected weight; made of either stone, wood, etc. Frequently takes the form of scrolls or volutes.

CAPITAL: The head of a column.

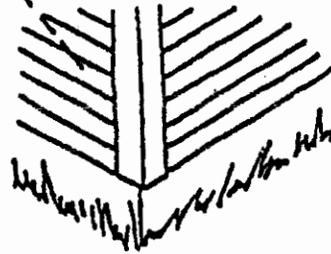
CASEMENT: 1) The hinged part of a window attached to the upright side of the window-frame. 2) The wide concave molding in door and window jambs.



CASEMENT WINDOW: A metal or a wooden window with the sash hung vertically and opening outwards or inwards.



CLAPBOARDS: Narrow, horizontal, overlapping wooden boards that form the outer skin of the walls of many wood frame houses.



CLASSICAL: A term used to describe the architecture of ancient Greece and Rome and, also, more loosely, the later styles based on it. (See also Orders). These later styles would include all the work of the Renaissance period in Europe and its later offshoots such as Georgian, Federal, Greek Revival, Renaissance Revival, Italianate, French Second Empire, and so forth.

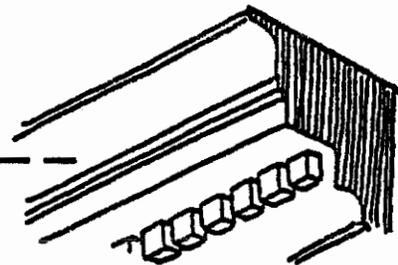
COLONETTE: A small, usually stocky, column.



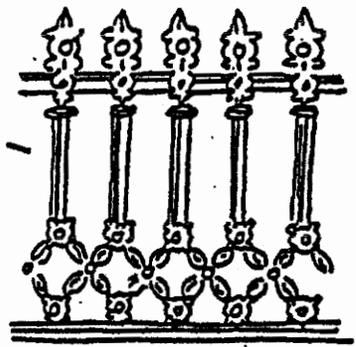
COLUMN: A vertical shaft or pillar that supports, or appears to support, a load.

CORNER BOARD: One of the narrow vertical boards at the corner of a traditional wood frame building, into which the clapboards butt.

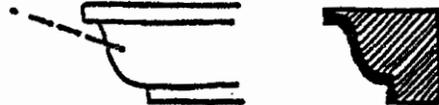
CORNICE: The horizontal member along the top of a building (typically molded ornamentally and projecting) which visually finishes it or crowns it. Any continuous molded and projecting cap to a window or door. Also, internally, a molded transition between wall and ceiling.



CRESTING: An ornamental finish along the top of a screen, wall or roof, usually decorated and sometimes perforated. It is normally made of cast iron, wrought iron, or scroll cut wood.



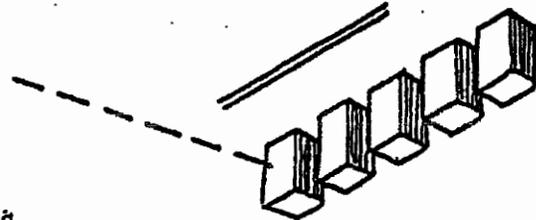
CYMA RECTA: A double-curved molding, concave above and convex below. Also called an ogee molding. The ends of the curves are tangent to the side of the molding.



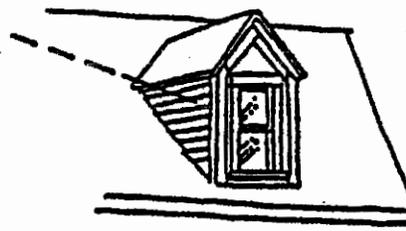
CYMA REVERSA: A double-curved molding, convex above and concave below. Also called a reverse ogee molding. The ends of the curves are perpendicular to the line of the molding at the top and the bottom.



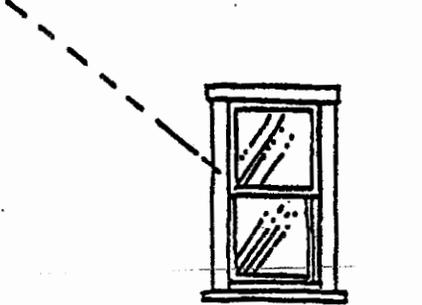
DENTIL: One of a series of small rectangular blocks, similar in effect to teeth, which are often found in the lower part of a cornice.



DORMER WINDOW: A window placed vertically in a sloping roof with a roof of its own. The name derives from the fact that it usually served as sleeping quarters.



DOUBLE HUNG WINDOW: A window with an upper and lower sash which move vertically, up or down, by-passing each other.



DRIPSTONE: A projecting molding over the top of windows and doorways to shed rain.

EAVE: The underpart of a sloping roof projecting beyond the outer surface of the supporting wall.

ELEVATION: A mechanically accurate, "head-on" drawing of a face of a building or object, without any allowance for the effect of the laws of perspective. Any measurement on an elevation will be in a fixed proportion, or scale, to the corresponding measurement on the real building.

FACADE: The face or external membrane of a building. The elevation of a building.

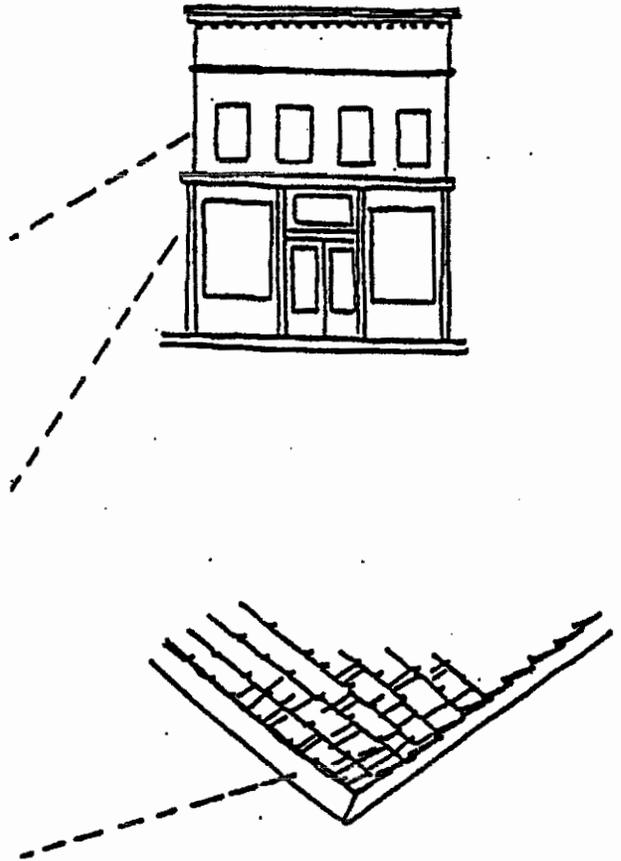
FALSE FRONT: A number of frontier commercial buildings have front facades which extended one or two stories above the actual roof line. These facades which often held windows, and which were often topped by a projecting cornice were known as false-fronts. Their purpose was to disguise the one-story structure behind and to remind the residents of cities they had left behind "back east."

FASCIA: A flat board with a vertical face that forms the trim along the edge of a flat roof, or along the horizontal, or "eaves," sides of a pitched roof. The rain gutter is often mounted on it.

FENESTRATION: The arrangement of windows in a building.

FRAME CONSTRUCTION: A building made primarily of vertical wood members (studs) covered with an outer skin of siding. (The most common means of construction on the town's historic buildings).

FRIEZE: A dividing line or band.



GABLE: The portion, above eaves level, of an end wall of a building with a pitched or gambrel roof.

GABLE APRON: Usually a triangular piece filling the upper portion of the gable as an extension of the bargeboard.

GABLE ROOF: A roof having a gable at one end or both ends.

GAMBREL ROOF: A roof which has two pitches on each side.

GINGERBREAD: Pierced curvilinear ornament, executed with the jigsaw or scroll saw, under the eaves of roofs. So-called after the sugar frosting on gingerbread houses.

HIP ROOF: A roof which slopes upward from all four sides of a building.

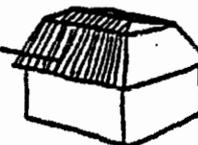
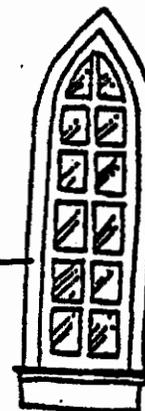
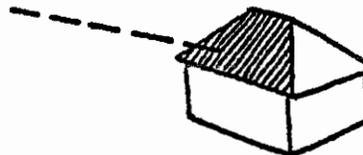
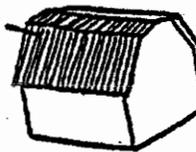
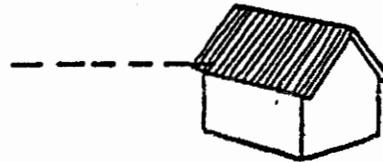
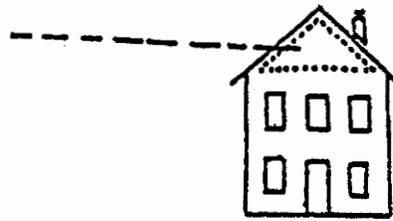
JAMB: The vertical sides of an opening - usually for a door or window.

JOIST: One of the small horizontal wood beams that support the floors or ceilings of a house and spanning between supporting walls or larger wood beams.

LANCET WINDOW: A slender, sharply pointed, gothic arched window much used in the early thirteenth century.

MANSARD ROOF: A roof having a double slope on all four sides, the lower slope being much steeper.

MASONRY: Exterior wall material, such as brick or stone, which is laid up in small units.

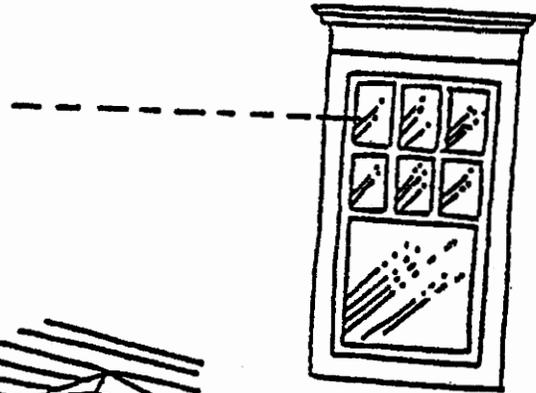


MOLDING: A decorative band or strip of material with a constant profile or section designed to cast interesting shadows. It is generally used in cornices and as trim around window and door openings.



MULLION: A major vertical divider in a window or between windows.

MUNTIN: A vertical or horizontal member which subdivides the window into different numbers of lights. The window shown at the right is called a six-over-one (6/1) because the upper sash is divided into six lights by the muntins.



ORIEL WINDOW: a bay window which begins on the second story of a building.



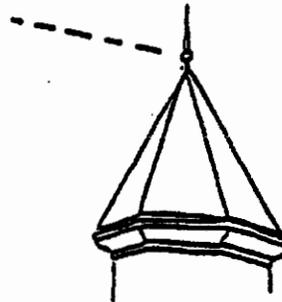
OVOLO MOLDING: A wide convex molding, sometimes called a quarter round.

PANE: A subdivision of glass within a window.

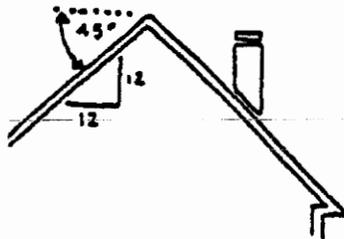
PEDIMENT: A low-pitched gable above a portico, formed by running the top member of the entablature along the sides of the gable; also a feature above doors and windows. It may be straight-sided or curved segmentally.



PINNACLE: An upright, usually pointed, termination used for decorative purposes.



PITCH: The degree of slope of a roof.



PLAN: A drawing representing a downward view of an object or, more commonly, a horizontal section of it. In the case of a floor of a house, it will show the disposition of the walls, partitions, rooms, doors, windows.

POINTING: The outer, and visible, finish of the mortar between the bricks or stones of a masonry wall.

PRESERVATION: Stabilizing and maintaining a structure in its existing form by preventing further change or deterioration.

PROPORTION: The comparative relationship between the parts or dimensions of a building with respect to relative size.

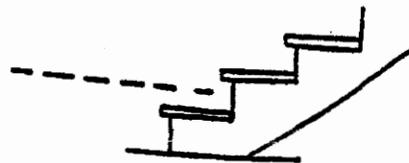
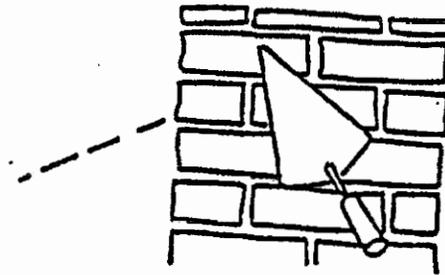
RAFTER: One of the sloping joists in a pitched roof.

REMODELING: To physically change the appearance and/or function of a building from its original design.

RESTORATION: Putting back as nearly as possible into the form the building held at a particular date in time. Its accomplishment often requires the removal of work which is not "of the period." The value of a restoration is measured by its authenticity.

RISER: The vertical surface in a staircase between the treads.

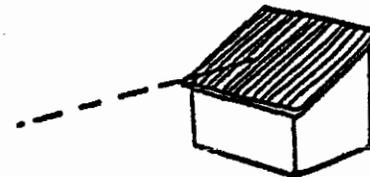
SASH: The moving frame of an opening window which functions within the fixed frame.



SCALE: The general feeling of mass and size of the building as related to that of other buildings, elements and the human being. When applied to a drawing or a model of a building, it has a different, technical, meaning denoting the size of the drawing or model in relation to full-size building: i.e., scale: 1/4" = 1'0" means that one-quarter of an inch on the drawing represents one foot of the actual building.

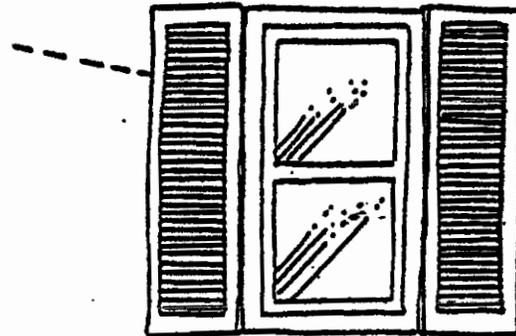


SECTION: A drawing representing a building, or part of a building, as it would appear if cut through on a certain plane; in architectural drawings this plane is usually vertical, the horizontal sections being referred to as plans.



SHED ROOF: A roof having only one sloping plane.

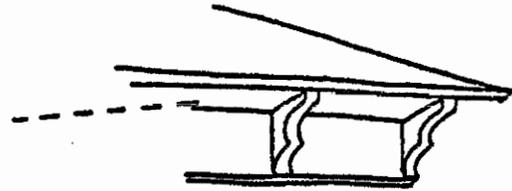
SHUTTERS: Small wooden "doors" on the outside of windows, originally used for security purposes and now retained or installed mainly for decorative effect.



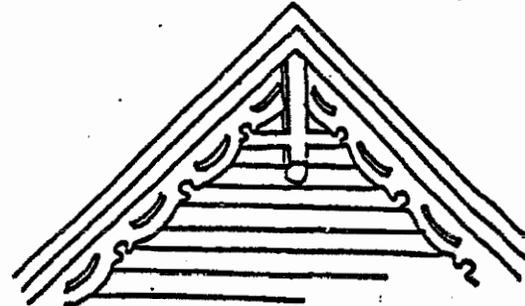
SIDING: The narrow horizontal or vertical wood boards that form the outer face of the walls in a traditional wood frame house. Horizontal wood siding is also referred to as clapboards. The term "siding" is also more loosely used to describe any material that can be applied to the outside of a building as a finish.

SILL: The lowest horizontal member in a frame or opening for a window or door. Also, the lowest horizontal member in a framed wall or partition.

SOFFIT: The underside of an architectural element. More commonly considered as the underside of an eave.



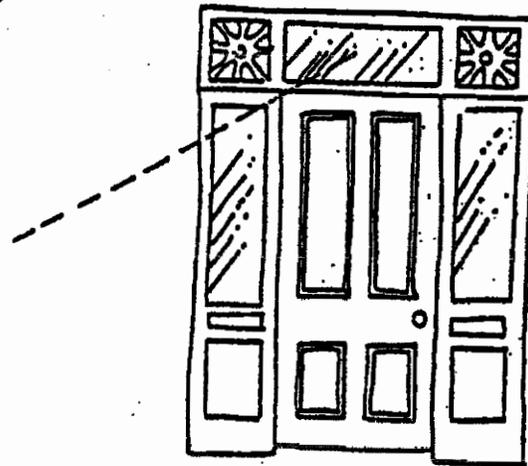
STRUCTURAL WALL: Any wall that helps to support part of the load from floors, roofs, and so forth. Structural walls either go down to footings, or foundations in the ground, or rest on a substantial beam.



STUD: One of the upright members that extend from floor to ceiling in a wood frame wall or partition.

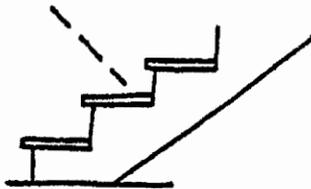
SURROUND: The molded trim around a door or window opening.

TRACERY: An ornamental patternwork cut through wood or stone panels. Also referred to as carpenter's lace.



TRANSOM: A horizontal crossbar in a window, over a door, or between a door and a window above it. Sometimes used to refer to the window above the door.

TREAD: The horizontal surface of a step. (See Riser).



TURFSTONE: A permeable surface for walkways, patios, parking areas, etc., consisting of a layer of inter-locking concrete blocks containing holes which can be filled with sand or soil and seeded with grass or other ground cover.

The following criteria is informational only.

GENERAL PRINCIPLES FOR REHABILITATION, RESTORATION OR RENOVATION OF EXISTING HISTORIC STRUCTURES

The following basic principles have been adapted from the standards for rehabilitation which have been adopted by the U. S. Secretary of the Interior to determine if a project qualifies as a "certified rehabilitation" pursuant to the provisions of the 1976 Tax Reform Act concerning rehabilitation of historic structures.

Every reasonable effort should be made to provide a compatible use for a property which requires minimum alteration of the building, structure, or site and its environment, or to use a property for its originally intended purpose.

The distinguishing original qualities or character of a building, structure, or site and its environment should not be destroyed. The removal or alteration of any historic material or distinctive architectural features should be avoided when possible.

All buildings, structures, and sites should be recognized as products of their own time. Alterations that have no historic basis and which seek to create an earlier appearance shall be discouraged.

Changes which may have taken place in the course of time are evidence of the history and development of a building, structure or site and its environment. These changes may have acquired significance in their own right, and this significance should be recognized and respected.

Distinctive stylistic features or examples of skilled craftsmanship which characterizes a building, structure, or site should be treated with sensitivity.

Deteriorated architectural features should be repaired rather than replaced, whenever possible. In the event replacement is necessary, the new material should match the material being replaced in proportion, composition, design, material, color, texture, and other visual qualities. Repair or replacement of missing architectural features should be based on accurate duplication of features, substantiated by historical, physical or pictorial evidence rather than conjectural designs or the availability of different architectural elements from other buildings or structures.

The surface cleaning of structures should be undertaken with the gentlest possible means. Sandblasting and other cleaning methods that will damage the historic building materials should not be undertaken.

Contemporary design for alterations and additions to existing properties should not be discouraged when such alterations and additions do not destroy significant historical, architectural, or cultural material, and such design is compatible with the size, scale, color, material, and character of the property, neighborhood and environment.

Wherever possible, new additions or alterations to structures should be done in such a manner that if such additions or alterations were removed in the future, the essential form and integrity of the structure would be unimpaired.

Where the original design cannot be determined or where financial considerations preclude full-scale restoration of a building, a more up-to-date treatment with simple lines and details compatible with the building and the adjacent buildings may be acceptable. Where more contemporary design is being used, design details and/or accessories which imitate the historic era should not be used, as they tend to detract from the historic character of the other buildings in the district.

**MENDOCINO TOWN ZONING CODE UPDATE AMENDMENT
(LCPA-1-MEN-14-0840)**

APPENDIX 8

**TOWN OF MENDOCINO TRAFFIC DATA
NOVEMBER 23-30, 2015**

Mendocino County Department of Transportation

340 Lake Mendocino Drive
 Ukiah, California 95482
 Main Street, CR 407E at Highway 1

Site Code: 00000003
 Station ID:

Latitude: 0' 0.0000 South

Start Time	23-Nov-15		Tue		Wed		Thu		Fri		Sat		Sun		Week Average	
	West Bo	East Bo	West Bo	East Bo	West Bo	East Bo	West Bo	East Bo	West Bo	East Bo	West Bo	East Bo	West Bo	East Bo	West Bo	East Bo
12:00 AM	*	*	1	1	2	4	3	13	1	11	7	12	4	13	3	9
01:00	*	*	0	4	1	5	1	7	2	9	10	4	1	8	2	6
02:00	*	*	2	3	0	0	0	3	0	1	0	6	1	3	1	3
03:00	*	*	0	0	0	1	0	0	0	1	0	3	1	3	0	2
04:00	*	*	0	3	1	3	4	3	1	0	2	1	6	1	2	2
05:00	*	*	5	1	3	1	2	3	1	1	1	3	3	2	2	2
06:00	*	*	5	16	9	11	8	3	9	10	5	9	3	4	6	9
07:00	*	*	15	18	15	18	12	11	15	9	24	11	23	15	17	15
08:00	*	*	74	34	73	37	40	29	65	40	37	41	43	33	55	36
09:00	*	*	111	109	102	80	47	48	92	73	91	52	102	91	68	68
10:00	*	*	155	110	130	106	107	87	163	120	134	120	148	115	140	110
11:00	*	*	192	141	148	117	110	101	182	138	160	127	117	157	152	130
12:00 PM	177	145	173	154	177	140	121	108	192	197	181	175	132	162	185	154
01:00	142	147	158	148	145	122	109	109	210	206	228	207	115	106	158	149
02:00	138	137	133	158	157	195	107	116	189	207	165	207	103	152	142	167
03:00	124	143	125	154	157	165	111	87	177	221	153	230	124	137	139	162
04:00	129	183	113	165	141	165	83	83	154	232	136	195	100	145	122	167
05:00	103	164	106	158	123	174	43	72	115	212	105	192	72	122	95	156
06:00	71	103	57	90	72	110	35	40	84	136	65	115	62	57	64	93
07:00	31	68	39	60	51	81	37	46	43	83	50	95	30	54	40	70
08:00	27	52	27	48	44	52	21	33	43	46	36	55	21	30	31	45
09:00	11	23	17	38	22	38	23	30	29	48	26	33	8	34	19	35
10:00	5	15	9	17	17	18	22	22	21	32	5	32	5	15	12	22
11:00	1	12	2	5	9	12	12	9	9	19	3	19	1	7	5	12
Lane	959	1192	1519	1638	1599	1655	1059	1071	1797	2052	1622	1944	1225	1424	1463	1624
Day	2151		3157		3254		2130		3849		3566		2649		3087	
AM Peak	-	-	11:00	11:00	11:00	11:00	11:00	11:00	11:00	11:00	11:00	11:00	10:00	11:00	11:00	11:00
Vol.	12:00	16:00	12:00	14:00	12:00	14:00	12:00	14:00	13:00	16:00	13:00	15:00	12:00	12:00	12:00	14:00
PM Peak	177	183	173	165	177	195	121	116	210	232	226	230	132	162	165	167

Mendocino County Department of Transportation

340 Lake Mendocino Drive
Ukiah, California 95482

West Leg of Little Lake Street, CR 407A, at Highway 1

Site Code: 00000001
Station ID:

Latitude: 0' 0.0000 South

Start Time	23-Nov-15		Tue		Wed		Thu		Fri		Sat		Sun		Week Average	
	West	East	West	East	West	East	West	East	West	East	West	East	West	East	West	East
12:00 AM																
01:00	*	*	0	1	0	0	3	13	3	7	5	13	6	12	3	8
02:00	*	*	1	3	0	4	1	5	0	7	2	8	3	8	1	6
03:00	*	*	0	0	1	0	2	3	1	4	3	9	1	5	1	4
04:00	*	*	0	4	1	2	0	2	1	1	1	1	3	0	1	2
05:00	*	*	4	0	4	1	1	2	3	0	2	0	1	1	2	1
06:00	*	*	10	4	5	3	3	0	8	6	7	1	5	2	6	3
07:00	*	*	29	8	16	6	8	6	13	5	9	3	10	4	14	5
08:00	*	*	27	22	33	22	21	13	32	13	30	14	18	20	17	17
09:00	*	*	63	50	64	76	32	35	52	39	41	32	36	31	48	44
10:00	*	*	92	110	88	104	51	65	75	91	76	64	61	73	74	84
11:00	*	*	105	146	110	152	75	107	94	102	106	119	93	101	97	121
12:00 PM			108	158	125	190	77	121	119	153	111	135	87	138	104	149
01:00	121	190	126	224	118	201	77	142	146	196	106	189	87	188	112	190
02:00	125	212	124	204	106	192	79	145	141	205	137	216	81	144	113	188
03:00	123	190	113	196	140	248	69	107	150	223	103	232	81	156	111	193
04:00	127	225	107	220	122	213	51	117	123	243	119	211	72	174	103	200
05:00	98	259	103	231	117	247	50	95	91	243	123	201	68	159	93	205
06:00	92	208	92	221	114	209	32	88	93	237	100	225	62	172	84	194
07:00	70	159	84	169	75	156	25	32	86	168	59	155	42	99	63	134
08:00	36	63	40	95	52	119	41	46	49	103	54	114	48	58	46	85
09:00	26	57	27	71	45	70	26	25	36	70	50	68	22	54	33	59
10:00	5	74	10	62	30	76	18	22	31	54	28	76	14	46	22	59
11:00	4	9	8	41	8	30	13	26	19	76	19	68	6	22	11	42
Lane	853	1675	1280	2260	1383	2353	761	1233	1376	2286	1293	2186	910	1676	1174	2015
Day	2528		3540		3736		1994		3662		3479		2586		3189	
AM Peak	-	-	11:00	11:00	11:00	11:00	11:00	11:00	11:00	11:00	11:00	11:00	10:00	11:00	11:00	11:00
Vol.	-	-	108	158	125	190	77	121	119	153	111	135	93	138	104	149
PM Peak	15:00	16:00	16:00	16:00	14:00	14:00	13:00	13:00	14:00	15:00	13:00	14:00	12:00	12:00	13:00	16:00
Vol.	127	259	129	231	140	249	79	145	150	243	137	232	87	188	113	205

Mendocino County Department of Transportation

340 Lake Mendocino Drive
 Ukiah, California 95482
 East Leg of Little Lake Street, CR 407A, at Highway 1

Site Code: 00000002
 Station ID:

Latitude: 0' 0.0000 South

Start Time	23-Nov-15		Tue		Wed		Thu		Fri		Sat		Sun		Week Average	
	West	East	West	East	West	East	West	East	West	East	West	East	West	East	West	East
12:00 AM	*	*	0	0	2	2	1	8	5	3	7	3	4	3	4	2
01:00	*	*	2	1	2	2	3	0	2	0	5	1	7	3	3	2
02:00	*	*	0	0	1	1	0	2	3	1	8	1	3	4	3	1
03:00	*	*	1	0	1	1	1	1	1	2	1	0	2	2	1	0
04:00	*	*	2	0	2	2	2	1	0	0	4	4	1	1	1	1
05:00	*	*	1	3	3	3	1	1	1	4	0	2	1	5	1	3
06:00	*	*	5	6	0	0	7	5	4	1	1	2	2	3	2	5
07:00	*	*	12	20	11	15	5	7	7	10	7	10	7	8	8	11
08:00	*	*	33	41	44	43	14	17	18	21	21	22	18	24	24	26
09:00	*	*	55	52	48	48	34	30	41	29	29	28	40	27	42	36
10:00	*	*	81	57	93	58	55	55	63	54	54	61	30	52	63	52
11:00	96	80	88	58	82	73	59	59	59	67	69	50	83	52	74	60
12:00 PM	93	67	91	64	89	49	83	83	82	38	70	45	71	33	83	48
01:00	98	59	105	46	91	52	71	33	95	42	94	82	63	42	88	53
02:00	102	59	88	54	107	67	88	50	100	48	91	50	75	33	93	52
03:00	84	58	83	48	114	61	61	35	105	66	79	52	81	42	87	52
04:00	117	45	104	44	114	38	65	19	82	57	86	42	78	38	92	40
05:00	134	51	113	34	118	21	63	21	118	42	104	38	64	27	102	38
06:00	90	33	84	27	67	30	40	19	89	31	66	30	69	26	72	28
07:00	40	18	45	20	64	21	34	29	47	18	41	17	31	19	43	20
08:00	43	15	45	19	33	16	38	34	34	9	37	11	35	38	38	16
09:00	39	11	33	32	47	11	36	21	33	13	31	11	21	11	34	16
10:00	14	4	14	2	25	5	21	5	31	9	24	9	12	1	20	5
11:00	3	0	8	0	13	6	11	4	12	7	12	5	3	1	9	3
Lane	953	500	1094	629	1173	660	791	431	1032	618	941	556	776	458	987	570
Day	1453	1723	1833	1222	1650	1497	1234	1557								
AM Peak	11:00	11:00	11:00	11:00	11:00	11:00	11:00	11:00	10:00	11:00	11:00	10:00	11:00	10:00	11:00	11:00
Vol.	96	80	88	58	73	39	59	63	69	61	74	52	60	13:00	74	60
PM Peak	17:00	12:00	17:00	12:00	14:00	14:00	14:00	14:00	17:00	13:00	17:00	13:00	15:00	13:00	17:00	13:00
Vol.	134	67	113	64	67	50	88	88	104	62	102	42	81	42	102	53

Mendocino County Department of Transportation

340 Lake Mendocino Drive
 Ukiah, California 95482
 Lansing Street, CR 500, at Highway 1

Site Code: 00000001
 Station ID:

Latitude: 0' 0.0000 South

Start Time	23-Nov-15		Tue		Wed		Thu		Fri		Sat		Sun		Week Average	
	North Bo	South Bo	North Bo	South Bo	North Bo	South Bo	North Bo	South Bo	North Bo	South Bo	North Bo	South Bo	North Bo	South Bo	North Bo	South Bo
12:00 AM	*	*	3	0	2	0	2	0	1	4	4	2	5	2	3	2
01:00	*	*	0	0	0	1	2	1	1	1	1	1	2	1	1	1
02:00	*	*	0	0	0	0	0	0	0	0	0	0	1	1	0	0
03:00	*	*	0	0	0	0	0	0	0	0	0	0	0	0	0	0
04:00	*	*	0	0	1	0	1	0	0	0	0	0	2	0	1	0
05:00	*	*	0	0	0	0	0	0	2	1	1	2	0	0	0	1
06:00	*	*	6	14	5	2	0	1	2	4	4	6	1	1	3	5
07:00	*	*	5	11	4	6	8	3	8	3	3	9	6	6	5	8
08:00	*	*	18	26	12	18	16	17	15	24	24	20	13	14	16	18
09:00	*	*	23	39	23	32	18	19	24	29	32	25	25	24	24	31
10:00	*	*	45	43	30	47	31	26	37	68	51	69	42	65	39	53
11:00	55	35	46	44	52	56	52	38	63	84	59	86	79	49	58	56
12:00 PM	50	57	51	56	43	60	50	45	81	73	73	78	49	51	57	61
01:00	53	47	55	49	59	59	64	31	107	82	82	85	46	38	67	57
02:00	57	56	51	56	44	50	51	38	86	93	93	69	52	46	62	57
03:00	54	53	45	47	60	61	53	27	116	107	107	60	57	37	70	53
04:00	50	38	55	34	66	52	39	27	100	87	87	55	57	34	65	42
05:00	54	36	38	30	49	27	36	12	94	78	78	42	38	19	55	30
06:00	28	20	13	15	24	14	14	7	41	42	42	16	16	20	25	15
07:00	17	7	11	9	18	10	12	11	19	16	16	14	13	9	15	12
08:00	6	3	13	4	11	4	14	5	14	7	7	12	6	3	10	6
09:00	10	3	3	0	12	7	11	6	8	14	14	7	6	2	9	4
10:00	7	4	6	1	1	3	13	3	9	18	18	4	6	2	9	3
11:00	3	4	3	0	2	2	2	3	13	19	19	4	1	2	6	2
Lane	444	363	490	478	518	512	489	326	835	817	817	671	523	448	601	517
Day	807		968		1030		815		1538	1488	1488	971	1118		1118	
AM Peak	11:00	11:00	11:00	11:00	11:00	11:00	11:00	11:00	11:00	11:00	11:00	11:00	11:00	10:00	11:00	11:00
Vol.	55	35	46	44	52	56	52	38	63	59	59	86	79	65	58	56
PM Peak	14:00	12:00	13:00	12:00	16:00	15:00	13:00	12:00	15:00	15:00	15:00	13:00	15:00	12:00	15:00	12:00
Vol.	57	57	55	56	66	61	64	45	116	107	107	85	57	51	70	61

APPENDIX 9

**CALIFORNIA COASTAL COMMISSION
REPAIR, MAINTENANCE AND UTILITY
HOOK-UP EXCLUSION GUIDELINE
(1978)**

REPAIR, MAINTENANCE AND UTILITY HOOK-UP
EXCLUSIONS FROM PERMIT REQUIREMENTS

(Adopted by the California Coastal Commission on September 5, 1978)

NOTE: This guideline applies only to exclusions established in subsections (c) and (e) of Section 30610. For other exceptions to the permit requirements, see Section 13250 of the Commission Regulations (additions to existing single-family houses), Sections 13200 through 13210 (vested rights), Sections 13211-13213 (permits granted under the 1972 Coastal Act), Sections 13215-13235 (urban land), Sections 13240-13249 (categories of development), Sections 13136-13144 (emergency permits) and Sections 13145-13154.5 (administrative permits).

I. General Provisions.

Section 30610 of the Coastal Act states in part:

...no coastal development permit shall be required for...(c) Repair or maintenance activities that do not result in an addition to, or enlargement or expansion of, the object of such repair or maintenance activities; provided, however, that if the Commission determines that certain extraordinary methods of repair and maintenance that involve a risk of substantial adverse environmental impact, it shall, by regulation, require that a permit be obtained under this chapter. (e) The installation, testing, and placement in service or the replacement of any necessary utility connection between an existing service facility and any development approved pursuant to this division; provided, that the Commission may, where necessary, require reasonable conditions to mitigate any adverse impacts on coastal resources, including scenic resources.

This guideline is intended to detail the types of development activities the Commission considers repair, maintenance or utility hook-ups related to the on-going work of various types of public and private agencies. Such lists obviously cannot be exhaustive and the exclusions also apply to activities comparable to those listed. Where a proposed activity is not included in this guideline, the Regional Commission Executive Director, after consultation with the State Commission Executive Director, if necessary, will determine whether a permit is required.

The standards for these exclusions are stated in Section 30610 of the Coastal Act: they do not relate to the environmental impact of the proposed activity. The repair and maintenance exclusion is intended to allow continuation of existing developments and activities which began before the effective date of the Coastal Act. The utility hook-up exclusion exempts utilities from obtaining permits for work to serve developments because Commission review of such work is included in the review of the development itself.

II. Description of Activities Excluded.

The following construction activities comparable to those listed do not require a coastal development permit except as specified below:

A. Roads. No permit is required for repair and maintenance of existing public roads including landscaping, signalization, lighting, signing, resurfacing,

installation or expansion of retaining walls, safety barriers and railings and other comparable development within the existing right-of-way as specified below. Maintenance activities are generally those necessary to preserve the highway facility as it was constructed, including: construction of temporary detours, removal of slides and slip cuts, restoration and repair of drainage appurtenances, slope protection devices, installation of minor drainage facilities for preservation of the roadway or adjacent properties, restoration, repair and modifying for public safety bridges and other highway structures, restoring pavement and base to original condition by replacement, resurfacing, or pavement grooving. A permit is required for excavation or disposal of fill outside of the roadway prism. The following maintenance and alteration programs of the State Department of Transportation, or their equivalent conducted by local road departments, which do not result in an addition to or enlargement or expansion of the existing public road facility itself, do not require a permit except as noted: (1) Flexible Roadbed Program; (2) Rigid Roadbed Program; (3) Roadside Maintenance Program; (4) Roadway Litter and Debris Program; (5) Vegetation Control Program; (6) Pavement Delineation Program; (7) Sign Program; (8) Electrical Program; (9) Traffic Safety Devices Program; (10) Public Service Facility Program except that a permit is required for construction of new facilities; (11) Landscape Program; (12) Bridge and Pump Maintenance Program; (13) Tubes, Tunnel and Ferry Maintenance Program; (14) Bridge Painting Program; (15) Miscellaneous safety projects, provided there is not expansion in the roadway or number of traffic lanes; (16) Major damage maintenance, repair and restoration; (17) Comparable Minor Alterations.

(NOTE: See Appendix I for more detailed description of activities included in these programs.)

B. Public Utilities.

1. Natural Gas, Chilled Water and Steam Facilities.

a. Service Connections. Install, test and place in service the necessary piping and related components to provide natural gas, chilled water and/or steam service to development either exempted or approved under the Coastal Act, including:

(1) Extend underground gas, chilled water and/or steam mains, except in marshes, streams or rivers, from terminus of existing main piping to proper location in front of customer's property. Break and remove pavement as necessary, open trench or bore, for installation of main piping, install mains and appurtenances, pressure test for leakage, backfill open cuts, purge air from piping and introduce gas, chilled water and/or steam into newly installed piping. Restore pavement as necessary. Provide for cathodic protection as necessary.

(2) Extend underground gas, chilled water and/or steam service piping from the main locations, except in marshes, streams or rivers, to the meter location on the customer's property. Construction activities are similar to those in Item (1) above.

(3) Construct and install the meter set assembly, generally above ground, on the customer's property, including installation of associated valves, pressure regulator, meter and necessary piping to connect the gas, chilled water

and/or steam service to the customer's piping system.

(4) When necessary, install gas, chilled water and/or steam pressure regulation equipment and related components, to control pressure where the source of the supply is at a higher pressure than the pressure in the district distribution main system. Construction includes necessary excavation, installation of piping, valves, regulators, below ground vaults and related components.

(5) Install necessary cathodic protection facilities for main and service extensions to new and existing customers.

b. Distribution and Transmission Facilities.

(1) Operate, inspect and maintain distribution and transmission mains, services, meter set assemblies and district regulator stations. Conduct leakage surveys, repair leaks, handle emergency or hazardous incidents, maintain supply pressure, inspect and adjust pressure regulators, operate valves, locate and mark facilities to help prevent damage to them and to provide for public safety.

(2) Install, replace, alter, relocate or remove piping and cathodic protection facilities as necessary due to corrosion, interference with other underground or surface construction, franchise requirements, mechanical damage, reinforcement to existing distribution systems to provide for increased usage (provided such usage is to provide service to development either exempted or approved under the Coastal Act). Isolation of piping segments or systems to provide emergency control and the restoration of service to a customer.

c. Production and Storage Facilities. Perform necessary maintenance, replacement, repair, relocation, abandonment and removal work to gas storage facilities, chilled water and/or steam plant facilities, mechanical equipment including prime movers and pumping equipment, chilled water and/or steam production facilities, gas and oil processing facilities, pollution control facilities, cooling towers, electric equipment, controls, gas injection and withdrawal wells, and other miscellaneous plant and pipeline structures. Installation of any required new safety devices and pollution control facilities within existing structures or equipment or where land coverage, height, or bulk of existing structures will not be increased.

d. Miscellaneous. Perform necessary maintenance, repair, replacement, relocation, abandonment and removal work to pipeline roads, rights-of-way, fences and gates, sprinkler systems, landscaping, odorizing stations, telemetry equipment, lighting facilities, mechanical and electrical equipment, cathodic protection facilities and environmental control equipment.

e. Grading and Clearing. Maintenance activities shall not extend to the construction of any new roads to the site of the work. A permit is required for grading an undisturbed area of greater than 500 sq. ft., removal of trees exceeding 12 inches dbh or clearing more than 500 sq. ft. of brush or other vegetation unless the Executive Director of the Regional Commission determines the activity does not involve the removal of major vegetation.

2. Electric Utilities.

a. Generation Stations, Substations, Fuel Handling, Transportation

and Storage Facilities and Equivalent Facilities. A coastal permit is not required for repairs, maintenance, and minor alterations which do not increase the capacity of the facility or work required to supply increased demand of existing customer's facilities in order to maintain the existing standard of service. A coastal permit is not required for installation of any required new safety devices and pollution control facilities within existing structures of equipment or where land coverage, height or bulk of existing structures will not be increased.

b. Transmission and Distribution and Communication Facilities. A coastal permit is not required to maintain, replace, or modify existing overhead facilities, including the addition of equipment and wires to existing poles or other structures, right-of-way maintenance, and minor pole and equipment relocations. A coastal permit is not required to install, test and place in service power line extension facilities and supply points specifically required to provide service to development permitted or exempted under the Coastal Act, or work required to supply increased demand of existing customers' facilities in order to maintain the existing standard of service.

A coastal permit is not required to install, test, place in service, maintain, replace, modify or relocate underground facilities or to convert existing overhead facilities to underground facilities provided that work is limited to public road or railroad rights-of-way or public utility easements (P.U.E.).

c. Services. Electrical service and metering facilities may be installed and placed in service to any development permitted or exempted under the Coastal Act. A coastal permit is not required to maintain, replace, or relocate service or metering facilities for developments permitted or exempted under the Coastal Act.

d. Grading, Clearing and Removal of Vegetation. Excluded activities shall not extend to the construction of any new road to the site of the work. In cases involving removal of trees exceeding 12 inches dbh, grading of any undisturbed area of greater than 500 sq. ft. or clearing of more than 500 sq. ft. of brush or other vegetation, the utility shall consult with the Executive Director of the Regional Commission to determine whether the project involves removal of major vegetation such that a permit is required. A coastal permit is not required for removal of minor vegetation for maintenance purposes (tree trimming, etc.) for safety clearances.

e. Definitions.

(1) Line Extension. All facilities for permanent service excluding transformers, services and meters, required to extend electric service from the utility's existing permanent facilities to one or more supply points.

(2) Service. A single set of conductors and related facilities required to deliver electric energy from a supply point to the customer's facilities.

(3) Supply Point. Any transformer, pole, manhole, pull box or other such facilities at which the utility connects one or more sets of service conductors to the utility's permanent electric facilities.

3. Telephone. No permit or conditions are required for the activities of a telephone company that come within the following areas:

a. Repair and maintenance of existing damaged or faulty poles, wires, cables, terminals, load cases, guys and conduits, including the necessary related facilities, to restore service or prevent service outages.

b. Placement of existing telephone facilities underground, provided such undergrounding shall be limited to public road or railroad rights-of-way or public utility easements (P.U.E.) and provided there is no removal of major vegetation and the site is restored as close as reasonably possible to its original condition.

c. Placement of additional aerial facilities on existing poles.

d. Removal of existing poles and facilities thereon, where new, replacing facilities have been placed underground.

e. Performance of work in connection with or placement of facilities to expand service to existing customers or to serve new customers, including placement of underground service connections or aerial service connections from existing poles with any necessary clearance poles.

f. Removal of minor vegetation for maintenance purposes (tree trimming, etc.).

g. Maintenance activities shall not extend to the construction of any new roads to the site of the work. A permit is required for grading an undisturbed area of greater than 500 sq. ft., removal of trees exceeding 12 inches dbh or clearing more than 500 sq. ft. of brush or other vegetation unless the Executive Director of the Regional Commission determines the activity does not involve the removal of major vegetation.

4. Others, including Water, Sewer, Flood Control, City and County Public Works, Cable T.V. No permit is required for repair or maintenance of existing facilities that do not alter the service capacity, installation of new or increased service to development permitted or exempted under the Coastal Act, placement of additional facilities on existing poles, or placement of existing facilities underground, provided such undergrounding shall be limited to public road or railroad rights-of-way or public utility easements (P.U.E.) and provided there is no removal of major vegetation and the site is restored as close as reasonably possible to its original condition. A permit is required for installation of service to vacant parcels or installation of capacity beyond that needed to serve developments permitted or exempted under the Coastal Act.

Maintenance activities shall not extend to the construction of any new roads to the site of the work. A permit is required for grading an undisturbed area of greater than 500 sq. ft., removal of trees exceeding 12 inches dbh or clearing more than 500 sq. ft. of brush or other vegetation unless the Executive Director of the Regional Commission determines the activity does not involve the removal of major vegetation. No permit is required for removal of minor vegetation (e.g., tree trimming) where it interferes with service pipes or lines.

C. Parks. No permit is required for routine maintenance of existing public parks including repair or modification of existing public facilities where the level or type of public use or the size of structures will not be altered.

D. Industrial Facilities. No permit is required for routine repair, maintenance and minor alterations to existing facilities, necessary for on-going production that do not expand the area or operation of the existing plant. No permit is required for minor modifications of existing structures required by governmental safety and environmental regulations, where necessary to maintain existing production capacity, where located within existing structures, and where height or bulk of existing structures will not be altered.

E. Other Structures. For routine repair and maintenance of existing structures or facilities not specifically enumerated above, no permit is required provided that the level or type of use or size of the structure is not altered. (NOTE: See Section 13250 of the Commission Regulations for exclusions or additions to existing single-family houses.)

F. Dredging and Beach Alteration. (NOTE: Maintenance dredging of navigation channels is exempted by Section 30610 (b). Other dredging and sand movement projects, where part of an established program may be exempt from the permit requirements of the Coastal Act by reason of vested rights, where such rights have been reviewed and acknowledged by the Regional Commission. Contact the Regional Commission office for information and application forms.)

APPENDIX I

Detailed description of activities included in road maintenance programs for which no coastal development permit is required.

1. Flexible Roadbed Program. This program covers the restoration and repair of both surface and base within the previously paved portion of the roadway. This includes previously paved asphalt concrete shoulders two feet or greater in width where the shoulder is designated by traffic marking, pavement delineation or traffic use. Paved shoulders less than two feet in width will be considered as included in the traveled way lanes.

2. Roadbed, Rigid. The Rigid Roadbed Program covers the restoration and repair of both surface and base within that paved portion of the roadway used for the movement of vehicles. This includes asphaltic concrete or oiled shoulders two feet or greater in width. Paved shoulders less than two feet in width will be considered as included in the traveled way lanes. This program does not include roadbed widening projects.

3. Roadside Maintenance Program. This program includes the repair, replacement, and cleaning of ditches, culverts, underdrains, horizontal drains and miscellaneous headwalls and debris racks. Also included are fence repairs, roadside section restoration (e.g., drift removal, bench cleaning, slide removal, and fill slope replacement). In addition, repairs or replacement of retaining walls, installation of slope protection devices, minor drainage facilities, sidewalks and curbs, bins, cattle guards and other such structures where there is no increase in size (or adding to what exists) is included in this program. This program shall not include seawalls or other shoreline protective works, activities subject to review under Section 1601 of the Fish and Game Code, or excavation or disposal of fill outside of the roadway prism.

4. Roadway Litter and Debris Program. This program includes all work concerning roadbed and roadside cleanup operations to insure that the highway presents a neat, clean and attractive appearance.

5. Vegetation Control Program. Vegetation control refers to the maintenance treatment of all vegetative material growing native within the highway rights-of-way. Included is cutting and trimming by hand and mechanical means.

6. Pavement Delineation Program. The pavement delineation program involves all work necessary to place and maintain distinctive roadway markings on the traveled way. This includes layout, removal of old stripe, painting of new or existing stripe including striping for bike lanes, installation and/or removal of raised pavement markers including cleaning of such markers and the use of thermoplastic, tape or raised bars for pavement markings. Changing of striping for more lanes is not included in this program.

7. Sign Program. The sign program includes all work performed on existing signs for the purpose of warning, regulating or guiding traffic including bicycle traffic using bike lanes. The work consists of manufacture, assembly and installation of new signs to replace existing signs and the repair, cleaning and painting of signs.

8. Electrical Program. This program includes all work performed on in-place highway electrical facilities used to control traffic with signal systems, provide safety and sign lighting, illuminate maintenance building and grounds, generate standby power, operate bridges, pumps and automatic watering systems. Certain navigational lighting installed on bridges and bridge fenders or piling are included in this program.

9. Traffic Safety Devices Program. Work performed under this program includes replacement of guide posts, markers, skid resistant grooves, and also replacement, cleaning and/or painting of guard rails. The repair of median barrier cable chain link fence and portland cement concrete walls; the repair and maintenance of energy dissipators such as water type bumpers, sand traps or other devices installed for the purpose of absorbing vehicle energy are included in this program.

10. Public Service Facility Program. Public Service Facilities consist of roadside rests, vista points, map stops, historical monuments, roadside fountain areas and vehicle inspection stops. Work to be performed under this program consists of a wide variety of custodial maintenance in connection with existing restrooms, fountains and picnic areas.

11. Landscape Program. This program refers to the treatment maintenance and replacement of all vegetative material planted within the State Highway right-of-way. Work includes watering, fertilizing, plant replacement, weed control by hand and mechanical means and tree trimming.

12. Bridge and Pump Maintenance Program. The Bridge and Pump Maintenance Program includes work performed on all structures which provide for passage of highway traffic over, through or under obstacles and/or qualify for bridge numbers as assigned by the Division of Structures.

13. Tubes, Tunnel and Ferry Maintenance Program. The Tubes, Tunnel and Ferry Maintenance Program includes maintenance and repair of tunnels, tubes, ferries and docks or slips. Tunnel or tube maintenance includes washing, cleaning, tile repair and the maintenance of electro-mechanical equipment. Tunnel structural repairs will be performed under this program when covered by approved Division of Structures reports of work needed.

14. Bridge Painting Program. This program involves bridge maintenance painting performed in conformance with the requirements of air pollution control and water quality control agencies having jurisdiction.

15. Miscellaneous Safety Projects. Elimination of hazards within the operating areas or the operating right-of-way or projects modifying existing features such as curbs, dikes, headwalls, slopes, ditches, drop inlets, signals and lighting, etc., within the right-of-way to improve roadside safety.

16. Major Damage Maintenance, Repair and Restoration. Provides temporary road openings and related maintenance and returns highway facilities to serviceable states as rapidly as possible following major damage from storms; earthquakes; tidal waves; ship, train or vehicle collisions; gasoline truck fires; aircraft crashes, --- and all other kinds of physical violence. (NOTE: These items may be developments rather than repair or maintenance activities, but would be subject to the emergency permit provisions of the Coastal Act. Inquiries should be directed to the Regional Commission staff if at all possible, prior to commencement of construction.)

17. Miscellaneous Alterations.

a. Installation, modification or removal of regulatory, warning or informational signs, according to the standards of the State Department of Transportation Uniform Sign Chart.

b. Traffic channelization - improvements to local service and safety by delineation of traffic routes through the use of curbs, dikes, striping, etc., including turn pockets, where construction is performed by State Department of Transportation Maintenance Department or equivalent activities by local road departments.

c. Maintenance of existing bicycle facilities.

d. Modification of traffic control systems and devices including addition of new elements such as signs, signals, controllers, and lighting.

e. Devices such as glare screen, median barrier, fencing, guard rail safety barriers, energy attenuators, guide posts, markers, safety cable, ladders, lighting, hoists, paving grooving.

f. Alteration or widening of existing grade separation structure where the primary function and utility remains unaltered.

g. Minor operational improvements such as median and side ditch drainage facilities, where not subject to review under Section 1601 of the Fish and Game Code or involving excavation or disposal of fill outside of the roadway prism.

h. Modification, upgrading, alteration, relocation, or removal of railroad grade crossings, railroad grade crossing protection, and the construction of bus and truck stop lanes at railroad grade crossings.