

CALIFORNIA COASTAL COMMISSION

NORTH CENTRAL COAST DISTRICT OFFICE
45 FREMONT STREET, SUITE 2000
SAN FRANCISCO, CA 94105
PHONE: (415) 904-5260
FAX: (415) 904-5400
WEB: WWW.COASTAL.CA.GOV



F7a

Appeal Filed:	10/31/2016
49th Day:	12/19/2016
Staff:	SP - SF
Staff Report:	11/18/2016
Hearing Date:	12/09/2016

APPEAL STAFF REPORT: SUBSTANTIAL ISSUE DETERMINATION ONLY

Appeal Number:	A-2-SON-16-0093
Applicants:	Daniel J. Strening
Appellants:	Godie Gale
Local Government:	Sonoma County
Local Decision:	Coastal Development Permit (CDP) CPH15-0009 approved by the Sonoma County on October 18, 2016
Project Location:	5005 Viking Strand (APN 101-060-008) Carmet, Sonoma County
Project Description:	The addition of a 663 square foot second story, two new roof decks, a new covered patio and remodeled porch to an existing single family dwelling located in the Carmet subdivision
Staff Recommendation:	No Substantial Issue

Important Hearing Procedure Note: This is a substantial issue only hearing. Testimony will be taken only on the question of whether the appeal raises a substantial issue. Generally and at the discretion of the Chair, testimony is limited to 3 minutes total per side. Please plan your testimony accordingly. Only the applicant, persons who opposed the application before the local government (or their representatives), and the local government shall be qualified to testify.

Others may submit comments in writing. If the Commission determines that the appeal does raise a substantial issue, the de novo phase of the hearing will occur at a future Commission meeting, during which it will take public testimony.

SUMMARY OF STAFF RECOMMENDATION

Sonoma County Board of Supervisors approved a Coastal Development Permit (CDP) to add a 663 square foot second story, two new roof decks, a new covered patio and remodeled porch to an existing single family dwelling located at 5005 Viking Strand in the small residential development of Carmet, a U.S. Census-designated area north of Bodega Bay, in Sonoma County.

The Appellant contends that the County-approved project raises Local Coastal Program (LCP) consistency issues relating to protection of visual resources and neighborhood character, and that the Board of Zoning Adjustments failed to provide appropriate noticing of the local hearings. Specifically, the Appellant contends that the County-approved project would violate applicable LCP policies because it is inconsistent with the size, scale, and community character of the surrounding neighborhood.

In terms of neighborhood character, the approved project is consistent with the LCP development standards for the Rural Residential (RR) zoning district. Though the proposed remodeled house will be proportionately larger compared to some of the existing homes in the Carmet neighborhood, many surrounding homes have vaulted ceilings and second stories and are of similar size and height as proposed by the Applicant. Additionally, the project employs materials and colors that are appropriate for the coastal setting and will have an architectural design that is visually appealing and in keeping with the diverse character of nearby homes.

The proposed remodeled residence will be in conformance with the LCP's visual resources policies because it does not impact protected public views towards the west available from Highway 1 or from other public locations. The existing public view from Highway 1 towards the east is of modest residences set upon a gentle slope leading toward rolling hills in the near distance. The approved project will not significantly alter that view and therefore, eastward public views available will remain consistent with the existing views of the surrounding area.

Finally, all noticing of local hearings was conducted in accordance with the requirements laid out in the certified Sonoma County Land Use Plan (LUP) and Implementation Plan (IP) and was therefore sufficient.

Staff recommends that the Commission determine that the appeal contentions do not raise a substantial LCP conformance issue and decline to take jurisdiction over the CDP for this project. The single motion necessary to implement this recommendation is found on page 4 below.

TABLE OF CONTENTS

I. MOTION AND RESOLUTION.....	4
II. FINDINGS AND DECLARATIONS.....	4
A. PROJECT LOCATION AND DESCRIPTION	4
B. SONOMA COUNTY CDP APPROVAL	5
C. APPEAL PROCEDURES	5
D. SUMMARY OF APPEAL CONTENTIONS	6
E. SUBSTANTIAL ISSUE DETERMINATION	6
F. CONCLUSION	12

APPENDICES

Appendix A- Substantive File Documents

EXHIBITS

Exhibit 1 – Location Map
Exhibit 2 – County Assessor’s Parcel Map
Exhibit 3 – Project Site Plan and Design
Exhibit 4 – Project Site Images and Photographic Simulations
Exhibit 5 – Coastal Development Permit Application
Exhibit 6 – Sonoma County’s Final Local Action Notice
Exhibit 7 – Local Action Appeal
Exhibit 8 – LUP Section VII-43
Exhibit 9 – LCP Coastal Visual Resources Map
Exhibit 10– Affidavits of Hearing Noticing

I. MOTION AND RESOLUTION

Staff recommends that the Commission determine that **no substantial issue** exists with respect to the grounds on which the appeal was filed. A finding of no substantial issue would mean that the Commission will not hear the application de novo and that the local action will become final and effective. To implement this recommendation, staff recommends a **YES** vote on the following motion. Passage of this motion will result in a finding of No Substantial Issue and the local action will become final and effective. The motion passes only by affirmative vote of a majority of the Commissioners present.

***Motion:** I move that the Commission determine that Appeal Number A-2-SON-16-0093 raises no substantial issue with respect to the grounds on which the appeal has been filed under Section 30603. I recommend a yes vote.*

***Resolution.** The Commission finds that Appeal Number A-2-SON-16-0093 does not present a substantial issue with respect to the grounds on which the appeal has been filed under Section 30603 of the Coastal Act regarding consistency with the Certified Local Coastal Program and/or the public access and recreation policies of the Coastal Act.*

II. FINDINGS AND DECLARATIONS

The Commission finds and declares as follows:

A. PROJECT LOCATION AND DESCRIPTION

The County-approved project is located at 5005 Viking Strand in the Carmet subdivision, approximately 5 miles north of Bodega Bay in Sonoma County. Viking Strand extends to the east off of Highway 1, tucked between Schoolhouse Beach to the north and Arched Rock Beach to the south. The project site is located at the first street paralleling Highway 1, with one home situated between this residence and Highway 1. See **Exhibit 1** for a location map. The 0.25 acre parcel contains an existing 1,750 square foot single family dwelling with an attached 420 square foot garage, and is zoned Rural Residential. See **Exhibit 2** for the County Assessor's Parcel Map. The surrounding properties on Viking Strand and on adjacent streets in the Carmet neighborhood are developed with one and two-story, single-family residences.

The proposed project would add a second level to the existing home, increasing the total elevation of the home from 16 feet in height to 21 feet and 10 inches above grade, for a total height increase of 5 feet and 10 inches, across a width of 36 feet. In addition to the 633 square foot second story add-on, the applicant proposes two new roof decks, a lower level covered patio, and remodel of the front porch. The total size of the existing plus proposed enclosed space is 2,983 square feet, including the existing house and a 420 square foot garage, as well as the proposed 180 square foot covered patio. Please see **Exhibit 3** for the project site plan and design; **Exhibit 4** for photographs of the site and surrounding area, as well as photo-simulations of the proposed residence with viewpoints from Viking Strand and from the Coastal Trail; and **Exhibit 5** for the Coastal Development Permit application.

B. SONOMA COUNTY CDP APPROVAL

Sonoma County Planning received a Coastal Development Permit (CDP) application for the proposed development on April 27, 2015. On May 5, 2015, the County sent an early public notification to property owners in the Carmet neighborhood advising them of the proposed development, and on July 7, 2015, the County mailed a Notice of Pending Action to neighbors, published the Notice in the *Press Democrat* newspaper, and the Notice was posted in the Carmet neighborhood. In response to concerns raised by residents of Carmet, the Applicant submitted to the County revised project plans on March 31, 2016, with the roofline adjusted to minimize impacts to neighbors' viewsheds. The roof was redesigned from a gabled to a hip roof design, resulting in a more streamlined roof with less mass. After the County's review of the amended project materials, the County mailed a new Notice of Public Hearing to the Carmet neighbors in the project area, the Notice was physically posted in three locations around the site, and was published in the *Press Democrat* on May 9, 2016, ten days prior to the May 19, 2016 Sonoma County Board of Zoning Adjustment (BZA) public hearing. The County BZA approved the proposed project. Seven days after the BZA's approval, on May 26, 2016, the Appellant filed an appeal of the BZA's approval of the project to the Board of Supervisors. The Appellant expressed concerns regarding compliance with the visual resources and neighborhood character policies of the Sonoma County LCP. On July 7, 2016, a Notice of Pending Action on a CDP and Waiver of Public Hearing was made public. Between July 11 and October 5, 2016, Carmet residents responded to the County both with letters of support and objection to the project. A request for public hearing was received by Sonoma County Planning within the Notice of Pending Action 15 day comment period. The Board of Supervisors met on October 18, 2016 to hear the appeal of the BZA's approval. The Board denied the appeal and upheld the BZA's approval of the CDP for the project.

The County's Final Local Action Notice (FLAN) was received in the Coastal Commission's North Central Coast District Office on Tuesday, October 25, 2016. See **Exhibit 6** for the County FLAN. The Coastal Commission's ten-working day appeal period for this action began on Wednesday, October 26, 2016 and concluded on Tuesday, November 11, 2016. One valid appeal was received during the appeal period. See **Exhibit 7** for the local action appeal.

C. APPEAL PROCEDURES

The project is located within the Sonoma County's certified LCP jurisdiction and therefore the policies within that LCP are applicable to this project. Coastal Act Section 30603 provides for the appeal to the Coastal Commission of certain CDP decisions in jurisdictions with certified LCPs. The following categories of local CDP decisions are appealable: approval of CDPs for development that is located (1) between the sea and the first public road paralleling the sea or within 300 feet of the inland extent of any beach or of the mean high tide line of the sea where there is no beach, whichever is the greater distance, (2) on tidelands, submerged lands, public trust lands, within 100 feet of any wetland, estuary, or stream, or within 300 feet of the top of the seaward face of any coastal bluff, and (3) in a sensitive coastal resource area; or (4) for counties, approval of CDPs for development that is not designated as the principal permitted use under the LCP. In addition, any local action (approval or denial) on a CDP for a major public works

project (including a publicly financed recreational facility and/or a special district development) or an energy facility is appealable to the Commission. The County's CDP decision is appealable to the Commission because the project is within 300 feet of the top of the seaward face of a coastal bluff. Specifically, the property boundary is approximately 150 feet from the bluff top.

The grounds for appeal under Section 30603 are limited to allegations that the development does not conform to the certified LCP or to the public access policies of the Coastal Act. Section 30625(b) of the Coastal Act requires the Commission to consider a CDP for an appealed project de novo unless a majority of the Commission finds that "no substantial issue" is raised by such allegations. Under Section 30604(b), if the Commission conducts the de novo portion of an appeals hearing and ultimately approves a CDP for a project, the Commission must find that the proposed development is in conformity with the certified LCP. If a CDP is approved for a project that is located between the nearest public road and the sea or the shoreline of any body of water located within the coastal zone, Section 30604(c) also requires an additional specific finding that the development is in conformity with the public access and public recreation policies of Chapter 3 of the Coastal Act. This project is not located between the nearest public road and the sea, and thus the additional public access and recreation finding is not needed if the Commission were to approve a project following a de novo hearing.

The only persons qualified to testify before the Commission on the substantial issue question are the Applicant, persons who made their views known before the local government (or their representatives), and the local government. Testimony from other persons regarding substantial issue must be submitted in writing. Any person may testify during the de novo CDP determination stage of an appeal.

D. SUMMARY OF APPEAL CONTENTIONS

The Appellant contends that the County-approved project raises LCP consistency issues relating primarily to protection of visual resources and neighborhood character. Specifically, the Appellant contends that the County-approved project would violate applicable LCP policies regarding the size, scale, and community character of the surrounding neighborhood and visual impacts to their views to the coast. A second contention of the appeal is the Appellant's assertion that the County's public noticing procedures for the local hearings on the project were inadequate. In addition to these main issues, the Appellant makes some contentions regarding the adequacy of the County's CEQA process and determination to categorically exempt the project. However, issues of local CEQA compliance do not constitute grounds for an appeal under Section 30603 of the Coastal Act and are therefore not considered in this report.

E. SUBSTANTIAL ISSUE DETERMINATION

The term "substantial issue" is not defined in the Coastal Act or in its implementing regulations. In previous decisions on appeals, the Commission has generally been guided by the following factors in making substantial issue determinations: the degree of factual and legal support for the local government's decision; the extent and scope of the development as approved or denied by the local government; the significance of the coastal resources affected by the decision; the precedential value of the local government's decision for future interpretations of its LCP; and, whether the appeal raises only local issues as opposed to those of regional or statewide significance. Even when the Commission chooses not to hear an appeal, appellants nevertheless

may obtain judicial review of a local government's CDP decision by filing a petition for a writ of mandate pursuant to the Code of Civil Procedure, Section 1094.5.

In this case, and for the reasons discussed further below, the Commission exercises its discretion and determines that the development approved by the County does not raise a substantial issue with regard to the Appellant's contentions.

Neighborhood Character

Applicable Policies

The LCP includes policies that require new development maintain appropriate size in comparison to the surrounding neighborhood character and requires that scenic and visual resources be protected as follows:

LUP Policy VII-51.10:

Design structures to be compatible with existing community characteristics.

LUP Policy VII-51.11:

Relate structures in size and scale to adjacent buildings.

LUP Policy VII-54.25:

Keep buildings in scale with their natural and man-made setting. . . Encourage pitched roofs and relate roof slopes to existing nearby buildings. Relate the architectural shape and style of new buildings to existing nearby structures and natural features.

IP Section 26C-92(e):

Maximum Lot Coverage: Thirty-five percent (35%). Lot coverage may be waived by the director of the permit and resource management department for greenhouses and swimming pools.

IP Section 26C-92(j)(1):

All new development shall conform with coastal plan visual resource recommendations, applicable scenic view protection policies and policies related to landform and vegetation categories included in the coastal administrative manual, or subsequently approved area design guidelines.

The Appellant contends that the project does not comply with LCP Implementation Plan (IP) Section 26C-92(j)(1), which requires that all new development shall conform with VII-51.10 and VII-51.11 of the Land Use Plan's (LUP) Visual Resource Recommendations. These policies relate to compatibility of size and design of new development with the surrounding neighborhood. Sonoma County LUP Visual Resources Policies incorporate Coastal Act Section 30251, protecting scenic and visual qualities of an area and ensuring compatibility of new development with the character of the surrounding neighborhood. See **Exhibit 8** for the County's complete LUP policies regarding visual resources.

As described above, the approved project consists of adding a 633 square foot second-story addition and a 180 square foot covered patio on the first floor to an existing house, to create a two-story, 2,983 square-foot residence (including the existing garage). The approved project complies with the LCP's site standards that apply to Rural Residential zoning for lot coverage, height, floor area ratio and setbacks as referenced in LUP VII-54, Recommendation 25. See **Exhibit 8**. The maximum allowable height in this zone is 24 feet, and proposed development will have a maximum height of 21 feet, 10 inches.

As described in IP Ordinance 26C-92(e), maximum lot coverage for Rural Residential zoned parcels is 35 percent. Section 26C-12 of Sonoma's IP defines "Lot coverage" as "the percentage of lot encumbered by structures and areas devoted to vehicular traffic or parking." The proposed project is on a 0.25-acre, 10,890 square foot parcel, and the County-approved residential building footprint, including the covered patio and garage, will result in an enclosed space coverage of 2,983 square feet, or 27 percent lot coverage. If the lot coverage of the proposed project is calculated not including the garage and patio areas, the total footprint is 2,383 square feet, or 22 percent lot coverage. Approved front, rear, and side setbacks for the County-approved project are greater than the required amount.

Section VII-43 of Sonoma County's LUP (found in **Exhibit 8**) details Visual Resource policies, describing structural and community features for each distinct subdivision or community located on the Sonoma Coast. The Appellant asserts that the LUP describes Carmet as a "a special coast community worthy of protection" and goes on to explain reasoning behind preserving character, however, the language quoted in the Appellant's objection is drawn from the town of Bodega Bay element, not the policy specific to the Carmet area. The section pertaining to Carmet describes more specifically that "any new development should be compatible with the existing homes, since there is a distinct design unity to the subdivision." See LUP Section VII-47 and 48, found in **Exhibit 8**.

Beyond the size of the approved house, which is compatible with, and appropriate to the Rural Residential zoning designation, the architectural design, materials, and colors are appropriate for the coastal setting. The 64 homes comprising the hamlet of Carmet have, over the years, become fairly visually diverse, with a mix of architectural styles, features, and color palettes such that the approved house will not be out of character with the neighborhood. The Appellant claims that 99.5% of homes in Carmet are equal to or less than 16 feet in height. Numerous homes in the neighborhood have two stories and are of the size and scale of the proposed, County-approved development. See **Exhibit 4** for images of nearby houses.

The Appellant states that the proposed development "is an example of the domino effect," and that the "proposed project continues the precedent" for larger sized development in the neighborhood. See **Exhibit 7** for the local action appeal. Again, the project design is in conformance with LUP policies and zoning requirements that dictate appropriate size and scale for this area, and therefore does not set precedent for non-conforming structures in the vicinity. Further, any future redevelopment proposals in the Carmet subdivision will be required to obtain a CDP, which will require a similar analysis based on the specific proposal. Therefore, future projects will also be analyzed under this appropriate size and scale rubric.

Another area of contention raised by the Appellant pertains to barriers created to preserve affordable housing. Affordable housing protection is described in LUP Policy VII-1. Four strategies are proposed to encourage new affordable housing, including incentives, permit and inclusionary requirements, development fee deferrals, and employer housing assistance. These strategies pertain to density in terms of adding actual units of housing, not projects proposing to add to the size or scale of existing developed housing. The Carmet subdivision is mostly built-out with only four undeveloped lots remaining. LUP Policy VII-12 states that areas of existing affordable housing to be preserved specifically include sections of Bodega Bay, Goat Rock, Jenner, and the Fort Ross Store area. While the LCP states that Carmet provides rental housing, it does not explicitly state that Carmet provides affordable housing. Furthermore, this proposed project is not adding additional housing units, it is proposing an addition to an existing residence that will remain a single-family residence. The existing affordable housing stock in the region will not be impacted by this project. Therefore, the affordable housing requirements in the Sonoma County LUP do not apply to this particular proposed project.

The proposed addition meets the height, size, and lot coverage requirements of the zoning code and has been designed to blend appropriately into the established community character of the Carmet in accordance with LUP policies that require such. Thus, the County-approved project does not raise substantial issue of LCP conformance with respect to neighborhood character.

Visual Resources

Applicable Policies

The Sonoma County LCP includes policies that require scenic and visual resources be protected and dictates maximum allowable heights for each zoning designation as follows:

LUP Policy VII-49.1:

Prevent development (including buildings, structures, fences, paved areas, signs, and landscaping) from obstructing views of the shoreline from coastal roads, vista points, recreation areas, and beaches.

LUP Policy VII-54.25:

Limit building height to 24 feet east of Highway 1. However, an increase in height to a maximum of 35 feet is permissible if (1) the structure is no higher than 24 feet above the corridor route grade directly across from the building site, and (2) the structure will not affect water views, or be out of character with surrounding structures.

IP Section 26C-92(c)(4):

Height limits: Height for all structures is measured as the vertical distance from the average level of the highest and lowest point of that portion of the lot covered by the building to the topmost point of the roof. East of Highway 1 and visible from designated scenic roads: Residential and commercial height limits are twenty-four feet (24').

The Appellant contends that the project fails to comply with the County LUP's Visual Resources Policies VII-49.1 and VII-54.25. The Appellant states that the height of the proposed addition violates provisions of the LCP because the proposed project "lies within 300 feet of the beach,

[and therefore] it falls under the 16 foot roofline rule, not the 24 foot limit.” Sonoma County’s IP Section 26C-92(c)(4) states that residential and commercial height limits for parcels zoned Rural Residential are 24 feet, when located east of Highway 1 and visible from designated scenic roads. This parcel is east of Highway 1 and is visible from a designated scenic road, thus the proposed height is consistent with the applicable ordinance. Furthermore, no LUP policy or IP ordinance correlates a certain distance from the beach with residential height requirements.

The Appellant asserts that the project should not be exempt from CEQA because the proposed development will “build a 633 square foot house on top of an existing house.” As mentioned above, allegations regarding the County’s CEQA compliance do not form grounds for an appeal to the Commission.

Protection of visual resources in this region is assured in LUP Policy VII-49.1 by preventing development from obstructing views of the shoreline from coastal roads. Though the proposed project has the potential to partially obstruct the existing blue water view enjoyed by private homeowners in Carmet, the LCP does not protect private views. This project’s impacts to public enjoyment of coastal views from any of the roads in the Carmet neighborhood, if any, would be negligible. The proposed development has been designed so that much of the additional new square footage would not be visible from Viking Strand. As described above, the Applicant revised the original project proposal by changing the roof design from a gabled to hip design with less mass. The alterations minimize impacts on the surrounding coastal views and viewshed. The County approved additions to the existing residence mostly extend towards the back of the property rather than across the width of the street facing segment of the property, thus largely preserving the existing public blue water views. See **Exhibit 3** for project design plans.

Sonoma County LCP Coastal Visual Resource maps require that the CDP review process vary with respect to visual resources, depending on the specific viewshed designation where the proposed development is located. See **Exhibit 9** for the LCP Visual Resources Map. The Carmet neighborhood is designated Visual Resource II. Visual Resource II designation represents above average views; Visual Resources I represents outstanding views and Visual Resources III represents average views. Visual Resource II is split into “a” and “b” classifications. Ila Visual Resources extend east of Coastal Ave, while the I Ib designation applies from Coastal Ave to the west. Ila Visual Resources apply to areas located outside of the appeal zone where a CDP is required and the development is subject to design committee review, but no public hearing. I Ib Visual Resources apply to areas located inside the appeal zone where a CDP is required and the proposal is subject to a public hearing before the BZA. The proposed project is located within the area designated I Ib Visual Resources, and as demonstrated by the Visual Resource Maps, the project was reviewed and approved at a public hearing before the Board of Zoning Adjustments. The County found at the BZA hearing that the project did not impact visual resources because the proposed development would not further block the existing ocean views because the addition would fit in behind existing mature trees located on the project site. Since the existing public views are preserved, the proposed County-approved project does not impact the existing visual resources.

The project will not impact views to and along the coast from Highway 1 or from public areas on and adjacent to the project site. Impacts to views looking eastward from Highway 1 remain consistent with the existing residential nature of the surrounding area and the existing residential use of the project site. For these reasons, the approved project does not raise a substantial issue of LCP conformance with respect to visual resources.

Public Participation

Applicable Policies

The LCP includes policies that require CDP determinations be publicly noticed within a specific time frame in relation to the hearing date and be noticed to property owners within certain proximity to the proposed development, as follows:

IP Section 26C-344(a)(4):

At least ten (10) calendar days prior to any public hearing notice of the hearing shall be provided by the following method: Mailed notice to all property owners within three hundred feet (300') of the perimeter of the property on which the project is proposed.

IP Section 26C-344(a)(5):

At least ten (10) calendar days prior to any public hearing notice of the hearing shall be provided by the following method: Mailed notice to residents within one hundred feet (100') of the perimeter of the property on which the project is proposed.

IP Section 26C-344 (a)(7):

At least ten (10) calendar days prior to any public hearing notice of the hearing shall be provided by the following method: If the matter is heard by the planning commission, one (1) publication of notice in a newspaper of general circulation. Such notice shall include items 1 thru 7 and 9 thru 13 in Section 26C-344(c).

The Appellant contends that the project does not comply with IP Section 26C-344(a), which requires notice of any public hearing for residents impacted by the proposed development. Specifically, Sections 26C-344(a)(4) and (a)(5) require that notices are mailed to property owners within 300 feet and residents within 100 feet of the proposed project at least ten days prior to the hearing. Per the requirements of IP Section 26C-344 (a)(7), notice was published in the *Press Democrat* on May 9, 2016 and notice was sent to those requiring notice per the LCP Sections listed above. Although part-time residents may have not received the mailed notice with sufficient time to respond, notice was nevertheless provided as prescribed by the LCP; the notice for the Board of Zoning Adjustment's hearing on May 19, 2016 was also mailed to the required parties on May 9, 2016, within the required 10 day notice period. Finally, the Appellant asserts that notices were ineffectively affixed to telephone poles adjacent to the proposed project site. Sonoma County's LCP does not include requirements pertaining to physical noticing. Regarding physical notice, the County's standard practice is to post the site prior to hearing. Notice for a public hearing for a coastal permit was posted near the site on May 9, 2016, and another was posted on May 28, 2016 for the appeal to be considered by the Board of Supervisors. See **Exhibit 10** for affidavits of the hearing noticing.

Because the proposed project was sufficiently noticed in conformance with Sonoma County LCP policy, the Commission finds that the Appellant's contention does not raise substantial issue.

F. CONCLUSION

When considering an appealed project, the Commission must first determine whether the project raises a substantial issue of LCP conformity, such that the Commission should assert jurisdiction over a de novo CDP for such development. The Commission has the discretion to find that the project does not raise a substantial issue of LCP conformance. As explained above, the Commission is guided in its "substantial" issue determination by the following five factors: the degree of factual and legal support for the local government's decision; the extent and scope of the development as acted upon by the local government; the significance of the coastal resources affected by the decision; the precedential value of the local government's decision for future interpretations of its LCP; and, whether the appeal raises only local issues as opposed to those of regional or statewide significance. In this case, these five factors, considered together, support a conclusion that this project does not raise a substantial issue of LCP conformance.

The record of the County Board of Supervisors hearing on the proposed project demonstrates that the County had factual and legal support for its decision to approve the proposed project. In relation to the neighborhood character contentions, the development meets the size, layout, and design standards of the LCP. The architectural design, materials, and color of the house are visually pleasing and compatible with the diversity of nearby houses. Regarding the Appellant's visual resources contention, the proposed project does not obstruct public views from designated scenic roads or from any visual resource areas. Photographic simulations of the proposed new residence further support the County's assessment of protection of visual resources and preservation of community character as outlined above. Finally, the proposed project was appropriately noticed to the public and appropriate parties as outlined by LCP requirements. Thus, the County provided adequate factual and legal support for its decision that the approved development would be consistent with the certified LCP.

The extent and scope of the development is limited to the remodeling of an existing single family residence, with no resulting impact to significant coastal resources. With no visual obstruction to public views, the proposed project is consistent with the IP zoning guidelines and LUP policy requirements. Likewise, the County's decision sets no particular precedent as the project does not differ in any significant way from the surrounding developments. Because the project is consistent with the LCP, a finding of no substantial issue will not create an adverse precedent for future interpretation of the LCP. Lastly, the appeal solely raises local issues regarding neighborhood character and visual compatibility issues of a distinct location within a specific neighborhood in Sonoma County, with no bearing on regional or statewide resource issues.

For the reasons stated above, the Commission finds that Appeal Number A-2-SON-16-0093 does not present a substantial issue with respect to the grounds on which the appeal was filed under Section 30603 of the Coastal Act, and that the project as proposed is consistent with the certified LCP. Thus the Commission here declines to take jurisdiction over the CDP application for this project.

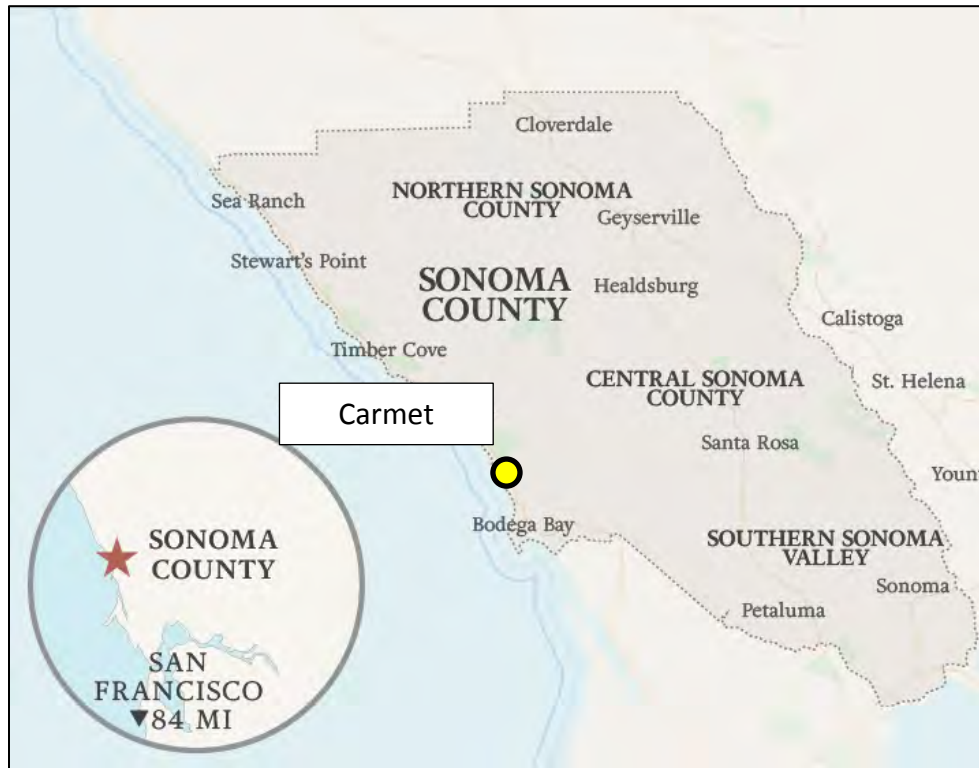
APPENDIX A: SUBSTANTIVE FILE DOCUMENTS

Minutes and Staff Report and Analysis – Sonoma County Board of Zoning Adjustments, May 19, 2016 Hearing

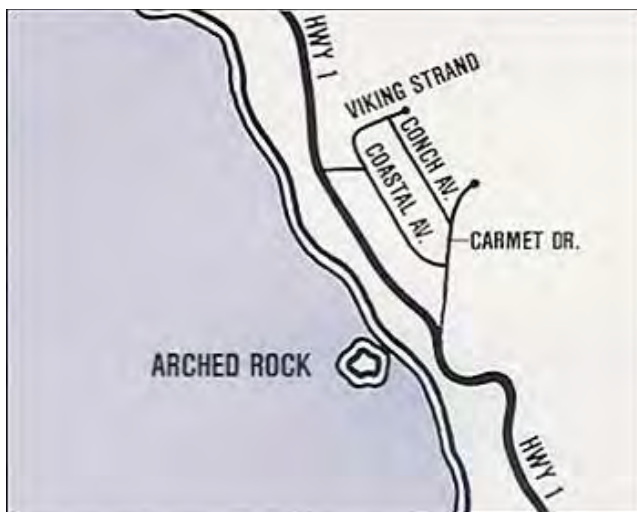
Summary Report and Resolution – Sonoma County Board of Supervisors, October 18, 2016 Hearing

Exhibit 1

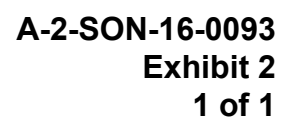
Vicinity Map

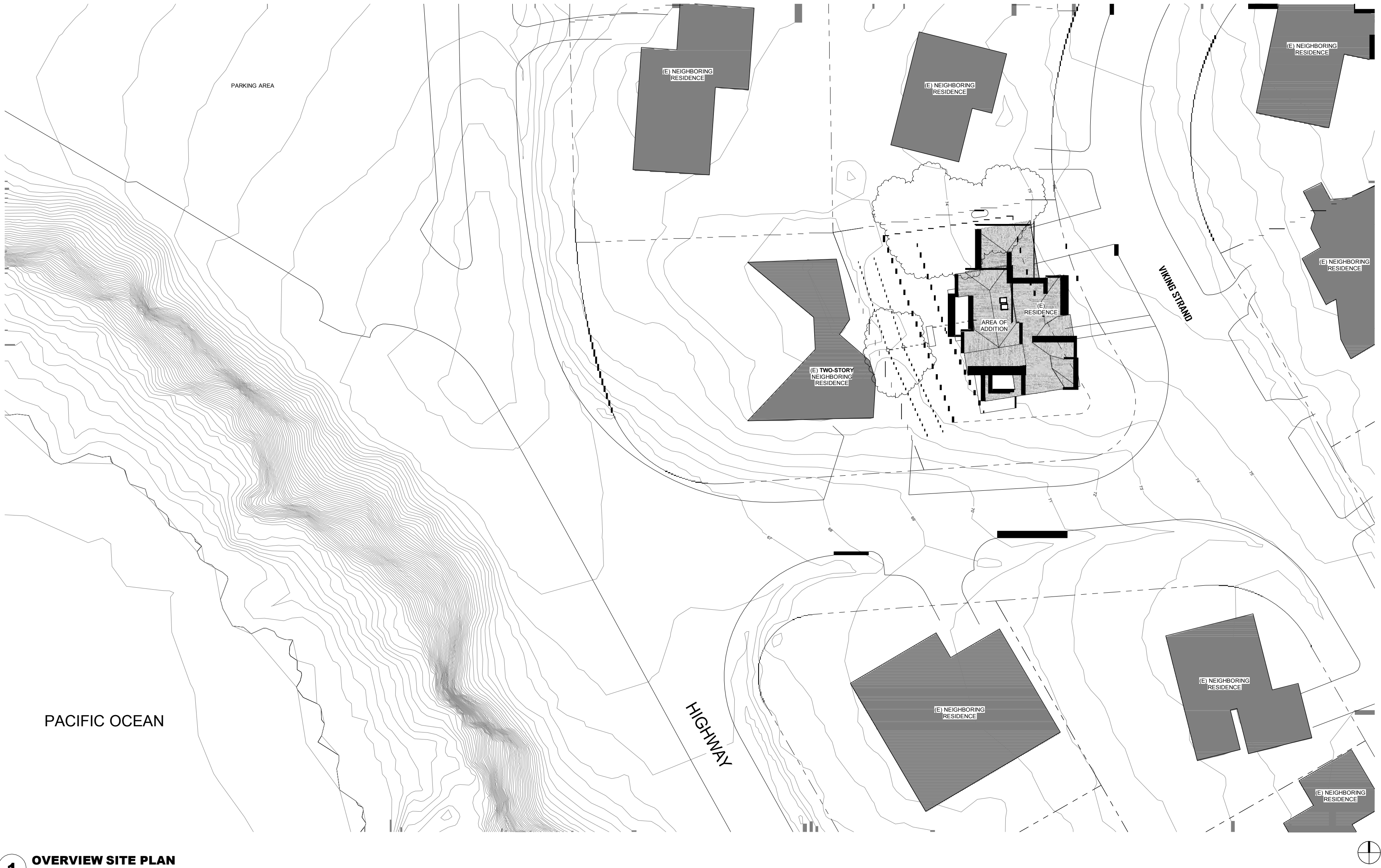


Location Map (Carmet)



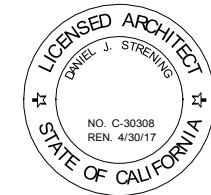
County Assessor's Parcel Map





1 OVERVIEW SITE PLAN
1" = 20'-0"

STRENINGARCHITECTS



HENEGHAN RESIDENCE

5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

CLIENT
HENEGHAN

REVISIONS

PROJECT NUMBER
ISSUE DATE
03-31-16

COASTAL
COMMISSION

SHEET NAME
OVERVIEW SITE
PLAN

SHEET NUMBER

A1

A-2-SON-16-0093

Exhibit 3

3 of 11

3/31/16 12:31:51 PM
A:\305\Henehan 2016\HENEHAN_022.rvt



1 **SITE PLAN**
1/8" = 1'-0"

HENEHAN RESIDENCE

5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

CLIENT
HENEHAN

REVISIONS

PROJECT NUMBER

ISSUE DATE
03-31-16

**COASTAL
COMMISSION**

SHEET NAME
SITE PLAN

SHEET NUMBER

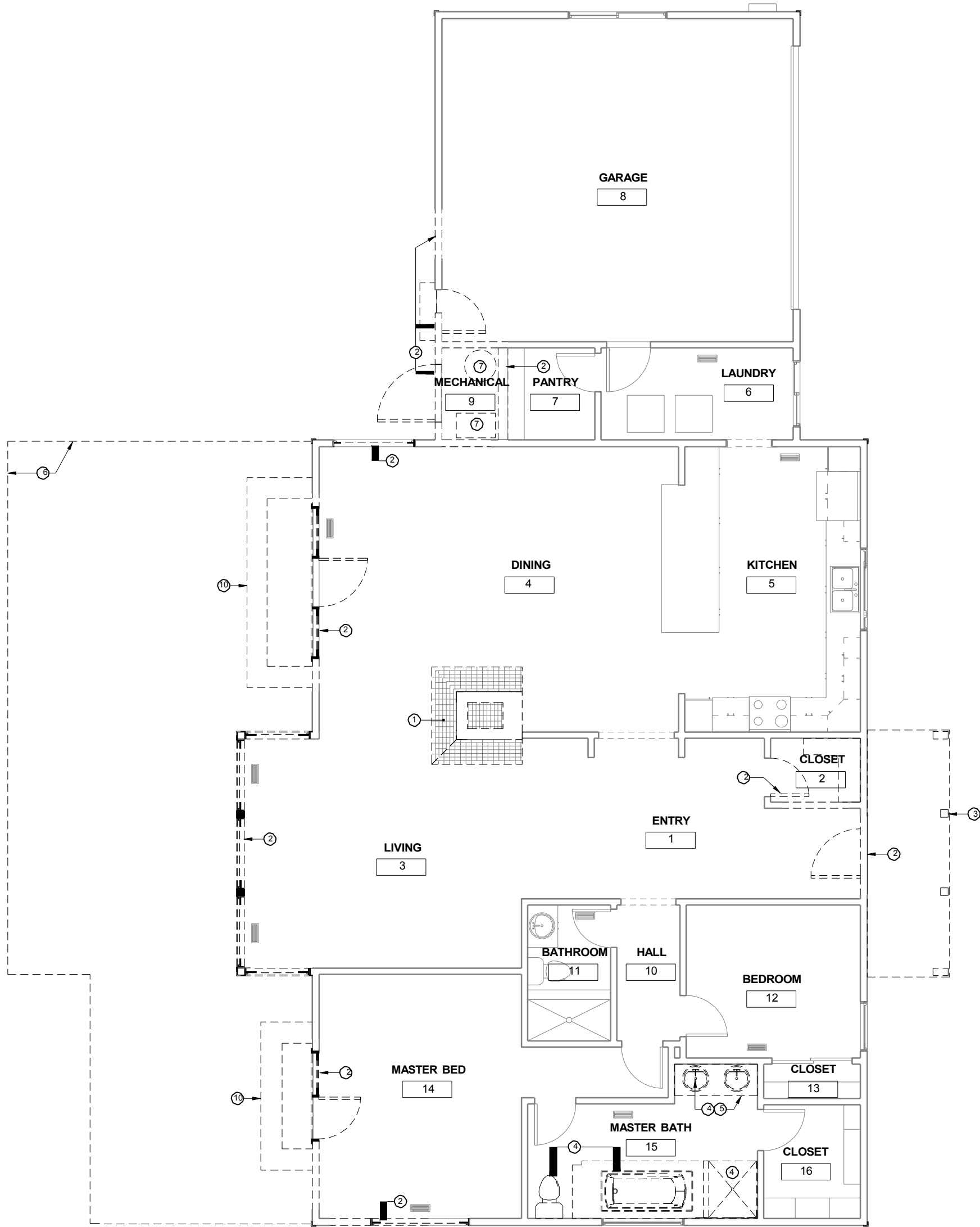
A2
A-2-SON-16-0093
Exhibit 3
4 of 11



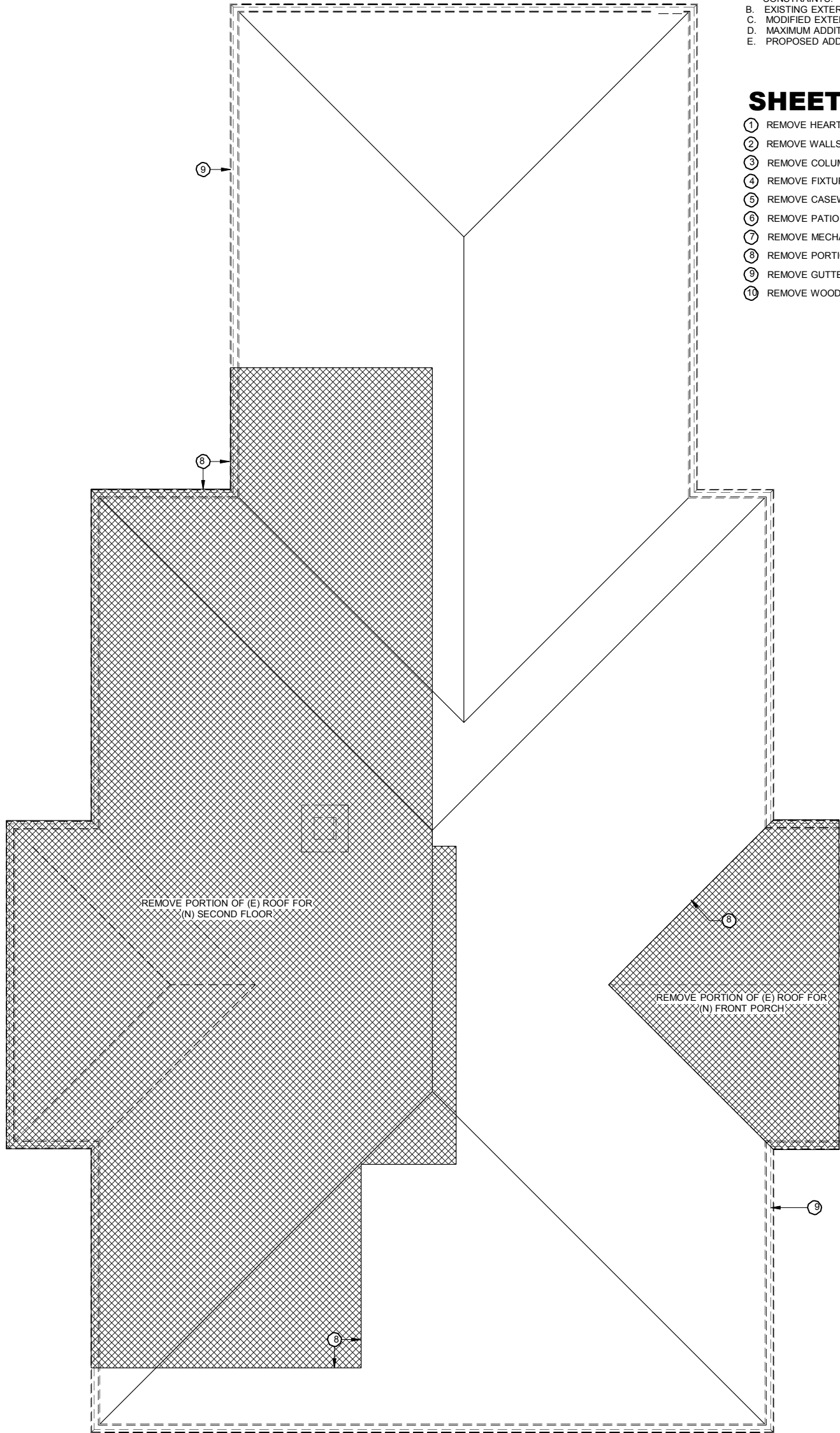
STRENINGARCHITECTS

DANIEL J. STRENING, ARCHITECT
2027 NORDYKE AVE.
SANTA ROSA, CA 95401
Tel 707.953.2370
www.streningarchitect.com

3/11/16 12:31:51 PM
A:\301\Heneghan 2016\HENEGHAN_C02.dwg



1 FIRST FLOOR PLAN - DEMOLITION
1/4" = 1'-0"



2 ROOF PLAN - DEMOLITION
1/4" = 1'-0"

GENERAL SHEET NOTES

- A. DEMOLITION OR CHANGE OF GREATER THAN 50% OF LINEAR DISTANCE OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC CONSTRAINTS.
B. EXISTING EXTERIOR WALL PERIMETER = 224 LF
C. MODIFIED EXTERIOR WALL PERIMETER = 80 LF
D. MAXIMUM ADDITION ALLOWED = 640 SF
E. PROPOSED ADDITION = 640 SF

SHEET KEYNOTES

- 1 REMOVE HEARTH, FIREPLACE, AND CHIMNEY
2 REMOVE WALLS, OPENINGS AS SHOWN
3 REMOVE COLUMNS, GABLE ABOVE
4 REMOVE FIXTURE(S)
5 REMOVE CASEWORK
6 REMOVE PATIO
7 REMOVE MECHANICAL EQUIPMENT
8 REMOVE PORTION OF ROOF
9 REMOVE GUTTERS AND FASCIAS, TYP.
10 REMOVE WOOD STEPS, DECK

STRENINGARCHITECTS



HENEGHAN RESIDENCE

5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

CLIENT
HENEGHAN
REVISIONS

PROJECT NUMBER
ISSUE DATE
03-31-16

COASTAL
COMMISSION

SHEET NAME
DEMOLITION
PLANS

SHEET NUMBER

A3

A-2-SON-16-0093
Exhibit 3
5 of 11

GENERAL SHEET NOTES

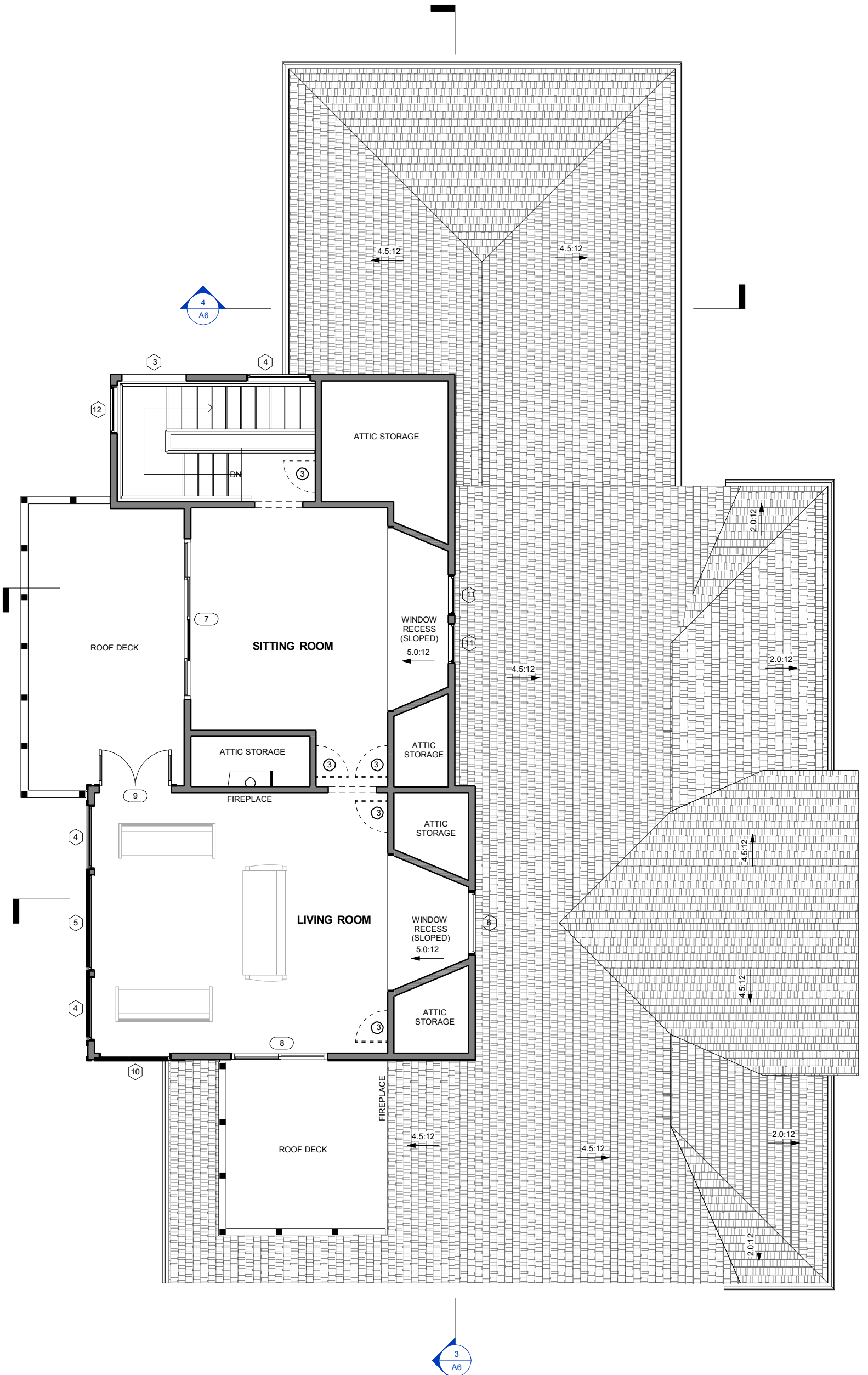
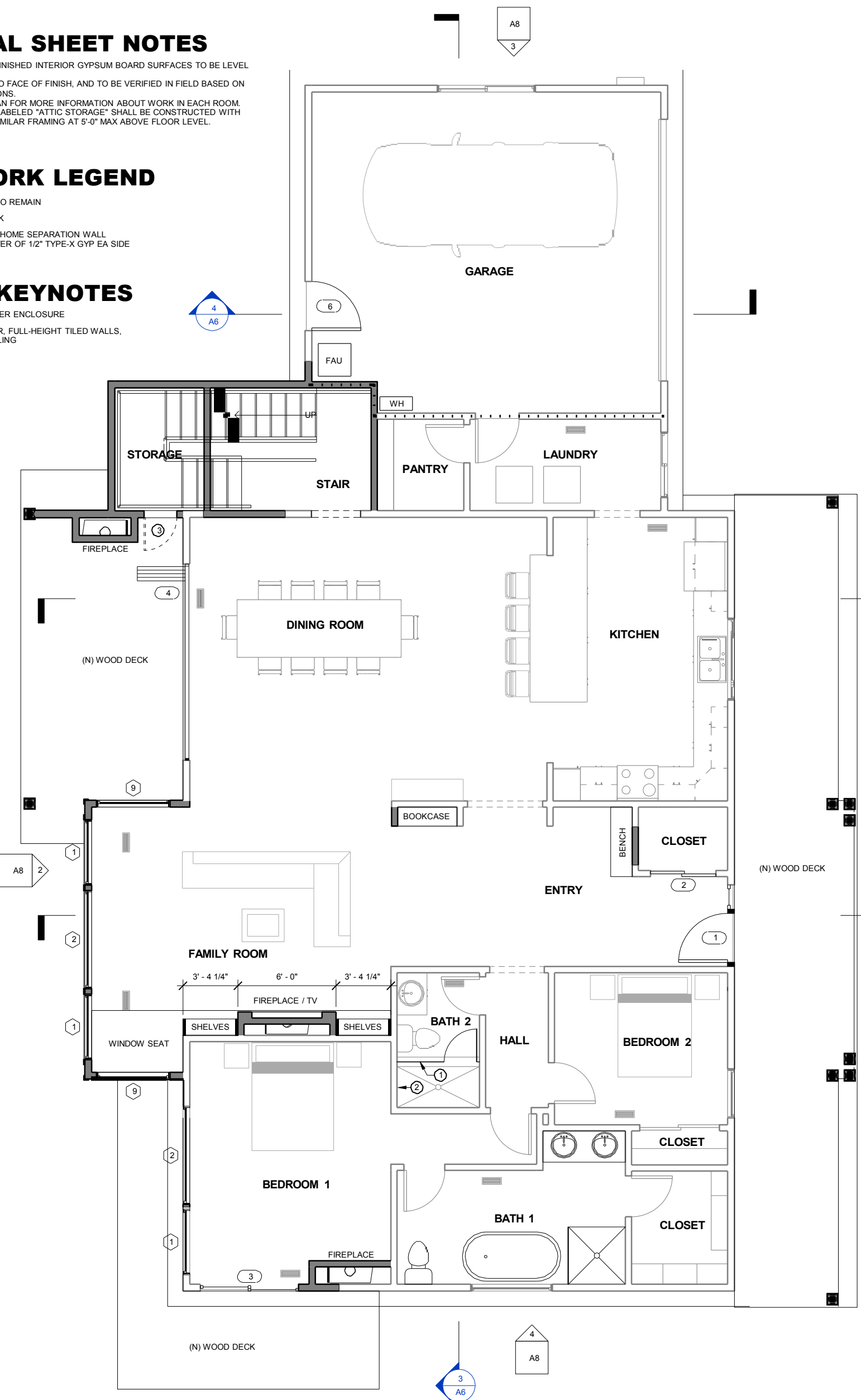
- A. ALL NEW AND RE-FINISHED INTERIOR GYPSUM BOARD SURFACES TO BE LEVEL IV.
B. ALL DIMENSIONS TO FACE OF FINISH, AND TO BE VERIFIED IN FIELD BASED ON EXISTING CONDITIONS.
C. SEE NOTES ON PLAN FOR MORE INFORMATION ABOUT WORK IN EACH ROOM.
D. ALL NEW SPACES LABELED "ATTIC STORAGE" SHALL BE CONSTRUCTED WITH COLLAR TIES OR SIMILAR FRAMING AT 5'-0" MAX ABOVE FLOOR LEVEL.

NEW WORK LEGEND

- EXISTING TO REMAIN
NEW WORK
GARAGE / HOME SEPARATION WALL
- 1 LAYER OF 1/2" TYPE-X GYP EA SIDE

SHEET KEYNOTES

- NEW GLASS SHOWER ENCLOSURE
(N) STEAM SHOWER, FULL-HEIGHT TILED WALLS, SLOPED TILED CEILING
ACCESS DOOR

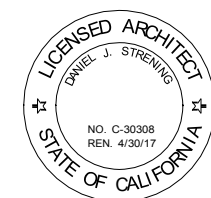


1 FIRST FLOOR PLAN - PROPOSED
1/4" = 1'-0"

2 SECOND FLOOR PLAN - PROPOSED
1/4" = 1'-0"

STRENINGARCHITECTS

DANIEL J. STRENING, ARCHITECT
2027 NORDYKE AVE.
SANTA ROSA, CA 95401
Tel 707.953.2370
www.streningarchitect.com



HENEGHAN RESIDENCE

5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

CLIENT
HENEGHAN
REVISIONS

PROJECT NUMBER
ISSUE DATE
03-31-16

COASTAL
COMMISSION

SHEET NAME
FLOOR PLANS

SHEET NUMBER

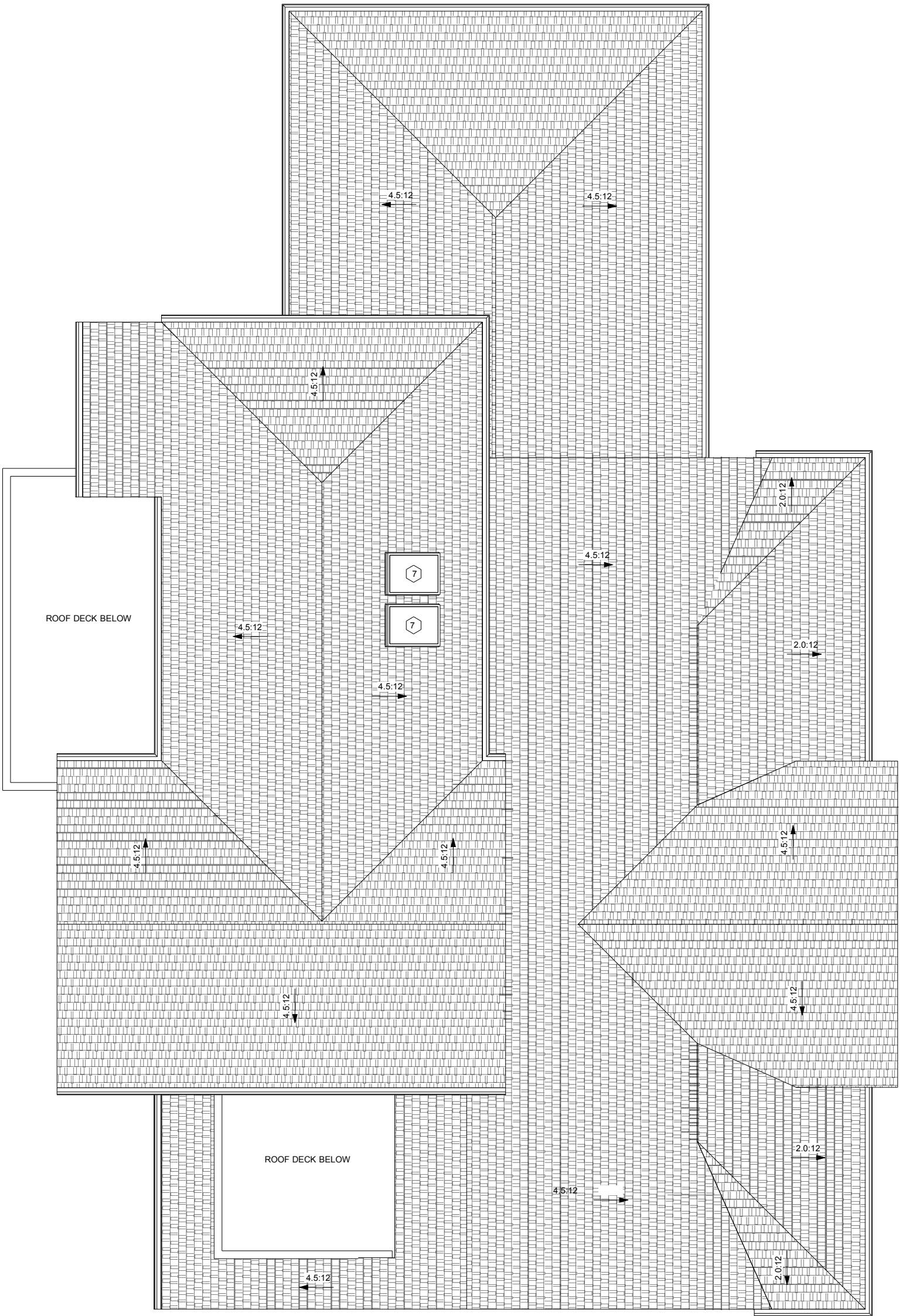
A4

A-2-SON-16-0093

Exhibit 3
6 of 11

A:\50\Heneghan 2016\HENEGHAN_C02.rvt

3/31/16 12:31:53 PM



1 **ROOF PLAN - PROPOSED**
1/4" = 1'-0"



HENEGHAN RESIDENCE

5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

CLIENT
HENEGHAN

REVISIONS

PROJECT NUMBER
ISSUE DATE
03-31-16

**COASTAL
COMMISSION**

SHEET NAME
ROOF PLAN

SHEET NUMBER

A5

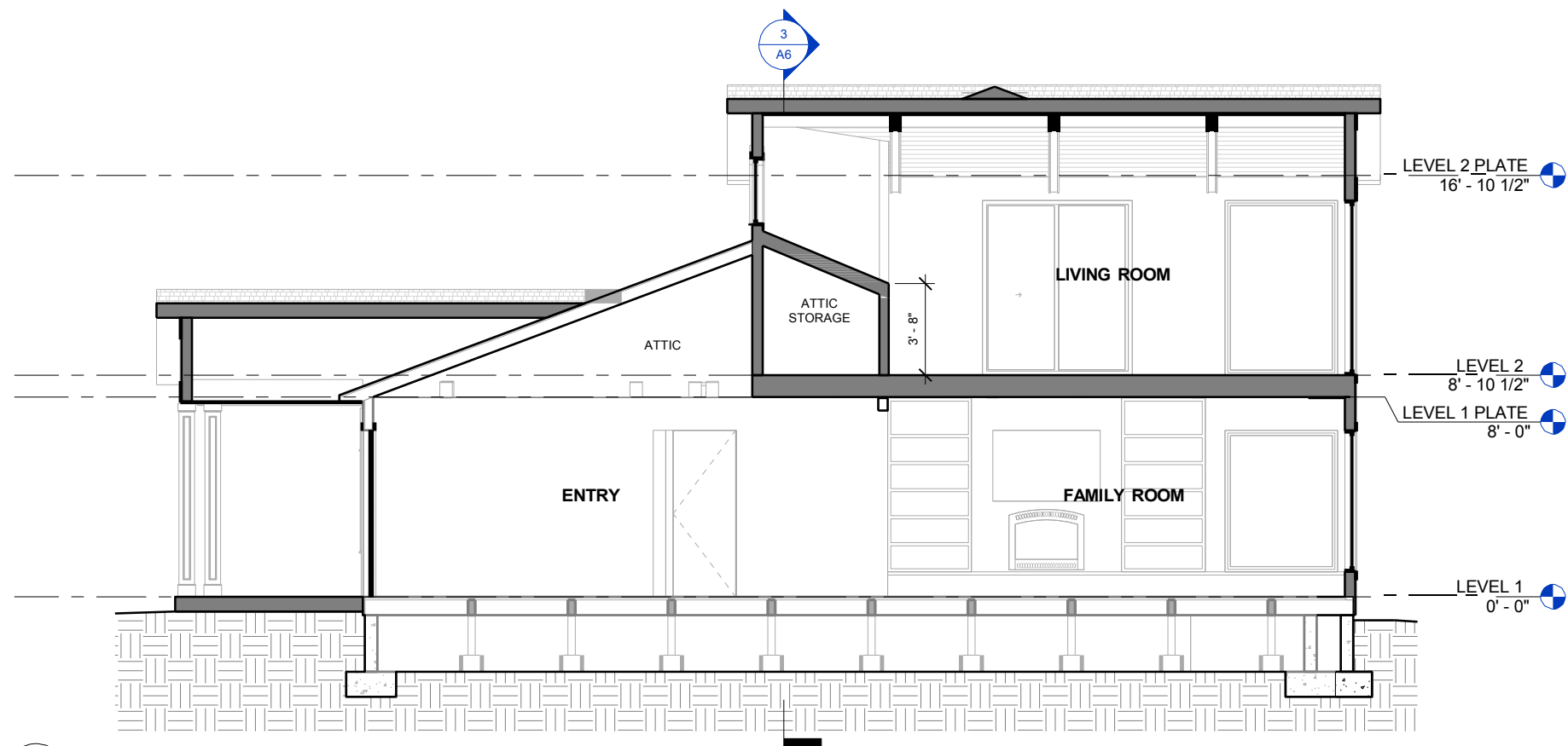
A-2-SON-16-0093

Exhibit 3

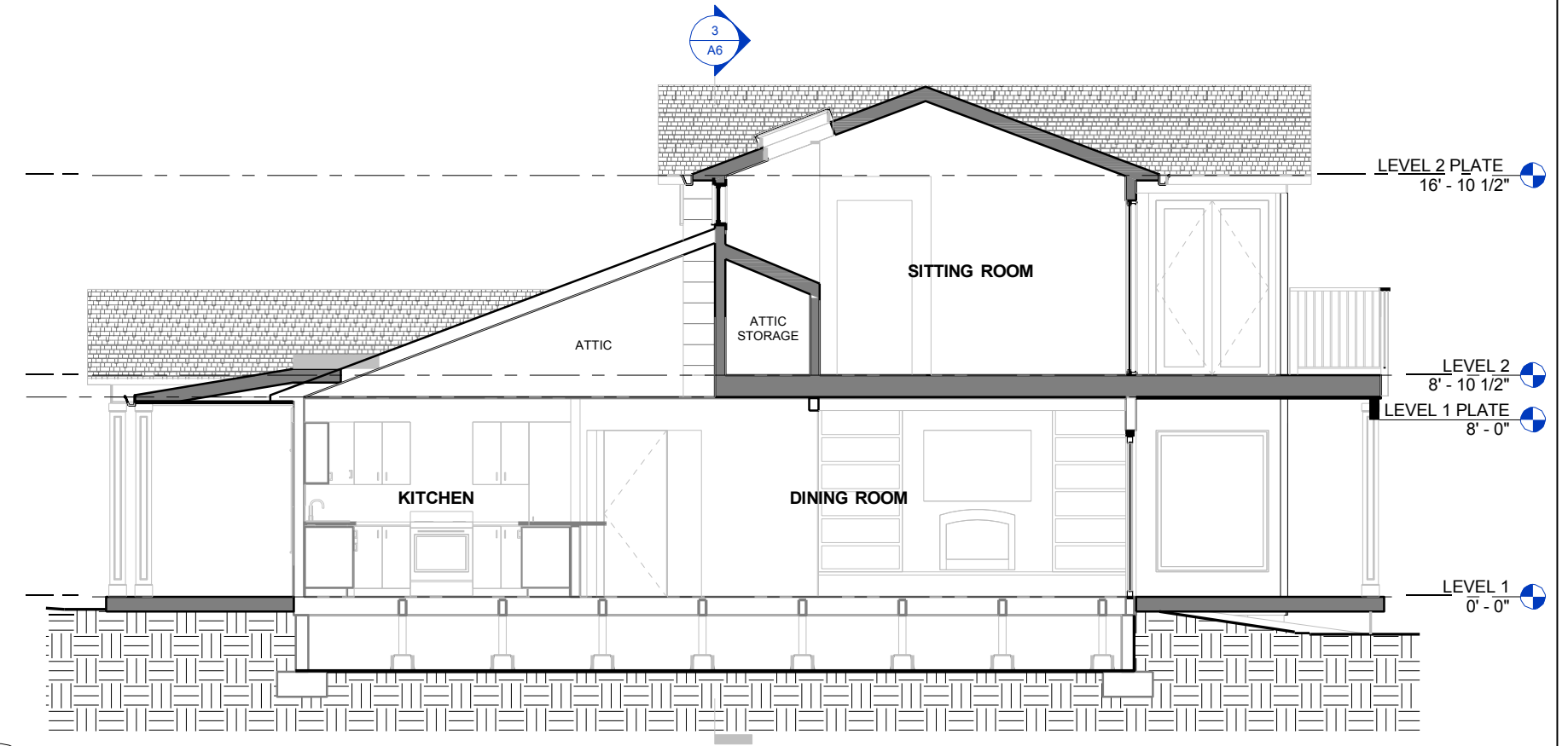
7 of 11

STRENINGARCHITECTS

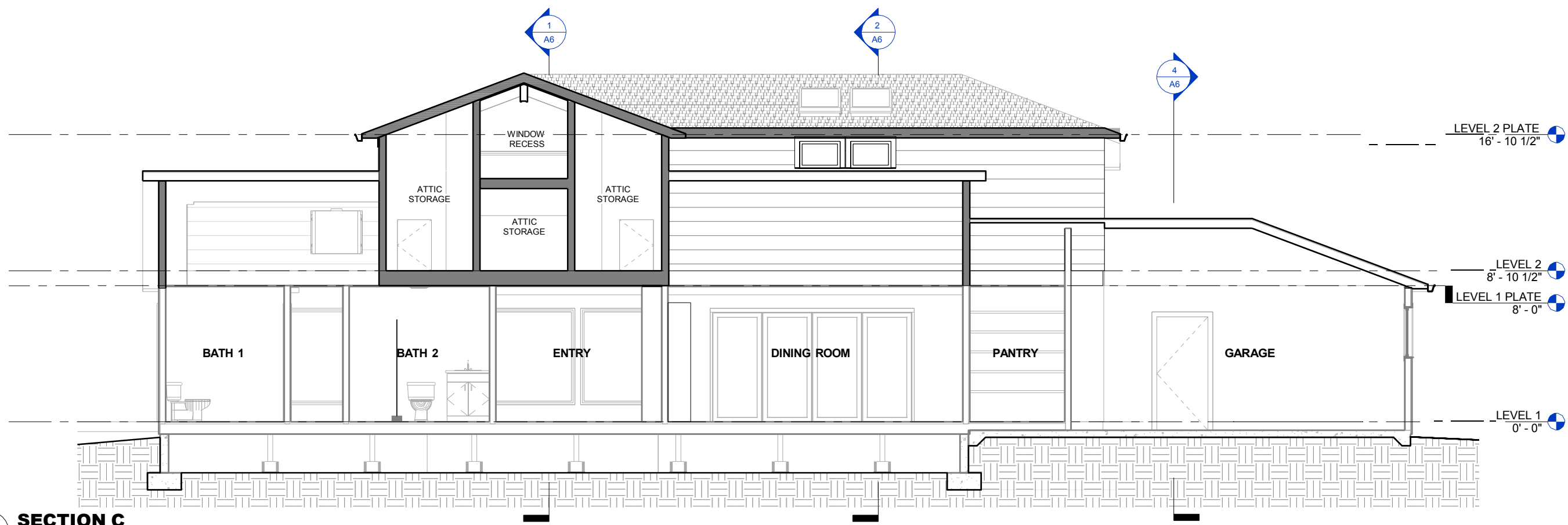
DANIEL J. STRENING, ARCHITECT
2027 NORDYKE AVE.
SANTA ROSA, CA 95401
Tel 707.953.2370
www.streningarchitect.com



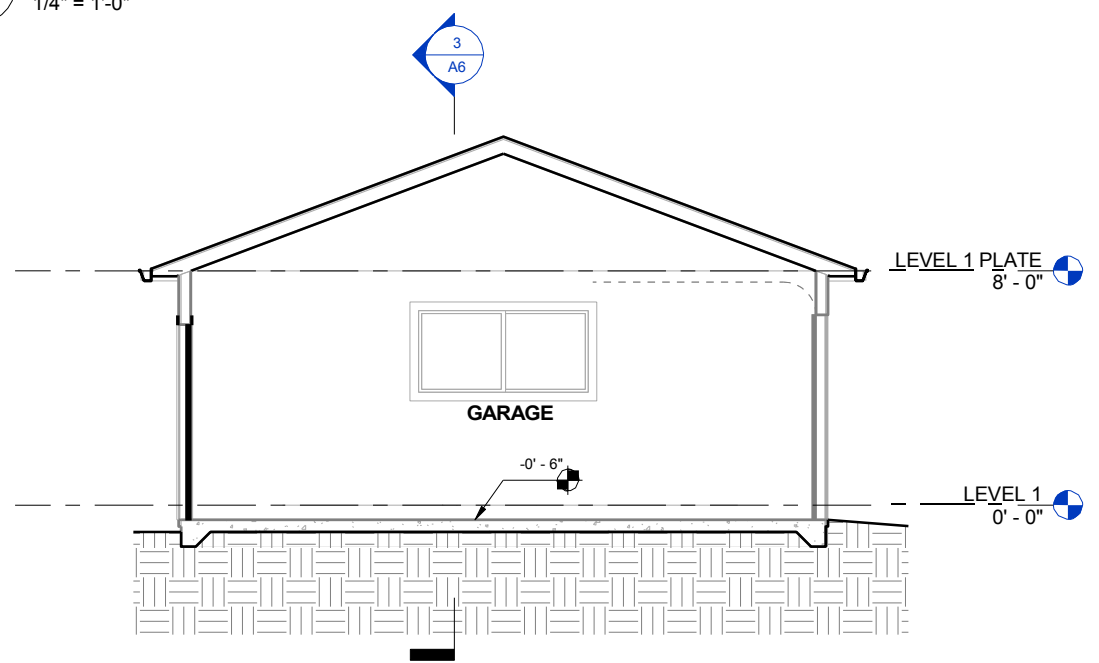
1 SECTION A
1/4" = 1'-0"



2 SECTION B
1/4" = 1'-0"



3 SECTION C
1/4" = 1'-0"



4 SECTION D
1/4" = 1'-0"

STRENINGARCHITECTS



DANIEL J. STRENING, ARCHITECT
2027 NORDYKE AVE.
SANTA ROSA, CA 95401
Tel 707.953.2370
www.streningarchitect.com

HENECHAN RESIDENCE

5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

CLIENT
HENECHAN
REVISIONS

PROJECT NUMBER
ISSUE DATE
03-31-16

**COASTAL
COMMISSION**

SHEET NAME
SECTIONS

SHEET NUMBER

A6

A-2-SON-16-0093

Exhibit 3
8 of 11



1 EAST ELEVATION - EXISTING
1/4" = 1'-0"



2 WEST ELEVATION - EXISTING
1/4" = 1'-0"



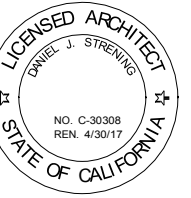
3 NORTH ELEVATION - EXISTING
1/4" = 1'-0"



4 SOUTH ELEVATION - EXISTING
1/4" = 1'-0"

STRENINGARCHITECTS

DANIEL J. STRENING, ARCHITECT
2027 NORDYKE AVE.
SANTA ROSA, CA 95401
Tel 707.953.2370
www.streningarchitect.com



HENEGHAN RESIDENCE

5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

CLIENT
HENEGHAN
REVISIONS

PROJECT NUMBER
ISSUE DATE
03-31-16

COASTAL
COMMISSION

SHEET NAME
ELEVATIONS -
EXISTING

SHEET NUMBER

A7

A-2-SON-16-0093

Exhibit 3

9 of 11

GENERAL SHEET NOTES

A. MATCH EXISTING SIDING DIMENSION WITH NEW CEMENT BOARD SIDING PAINTED GREY PER OWNER. TRIM AND BODY COLORS TO BE DETERMINED.

STRENINGARCHITECTS

DANIEL J. STRENING, ARCHITECT
2027 NORDYKE AVE.
SANTA ROSA, CA 95401
Tel 707.953.2370
www.streningarchitect.com



HENEGHAN RESIDENCE

5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

CLIENT
HENEGHAN
REVISIONS

PROJECT NUMBER
ISSUE DATE
03-31-16

COASTAL
COMMISSION

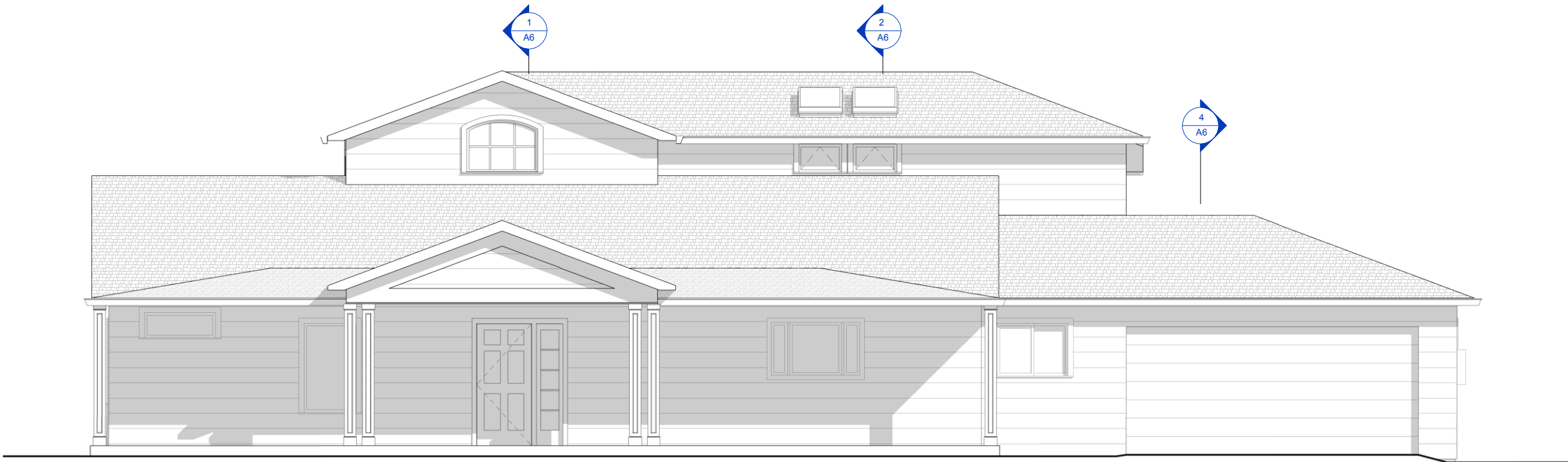
SHEET NAME
ELEVATIONS -
PROPOSED

SHEET NUMBER

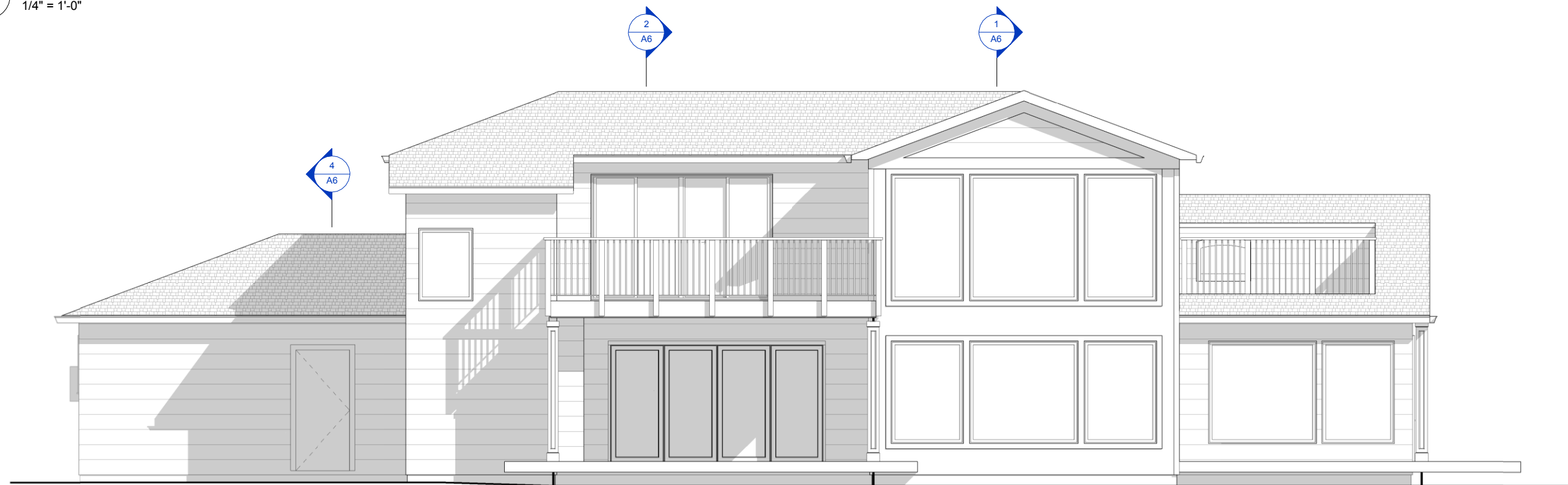
A8

A-2-SON-16-0093
Exhibit 3
10 of 11

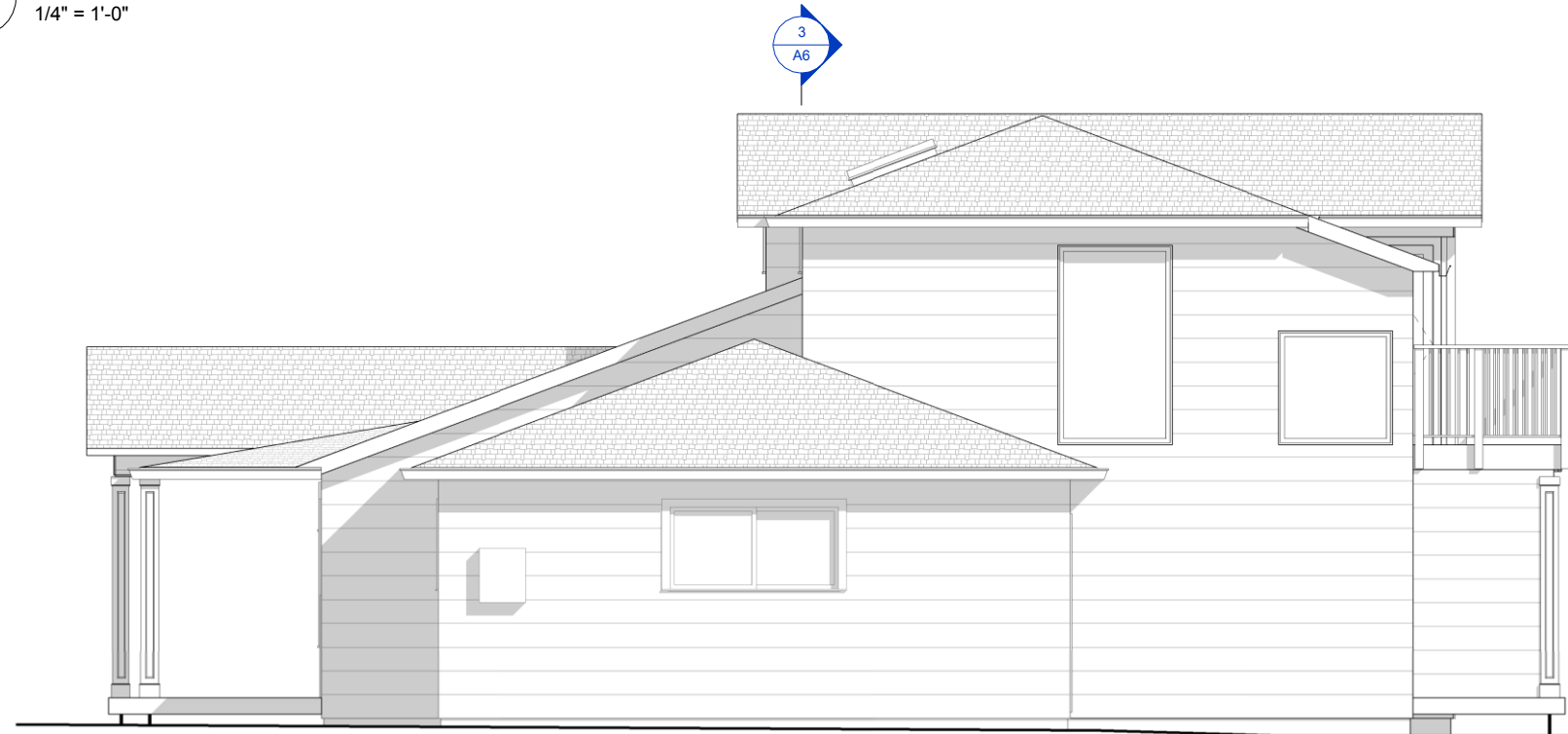
© THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE SOLE PROPERTY OF DANIEL J. STRENING, ARCHITECT. ANY USE WITHOUT WRITTEN CONSENT IS PROHIBITED.



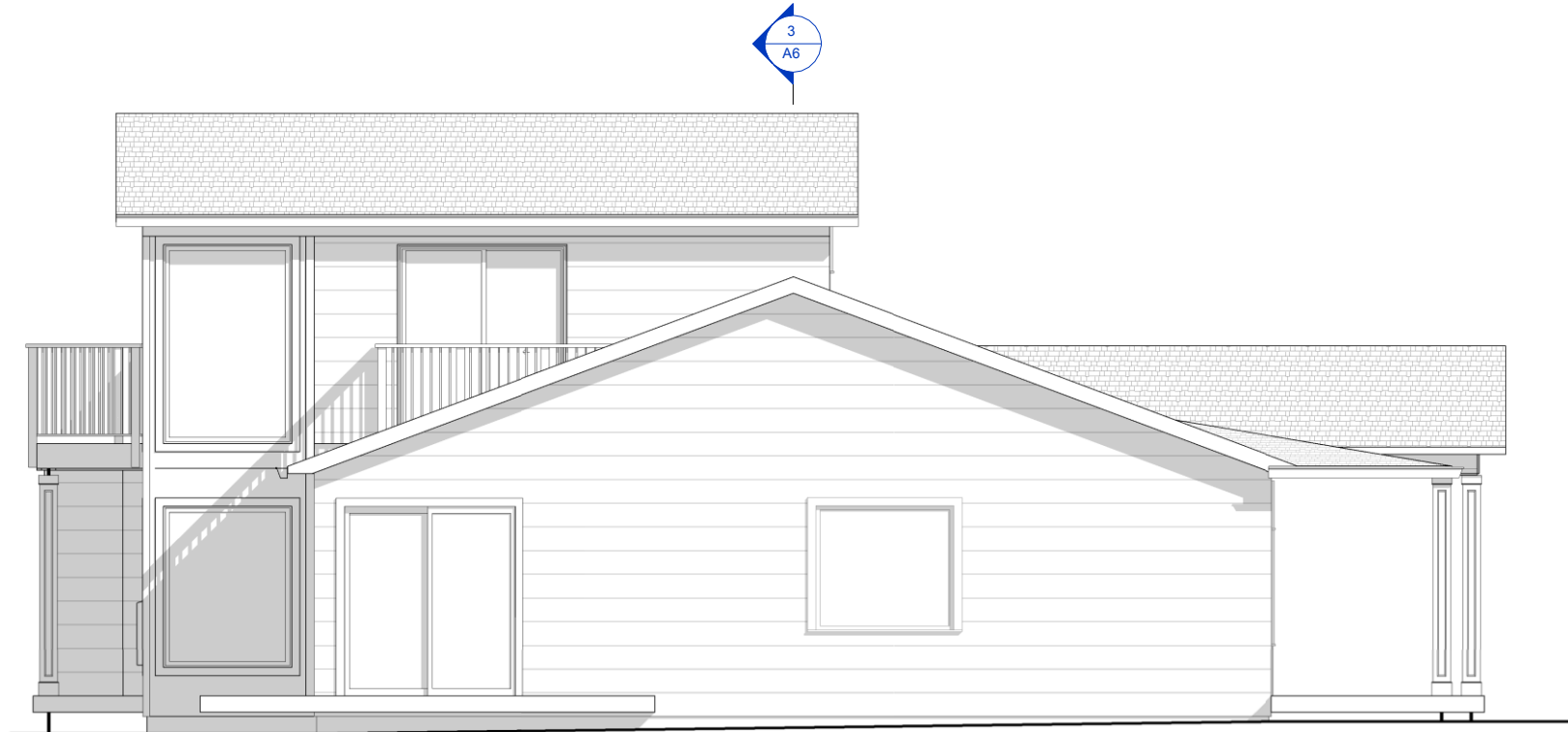
1 EAST ELEVATION - PROPOSED
1/4" = 1'-0"



2 WEST ELEVATION - PROPOSED
1/4" = 1'-0"



3 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"



4 SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"

A:\802\Henehan 2016\HENEHAN_C02.rvt

3/31/16 12:32:13 PM

PHOTO # 2

VIEW FROM VIKING STRAND - FURTHER NORTH



PHOTO # 1

VIEW FROM VIKING STRAND - ACROSS STREET



5005 VIKING STRAND

INITIAL DESIGN:

Care was taken in the design process to mass the 2nd level addition in such a way that it would not obstruct any neighboring views of the ocean.

CURRENT CONDITIONS
PROPOSED CONDITIONS



The design team identified several locations on public roads that could potentially impact surrounding views, we then designed the addition such that the 'mass' of the addition was in the 'middle' of the existing house - which essentially left the neighboring views of the ocean unchanged.

PHOTO # 4

VIEW FROM HWY 1 - FROM SOUTH



PHOTO # 3

VIEW FROM VIKING STRAND - UP THE ROAD



CURRENT CONDITIONS
PROPOSED CONDITIONS



ADDITIONAL DESIGN REVISION:

After receiving a picture from the neighbor's yard that illustrated how their view may be affected by the initial design of the project, we've revised the roofline in an effort to minimize the impact on any slice of ocean view.

The south gable as initially designed does not impact the view as it currently is, so there was no need to modify that roofline.

The north end roof of the upper level however, (when a straight gable) does clip the lower portion of the ocean view between the two trees as seen in the images to the left. (The RED triangle indicates the area of roof that would impact the view.)

We revised that roofline to a 'hip' condition at the north end, so that the roof slopes down (similarly to the way the existing tree currently slopes) in an effort to keep that view as consistent with the current conditions as possible.



CURRENT CONDITIONS



INITIAL PROPOSAL (CONTINUATION OF ROOF SHOWN IN RED)



REVISED PROPOSAL (SLOPE ROOF TO PRESERVE SLICE OF OCEAN VIEW)



COUNTY OF SONOMA

PERMIT AND RESOURCE MANAGEMENT DEPARTMENT

2550 Ventura Avenue, Santa Rosa, CA 95403
(707) 565-1900 FAX (707) 565-1103

May 19, 2015

To: Interested Agencies

The following application has been filed with the Sonoma County Permit and Resource Management Department.

File Number: CPH15-0009
Applicant Name: Danny Strening
Owner Name: James and Anne Heneghan
Site Address: 5005 Viking Strand, Bodega Bay
APN: 101-060-008

Project Description: Request for a Coastal Permit with hearing for a 640 square foot second floor addition, two new roof decks, new covered patio and remodeled porch to an existing single family dwelling on a 0.25 acre parcel.

We are submitting the above application for your review and recommendation. Additional information is on file in this office.

Responses to referrals should include: (1) statement of any environmental concerns or uncertainties your agency may have with the project; (2) any comments you wish to make regarding the merits of the project; and (3) your proposed conditions and mitigations for this project. Responsible agencies under CEQA are requested to indicate whether permits will be required for this project.

Your comments will be appreciated by June 9, 2015, and should be sent to the attention of:

CPH15-0009, Jennifer Faso (Jennifer.Faso@sonoma-county.org). The Project Planner can also be reached at 707-565-1683.

Please send a copy of your comments to the applicant(s) or their representatives as indicated on the attached Planning Application.

- | | |
|--|---|
| <input type="checkbox"/> PRMD County Surveyor | <input checked="" type="checkbox"/> BOS Dist 5 Director and Commissioners |
| <input type="checkbox"/> Health Specialist | <input type="checkbox"/> SVCAC |
| <input checked="" type="checkbox"/> Sanitation | <input type="checkbox"/> Valley of the Moon Alliance and Kenwood Press |
| <input type="checkbox"/> Grading and Storm Water | <input type="checkbox"/> NW Information Center, S.S.U. |
| <input checked="" type="checkbox"/> SUSMP | <input type="checkbox"/> Milo Baker Chapter Conservation Committee |
| <input type="checkbox"/> Building Inspection | <input type="checkbox"/> PG&E |
| <input type="checkbox"/> Code Enforcement | <input type="checkbox"/> School District - |
| <input type="checkbox"/> Road Naming | <input type="checkbox"/> Water District - |
| <input type="checkbox"/> So. Co. Environmental Health | <input checked="" type="checkbox"/> North Bay Corporation (Disposal) |
| <input type="checkbox"/> DTPW, Land Development | <input checked="" type="checkbox"/> State Coastal Commission - Appealable |
| <input type="checkbox"/> DTPW, Drainage | <input checked="" type="checkbox"/> Western Sonoma County Rural Alliance |
| <input type="checkbox"/> Ag Commissioner | <input checked="" type="checkbox"/> State Dept of Water Resources Control Board |
| <input checked="" type="checkbox"/> Regional Parks Dept | <input checked="" type="checkbox"/> State Parks and Recreation-Duncans Mills Office |
| <input checked="" type="checkbox"/> Fire and Emergency Services | <input checked="" type="checkbox"/> Regional Water QCB: North Coast |
| <input checked="" type="checkbox"/> Local Fire District - Bodega Bay FPD | <input checked="" type="checkbox"/> Bodega Bay Concerned Citizens |
| <input type="checkbox"/> Treasurer/Special Assessment | <input checked="" type="checkbox"/> Bodega Bay Alliance |
| <input type="checkbox"/> Assessor | <input checked="" type="checkbox"/> Sonoma MOAG |
| <input checked="" type="checkbox"/> Economic Development Board | <input checked="" type="checkbox"/> Apple Roots Group |
| <input checked="" type="checkbox"/> Transit/BPAC | <input checked="" type="checkbox"/> Cloverdale Rancheria Band of Pomo Indians |
| <input checked="" type="checkbox"/> SCTA/RCPA | <input checked="" type="checkbox"/> Mishewal Wappo Tribe |
| <input type="checkbox"/> Communications | <input checked="" type="checkbox"/> Lytton Band of Pomo Indians |
| <input type="checkbox"/> Landmarks Commission | <input checked="" type="checkbox"/> Federated Indians of Graton Rancheria |
| <input type="checkbox"/> Sheriff Community Service Officer | |
| <input type="checkbox"/> LAFCO | |
| <input type="checkbox"/> ALUC/CLUP | |

A-2-SON-16-0093

Exhibit 5

1 of 21

Planning Application

PJR-001

File#:

CPAIS-0009

Type of Application:

- | | | | |
|---|--|---|--------------------------------------|
| <input type="checkbox"/> Admin Cert. Compliance | <input type="checkbox"/> Design Review Comm./Ind. | <input type="checkbox"/> Minor Subdivision | <input type="checkbox"/> Variance |
| <input type="checkbox"/> Ag./Timber Preserve/Contract | <input type="checkbox"/> Design Review Residential | <input type="checkbox"/> Mobile Home Zoning Permit | <input type="checkbox"/> Zone Change |
| <input type="checkbox"/> Cert. of Compliance | <input type="checkbox"/> Design Review Signs | <input type="checkbox"/> Ordinance Interpretation | <input type="checkbox"/> Other: |
| <input type="checkbox"/> Cert. of Modification | <input type="checkbox"/> General Plan Amendment | <input type="checkbox"/> Second Unit Permit | |
| <input checked="" type="checkbox"/> Coastal Permit | <input type="checkbox"/> Lot Line Adjustment | <input type="checkbox"/> Specific/Area Plan Amendment | |
| <input type="checkbox"/> Design Review Admin. | <input type="checkbox"/> Major Subdivision | <input type="checkbox"/> Use Permit | |

Applicant (Contact Person):

Daniel J Strening

Name

2027 Nordyke Ave.

Mailing Address

Santa Rosa

CA

95401

City/Town

State

Zip

707-953-2370

Phone

Fax

daniel@streningarchitect.com

email

Signature

Date

4.23.15

Owner, if other than Applicant:

Anne and Jim Heneghan

Name

5005 Viking Strand

Mailing Address

Bodega Bay

CA

94923

City/Town

State

Zip

Phone

Fax

email

Signature

Date

303 541 5869

jim.heneghan@4d@yahoo.com

4-23-15

Other Persons to be Notified: (Specify: Other Owner(s), Agent, Lender, Architect, Engineer, Surveyor)

Name

Name

Name

Mailing Address

Mailing Address

Mailing Address

City/Town

State Zip

City/Town

State Zip

City/Town

State Zip

Title

Title

Title

Phone

Fax

Phone

Fax

Phone

Fax

email

email

email

Project Information:

5005 Viking Strand

Bodega Bay

Address(es)

101-060-008

City/Town

0.254

Assessor's Parcel Number(s)

Acreage

Project consists of a 640 SF addition of a second floor on an existing 1750 SF residence. Project also includes two roof deck areas and covered porches. (See application for more info.)

Project Description:

(Please attach additional sheet(s) if needed)

Site Served by Public Water? ☒ Yes ☐ No

Site Served by Public Sewer? ☐ Yes ☒ No

Number of new lots proposed

DO NOT WRITE BELOW THIS LINE - To Be Completed by PRMD Staff

Planning Area:

Supervisorial District:

Current Zoning:

General Plan Land Use:

Specific Plan:

S.P. Land Use:

Needs CEQA Review? ☐ yes ☒ no

Commercial/Industrial Uses: (Enter numbers where applicable)

Bldg. sq. ft. Existing: Proposed: Existing Employees: New Employees:

New Manufactured Homes: New Units For Sale: New Units For Rent: Density Bonus Units:

Violation? ☐ yes ☒ no; Application resolve planning violation? ☐ yes ☒ no; Penalty applicable? ☐ yes ☒ no; Civil Penalty Factor

Previous Files:

Application accepted by

Date

Sonoma County Permit and Resource Management Department

2550 Ventura Avenue ♦ Santa Rosa, CA ♦ 95403-2829 ♦ (707) 565-1900 ♦ Fax (707) 565-1103

Carrie Muller

S:\Handouts\PJR\PJR-001 Planning Application.WPD

11/13/09

A-2-SON-16-0093

Exhibit 5

2 of 21

Supplemental Application Information

Existing use of property: Single Family Residence (1750 SF)

Acreage: 0.254

Existing structures on property: One single Family Dwelling (1750 SF)

Proximity to creeks, waterways and impoundment areas: _____

Vegetation on site: Two trees and grass.

General topography: Flat site

Surrounding uses to
(Note: An adjoining
road is not a use.)

North: residence

South: residence

East: residence

West: residence

New structures proposed
(size, height, type):

Second floor addition to an existing single story house. Existing roof line is at 16'-10" above grade. Proposed roof line will be at 21'-10" above grade.

Number of employees: Full time: _____ Part time: _____ Seasonal: _____

Operating days: _____ Hours of operation: _____

Number of vehicles per day: Passenger: _____ Trucks: _____

Water source: _____ Sewage disposal: _____

Provider, if applicable: _____ Provider, if applicable: _____

New noise sources

(compressors, power tools, music, etc.): _____

Grading proposed: Amount of cut (cu. yds.): 0 Amount of fill (cu. yds.): 0 Will more than one acre be disturbed by construction of access roads, site preparation and clearing, fill or excavation, building removal, building construction, equipment staging and maintenance, or other activities? Yes _____ No X If Yes, indicate area of disturbance(acres): _____
Identify method of site drainage (sheet flow, storm drain, outflow to creek or ditch, detention area, etc.): _____

Vegetation to be removed: None

Will proposal require annexation to a district in order to obtain public services: Yes _____ No X

Are there currently any hazardous materials (chemicals, oils, gasoline, etc.) stored, used or processed on this site? Yes _____ No X

Will the use, storage, or processing of hazardous materials occur on this site in the future if this project is authorized? Yes _____ No X

Fire safety information (existing/proposed water tanks, hydrants, emergency access and turnaround, building materials, etc.): pre-existing development on site and surrounding lots.

Coastal Permit Application Supplemental Information

PURPOSE:

This form is to be completed by applicants in order to provide additional information regarding a Coastal Permit application. The more details that are provided, the easier it will be to promptly process the Coastal Permit application. Please answer all questions. Indicate "Not Applicable" or "N/A" for those questions which do not pertain to the proposed project. It is important that applicants provide complete answers to all questions.

1. Are there existing structures or improvements on the property? ☒ Yes ☐ No
If yes, describe below and identify the use and size of each structure or improvement.

Property has an existing 1,740 SF residence on the parcel with an attached 420 SF garage.

There is an existing Class III septic system that serves the property on the western edge of the site.

2. Describe the project and include structure sizes(s) (in square feet), improvements such as wells, septic systems, grading, vegetation removal, roads, driveways, propane tanks, oil tanks, water storage tanks, solar panels, etc.

Project consists of a 640 SF addition which includes new stairs to a new second level with two sitting room areas. Project also includes two new roof decks, a covered patio, and a remodeled front porch.

Downspouts and new improvements will use existing drainage patterns of site - there are minimal changes to footprint of existing residence.

3. Is any grading or road/driveway construction planned? ☐ Yes ☒ No

Estimate the amount of grading in cubic yards: _____

If greater than 50 cubic yards or if greater than 2 feet of cut or 1 foot of fill will result, a grading plan and permit will be required.

Estimate the length of the proposed road/driveway: _____ feet.

4. Will vegetation be removed on areas other than the building sites and roads?

☐ Yes ☒ No

If yes, explain: _____

5. Are there any water courses, anadromous fish streams, sand dunes, rookeries, marine mammal haul-out areas, wetlands, riparian areas, rare or endangered plants, animals or habitat which support rare and endangered species located on the project site or within 100 feet of the project site? If yes explain:

6. How many trees will be removed to implement the project: _____. Indicate on the site plan all trees to be removed which are greater than 9 inches in diameter (measured four feet from the ground). If applicable, please indicate on the site plan the size, location and species of all on-site trees that provide screening from public view areas.

7. Will the proposed development be visible from:

- ☐ A. State Highway 1? ☒ Yes ☐ No
☐ B. Other Scenic Corridor? (see list below) ☐ Yes ☐ No
☐ C. Park, beach, or recreation area? ☐ Yes ☐ No

If you answered yes, explain _____

Project is on Viking Strand, and is one lot east of HWY 1. Consequently it can be seen by drivers on HWY 1.

Scenic Corridors: Stewarts Point-Skaggs Springs Road, Fort Ross Road, Myers Grade/Seaview Road, Highway 116, Willow Creek (paved portion), Coleman Valley Road, Bay Hill Road, Bodega Highway and Petaluma-Valley Ford Road.

8. Height of structure(s) in feet (measured from average grade to the highest point of the structure). Identify height of building(s) on architectural elevations:

Existing Residence: 16'-10" grade to existing roof ridge. Proposed Improvements: 21'-10" grade to new roof ridge.

9. Describe all exterior materials and colors of all proposed structures

Siding material	<u>Fiber Cement Slat Siding</u>	Color	<u>Grey</u>
Trim material	<u>Fiber Cement Trim</u>	Color	<u>White</u>
Chimney material	<u>Brick</u>	Color	<u>Natural</u>
Roofing material	<u>Asphalt Shingle</u>	Color	<u>Grey</u>
Window frame material	<u>Aluminum Clad</u>	Color	<u>White</u>
Door material	<u>Aluminum Clad</u>	Color	<u>White</u>

A-2-SON-16-0093

Fencing material none Color _____
Retaining wall material none Color _____
Other exterior materials Copper Gutters Color Weathered Copper

10. Will there be any new exterior lighting? ☒ Yes ☐ No
If yes, provide lighting details and specifications for all exterior lighting fixtures. All lighting fixtures must be downcast and shielded to prevent light and glare beyond the parcel boundaries. Identify the location of all exterior lighting on the site plan or building plan.

All exterior lights are recessed lights under cover: front porch and back patio cover.

11. If the project is commercial, industrial, or institutional, complete the following:

Total square footage of all structures: _____

Estimated employees per shift: _____

Estimated shifts per day: _____

Type of loading facilities proposed: _____

Will the proposed project be phased? ☐ Yes ☐ No

If Yes, explain your plans for phasing: _____

Parking will be provided as follows:

Number of Spaces:

Existing: _____ Proposed: _____ Total: _____

Number of standard spaces: _____ Size: _____

Number of handicapped spaces: _____ Size: _____

12. What will be the method of sewage disposal?

☐ Community sewage system, specify _____

☒ Septic Tank (indicate primary and replacement leachfields on plot plan)

☐ Other, specify _____

A-2-SON-16-0093

13. What will be the domestic water source?

☒ Community water system, specify supplier: _____

☐ Well ☐ On-site ☐ Off-site

☐ Spring ☐ On-site ☐ Off-site

☐ Other, specify _____

14. Utilities will be supplied to the site as follows:

Electricity:

☒ Utility Company (service exists to the parcel)

☐ Utility Company requires extension of services to site: _____ feet _____ miles

☐ On Site generation, Specify: _____

☐ None

Gas:

☒ Utility Company/Tank

☐ None

MEMO

TO: County of Sonoma Planning Dept.
FROM: Daniel J. Strening, AIA
DATE: 04.22.15
RE: Project Narrative for residential improvements to:
5005 Viking Strand, Bodega Bay CA

This memorandum (together with the drawing submittal) describes the proposed addition and remodel project for 5005 Viking Strand for a basis of determination for Coastal Permit approval.

The proposed project is an addition to an existing residence at 5005 Viking Strand, Bodega Bay. The existing residence is 1,750 SF with an attached 420 SF garage.

The proposed project consists of:

- a 640 SF addition (which includes interior stairs) to two second story sitting rooms.
- two new roof decks on the back (west) side of the residence
- a covered patio on the back (west) side of the residence
- a remodeled porch on the front (east) side of the residence.

The existing roof ridgeline is +/- 16'-10" above grade, and the new addition proposes to raise the roof ridgeline of an area above the back (west) side of the residence to +/- 21'-10".

Great care was taken in the design of the addition to keep the addition within the middle and rear portion of the house, such as not to disturb any neighboring views - as well as blend the addition into the existing fabric of the house. The design also accomplishes the second story, while still remaining significantly lower than the allowed 24'-0" to roof ridgeline.

There is no grading proposed for the new addition, consequently the new downspouts and other drainage will make use of existing drainage patterns of the developed site.

The exterior lighting that will be added as part of the project will be recessed lighting in the soffits of the proposed patio canopy and front porch remodel. (As a result they will all be downcast and shielded.)

The exterior materials of the project (see submittal sheet A9) will be fiber cement slat siding (painted grey) with fiber cement trim (painted white). The roof will be a grey asphalt shingle, and the gutters and flashing will be weathered copper. These materials will blend and become part of the landscape as they patina.

Thank you for considering this application for a coastal permit.

Please let me know if anyone has any questions.

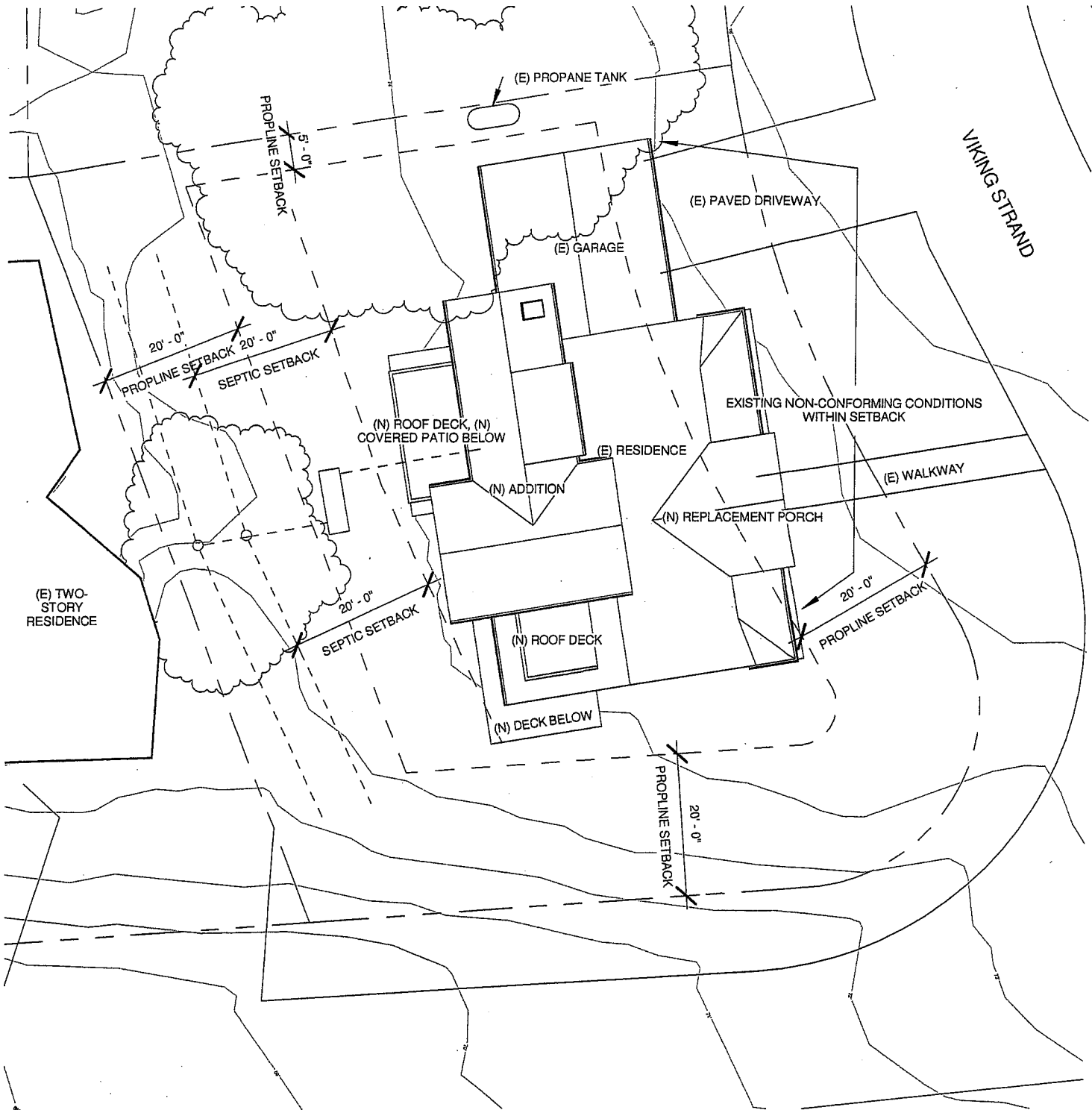


Daniel J. Strening, AIA

HENEGHAN RESIDENCE

5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

STRENING ARCHITECTS



1

SITE PLAN - REDUCED

1" = 20'-0"



DANIEL J. STERNING,
ARCHITECT
2027 NORDWAY AVE.
SANTA ROSA, CA 95401
Tel 707.853.2370
www.danieldjsterning.com



HENEAGHAN RESIDENCE

5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

DATE
HENEAGHAN

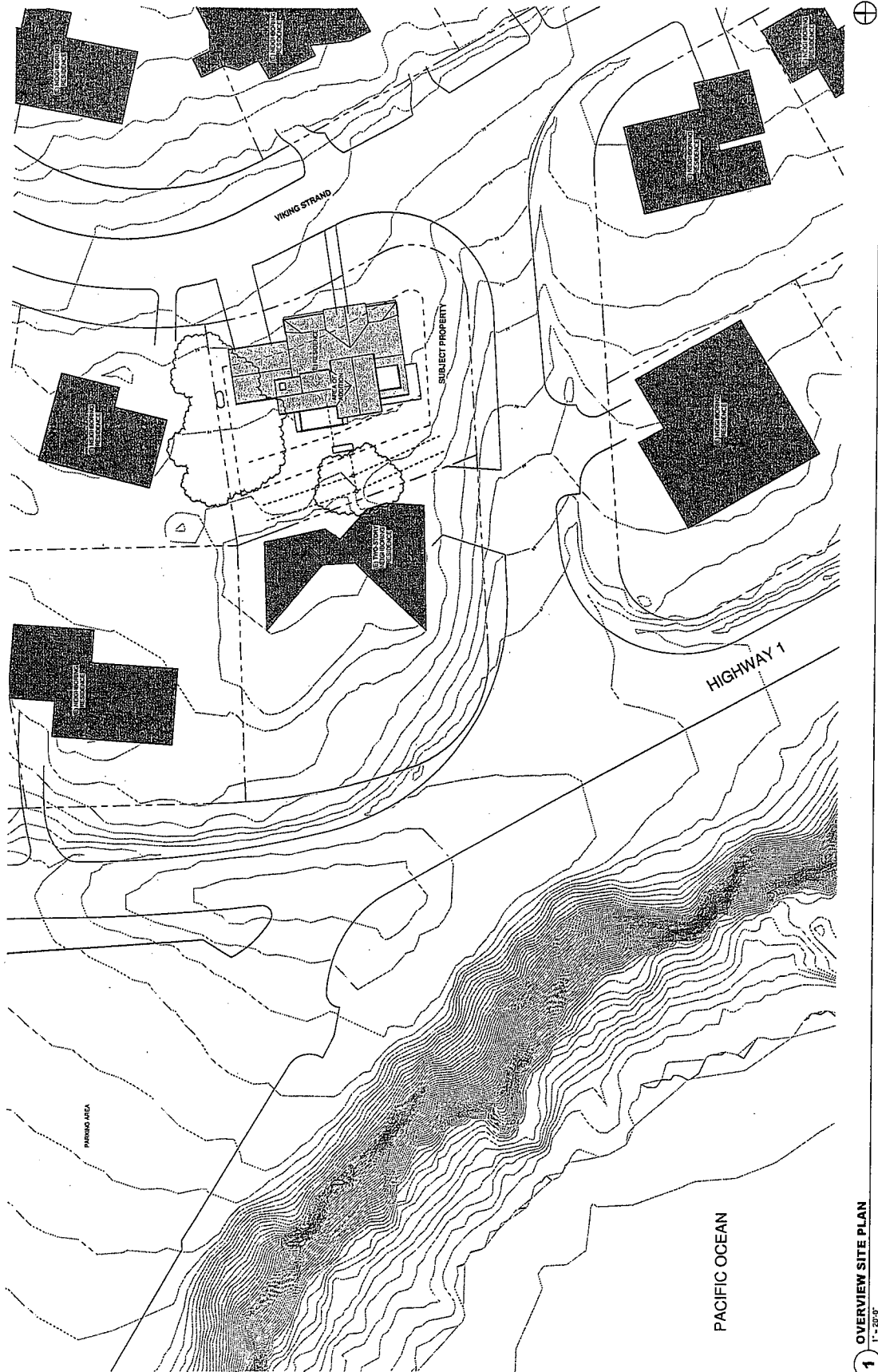
REVISIONS

PROJECT NUMBER
5005 VIKING STRAND

COASTAL
COMMISSION

SHEET NAME
OVERVIEW SITE
PLAN

SHEET NUMBER
A1



PACIFIC OCEAN

HIGHWAY 1

VIKING STRAND

SUBJECT PROPERTY

PARKING AREA

OVERVIEW SITE PLAN
1" = 20' 0"

A-2-SON-16-0093

Exhibit 5

11 of 21

ALL DIMENSIONS ARE ESTIMATES OF APPROXIMATE VALUES. THE USER ASSUMES ALL LIABILITY FOR ANY ERRORS OR OMISSIONS.

DANIEL J. STREIBING,
ARCHITECT
2007 ROCKAWAY BLVD.
SANTA ROSA, CA 95401
TEL: 707.553.2270
www.streibingarchitect.com



HENEGHAN RESIDENCE

5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-050-008

CLIENT
HENEAGHAN

REVISIONS

PROJECT NUMBER

ISSUE DATE
04-23-15

COASTAL
COMMISSION

SHEET NAME
ENLARGED SITE
PLAN

SHEET NUMBER
A2



THIS PLAN AND ANY ATTACHMENTS TO IT ARE THE PROPERTY OF DANIEL J. STREIBING ARCHITECT. NO PART OF THIS PLAN OR ANY ATTACHMENTS TO IT MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM DANIEL J. STREIBING ARCHITECT.

A-2-SON-16-0093

Exhibit 5

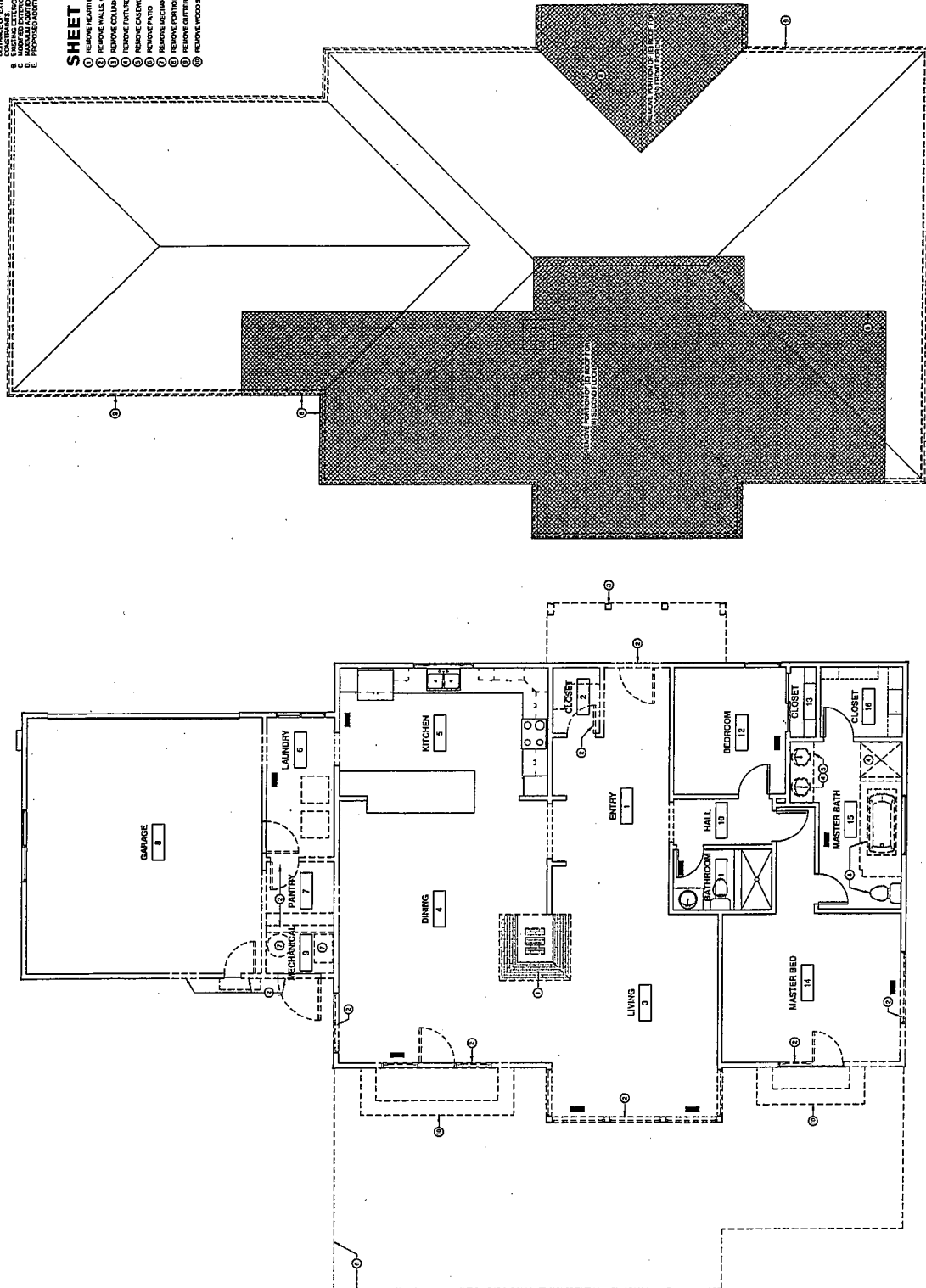
12 of 21

GENERAL SHEET NOTES

- A. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- B. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- C. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- D. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- E. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- F. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- G. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- H. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- I. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- J. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- K. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- L. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- M. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- N. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- O. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- P. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- Q. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- R. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- S. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- T. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- U. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- V. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- W. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- X. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- Y. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC
- Z. DEMOLITION OF EXTERIOR WALL NOT PERMITTED DUE TO SEPTIC

SHEET KEYNOTES

1. REMOVE EXTERIOR WALL, OPENING AS SHOWN
2. REMOVE EXTERIOR WALL, OPENING AS SHOWN
3. REMOVE EXTERIOR WALL, OPENING AS SHOWN
4. REMOVE EXTERIOR WALL, OPENING AS SHOWN
5. REMOVE EXTERIOR WALL, OPENING AS SHOWN
6. REMOVE EXTERIOR WALL, OPENING AS SHOWN
7. REMOVE EXTERIOR WALL, OPENING AS SHOWN
8. REMOVE EXTERIOR WALL, OPENING AS SHOWN
9. REMOVE EXTERIOR WALL, OPENING AS SHOWN
10. REMOVE EXTERIOR WALL, OPENING AS SHOWN
11. REMOVE EXTERIOR WALL, OPENING AS SHOWN
12. REMOVE EXTERIOR WALL, OPENING AS SHOWN
13. REMOVE EXTERIOR WALL, OPENING AS SHOWN
14. REMOVE EXTERIOR WALL, OPENING AS SHOWN
15. REMOVE EXTERIOR WALL, OPENING AS SHOWN
16. REMOVE EXTERIOR WALL, OPENING AS SHOWN
17. REMOVE EXTERIOR WALL, OPENING AS SHOWN
18. REMOVE EXTERIOR WALL, OPENING AS SHOWN
19. REMOVE EXTERIOR WALL, OPENING AS SHOWN
20. REMOVE EXTERIOR WALL, OPENING AS SHOWN
21. REMOVE EXTERIOR WALL, OPENING AS SHOWN
22. REMOVE EXTERIOR WALL, OPENING AS SHOWN
23. REMOVE EXTERIOR WALL, OPENING AS SHOWN
24. REMOVE EXTERIOR WALL, OPENING AS SHOWN
25. REMOVE EXTERIOR WALL, OPENING AS SHOWN
26. REMOVE EXTERIOR WALL, OPENING AS SHOWN
27. REMOVE EXTERIOR WALL, OPENING AS SHOWN
28. REMOVE EXTERIOR WALL, OPENING AS SHOWN
29. REMOVE EXTERIOR WALL, OPENING AS SHOWN
30. REMOVE EXTERIOR WALL, OPENING AS SHOWN
31. REMOVE EXTERIOR WALL, OPENING AS SHOWN
32. REMOVE EXTERIOR WALL, OPENING AS SHOWN
33. REMOVE EXTERIOR WALL, OPENING AS SHOWN
34. REMOVE EXTERIOR WALL, OPENING AS SHOWN
35. REMOVE EXTERIOR WALL, OPENING AS SHOWN
36. REMOVE EXTERIOR WALL, OPENING AS SHOWN
37. REMOVE EXTERIOR WALL, OPENING AS SHOWN
38. REMOVE EXTERIOR WALL, OPENING AS SHOWN
39. REMOVE EXTERIOR WALL, OPENING AS SHOWN
40. REMOVE EXTERIOR WALL, OPENING AS SHOWN
41. REMOVE EXTERIOR WALL, OPENING AS SHOWN
42. REMOVE EXTERIOR WALL, OPENING AS SHOWN
43. REMOVE EXTERIOR WALL, OPENING AS SHOWN
44. REMOVE EXTERIOR WALL, OPENING AS SHOWN
45. REMOVE EXTERIOR WALL, OPENING AS SHOWN
46. REMOVE EXTERIOR WALL, OPENING AS SHOWN
47. REMOVE EXTERIOR WALL, OPENING AS SHOWN
48. REMOVE EXTERIOR WALL, OPENING AS SHOWN
49. REMOVE EXTERIOR WALL, OPENING AS SHOWN
50. REMOVE EXTERIOR WALL, OPENING AS SHOWN
51. REMOVE EXTERIOR WALL, OPENING AS SHOWN
52. REMOVE EXTERIOR WALL, OPENING AS SHOWN
53. REMOVE EXTERIOR WALL, OPENING AS SHOWN
54. REMOVE EXTERIOR WALL, OPENING AS SHOWN
55. REMOVE EXTERIOR WALL, OPENING AS SHOWN
56. REMOVE EXTERIOR WALL, OPENING AS SHOWN
57. REMOVE EXTERIOR WALL, OPENING AS SHOWN
58. REMOVE EXTERIOR WALL, OPENING AS SHOWN
59. REMOVE EXTERIOR WALL, OPENING AS SHOWN
60. REMOVE EXTERIOR WALL, OPENING AS SHOWN
61. REMOVE EXTERIOR WALL, OPENING AS SHOWN
62. REMOVE EXTERIOR WALL, OPENING AS SHOWN
63. REMOVE EXTERIOR WALL, OPENING AS SHOWN
64. REMOVE EXTERIOR WALL, OPENING AS SHOWN
65. REMOVE EXTERIOR WALL, OPENING AS SHOWN
66. REMOVE EXTERIOR WALL, OPENING AS SHOWN
67. REMOVE EXTERIOR WALL, OPENING AS SHOWN
68. REMOVE EXTERIOR WALL, OPENING AS SHOWN
69. REMOVE EXTERIOR WALL, OPENING AS SHOWN
70. REMOVE EXTERIOR WALL, OPENING AS SHOWN
71. REMOVE EXTERIOR WALL, OPENING AS SHOWN
72. REMOVE EXTERIOR WALL, OPENING AS SHOWN
73. REMOVE EXTERIOR WALL, OPENING AS SHOWN
74. REMOVE EXTERIOR WALL, OPENING AS SHOWN
75. REMOVE EXTERIOR WALL, OPENING AS SHOWN
76. REMOVE EXTERIOR WALL, OPENING AS SHOWN
77. REMOVE EXTERIOR WALL, OPENING AS SHOWN
78. REMOVE EXTERIOR WALL, OPENING AS SHOWN
79. REMOVE EXTERIOR WALL, OPENING AS SHOWN
80. REMOVE EXTERIOR WALL, OPENING AS SHOWN
81. REMOVE EXTERIOR WALL, OPENING AS SHOWN
82. REMOVE EXTERIOR WALL, OPENING AS SHOWN
83. REMOVE EXTERIOR WALL, OPENING AS SHOWN
84. REMOVE EXTERIOR WALL, OPENING AS SHOWN
85. REMOVE EXTERIOR WALL, OPENING AS SHOWN
86. REMOVE EXTERIOR WALL, OPENING AS SHOWN
87. REMOVE EXTERIOR WALL, OPENING AS SHOWN
88. REMOVE EXTERIOR WALL, OPENING AS SHOWN
89. REMOVE EXTERIOR WALL, OPENING AS SHOWN
90. REMOVE EXTERIOR WALL, OPENING AS SHOWN
91. REMOVE EXTERIOR WALL, OPENING AS SHOWN
92. REMOVE EXTERIOR WALL, OPENING AS SHOWN
93. REMOVE EXTERIOR WALL, OPENING AS SHOWN
94. REMOVE EXTERIOR WALL, OPENING AS SHOWN
95. REMOVE EXTERIOR WALL, OPENING AS SHOWN
96. REMOVE EXTERIOR WALL, OPENING AS SHOWN
97. REMOVE EXTERIOR WALL, OPENING AS SHOWN
98. REMOVE EXTERIOR WALL, OPENING AS SHOWN
99. REMOVE EXTERIOR WALL, OPENING AS SHOWN
100. REMOVE EXTERIOR WALL, OPENING AS SHOWN



2 ROOF PLAN - DEMOLITION
1/4" = 1'-0"

1 FIRST FLOOR PLAN - DEMOLITION
1/4" = 1'-0"

DANIEL J. STEINBERG,
ARCHITECT
3001 WILSON AVENUE
SANTA ROSA, CA 95401
Tel 707.553.2770
www.danielsteinberg.com



HENEGHAN RESIDENCE

5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

CREDIT
HENEGHAN

REVISIONS

PROJECT NUMBER
ISSUE DATE
8-25-15

COASTAL
COMMISSION

SHEET NAME
DEMOLITION
PLANS

SHEET NUMBER
A3

THIS PLAN AND ALL INFORMATION HEREON ARE THE PROPERTY OF DANIEL J. STEINBERG, ARCHITECT. NO PART OF THIS PLAN OR ANY INFORMATION HEREON MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM DANIEL J. STEINBERG, ARCHITECT.

GENERAL SHEET NOTES

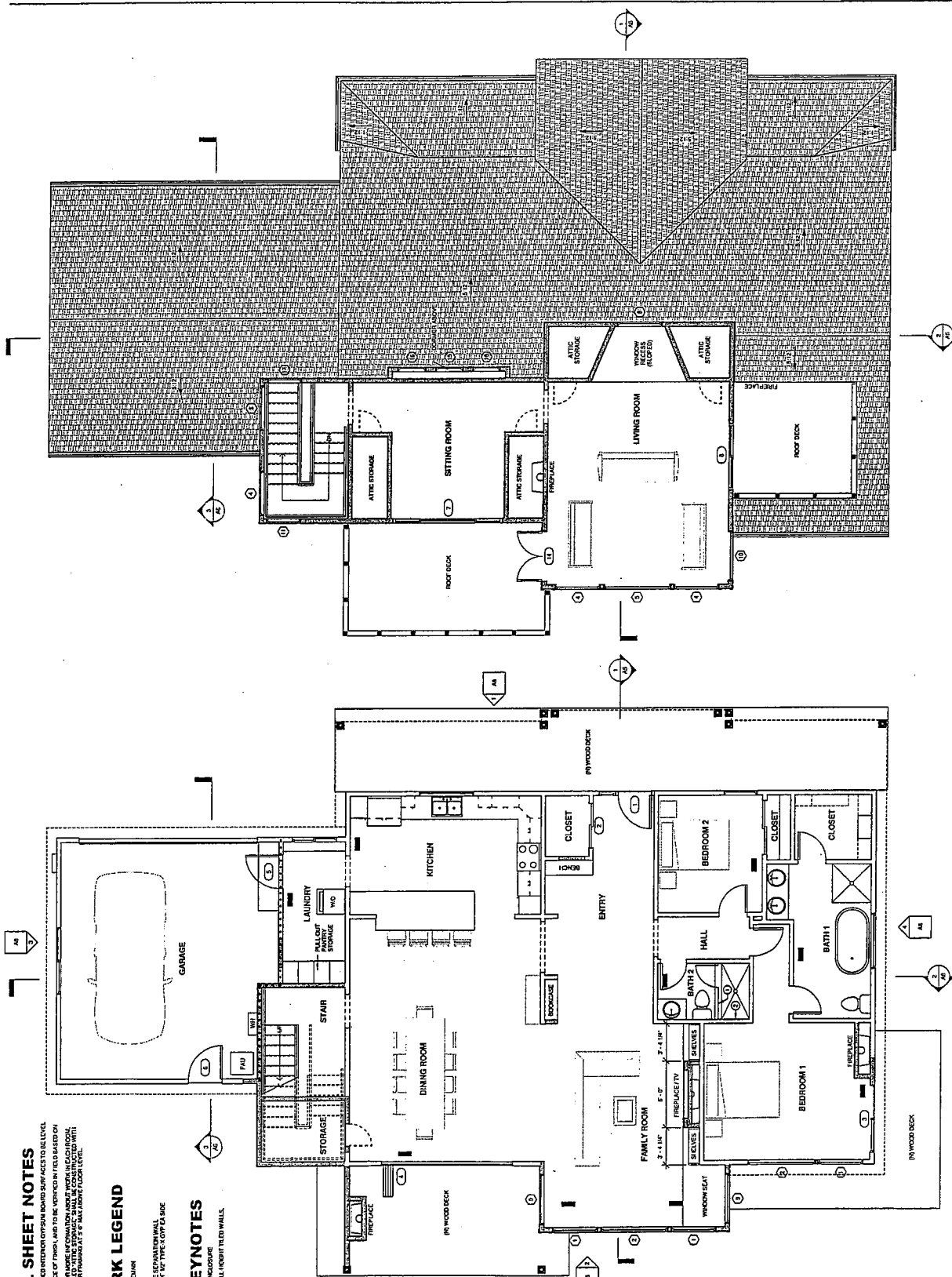
- ALL NEW INTERIOR FINISHES TO BE SHOWN ON THIS SHEET.
- ALL NEW INTERIOR FINISHES TO BE SHOWN ON THIS SHEET.
- ALL NEW INTERIOR FINISHES TO BE SHOWN ON THIS SHEET.
- ALL NEW INTERIOR FINISHES TO BE SHOWN ON THIS SHEET.
- ALL NEW INTERIOR FINISHES TO BE SHOWN ON THIS SHEET.

NEW WORK LEGEND

- EXISTING TO REMAIN
- NEW WORK
- REMOVE EXISTING WALL
- REMOVE EXISTING WALL
- REMOVE EXISTING WALL

SHEET KEYNOTES

- NEW GLASS SHOW ENCLOSURE
- NEW GLASS SHOW ENCLOSURE
- NEW GLASS SHOW ENCLOSURE



FIRST FLOOR PLAN - PROPOSED

1/4" = 1'-0"

SECOND FLOOR PLAN - PROPOSED

1/4" = 1'-0"

A-2-SON-16-009

Exhibit 5

14 of 21

DANIEL J. STRENNING
ARCHITECT
3000 AVENUE
SANTA ROSA, CA 95601
Tel 707.983.2270
www.danieldjstrenning.com



HENEGHAN RESIDENCE

5005 VIKING STRAND
BOHEMIA, CA 94923
APN: 101-060-008

CLIENT
HENEGHAN

REVISIONS

PROJECT NUMBER
HNEGHAN
16-009

COASTAL
COMMISSION
SHEET NAME
FLOOR PLANS

SHEET NUMBER
A4

NOTES: 1. ALL DIMENSIONS ARE TO FACE UNLESS NOTED OTHERWISE. 2. ALL FINISHES ARE TO BE SHOWN ON THIS SHEET. 3. ALL NEW INTERIOR FINISHES TO BE SHOWN ON THIS SHEET. 4. ALL NEW INTERIOR FINISHES TO BE SHOWN ON THIS SHEET. 5. ALL NEW INTERIOR FINISHES TO BE SHOWN ON THIS SHEET.

DANIEL J. STEINBERG,
ARCHITECT
2027 NORDEN AVENUE
SANTA ROSA, CA 95401
Tel: 707.553.2370
www.dansteinhgarchitect.com



HENEGHAN RESIDENCE

5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

DATE
10/20/2016

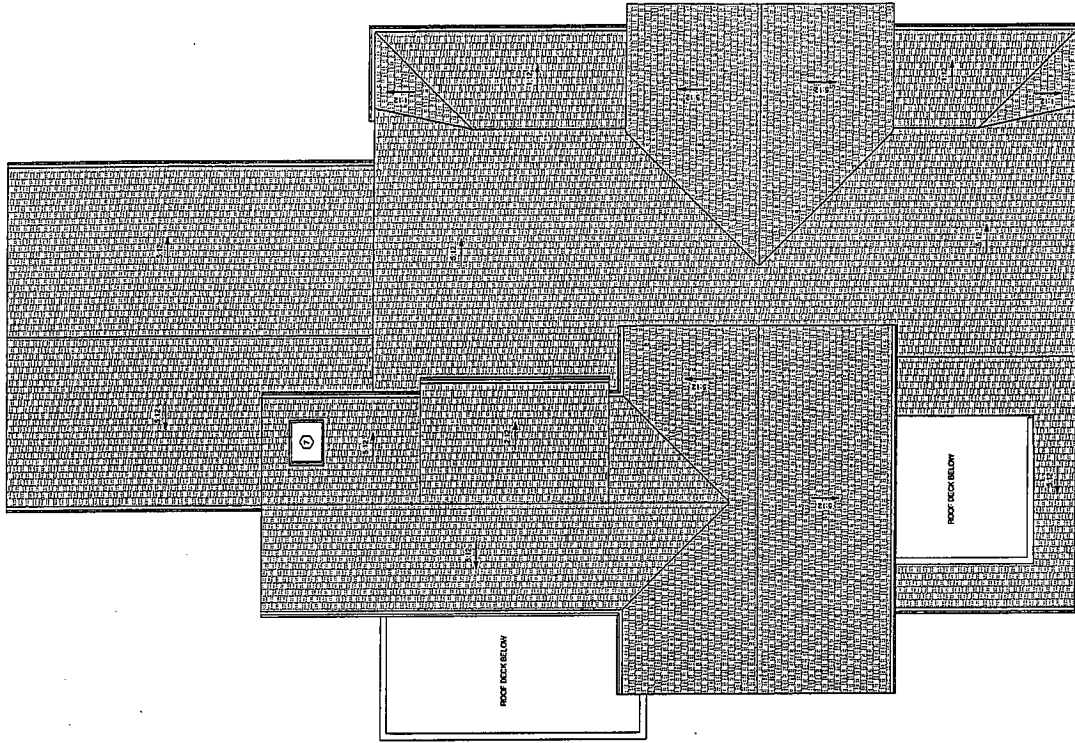
REVISIONS

PROJECT NUMBER
101-060-008

COASTAL
COMMISSION

SHEET NAME
ROOF PLAN

SHEET NUMBER
A5



1 ROOF PLAN - PROPOSED
1/4" = 1'-0"

THIS DRAWING IS THE PROPERTY OF DANIEL J. STEINBERG ARCHITECT. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREON. IT IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF DANIEL J. STEINBERG ARCHITECT.

A-2-SON-16-0093

Exhibit 5

15 of 21

DANIEL J. STERNING,
2027 NORDRHYE AVE.
SANTA ROSA, CA 95401
Tel: 707.553.2370
www.sterningarchitect.com



HENEGHAN RESIDENCE

5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

CLIENT
HENEGHAN

REVIEWS

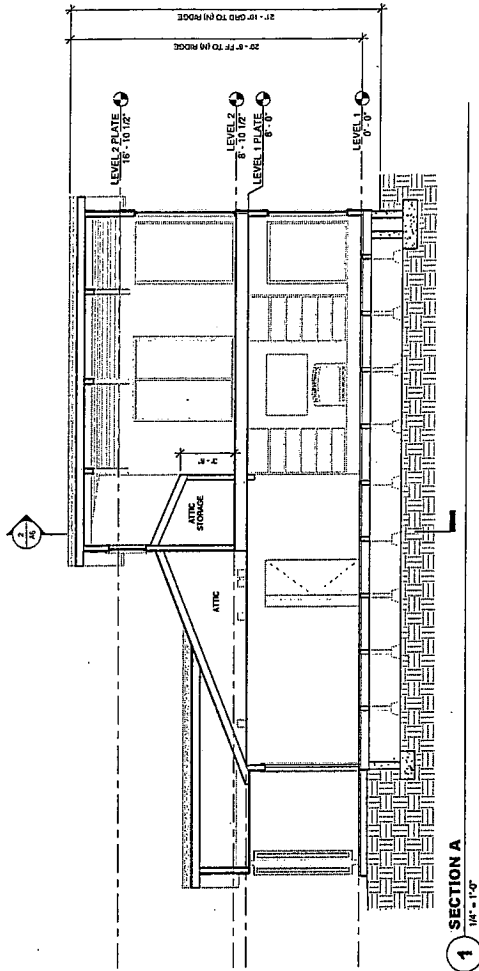
PROJECT NUMBER

ISSUE DATE
04-25-15

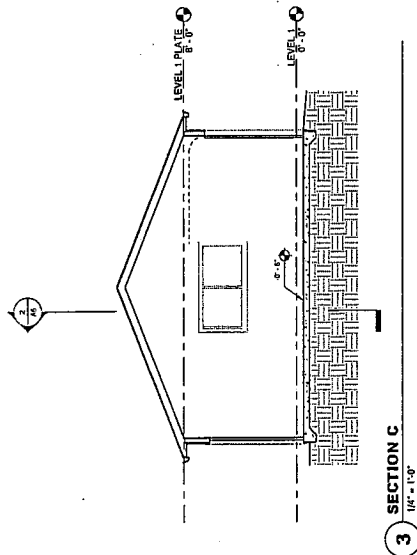
COASTAL
COMMISSION

SHEET NAME
SECTIONS

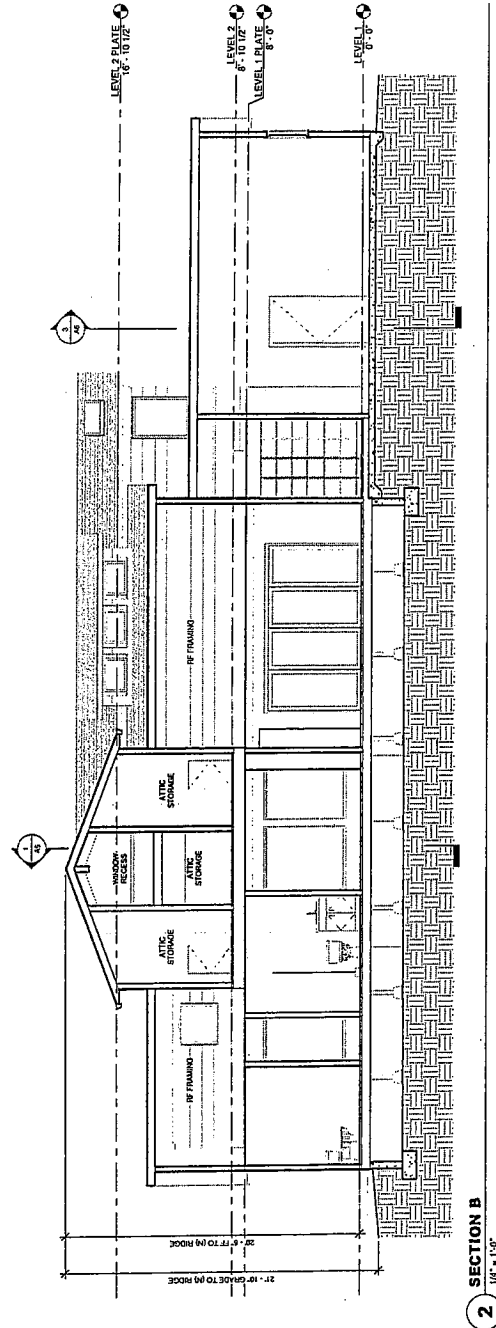
SHEET NUMBER
A6



1 SECTION A
1/4" = 1'-0"



3 SECTION C
1/4" = 1'-0"



2 SECTION B
1/4" = 1'-0"

A-2-SON-16-0093

Exhibit 5

16 of 21

DANIEL J. STREIBING,
ARCHITECT
2027 AVENUE
SANTA ROSA, CA 95401
TEL: 707.555.2370
www.streibrjarchitect.com



HENEGHAN RESIDENCE

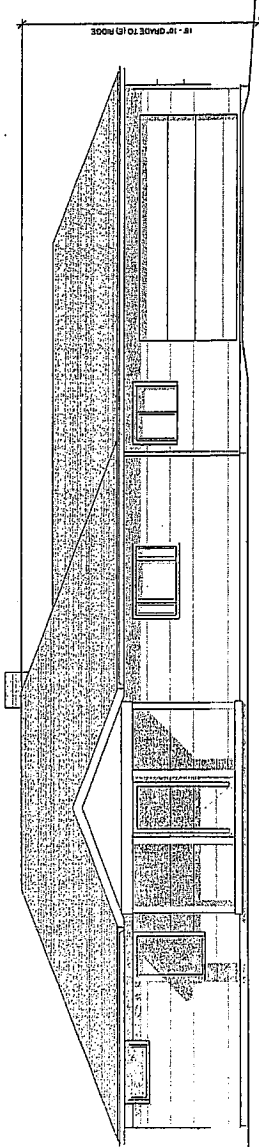
5005 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

CLIENT
HENECHAN

REVISIONS

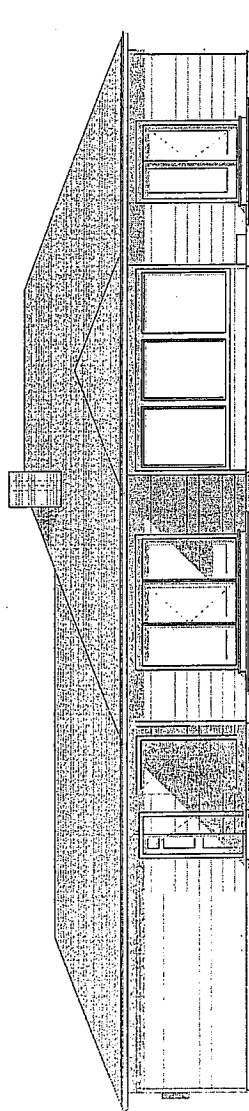
PROJECT NUMBER
ISSUE DATE
8/15/15
COASTAL
COMMISSION
SHEET NAME
ELEVATIONS -
EXISTING

SHEET NUMBER
A7



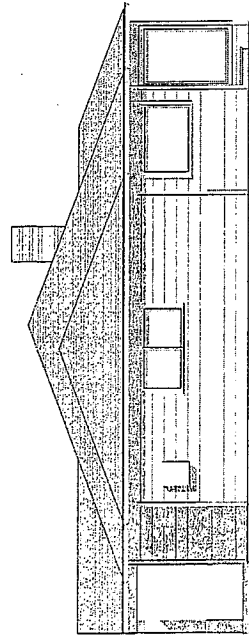
1 EAST ELEVATION - EXISTING

1/8" = 1'-0"



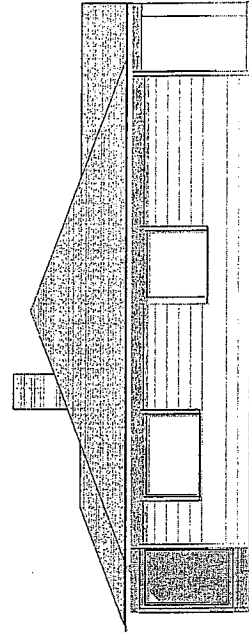
2 WEST ELEVATION - EXISTING

1/8" = 1'-0"



NORTH ELEVATION - EXISTING

1/8" = 1'-0"



4 SOUTH ELEVATION - EXISTING

1/8" = 1'-0"

A-2-SON-16-0093

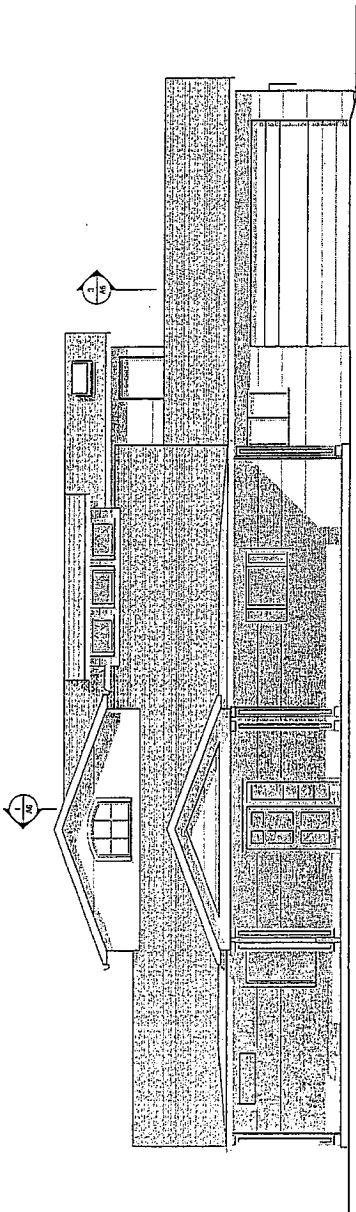
Exhibit 5

17 of 21

PROJECT PROVIDED FOR INFORMATION OF OWNER AND NOT FOR CONSTRUCTION OF PERMITS. LITING, MATERIALS, AND OTHER DETAILS SHOWN ARE APPROXIMATE AND NOT TO BE USED AS SUCH.

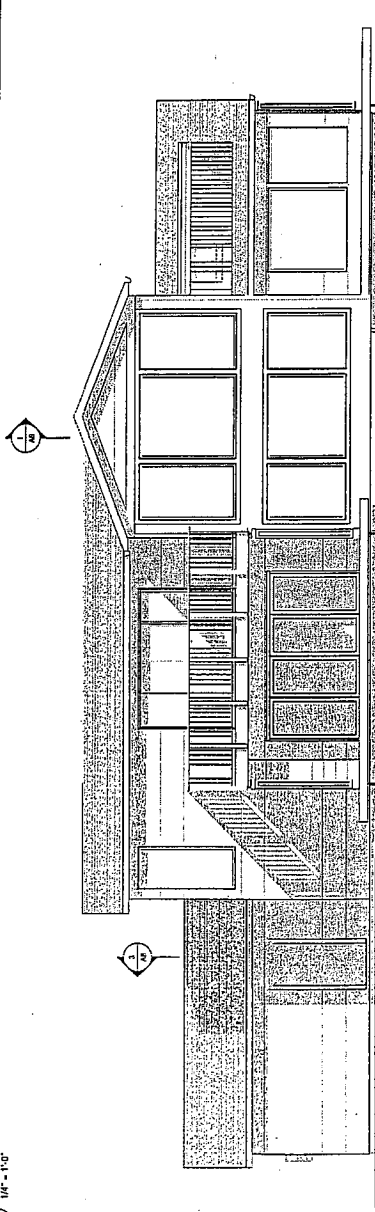
ELEVATION NOTES

A. MATCH EXISTING SIDING BURNISHED WITH NEW GULCH. ROADS SIDING PAINTED GREY.
 FURNISH TALL AND BODY COLORS TO BE AS DESCRIBED ON SHEET A8



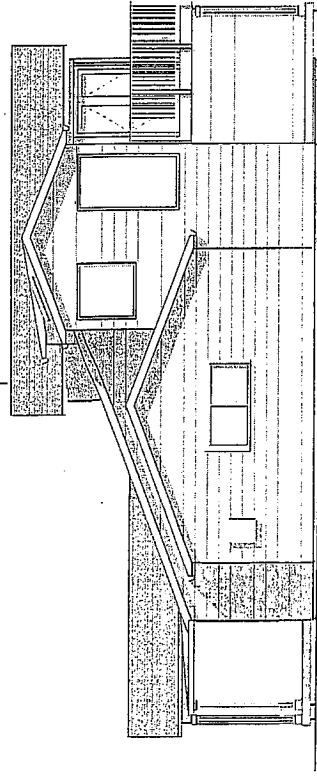
1 EAST ELEVATION - PROPOSED

1/8" = 1'-0"



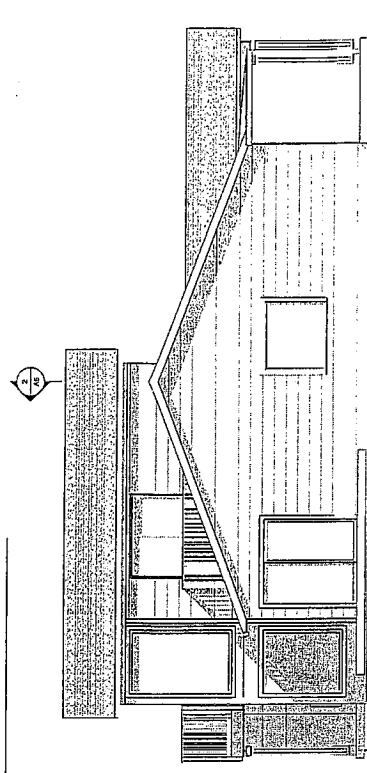
2 WEST ELEVATION - PROPOSED

1/8" = 1'-0"



3 NORTH ELEVATION - PROPOSED

1/8" = 1'-0"



4 SOUTH ELEVATION - PROPOSED

1/8" = 1'-0"

DANIEL J. STREIBING,
 ARCHITECT
 2027 MONTE VISTA AVE.
 SANTA ROSA, CA 95401
 TEL 707.553.2370
 www.djstreibing.com



HENEGHAN RESIDENCE

5005 VIKING STRAND
 BODEGA BAY, CA 94923
 APN: 101-08-008

CLIENT
 HENEGHAN

REVISED

PROJECT NUMBER

ISSUE DATE

04-25-15

COASTAL

COMMISSION

SHEET NAME

ELEVATIONS -

PROPOSED

SHEET NUMBER

A8

A-2-SON-16-0093

Exhibit 5

18 of 21

DANIEL J. STREIBING,
2027 NORDLYKE AVE.
SANTA ROSA, CA 95401
Tel: 707.533.2270
www.streibingarchitect.com



HENEAGHAN RESIDENCE

5025 VIKING STRAND
BODEGA BAY, CA 94923
APN: 101-060-008

CLIENT
HENEAGHAN

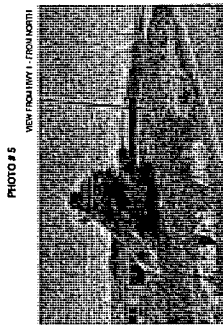
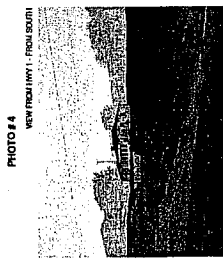
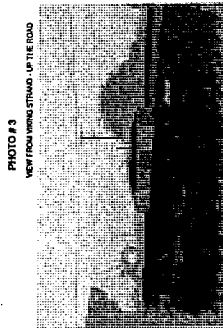
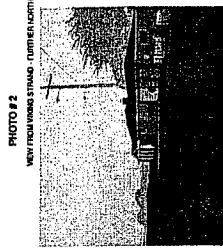
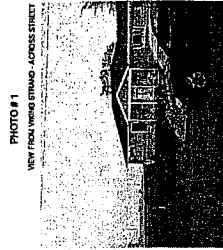
REVISIONS

PROJECT NUMBER
ISSUE DATE
8-23-15

COASTAL
COMMISSION

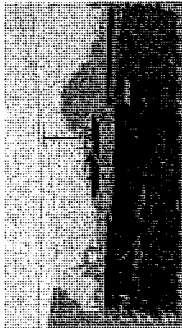
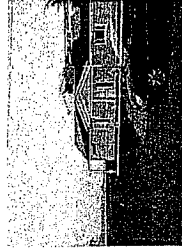
SHEET NAME
PHOTO EXHIBITS

SHEET NUMBER
A9

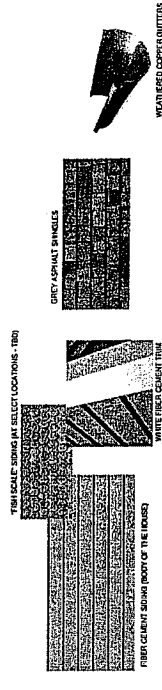


EXISTING CONDITIONS

PROPOSED CONDITIONS

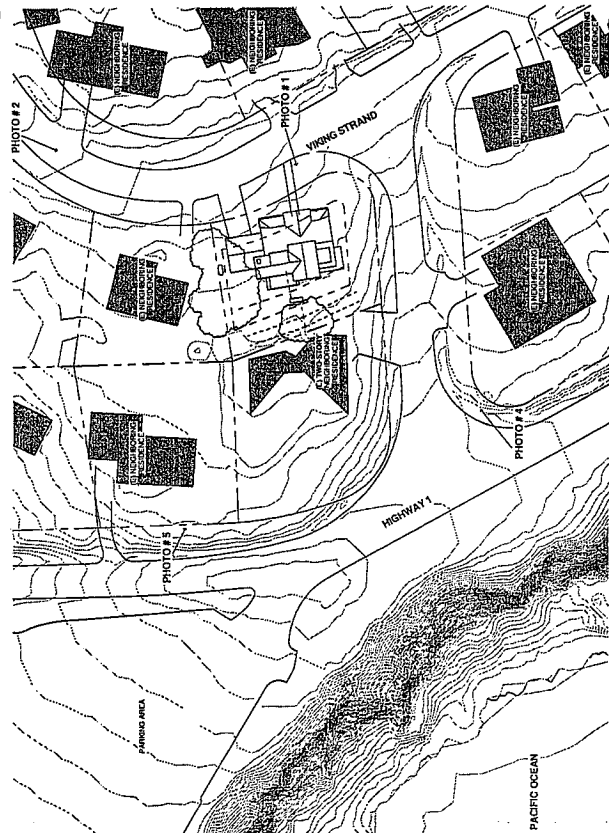


NO CHANGE - CAN'T SEE PROJECT SITE

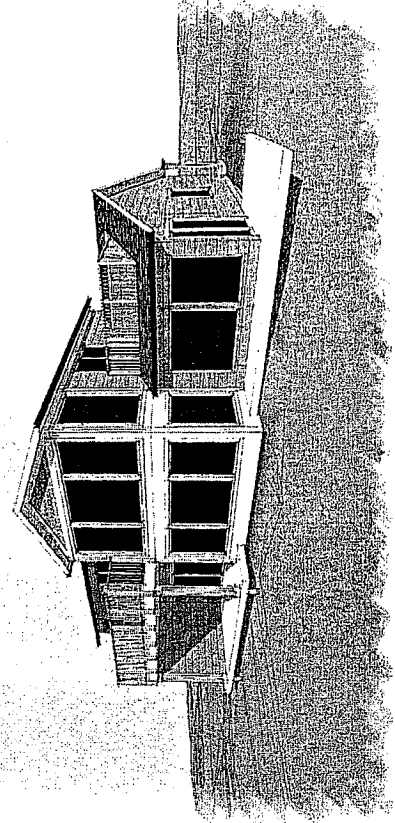


SAMPLE PROPOSED MATERIAL IMAGES

PHOTO #3



EXTERIOR SKETCH WITH COLOR MATERIALS RENDERED



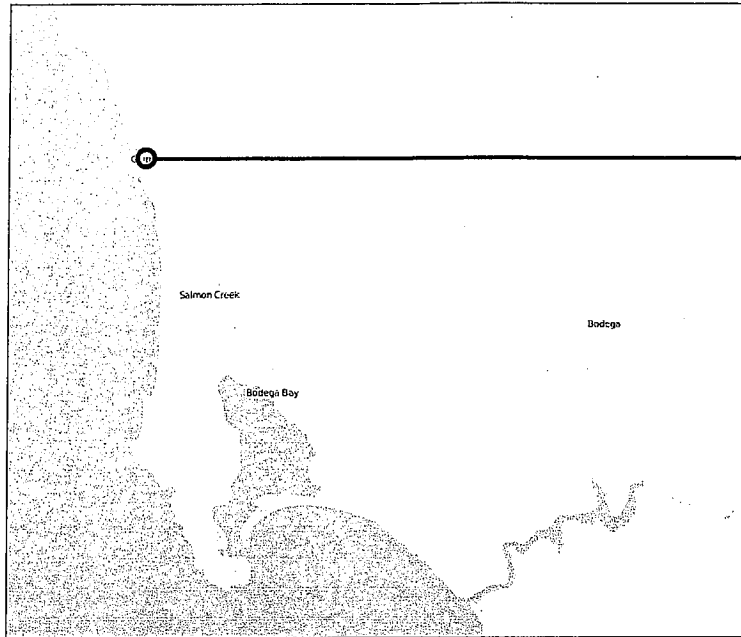
SITE PLAN - PHOTO KEY
1" = 40'-0"

A-2-SON-16-0093

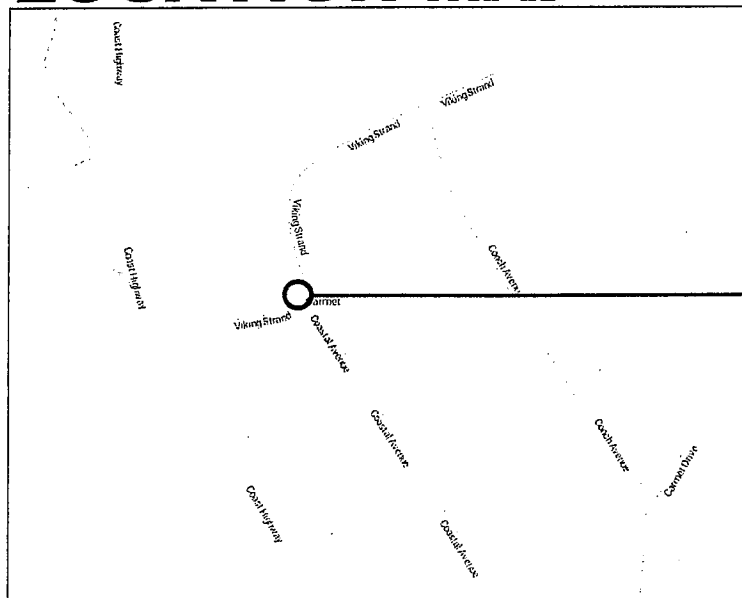
Exhibit 5

19 of 21

VICINITY MAP



LOCATION MAP



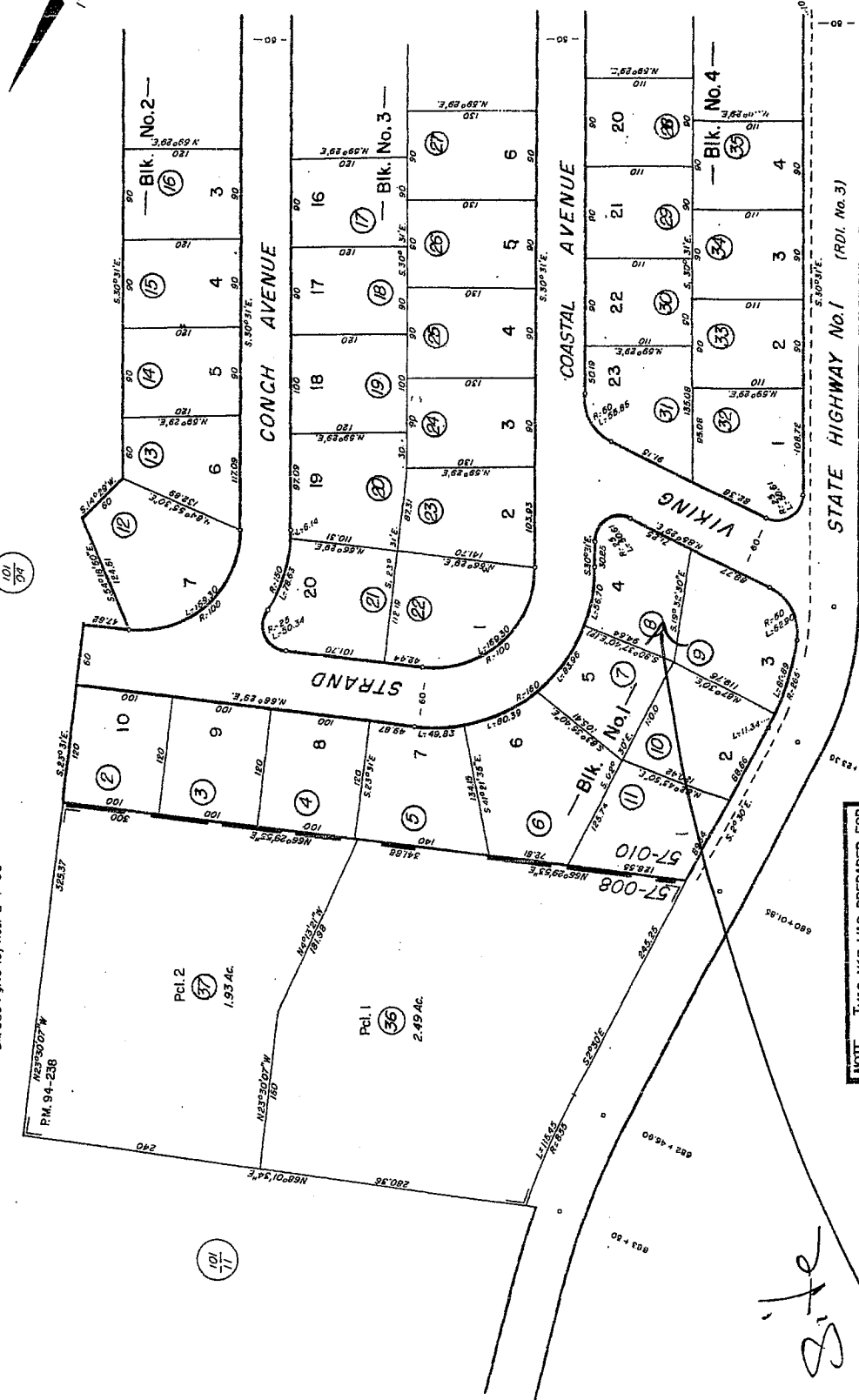
5005 VIKING STRAND,
BODEGA BAY, CA 94923

COUNTY ASSESSOR'S PARCEL MAP

TAX RATE AREA
57-008
57-010

101-06

Parcel Map No. 94-238
Bk. 535 Pg. 13-15, Rec. 2-1-95



NOTE: THIS MAP WAS PREPARED FOR
ASSESSMENT PURPOSES ONLY, NO
LIABILITY IS ASSUMED FOR THE
ACCURACY OF THE DATA DELINEATED
HEREON.

Part of
CARMET-BY-THE-SEA No. 1

Assessor's Map Bk101 Pg06
Sonoma County, Calif.

NOTICE OF FINAL ACTION ON A COASTAL PERMIT RECEIVED

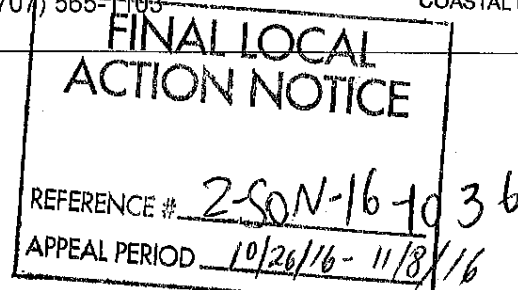
Sonoma County Permit and Resource Management Department
 2550 Ventura Avenue, Santa Rosa, CA 95403
 (707) 565-1900 FAX (707) 565-1103

OCT 25 2016

CALIFORNIA
COASTAL COMMISSION

October 20, 2016

Daniel J Strening
 2027 Nordyke Avenue
 Santa Rosa, CA 95401



This notice is being distributed to the Coastal Commission and those who requested notice. The following project is located within the Coastal Zone. A project decision has been completed.

File No.: CPH15-0009

Project Location: 5005 Viking Strand, Bodega Bay

Assessor's Parcel Number: 101-060-008

Project Description: Request for a Coastal Permit with hearing to allow a 633 square foot second story addition, two new roof decks, new covered patio and remodeled porch to an existing single family dwelling on a 0.25 acre parcel.

Proposed Project Approved hearing body Sonoma County Board of Supervisors on October 18, 2016.

Conditions of Approval dated October 18, 2016 are enclosed.

Findings: The project, as described in the application and as conditioned, conforms with the plans, policies, requirements and standards of the Sonoma County Coastal Program. Specifically:

1. The project, as described in the application and as conditioned, conforms with the plans, policies, requirements, and standards of the Sonoma County Coastal Program and the zoning designation of RR (Rural Residential) CC (Coastal Combining) and will be compatible with the character of the surrounding neighborhood because it is similar in size, scale and design to the existing neighborhood. The addition of 633 square feet to an existing 1,750 square foot residence results in a structure that is approximately 2,383 square feet, within the neighborhood size range of 1,000 to 3,000 square feet.
2. The proposed addition to the existing single family dwelling, as conditioned, is consistent with the Local Coastal Plan Design review policies and the Coastal Zoning Ordinance Design Review requirements in that the height, location, scale, size and character of the proposed addition will be in character with surrounding development and will blend into the natural environment because it is designed to continue a beach bungalow style, with painted wood exterior and earth toned (grey) lap siding. The project will use a combination of hip and gable roof elements which reduce roof mass and view impacts. The second story addition is placed in the middle and rear of the existing dwelling and does not crowd adjacent developed lots.
3. The project site is located on the east side of Hwy 1 which allows for a maximum height of 24 feet for residential development. The proposed 21 foot 10 inch second story addition is below the maximum height and adds five feet to the existing structure. It will not further

A-2-SON-16-0093

Exhibit 6

1 of 4

block the existing ocean views because the addition will fit in behind the existing mature trees located on the project site.

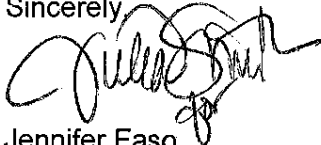
4. The proposed project is located east of Highway 1 and does not obstruct existing views from Highway 1.
5. The establishment, maintenance or operation of the use for which this application is made will not, under the circumstances of this particular case, be detrimental to the health, safety, peace, comfort and general welfare of persons residing or working in the area of such use, nor be detrimental or injurious to property and improvements in the area or the general welfare of the area. This is based on the fact that the proposed project will not change or increase the current residential use of the property and the proposed addition will be similar in size, mass and architecture of existing residential uses in the area.
6. The project is similar in size, scale and design to existing residential development in Carmet, and therefore, pursuant to policies outlined in the Local Coastal Plan, will not create barriers to preserving affordable housing at the coast.
7. The project is Categorically Exempt from CEQA pursuant to CEQA Guidelines Section 15301, because it is an addition to an existing single family dwelling.

Project is Appealable. The decision of the Board of Supervisors is appealable to the State Coastal Commission within ten (10) working days.

Address:
California Coastal Commission
45 Fremont Street, Suite 2000
San Francisco, CA 94105-2219

If you have any questions, feel free to contact me at (707) 565-1683 or at Jennifer.Faso@sonoma-county.org. Please refer to your file number (CPH15-0009) and site address when making inquiries.

Sincerely,



Jennifer Faso
Project Planner

Enclosure: Conditions of Approval dated October 18, 2016

- c: File No. CPH15-0009
State Coastal Commission (via Certified mail)
Ann and Jim Heneghan
Godie Gale
Erin Arnoldy
Carol Barr
Cheryl Connell
Curt Longway
Carlo Mascolo
Michael Reed
David Zumwalt

A-2-SON-16-0093

Exhibit 6

2 of 4

SONOMA COUNTY BOARD OF SUPERVISORS
Conditions of Approval

Date: October 18, 2016
Applicant: Danny Strening
Address: 5005 Viking Strand, Bodega Bay

File No.: CPH15-0009
APN: 101-060-008

Project Description: Request for a Coastal Permit with hearing to construct a 633 square foot second floor addition, two new roof decks, new covered patio and remodeled front porch for an existing single family dwelling on a 0.25 acre parcel.

Prior to issuance of building permit, the following condition must be met:

BUILDING:

1. The applicant shall apply for and obtain building related permits from the Permit and Resource Management Department (PRMD). The necessary applications appear to be, but may not be limited to, site review, building permit, septic permit, and grading permit. A geologic report may be required as a part of the building permit review process.

PLANNING:

"The conditions below have been satisfied." BY _____ DATE _____

2. This Coastal Permit allows for the construction of 633 square foot second floor addition, two new roof decks, new covered patio and remodel front porch to an existing single family dwelling. The project must be developed in substantial compliance with the site plan and architectural drawings prepared by Strening Architects dated March 31, 2016, located in File No. CPH15-0009, unless otherwise modified by these conditions.
3. Exterior lighting shall be downward facing, fully shielded, and located at the lowest possible point to the ground. Flood lights are not permitted. Total luminous flux of lamps used in individual exterior luminaires, including security lights, shall not exceed 1750 lumens. Total illuminance beyond the property line created by simultaneous operation of all exterior lighting shall not exceed 1.0 lux. Radiation of light into the night sky is prohibited.
4. Site development shall be consistent with submitted project plans, and all materials and colors shall conform to plans, colors and materials and architectural specifications submitted as part of this application.
5. The owner/operator and all successors in interest, shall comply with all applicable provisions of the Sonoma County Code and all other applicable local, state and federal regulations. Any proposed modification, alteration, and/or expansion of the residential development authorized by this Coastal Permit shall require the prior review and approval of PRMD or the Planning Commission, as appropriate pursuant to Section 26C-349 of the Sonoma County Code. Such changes may require a new or modified Coastal Permit and additional environmental review.
6. The Director of PRMD is hereby authorized to modify these conditions for minor adjustments to respond to unforeseen field constraints provided that the goals of these conditions can be safely achieved in some other manner. The applicant must submit a

written request to PRMD demonstrating that the condition(s) is infeasible due to specific constraints (e.g. lack of property rights) and shall include a proposed alternative measure or option to meet the goal or purpose of the condition. PRMD shall consult with affected departments and agencies and may require an application for modification of the approved permit. Changes to conditions that may be authorized by PRMD are limited to those items that are not adopted standards or were not adopted as mitigation measures or that were not at issue during the public hearing process. Any modification of the permit conditions shall be documented with an approval letter from PRMD, and shall not affect the original permit approval date or the term for expiration of the permit.

7. The applicant has two years from the date of approval, or for such additional time as may be allowed, to meet the Conditions of Approval and vest the Coastal Permit or the permit shall become automatically void and of no further effect.

CALIFORNIA COASTAL COMMISSION

NORTH CENTRAL COAST DISTRICT OFFICE
45 FREMONT STREET, SUITE 2000
SAN FRANCISCO, CALIFORNIA 94105-2219
(415) 904-5260 OR (415) 904-5200 FAX (415) 904-5400

WWW.COASTAL.CA.GOV

**COMMISSION NOTIFICATION OF APPEAL**

November 03, 2016

To: Jennifer Faso
Sonoma County Permit and Resource Management Department
2550 Ventura Avenue
Santa Rosa 95403

From: Sara Pfeifer

Sara Pfeifer

Re: **Commission Appeal No. A-2-SON-16-0093**

Please be advised that the coastal development permit decision described below has been appealed to the California Coastal Commission pursuant to Public Resources Code Sections 30603 and 30625. Therefore, the decision has been stayed pending Commission action on the appeal pursuant to the Public Resources Code Section 30623.

LOCAL PERMIT #: **CPH15-0009**

APPLICANT(S): **Daniel J Strening**

DESCRIPTION: to allow a 633 square foot second story addition, two new roof deck, new covered patio and remodeled porch to an existing single family dwelling on a 0.25 acre parcel

LOCATION: 5005 Viking Strand, Bodega Bay, Ca 94923 (APN(s): 101-060-008)

LOCAL DECISION: Approved

APPELLANT(S): Godie Gale (a.k.a. Godie La Flamme)

DATE APPEAL FILED: 10/31/2016

The Commission appeal number assigned to this appeal is A-2-SON-16-0093. The Commission hearing date has not been scheduled at this time. Within 5 working days of receipt of this Commission Notification of Appeal, copies of all relevant documents and materials used in the Sonoma County's consideration of this coastal development permit must be delivered to the North Central Coast District Office of the Coastal Commission (California Administrative Code Section 13112). Please include copies of plans, relevant photographs, staff reports and related documents, findings (if not already forwarded), all correspondence, and a list, with addresses, of all who provided verbal testimony.

A-2-SON-16-0093

Exhibit 7

1 of 10

COMMISSION NOTIFICATION OF APPEAL

A Commission staff report and notice of the hearing will be forwarded to you prior to the hearing. If you have any questions, please contact Sara Pfeifer at the North Central Coast District Office.

cc: Attn: Daniel J Strening
Attn: Godie Gale (a.k.a. Godie La Flamme)

RECEIVED

CALIFORNIA COASTAL COMMISSION

NORTH CENTRAL COAST DISTRICT OFFICE
45 FREMONT STREET, SUITE 2000
SAN FRANCISCO, CA 94105-2219
VOICE (415) 904-5260
FAX (415) 904-5400
TDD (415) 597-5885

OCT 8 1 2016

**CALIFORNIA
COASTAL COMMISSION
NORTH CENTRAL COAST****APPEAL FROM COASTAL PERMIT DECISION OF LOCAL GOVERNMENT**

Please Review Attached Appeal Information Sheet Prior To Completing This Form.

SECTION I. Appellant(s)

Name: Godie Gale (a.k.a. Godie LaFlamme)

Mailing Address: 4981 Conch Ave. Bodega Bay, CA 94923

City: Bodega Bay, CA

Zip Code: 94923

Phone: (707) 377-4166

SECTION II. Decision Being Appealed

1. Name of local/port government:

Board of Supervisors, County of Sonoma

2. Brief description of development being appealed: 1640 sq ft second floor addition, Two new roof decks, new covered patio and remodeled porch

3. Development's location (street address, assessor's parcel no., cross street, etc.):

5005 Viking Strand, Bodega Bay, CA 94923

APN 101-060-008

4. Description of decision being appealed (check one.):

- ☐ Approval; no special conditions
☒ Approval with special conditions:
☐ Denial

Note: For jurisdictions with a total LCP, denial decisions by a local government cannot be appealed unless the development is a major energy or public works project. Denial decisions by port governments are not appealable.

TO BE COMPLETED BY COMMISSION:

APPEAL NO:

A-2-SON-16-0093

DATE FILED:

10/31/16

DISTRICT:

North Central Coast

A-2-SON-16-0093

Exhibit 7

3 of 10

APPEAL FROM COASTAL PERMIT DECISION OF LOCAL GOVERNMENT (Page 2)

5. Decision being appealed was made by (check one):

- ☐ Planning Director/Zoning Administrator
☐ City Council/Board of Supervisors
☐ Planning Commission
☒ Other

6. Date of local government's decision: October 24, 2016

7. Local government's file number (if any): CPH15-0009

SECTION III. Identification of Other Interested Persons

Give the names and addresses of the following parties. (Use additional paper as necessary.)

a. Name and mailing address of permit applicant:

Daniel J. Strening *For: Jim and Ann Heneghan*
2027 Nordyke Avenue *5005 Viking Strand*
Santa Rosa, CA 95401 *Mailing Address: Unknown*

b. Names and mailing addresses as available of those who testified (either verbally or in writing) at the city/county/port hearing(s). Include other parties which you know to be interested and should receive notice of this appeal.

1. Erin Arnoldy, 4746 Carnet Dr., Bodega Bay, CA 94923, Mailing Address: 8716 Saints Way, Sacramento, CA 95826. Email: tootyta@att.net. Phone: (916) 383-7570.
2. Carol Barr, 4870 Coastal Ave., Bodega Bay, CA 94923. Mailing Address: 4210 Devon Lane, Sacramento, CA 95864-1603. Email: cabbybarr@yahoo.com. Phone: (707) 875-2346.
3. Cheryl Connell, 4830 Coastal Ave., Bodega Bay, CA 94923. Mailing Address: Same. Email: douglassgrad2@yahoo.com. Phone (707) 875-2484.
4. Godie J. Gale, 4981 Conch Ave., Bodega Bay, CA 94923. Mailing Address: Same. Email: godiegale@yahoo.com. Phone: (707) 377-4166.
5. Curt Longway, 1094 Coastal Ave., Bodega Bay, CA 94923, Mailing Address: 1024 Melrose Ave., Roseville, CA 95678. Email: cocofish8@gmail.com. Phone: (916) 705-5441.
6. Carlo Mascolo, 4984 Conch Ave., Bodega Bay, CA 94923. Mailing Address: Same. Email: carlo@seasidelandscapes.net. Phone: (707) 875-2470.
7. Michael Reed, 5002 Conch Ave., Bodega Bay, CA 94912. Mailing Address: 115 Dubois, San Rafael, CA 94901. Email: mreed@reedtm.com or amies@reedtm.com. Phone ((415) 290-4775.
8. David Zumwalt, 5003 Viking Strand, Bodega Bay, CA 94923. Mailing Address: 1152 Mee Lane, St. Helena 94574. Email: dezumwalt@gmail.com. Phone (707) 815-3691.
9. Karen Wilson, 4938 Coastal Ave and 4955 Conch Ave. Bodega Bay, CA 94923. Mailing Address: P.O. Box 367, Gilroy, CA 95021

A-2-SON-16-0093

Exhibit 7

4 of 10

APPEAL FROM COASTAL PERMIT DECISION OF LOCAL GOVERNMENT (Page 3)

SECTION IV. Reasons Supporting This Appeal

PLEASE NOTE:

- Appeals of local government coastal permit decisions are limited by a variety of factors and requirements of the Coastal Act. Please review the appeal information sheet for assistance in completing this section.
- State briefly **your reasons for this appeal**. Include a summary description of Local Coastal Program, Land Use Plan, or Port Master Plan policies and requirements in which you believe the project is inconsistent and the reasons the decision warrants a new hearing. (Use additional paper as necessary.)
- This need not be a complete or exhaustive statement of your reasons of appeal; however, there must be sufficient discussion for staff to determine that the appeal is allowed by law. The appellant, subsequent to filing the appeal, may submit additional information to the staff and/or Commission to support the appeal request.

RE: NOTICE OF FINAL ACTION ON A COASTAL PERMIT, FILE NO.
CPH-0009, PARCEL NUMBER 101-0060-008, SONOMA COUNTY

1. Carmet is a culturally and historically significant site. It is a 70 year old hamlet. As described in the LCP, "Homes are one-story, with flat gravel roofs..." and "... any new development should be compatible with the existing homes" ***pg 171 of the LCP.***) 99.5% of the homes are single story, under 16 feet high. 33% of the homes are under 1000 sq feet. 51.6% of the homes are 1000-1500 sq feet. ***84.4% of the 64 homes in Carmet are under 1500 sq. feet.*** Only three homes are over 2000 sq feet. Two of those were "Spec" homes--built by developers with no interest or concern for the character and history of the neighborhood. The proposed project would result in a 2383 sq ft dwelling. ***Therefore the Staff Report stating that the proposal "will be similar in size, mass and architecture of existing residential uses in the area" is not supported by the facts and cannot be considered as truthful.*** The resulting 2,383 square foot home is "too massive for the lot size," will "block light and air for smaller neighboring homes, and ***destroy the harmony and character of the community***" (***pg 169 of the LCP.***)

2. Because this proposal is to build a 633 square foot house on top of an existing house, it must appropriately be considered a "new development"--not a "retrofit" and/or an "improvement." As such, the project should not be "categorically exempt from CEQA." The size and scale of the proposed, new structure do not relate to adjacent buildings.

3. Its ***unpermitted***, gabled roofline already exceeds height requirements and violates a number of provisions of the LCP. Because the proposed project lies within 300 feet of the beach, it falls under the 16 foot roofline rule--not the 24 foot limit.

A-2-SON-16-0093

Exhibit 7

5 of 10

4. The proposed project lies 300 feet from the pristine corridor of the Sonoma coastline between North Salmon Creek Beach on the south and the Kortum Trail on the north. The new portion of the 1200 mile California Coastal Trail is only a mile to the south. Carmet is in a highly scenic area of Bodega Bay, ***"a special coast community worthy of protection,"*** according to the LCP. ***"To maintain and protect the fishing village character of Bodega Bay and provide needed affordable housing, new residential development adjacent to the original town is proposed to be similar in scale and design to that in the existing town"*** (pg 172 of the LCP.)

5. According to the CCPR Plan, ***the proposed project's plans should be "subordinate to the character of its setting."*** It is ***not*** "visually compatible with the character of surrounding areas," and it is ***not*** "compatible with existing community characteristics."

6. Of the three homes in the neighborhood that are over 2000 sq feet, one was built up against the hills in the last row of houses and does not impact views--although it is not "visually compatible with existing community characteristics." No one in the neighborhood understands how those three anomalies were allowed.

7. The project proposal is an example of the "domino effect" that the above mentioned anomalies set in place. ***This proposed project continues the precedent*** and places an undue burden on the other homeowners who may or may not have the means to add additional height to their homes as their views become impacted and impeded.

Re: The Zoning/Planning Hearing and the Board of Supervisors Hearing

8. Only two zoning/planning commissioners (out of four) bothered to actually visit the Carmet neighborhood: Willie Lamberson voted against the proposed development ***because it would not be in character with the neighborhood.*** The other, Pamela Davis, while voting to allow the project to go forward, cautioned the applicant to ***not remove the trees on their property*** (which are between their house and the beach.) Commissioner Davis was concerned with protecting the public views. However, her word of caution to the applicant was made rather informally and was not made as a condition of her vote. The trees will impede the project applicants' views of the ocean from

their new house's windows and/or decks. Those of us east of the proposed two story house will no longer be able to see the beautiful trees (even if they are not removed) since our view of the trees will be blocked by the large, house upon a house. Of the five Supervisors, no one visited the perspective from the homes of those most directly impacted--although Rep. Gore voted against the proposed project.

9. Noticing for this project was inferior and inadequate and sometimes not timely--preventing many of us from submitting our comments and issues with the proposal. Many concerned neighbors, directly, and indirectly impacted, were not notified at all since they do not live here full time. They were also not here to see the pale pink notices affixed to a few of the telephone poles which were dissolved by rain in a couple of days.

10. **There is glaring oversight in the Supervisors' "Resolution #6" because this project is *not* similar in size, scale and design to existing residential properties, and *will* create barriers to preserving affordable housing at the coast.**

11. Finally, Section 30251 of the Public Resources Code Division 20 California Coastal Act (2016) Chapter 3/Article 6 states, "**The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance.** Permitted development shall be sited and designed *to protect views to and along the ocean and scenic coastal area..., to be visually compatible with the character of surrounding areas...*

APPEAL FROM COASTAL PERMIT DECISION OF LOCAL GOVERNMENT (Page 4)

SECTION V. Certification

The information and facts stated above are correct to the best of my/our knowledge.

Gordie J. Hale
Signature of Appellant(s) or Authorized Agent

Date: October 31, 2016

Note: If signed by agent, appellant(s) must also sign below.

Section VI. Agent Authorization

I/We hereby authorize _____
to act as my/our representative and to bind me/us in all matters concerning this appeal.

Signature of Appellant(s)

Date: _____

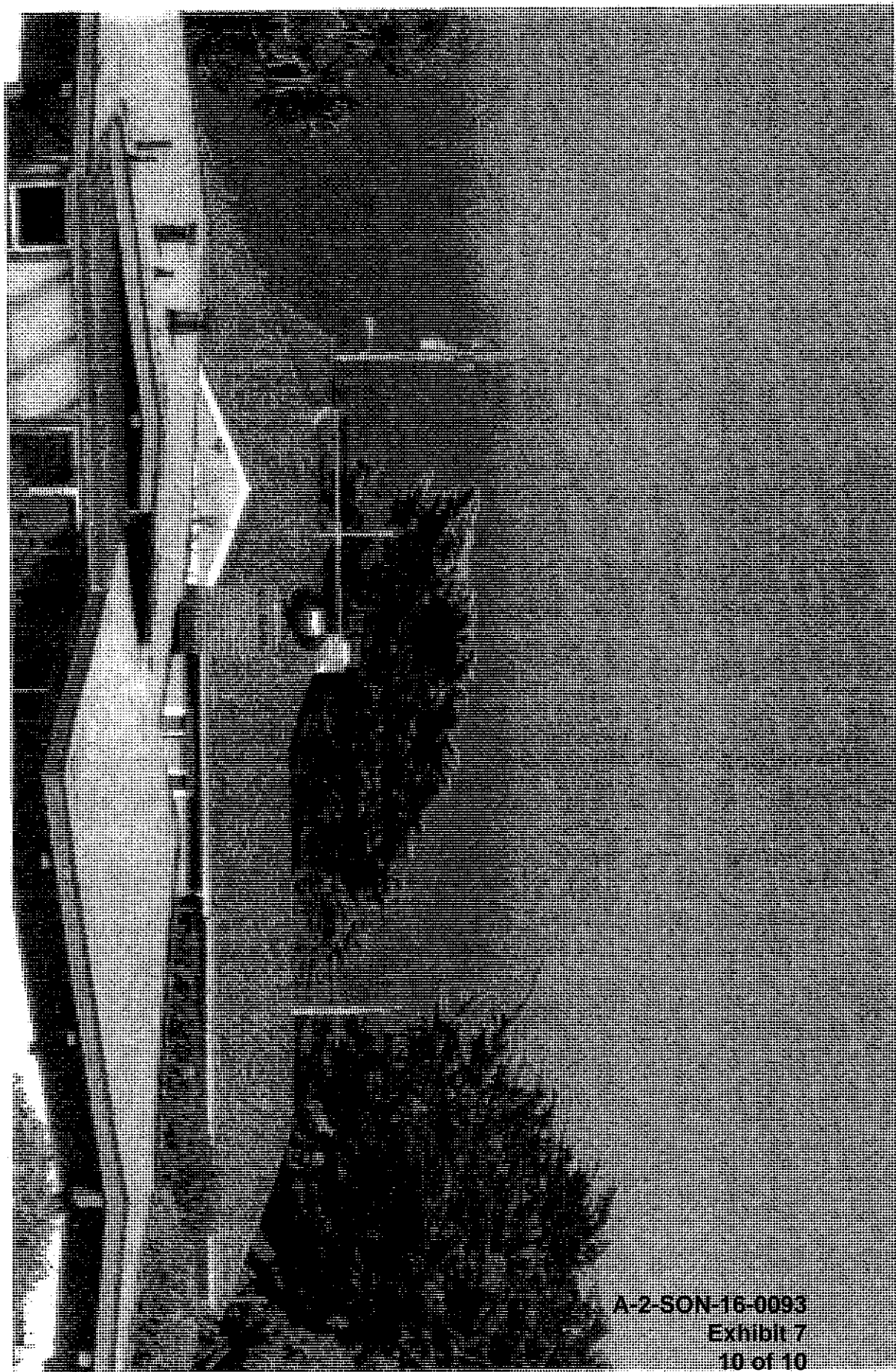


A-2 SON-16-0093

Exhibit 7

9 of 10

View with Story Pole @ Thompson home



A-2-SON-16-0093

Exhibit 7

10 of 10

VISUAL RESOURCES

INTRODUCTION

Sonoma County's coast is beautiful, rugged and varied. A typical coastal cross-section west to east would show ocean with a rocky intertidal zone, steep vertical bluff, coastal terrace, hillside, and ridge. The landscape is divided by the Gualala and Russian Rivers, and by numerous creeks and gullies with riparian vegetation, and by coastal villages and independent subdivisions.

The beauty and accessibility of Sonoma County's coast have made it a heavily used tourist and recreational area. A survey of travelers prepared as part of the Highway 1 Capacity Study revealed that for the majority of travelers, sight-seeing is the primary purpose of the trip to the Sonoma Coast. The goal of the Visual Resources section is to prevent blockage or degradation of scenic views and to assure that development is compatible with the existing natural and man-made landscape.

Coastal Act Policies

The following Coastal Act policies support protection of the scenic qualities of the coast.

30251. The scenic and visual qualities of coastal areas shall be considered and protected as a resource of public importance. Permitted development shall be sited and designed to protect views to and along the ocean and scenic coastal areas, to minimize the alteration of natural landforms, to be visually compatible with the character of surrounding areas, and, where feasible, to restore and enhance visual quality in visually degraded areas. New development in highly scenic areas such as those designated in the California Coastline Preservation and Recreation Plan prepared by the Department of Parks and Recreation and by local government shall be subordinate to the character of its setting.

30253. New development shall, where appropriate, protect special communities and neighborhoods which, because of their unique characteristics, are popular visitor destination points for recreational uses.

Visual Resources

Scenic Corridors. The primary impression of any area comes from what is seen while driving, cycling, or hiking along a roadway. One of the most effective methods of protecting visual resources is to protect scenic corridors along a system of scenic roads.

Designated scenic corridors in the General Plan are Highway 1, Stewarts Point-Skaggs Springs Road, Highway 116, Coleman Valley Road, Petaluma-Valley Ford Road, and Bodega Highway. In addition, the Coastal Plan designates Fort Ross Road, Meyers Grade/Seaview Road, paved portion of Willow Creek Road, and Bay Hill Road as scenic corridors.

Major Views. Major views are long views of unique visual interest, focus, or variety. Major views are abundant along Sonoma County's coast and include islands, rock headlands, coves, lagoons, estuaries, riverways, expansive beaches, white water, and historic settings.

Vista Points. Vista Points are roadside areas suitable for parking with exceptional views. Designated vista points should be developed with safe ingress and egress, parking areas, interpretive signs, and

restrooms where appropriate. The view shed from a vista point is even more sensitive than a major view since the viewer is stopped and can take full advantage of the visual experience.

RURAL ISSUES:

The most important rural design issues are preservation of coastal views, and visual quality and compatibility of development with the natural landscape. The two major components of the natural landscape are landforms and vegetation.

Landform

The coastal zone can be classified into eight predominant landform types. Each landform, while containing variations, has readily recognizable characteristics upon which recommendations for future development can be built. These are beaches, dunes, cliffs and bluffs, terraces, hillsides, ridges, wetlands, and inland valleys. Development guidelines for beaches, dunes, cliffs and bluffs, and wetlands are included in Chapter III, Environment. Development guidelines for terraces, hillsides, ridges and inland valleys are included below.

Terraces. Terraces are the broad, level areas between coastal hills and bluffs. They are generally covered with grasses and sometimes dotted with trees or divided by windbreaks. Lines are horizontal except where trees create a vertical influence and break up the open landscape. Terraces are particularly visually sensitive. Appropriate terrace uses are agriculture and recreation.

Hillsides. Along the coast, hillsides are the interface between the coastal terrace and the ridge. Many of Sonoma County's hillsides begin east of Highway 1, have few trees and shrubs, and are highly visible. Other coastal hillsides are forested, particularly on the north coast and therefore are not as visually vulnerable. Hillsides are especially sensitive to grading activities that do not conform to natural land contours.

Ridgelines. Ridgelines are the most visually vulnerable of the landforms in Sonoma County. Ridgelines are often seen from great distances. The contrast between the land and the sky makes structural intrusions very obvious. The high locations of ridges cause any alterations to be seen from a wide area and may affect many view sheds within the coastal zone.

A primary example of ridgeline sensitivity is the subdivision east of Russian Gulch called Muniz Ranch. While winding up Highway 1 from Russian Gulch to the High Cliffs, it is clear that spectacular views to the east have been significantly degraded by ridge top development.

Inland Valleys. The two inland valleys in Sonoma County's coastal zone are at Duncans Mills and Valley Ford and are characterized by historic villages surrounded by agricultural land.

VEGETATION

Many vegetative alterations have occurred on Sonoma County's coast. Logging in particular has eliminated forest land close to the shoreline. The characteristic landscape along Highway 1 is the prairie grassland. Other vegetation changes include planting of windbreaks, mainly of cypress, and the planting of pine trees between Highway 1 and the shoreline. Landscape planting can add complexity to the view and screen unnatural elements. On the other hand, the planting of some types of trees west of Highway 1 blocks shoreline views. The planting of non-native species can detract from the natural coastline landscape.

URBAN ISSUES

Background

Structural (man-made) features which have special cultural, historical, architectural, and aesthetic qualities are as important to the coastal zone as its natural features. Many historical structures have been identified by the Western Sonoma County Historical Survey. These historical resources are listed in Appendix A, along with methods for protecting them. Several of these structures are located within three historic communities: Stewarts Point, Duncans Mills, and Valley Ford. Maintaining and preserving these communities adds to the visual character of the coast.

Bodega Bay is a vital coastal village, with a range of services and employment. The scale and character of Bodega Bay is worthy of protection.

Independent subdivisions are relatively new and contain large lot second home developments with few or no support services. Because of their visibility, they have strong impact on the attractiveness of the coast.

Urban Design Concerns

Design Compatibility with Natural Features. New development should respect the natural setting. Except for Bodega Bay, and other historic areas, construction materials, colors, and architectural features should be carefully chosen to blend with landscape features of the site so that structures and nature compliment one another and development has a minimum impact on the site. In Bodega Bay, Duncans Mills, Stewarts Point, and Valley Ford, site impacts should be minimized, but integration of new buildings with the existing character of the town is the overriding concern.

Building Scale. An issue closely related to integration of structural design with the physical conditions of the site is that of scale, the relationship of the size of the structure to its surrounding features, both natural and man-made. In the past, many houses have been built which are not out of scale with their surroundings. They may be too massive for their lot size, block light and air for smaller neighboring homes, and destroy the harmony and character of the community.

Design Compatibility with Existing Structures. In many of the coastal subdivisions there are few unifying features. The design guidelines address this issue. In older communities, traditional building styles of early coastal buildings are encouraged. In newer communities, roof lines and building exteriors should be compatible with surrounding buildings.

Commercial Design. Commercial development in and near Bodega Bay encompasses a wide variety of styles and colors with few common traits except most are single story, wood frame construction. With the absence of a predominant architectural style in the community, it would be appropriate for new commercial construction to reflect the nautical character of the harbor with wooden buildings of simple design.

Structural and Community Features

In order to help preserve structural and community features which distinguish coast communities and subdivisions from other areas, and to develop coherent visual guidelines for new development, it is helpful to review the origins and common features of Sonoma's coastal communities.

The Sea Ranch. For over 100 years this spectacular ten mile stretch of the Coast was used by sheep ranchers who added to it only the cypress windbreaks on the lower meadows west of Highway 1. Oceanic Properties bought the 5200 acre Del Mar Ranch in 1963, intending to create a low density residential community where development would have a minimum impact on the natural environment and would blend harmoniously with it. To some extent these goals have been achieved under the design guidance of

The Sea Ranch Review Committee. Design review guidelines apply to all development at The Sea Ranch and include the following provisions:

1. Homes are sited to take advantage of natural landforms and vegetation while preserving views from neighboring lots.
2. Buildings are clustered in some areas to achieve screening and greater open space.
3. Landscaping is informal and utilizes indigenous plant materials.
4. Roof slopes are governed by a roof slope direction plan to achieve building to building unity.
5. Sea Ranch homes tend to be simple and dramatic with no roof eaves.
6. Natural wood exteriors and shake roofs or suitably colored asphalt shingles are strongly encouraged.
7. Property line fences are discouraged; fences are used primarily for screening parking areas, service yards and trash areas.

The overall effect is of subdued, modern structures at times very well integrated with the existing landforms and vegetation. The strict design approach will be even more important as The Sea Ranch builds out.

Stewarts Point. Stewarts Point was founded in 1857 at Fisherman's Bay by A.L. Fisk, who erected a store and hotel building and put both in operation. This community contains a collection of very good simple early Greek Revival structures. The buildings include a store, the hotel, the one room school and a series of barns and out-buildings which together illustrate a very strong sense of a nineteenth century coastal town. Stewarts Point is recommended as a historic district. District boundaries and design guidelines will be developed prior to actual designation.

Timber Cove. Timber Cove is a second home low density subdivision established in the early and middle 1960's which remains mostly undeveloped. A partial buildout is expected in the near future when water system problems are resolved.

Few Timber Cove lots are visible from Highway 1. The most visually vulnerable are along Ninive Drive west of Highway 1, and in meadow areas. Most of the subdivision is heavily forested. Few design features unify existing homes. However, the homes tend to have subdued exterior colors, indigenous landscaping, and are generally well screened behind trees and landforms. In two cases, high fences adjacent to Highway 1 block views towards the ocean and are therefore incompatible with visual guidelines.

Jenner. Jenner was originally platted in 1914 as a second time home development. The town has grown slowly over the years, but new development is now halted due to restrictions on water system connections.

The community is located on south facing steep hillsides at the mouth of the Russian River. Most homes are one and two story conventional construction with large windows overlooking the river and ocean. Roofs are pitched and exteriors are painted wood except at the north end of town where some newer homes are unpainted with flat roofs. Densities vary but lots tend to be quite small. Landscaping includes terraced gardens, vines and flowers. Roads are narrow and steep with no curbs, gutters or sidewalks.

The commercial uses adjacent to the Highway, except for the gas station, are one-story unpainted wood structures.

Although its development potential is very limited, it is important that any new construction in the community be compatible in design and scale with existing structures since the community is highly visible from Highway 1.

Duncans Mills. Duncans Mills is a Railroad Depot and commercial center dating back to the 1880's. The western false front commercial buildings have been preserved and several new buildings of similar design have been constructed to serve the summer and weekend tourist population. Commercial uses have been developed by private interests who wish to continue to expand development along the old west theme. Duncans Mills is recommended for designation as a historic district.

Rancho del Paradiso. Rancho del Paradiso, a small lot second home development, was platted in the 1930's. It is located along the south side of the Russian River, and has low visibility from the highway. Additional development potential is very limited due to septic and water constraints.

Bridgehaven. Bridgehaven Resort, which dates from the 1930's, has summer cabins, a store and cafe, and a trailer park with permanent residents. The campground is no longer in use. Located on the south bank of the Russian River near the junction of Highways 1 and 116 and visible from Highway 1 vista points, the trailer park is not screened from view. Although the possibility of new development is severely limited by inadequate water supplies, any modifications to the existing development should include design and landscaping improvements.

Pacific View Estates. Pacific View Estates was subdivided in 1968 and 1970 and remains mostly undeveloped. The subdivision is located on coast terraces west of Highway 1 between the highway and undeveloped state parklands and is highly visible. Development here would block major coastal views. Because of this, Pacific View Estates is the object of a Coastal Conservancy project to transfer development potential to another, more suitable site.

If this Conservancy project is not completed, strict site and design guidelines will be necessary to minimize visual impacts.

Sereno Del Mar. Sereno Del Mar is an independent residential subdivision platted between 1970 and 1972. Only about one-third of the approximately 200 lots have been developed.

The subdivision is highly visible on gently sloping hills east of Highway 1. Existing homes are sited randomly with minimal landscaping to provide screening. Previous design control attempts have not created a consistent design theme. While the majority of homes have unpainted wood exteriors, some exteriors are of painted stucco. Architectural forms range from modern cubes, triangles, and octagons to barn and contemporary ranch styles. The structures compete with each other for dominance. Most have pitched shake roofs but roof lines have no relation to one another. Homes are large on large lots and are generally one to one and a half stories in height due to a 16 foot height limitation. Some six foot fences delineate property lines and detract from the open flow of the hillside.

It is uncertain when major new construction will occur due to septic and water constraints. Because of its highly visible nature, however, design guidelines are important for any new development.

Carmet. Carmet is a 60 lot residential subdivision developed in the late 1940's. Homes are one-story, with flat gravel roofs and painted wood exteriors. Landscaping is suburban with lawns and flowers, and a few trees. Density is approximately four units per acre with homes set squarely on the gently sloping lots east of Highway 1.

Most of the remaining lots are unbuildable. However, any new development should be compatible with the existing homes, since there is a distinct design unity to the subdivision.

Salmon Creek. Salmon Creek is a compact second home subdivision developed in the 1920's and 1930's. Although vacation home use still predominates, many of the dwellings house full time occupants.

Homes generally have painted wood exteriors and gable roofs. The private subdivision roads are very narrow and poorly surfaced. Landscaping is minimal since yards are small and used primarily for parking, gardens, flowers and shrubs. Community boundaries are well defined by Salmon Creek, Highway 1 and State Park property.

Sewer and water constraints limit new development, but some additional development is likely to occur. The scale and type of new development should be compatible with the existing character of the community as well as to the area's very sensitive natural features.

Bodega Bay. Bodega Bay has a long and varied history. In 1809 Russian fur traders built warehouses on Bodega Head, farmed the land, and caught seal and sea otter for furs. In 1841 the Russian colony was offered for sale. The Bodega Bay area was then resettled and farmed. During the 1850's Bodega Bay became a deep water port for exporting lumber and agricultural products to San Francisco, but was soon displaced. By the 1900's only a few shallow draft fishing vessels and resident fishermen used the Bay.

In the early 1900's a new element came to Bodega Bay as Sonoma County coast and river areas became popular visitor destinations. Taylor Tract was subdivided in 1914 and 1922 as a second-home community.

The commercial strip along Highway 1 was subdivided in 1921. During the 1920's and 30's vacationers built the small cottages that characterize the community today and some commercial services were developed. The U.S. Army Corps of Engineers dredged a deep water channel at Bodega Bay in 1943. Almost overnight a major fishing industry sprang up. By the early 1950's, Taylor Tract was largely developed, and many of the homes were rented to fishermen. Bodega Bay had become a thriving fishing village, but tourism and recreation continued to play an important role in its development.

Bodega Bay continued to grow steadily with larger homes being constructed north and west of the main town. The large Bodega Harbour development resulted in a sewer system for the whole area and a better water system.

Over the years the original Bodega Bay town developed a distinctive character. The narrow straight streets climbing the hills east of the Bay provide views of the harbor. Most homes are similar in scale, design, and construction. They are modest, single-story structures with pitched roofs, vertical windows, and vertical front elevations. Most Bodega Bay homes are painted brown, beige, green and white with contrasting trim. Small informal yards are devoted to lawns, gardens, and parking areas. Many yards are bordered by traditional picket fences.

The small scale of its bay oriented development, historical significance and importance to recreation and the fishing industry all qualify the town of Bodega Bay as a special coast community worthy of protection. To maintain and protect the fishing village character of Bodega Bay and to provide needed affordable housing, new residential development adjacent to the original town is proposed to be similar in scale and design to that in the existing town.

Commercial buildings in Bodega Bay are predominantly single story wood structures with gable roofs. There are no consciously unifying design features. Signs clutter businesses north of town. With Bodega Bay expected to absorb the bulk of new commercial growth along the Sonoma coast, it is important to promote good design in keeping with the scale and character of the existing town.

Bodega Harbour. Bodega Harbour Subdivision located just south of Bodega Bay is a second home development begun in 1969. Development is proceeding at a steady pace.

This subdivision has a design review procedure which is evident in the development which has occurred. The residences relate to one another with few homes dominating.

Structures are large one-and-a-half to two-story structures with unpainted wood exteriors and varied modern architectural designs. To establish a continuity of design between homes, the design guidelines require that roof slopes conform to those established by existing adjacent structures. The community also encourages architectural forms of new homes to relate to adjacent structures. This strategy goes a long way toward providing a sense of design unity. Other unifying features are a 16 foot height limit, size limits, and indigenous landscaping guidelines. Fences are used for screening of service yards and not to delineate property boundaries. Grading must be minimized. Roofs, trim, and driveways are of dark, non-reflective materials. Garages and other accessory buildings must relate to the main structure on the site and be physically connected.

Valley Ford. Valley Ford received its name from the fact that an old Indian and Spanish ford across the Estero Americano was located there. This historic community has evolved over the years and has no distinct architectural theme. Styles include Greek Revival, Queen Anne, Western Falsefront, Italiante, and bungalow. Many of the existing buildings date to the 1870's and 1880's. Several have been identified as worthy of landmark status.

RECOMMENDATIONS

View Protections

1. Prevent development (including buildings, structures, fences, paved areas, signs, and landscaping) from obstructing views of the shoreline from coastal roads, vista points, recreation areas, and beaches.
2. Prohibit development which will significantly degrade the scenic qualities of major views and vista points.
3. Except in rural community and urban service areas, require a minimum setback of 100 feet from the right-of-way along scenic corridors and greater where possible. However, permit a 50 foot setback when sufficient screening exists to shield the structure from public view. Where the General Plan policies and standards are more restrictive than the above standards, development shall comply with the General Plan or Coastal Plan policies, whichever are more restrictive, provided that no development shall be approved which does not comply with Coastal Plan policies.

Alterations of Landforms

4. Minimize visual destruction of natural landforms caused by the cutting, filling, and grading for building sites, access roads and public utilities by:

Concentrating development on level areas so that steeper hillsides are left undisturbed.

Prohibiting new development which requires grading, cutting, or filling that would significantly and permanently alter or destroy the appearance of natural landforms

Restoring landforms as completely as possible after any permitted temporary alteration during construction, timber harvesting, or mineral extraction

Constructing roads, buildings, and other structural improvements to fit the natural topography

Sharing private roads and driveways

Landform Guidelines

5. Minimize visual impact of development on hillsides by:

Requiring construction or grading to follow the natural contours of the landscape

Prohibiting development and grading on hillsides with grades more than 30 percent

Designing structures to fit hillside sites rather than altering the landform to accommodate buildings designed for level sites

Concentrating development near existing vegetation

Promoting roof angles and colors which blend with hillsides

6. Minimize the visual impacts of development on terraces by:

Prohibiting development in open fields in rural areas

Minimizing the number of structures and clustering them near existing natural or man-made vertical features

Designing structures to be in scale with the rural character of the region

7. Minimize the visual impact of development on ridges by:

Prohibiting development in rural areas that projects above the ridgeline silhouette

Locating development adjacent to existing vegetation

Prohibiting the removal of tree masses which destroy the silhouette of the ridgeline form

8. Minimize the visual impact of development on inland valleys by:

Concentrating development within existing communities

Requiring development outside of communities to be located on the edge of the valley or within existing tree clusters leaving the valley floor and agricultural land open

Natural Landscape Compatibility

9. Locate and design development to fit the setting and to be subordinate to the pre-existing character of the site.

Community Compatibility

10. Design structures to be compatible with existing community characteristics.
11. Relate structures in size and scale to adjacent buildings.
12. Locate and design all development to minimize the impacts of noise, light, glare, and odors on adjacent properties and the community at large.

Utilities

13. Require that all new distribution line extensions be placed underground.

Vegetation

14. Discourage the removal of significant trees except through legitimate logging operations.
15. Locate and design new development to minimize tree removal.
16. Prohibit removal of windbreaks unless required because of the disease.
17. Prohibit the planting of vegetation west of Highway 1 which could block coastal views.
18. Encourage the use of appropriate native plants for landscaping. A Native Plant List for the Sonoma County Coast will be made available at Sonoma County PRMD.

Procedure

19. Require design review for all new development in Urban and Rural Community Service areas. This requirement may be waived by the Director of PRMD on parcels not visible from and east of Highway 1.
20. Require design review for:
 - A. All new development within designated scenic view shed areas as depicted on the Coastal Visual Resource Maps (incorporated herein by reference and on file in County PRMD. The following criteria shall be used in evaluating the projects:
 1. New structures proposed within a scenic view shed area shall, to the maximum extent feasible, be designed and sited to preserve existing views of the ocean and shoreline as viewed from scenic corridor routes.
 2. New structures proposed within a scenic view shed area shall, to the maximum extent feasible, be screened from scenic corridor route view by existing topography and vegetation.
 3. Development authorized within scenic view shed areas shall be subject to the condition that neither topography nor vegetation shall be altered or removed if doing so would expose the development to view from any scenic corridor route.

4. New structures shall not be located on ridgelines or prominent hilltops, as viewed from scenic corridor routes, unless screened by existing topography and/or vegetation.
 5. Agricultural structures are exempted from scenic view protection policies if they are to be located landward of scenic corridor routes from which there are ocean or river views.
 6. Development proposed upon a parcel mapped in more than one view shed rating category shall, whenever feasible, be located within the area with the lowest view rating.
 7. Any satellite dish that requires a building permit shall be sited so that it is not visible from scenic corridor routes.
 8. Subdivisions proposals within scenic view shed areas shall be subject to the following: a) lots shall be clustered where potential visual impacts can be reduced (unless clustering is prohibited in agricultural districts), b) building envelopes shall be established so that residences are located upon the least visually sensitive areas, and c) driveways and access roads are hidden from public view whenever feasible.
- B. All new projects in areas mapped as Outstanding and Above Average View Areas on the Coastal Visual Resource Maps (incorporated herein by reference and on file in the County Planning Department). The following criteria relate to landform and vegetation categories identified on the View shed Composition Maps, and shall be used in evaluating the projects. Figures on Figure VII-10 graphically depict a number of the View shed Protection Criterion and policies.

Hillside/Woodland Location

1. Locate structures within or behind existing wooded areas such that they are screened from scenic corridor routes.
2. Retain existing trees to the maximum extent possible when locating structures. Removal of tree masses, which would interrupt or destroy ridgeline or hilltop silhouettes, is prohibited. Permits shall specify that existing vegetative screening shall not be pruned or removed if doing so would render the structure more visible from a scenic corridor route.
3. In order to ensure structures are integrated well into the landscape and to minimize the incidence of unsightly erosion scars, the applicant shall demonstrate that the amount of grading proposed is the minimum necessary to site the structure.

Cliffs and Bluffs Location

1. Locate structures within or behind existing tree cover such that they are screened from scenic corridor routes. When there is limited opportunity to screen proposed structures from scenic corridor routes, design review shall ensure that:
 - a) the structure's design compliments and is in scale with the surrounding environment.
 - b) if possible, structures shall be screened by using alternative siting or existing landforms,
 - c) when no other measures to screen development from scenic corridor routes are feasible, a landscape design is developed that relies upon native tree and shrub species to (1) screen the structure but not grow to block ocean or coastline views, (2) integrate the man-made and natural environments, and (3) effectively screen the structure from the scenic corridor route within 5 years.

Terrace/Grassland Location

Inland Valley Location

1. Locate structures near existing vegetation or topographic relief to screen them from the scenic corridor routes. When there is limited opportunity to screen proposed structures from scenic corridor routes, design review shall ensure that:
 - a) the structure's design complements and is in scale with the surrounding environment and existing community characteristics.
 - b) if possible, structures shall be screened by using alternative siting or existing landforms,
 - c) when no other measures to screen development from scenic corridor routes are feasible, a landscape design is developed that relies upon native tree and shrub species to: (1) screen the structure but not, over time, grow to block ocean or coastline views from scenic corridor routes, (2) integrate the man and natural environments, and (3) effectively screen the structure from the scenic corridor route within 5 years.

Terrace/Woodland Location

1. Locate structures within or behind existing wooded areas such that they are screened from scenic corridor routes.
2. Retain existing trees to the maximum extent possible when locating structures. Permits shall specify that existing vegetative screening shall not be pruned or removed if doing so will render the structure more visible from a scenic corridor route.

Hillside/Grassland Location

1. Locate structures near existing vegetation or topographic relief to maximize screening from the scenic corridor routes. When there is limited opportunity to screen proposed structures from scenic corridor routes, design review shall ensure that:
 - a) the structure's design compliments and is in scale with the surrounding environment and existing community characteristics.
 - b) if possible, structures shall be screened by using alternative siting or existing landforms,
 - c) when no other measures to screen development from scenic corridor routes are feasible, a landscape design is developed that relies upon native tree and shrub species to: (1) screen the structure but not grow to block ocean or coastline views, (2) integrate the man-made and natural environments and, (3) effectively screen structures from the scenic corridor route within 5 years.
 2. When structures are proposed near ridgelines or prominent hilltops where there is insufficient vegetation to screen them from scenic corridor routes, they shall be located and designed so that they do not project above ridgeline or hilltop silhouettes.
 3. In order to ensure structures are integrated well into the landscape and to minimize the incidence of unsightly erosion scars, the applicant shall demonstrate that the amount of grading proposed is the minimum necessary to site the structure.
21. Require compliance with community design guidelines, when applicable, or the overall Coastal Zone Design Guidelines.
 22. Apply Coastal Zone Design Guidelines to all new coastal zone development in areas described in 19. and 20. except Bodega Harbour subdivision and The Sea Ranch. The guidelines apply to Bodega Bay town with the amendments described in 26.
 23. Encourage formation of local design review committees to apply the Coastal Zone Design Guidelines.
 24. Encourage adoption of local design criteria to augment or replace the Coastal Zone Design Guidelines, subject to County Design Review Committee review and approval.

Design Guidelines

25. Coastal Zone Design Guidelines

General. Design and site structures to preserve unobstructed broad views of the ocean from Highway 1 and to minimize visual impacts. Cluster structures to the maximum extent feasible.

Height. Limit residential building height to 16 feet west of Highway 1. However, an increase in height, to a maximum of 24 feet, is permissible if (1) the structure is no higher than 16 feet above

the corridor route grade directly across from the building site, and (2) the structure will not affect views to the ocean or be out of character with surrounding structures.

Limit building height to 24 feet east of Highway 1. However, an increase in height to a maximum of 35 feet is permissible if (1) the structure is no higher than 24 feet above the corridor route grade directly across from the building site, and (2) the structure will not affect water views, or be out of character with surrounding structures.

Height for residential structures is measured as the vertical distance from the average level of the highest and lowest point of that portion of the lot covered by the building to the topmost point of the roof. (See Figure VII-11.) Where these requirements conflict with the height, site, and bulk criteria of Appendix B (Bane Bill), for those properties listed, the requirements of Appendix B shall be followed.

Bulk. Keep buildings in scale with their natural and man-made setting.

Siting. Utilize natural landforms and vegetation for screening. Minimize the alteration of natural landforms caused by grading, cutting, or filling. Prescribe building envelopes for lots west of Highway 1 in Timber Cove and other appropriate areas.

Building Materials and Color. Use natural materials and earth colors which blend with the vegetative cover of the site unless the building is a historic reproduction, in which case colors should be in keeping with the historic style. Encourage use of non-reflective exterior surfaces. Encourage composition shingle and shake roofs in harmonizing colors with the building exterior. Dark colors are preferred. Discourage tar and gravel roofs. Discourage metal window frames unless they are bronze anodized aluminum or baked enamel. Encourage dark and non-reflective driveway materials. To maintain natural drainage flows, the use of impervious material should be minimized.

Architectural Form. Encourage traditional architectural styles of the coast in older development areas and contemporary styles in newer subdivisions. Encourage pitched roofs and relate roof slopes to existing nearby buildings. Relate the architectural shape and style of new buildings to existing nearby structures and natural features. Design accessory buildings to be consistent with the main building architectural character, materials, and finishes.

Landscaping. Use indigenous plant materials in areas visible from public roads. Protect existing vegetation where possible. Utilize plant materials to integrate the man-made and natural environments and to screen and soften the visual impact of new development. Use landscaping to screen parking areas from public view. Landscape, grade, and fill areas as soon as possible to minimize soil erosion.

Fences. Discourage property line fences to minimize visual disruption of the natural terrain. Design fences as extensions of the main house. Materials should be the same as, or complimentary to, the building. Six foot fences are intended to be used only for screening of service yards, etc., and for privacy purposes.

Commercial. Design buildings which are compatible with the predominant design of existing buildings in the area and are of wood or shingle siding. Buildings should employ natural or earth colors, and use pitched, non-reflective roofs unless they are historic reproductions. Require that exterior lighting be functional, subtle, and architecturally integrated with the building style, materials, and colors. Limit maximum height to 24 feet unless the greater height will not have effect on coastal views and there are overriding considerations. Height for commercial structures

is measured as the vertical distance between the average level of the highest and lowest point of that portion of the lot covered by the building to the topmost point of the roof. Screen parking areas from view through use of plantings, design, and siting.

In Bodega Bay, reflect the nautical character of the harbor with wooden exteriors, stained or painted white or subdued earth colors. For heavy, commercial structures, permit textured metal in subdued colors with proper architectural detailing and landscaping to add visual interest and soften building lines.

Agricultural Structures. Locate large agricultural structures out of public view when possible. Encourage designs and materials which blend with the natural vegetative cover.

Signs. Relate signs to their surroundings in terms of size, shape, color, texture, and lighting so that they are complimentary to the overall design of the building and are not in visual competition with other conforming signs in the area. Insure that signing is subtle, unobtrusive, vandal proof and weather resistant, and if lighted, not unnecessarily bright. Avoid using struts, braces, kickbacks, or guy wires to support signs.

26. **Bodega Bay Core Area** (includes Taylor Tract and the residential area between Taylor Tract, Highway 1 and the proposed bypass). In addition to the Coastal Zone Design Guidelines, the following guidelines will be applied to Bodega Bay development. (Where conflicts occur, these guidelines supersede the general guidelines).

General. Site and design structures to take advantage of bay views without blocking views of neighboring structures.

Architectural Form. Encourage traditional building forms of coast buildings including Greek Revival, Salt Box, and simple cottage styles similar to existing homes. Encourage pitched roofs. Flat roofs may be appropriate where compatible with existing structures. Where a building is between two existing structures, the design should act as a transition between the two existing structures.

Height. Limit building height to 16 feet except that in major developments up to 15% of the units may exceed the height limit. Height for residential structures is measures as the vertical distance from the average level of the highest and lowest point of that portion of the lot covered by the building to the topmost point of the roof. (See Figure VII-11.) Where these requirements conflict with the height, site, and bulk criteria of Appendix B (Bane Bill), for those properties listed, the requirements of Appendix B shall be followed.

Fences. Discourage property line fences over three feet in height and encourage traditional picket fences.

Materials and Colors. Encourage wood board or shingle siding. Encourage painted exteriors in colors similar to those existing in the town of Bodega Bay (i.e., rust, red, white, green, beige, brown, gray, yellow, and blue). Other colors must be approved by the Design Review Committee. Natural wood exteriors may be intermixed but should not dominate the new development area. Encourage wood trim windows painted in a contrasting, harmonizing color.

Streets. Encourage minimum paved street widths consistent with circulation, safety, and parking requirements to provide a sense of continuity between the new development and the original town.

Pedestrian Access. Require separated bike paths and walkways on one side of the street in new development areas.

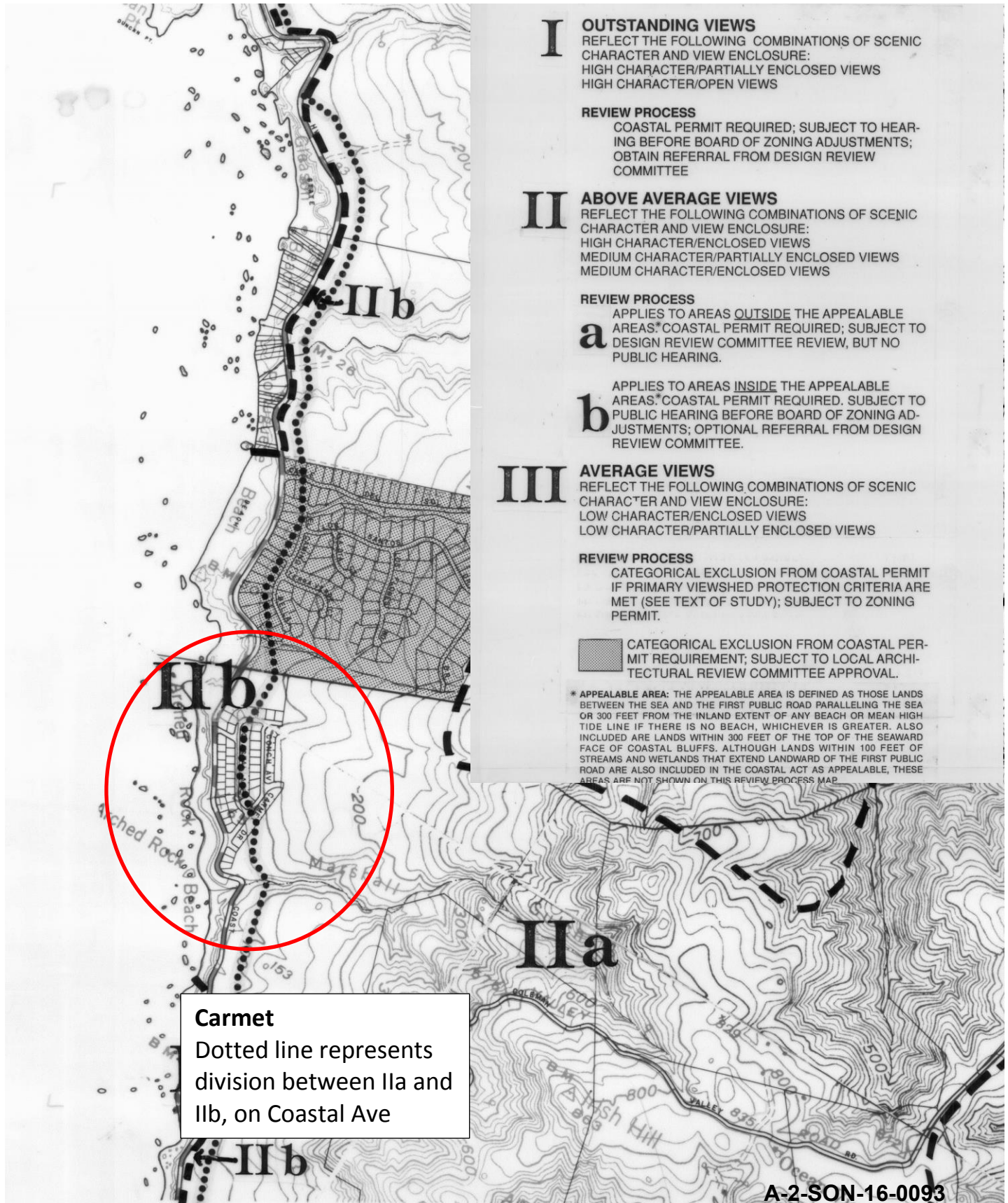
Setbacks. Encourage some variation in setbacks.

Garages. Encourage use of detached garages in and adjacent to Taylor Tract. Single car garages may be appropriate.

27. **Bodega Harbor.** Continue to enforce Design Guidelines and Construction Regulations for Bodega Harbor Subdivision. Where homes within view corridors do not meet Bodega Harbor height, bulk and location conditions, the County Design Review Committee will review proposed plans for conformance with Coastal Plan view protection objectives.
28. **The Sea Ranch.** Continue to enforce The Sea Ranch Design Guidelines, incorporating the specified Height, Site, and Bulk Criteria provided for in Section 30610.6 (d) of the Public Resources Code. If a proposed residence does not meet the Height, Site and Bulk Criteria, the County may issue a variance as allowed in the adopted Height, Site and Bulk Criteria.

Exhibit 9

Sonoma County LCP Coastal Visual Resources Map



CPH 15 - 0009

Heneghan
Applicant

5005 Viking Strand

Boilegas Bay
Site Address

AFFIDAVIT OF NOTICING

I, Jennifer Fraso, posted three copies of the attached poster at the following
(Name of responsible person)

locations on or near the subject property: (description of location)

- ① Utility Pole next to 5005 Viking Strand
 - ② Utility Pole corner of Viking Strand + Cranch
 - ③ Utility Pole on Castal Al. 5/9/16
- (Date)

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

5/9/16
(Date)

Jennifer Fraso
(Signature)

I, William T. Passaretti, mailed the attached notice to:

- _____ the County Clerk's Office on _____.
- _____ the newspaper on _____.
- _____ to each owner of record within 300 feet of the subject property and to applicant/owner and others that have requested notification on _____.

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

(Date)

(Signature)

NOTICE PUBLIC HEARING FOR A COASTAL PERMIT

WHO: James and Anne Heneghan have applied for a Coastal Permit for a proposed addition and remodel to an existing single family residence. **PRMD File No. CPH15-0009.**

WHAT: The proposed project is a request for a Coastal Permit to allow a 633 square foot second story addition to an existing single family dwelling along with two new roof decks, new covered patio and remodeled front porch on a 0.25 acre parcel located at 5005 Viking Strand, Bodega Bay; APN 101-060-008. Supervisorial District 5.

Zoning on the parcel is: RR (Rural Residential), CC (Coastal Combining), B7 (Frozen Lot Size) and combining zones for G (Geologic Hazard), SR (Scenic Resources).

The Sonoma County Board of Zoning Adjustments will hold a public hearing to consider an action on the Coastal Permit in which all interested persons are invited to attend and provide comments.

The department has determined that the project is categorically exempt from the California Environmental Quality Act under Section 15301, of the CEQA Guidelines, because it involves an addition to an existing single family dwelling with no significant impact to the environment.

**WHERE &
WHEN:**

The public hearing will be held on **Thursday, May 19, 2016, at 1:05 p.m.** at the Sonoma County Permit and Resource Management Department Hearing Room, 2550 Ventura Avenue, Santa Rosa, CA 95403

ADDITIONAL

INFORMATION: Details of the project and the environmental documents are available at the Permit and Resource Management Department at the address noted above.

HOW TO

GET INVOLVED: If you have any questions or concerns regarding the proposed project please contact Jennifer Faso at (707) 565-1683 or via email at Jennifer.Faso@sonoma-county.org. In addition, you may contact the project applicant (Danny Strening / daniel@streningarchitects.com / (707) 953-2370).

Written comments may also be submitted prior to, or at the hearing. Please submit written materials 10 days prior to the hearing date so that it can be distributed and considered by the decision-makers. Any written material submitted after this date will be distributed to the decision-makers prior to or at the hearing.

If you challenge the decision on the project in court you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Permit and Resource Management Department at or prior to the public hearing.

PUBLISH ONCE: Press Democrat

DATE: May 9, 2016

FILE: C0415-0009
Danny Strening / Mr. Mrs Heneghan
Applicant
5005 Viking Strand
Bodega Bay
Address

AFFIDAVIT OF NOTICING

I, Jennifer Faso, posted three copies of the attached poster at the following
(Name of responsible person)

locations on or near the subject property: (description of location)

- ① utility pole next to 5005 Viking Strand
② utility pole corner of Viking Strand & Cruch
③ utility pole on Coastal Ave on Sept 28 2016
(Date)

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

Sept 28, 2016
(Date)

Jennifer Faso
(Signature)

I, JULIA SMITH, mailed the attached notice to:
(Name of responsible person)

the County Clerk's Office on _____
the newspaper on _____
to each owner of record within 300 feet of the subject property and to applicant/owner and
others that have requested notification on _____

I declare under penalty of perjury under the laws of the State of California that the foregoing is true and correct.

(Date)

(Signature)

NOTICE OF PUBLIC HEARING FOR A COASTAL PERMIT

WHO: The Board of Supervisors will consider the appeal by Godie Gale, et al of a Board of Zoning Adjustments decision to approve the request by Danny Strening on behalf of James and Anne Heneghan for a Coastal Permit. **PRMD File No. CPH15-0009.**

WHAT: The proposed project is an appeal of the Board of Zoning Adjustments decision to approve a 633 square foot second story addition to an existing single family dwelling, with two new decks, a new covered patio, and a remodeled front porch, on a 0.25 acre parcel located at 5005 Viking Strand, Bodega Bay, APN 101-060-008. Supervisorial District 5.

Zoning on the parcel is: RR (Rural Residential), CC (Coastal Combining), B7 (Frozen Lot Size), and combining zones for G (Geologic Hazard) and SR (Scenic Resources).

The **Sonoma County Board of Supervisors** will hold a public hearing to consider the appeal in which all interested persons are invited to attend and provide comments.

It is the determination of the department that the project is categorically exempt from the provisions of the California Environmental Quality Act pursuant to the Provisions of Title 14 of the California Administrative Code, Section 15301 of the California Environmental Quality Act (CEQA), because the project involves an addition to an existing single family dwelling with no significant impact to the environment.

**WHERE &
WHEN:**

NOTICE IS HEREBY GIVEN that in accordance with provisions of law, a public hearing to consider the above appeal will be held at the hour of **2:10 p.m. on Tuesday, October 18, 2016**, in the Board of Supervisors meeting room 102-A, Sonoma County Administration Building, 575 Administration Drive, Santa Rosa, California.

ADDITIONAL

INFORMATION: Details of the project are available at the Permit and Resource Management Department at 2550 Ventura Avenue, Santa Rosa, CA 95403.

HOW TO

GET INVOLVED: If you have any questions or concerns regarding the proposed project, please contact Jennifer Faso at (707) 565-1683 or via email at Jennifer.Faso@sonoma-county.org.

Written comments may also be submitted prior to, or at the hearing. Please submit written materials 10 days prior to the hearing date so that it can be distributed and considered by the decision-makers. Any written material submitted after this date will be distributed to the decision-makers prior to, or at the hearing.

If you challenge the decision on the project in court, you may be limited to raising only those issues you or someone else raised at the public hearing described in this notice, or in written correspondence delivered to the Permit and Resource Management Department at, or prior to the public hearing.

PUBLISH ONCE: The Press Democrat

DATE: September 28, 2016

CALIFORNIA COASTAL COMMISSION

NORTH CENTRAL COAST DISTRICT OFFICE
45 FREMONT STREET, SUITE 2000
SAN FRANCISCO, CA 94105
PHONE: (415) 904-5260
FAX: (415) 904-5400
WEB: WWW.COASTAL.CA.GOV



F7a

Prepared December 5, 2016 for December 9, 2016 Hearing

To: Commissioners and Interested Persons
From: Nancy Cave, North Central Coast District Manager
Subject: Additional hearing materials for F7a
Appeal Number A-2-SON-16-0093 (Strening SFD addition)

Where checked in the boxes below, this package includes additional materials related to the above-referenced hearing item as follows:

- ☐ Staff report addendum
- ☒ Additional correspondence received in the time since the staff report was distributed
- ☐ Additional ex parte disclosures received in the time since the staff report was distributed
- ☐ Other:

F7a

California Coastal Commission

November 25, 2016

North Coast District Office

45 Fremont Street Suite 2000

San Francisco, California 94105-3219

Appeal number A-2-SON-16-0093

Legal Gov't Permit Number CPH15-0009

Appellant: Carol Ann Barr

Project Location 5005 Viking Strand, Carmet, Sonoma County California

Hearing date and Location: 12-9-16, Ventura City Council Chambers 501 Poll Street, Ventura, Calif

Sara Pfeifer, Coastal Program Analyst, at the North Central Coast District Office

Dear Sirs and Sara,

This letter is to again inform you that the entire Board never even visited our community to make their decision. The one Board member that did visit knew the original planners and saw their vision of the property so that everyone could get a view of the ocean to the West. He voted against the second story or loft as it is now called. The rules of the Coastal Commission do NOT apply to our area because we have no buildings West of Highway 1 because of the narrowness of the passage at that point. Therefore the height of the homes closest to the highway, in fact DO obstruct the view of those that are 2 blocks East of them. It was unfortunate that permission for Jeff Serota to build his 2 homes just off the highway was given thus setting a precedent for others to follow. The house in question in this case has the Serota house in its backyard thus obstructing the view from the time they bought it. We are all questioning whether members of the Board were paid so that the plans could go thru without notifying us beforehand.

What is the purpose of the Coastal Commission? To try to preserve the natural beauty of the area for everyone or to see how many skyscrapers can be built so that industrious builders can become wealthy as well as Board Members probably.

Respectfully Submitted by Carol Ann Barr, 4870 Coastal Avenue, Bodega Bay, Calif 94923

Mailing Address 4210 Devon Lane Sacramento, California 95864-1603

Carol Ann Barr

RECEIVED
NOV 30 2016
CALIFORNIA
COASTAL COMMISSION

RECEIVED

NOV 29 2016

CALIFORNIA
COASTAL COMMISSION

Item/Agenda # F7a

Application/Appeal # A-2-SON-16-0093

Cheryl Connell

Opposition to project

F7a

To the Commissioners:

I moved from San Diego after living there for 26 years. I bought my house in Carmet 17 years ago because it was different from anything San Diego has. There is no comparison with the McMansions in La Jolla that surround my friend's one story house there, where she has lived since 1955. For the program analyst to use this comparison shows how little this unique neighborhood is understood. If we want Northern California to look just like the horrors of the Southern California coastline—this project would be a start in that direction.

Carmet is not sophisticated. It is a small community where people know each other, spend time with each other and help each other.

Prior to the Heneghan's/Strening's controversy there was a harmony to the neighborhood. This attempt to allow building a second story, despite blocking other people's views, has torn the neighborhood apart.

I recently had surgery. When the Visiting Nurse came into my home she commented: what a charming neighborhood. It's so wonderful that people keep their homes low so everyone has their view!" I chuckled to myself but didn't say anything. When she made the same observation two more times during that visit, I finally could no longer bite my tongue. I told her that people who just came into the neighborhood no longer respect their neighbor's view or protests. Her response was: That's tragic!"

Yes she got it! So why don't you, the analyst get it? This place is unique. To compare this charming little neighborhood to San Diego is like comparing the Outer Banks to Atlanta! Does not compute!

I hope that you, the Commissioners, will give consideration to the neighbor's pleas—many of them—to not open the door to second stories throughout our neighborhood. Do Not ruin our neighborhood!

I did testify at the Sonoma County's Board of Supervisor's appeal.

Thank you.

Cheryl Connell

Hearing Date: December 9, 2016 Friday 9am

Place: Ventura City Council Chambers

Project Location: 5005 Viking Strand, Carmet/Bodega Bay Sonoma County

Applicant: Daniel Strening

Letter from: Cheryl Connell

4830 Coastal Ave.

Bodega Bay, CA 94923

707-875-2484

Godie Gale
4981 Conch Ave.
Bodega Bay, CA 94923

F7a

RECEIVED
DEC 01 2016
CALIFORNIA
COASTAL COMMISSION

November 27, 2016

RE: APPEAL NUMBER 1-2-SON-16-0093

DEAR COMMISSIONERS,

In the unlikely event that I do not show up at the Public Hearing on Dec. 9, I authorize one of you to use my allotted three minutes to read out loud my statement as follows:

THE CONCLUSION OF "NO SUBSTANTIAL ISSUE" MADE BY YOUR STAFF MEMBER IS WRONG FOR THE FOLLOWING REASONS.

1. The issue of ***PRECEDENT*** has never been ***HONESTLY*** addressed by Sonoma County staff or by Coastal Commission staff. Somebody needs to get to the bottom of how and why these LUP policies and protections are being circumvented. I ask you, the CA Coastal Commission, to investigate.

- There are three massive, two story mansions in Carmet (Heneghans propose a fourth.) So much for LUP policies that deal with "non-conforming structures in the vicinity." *Your Staff Report assures us that we can rely on "a similar analysis" that uses the same "appropriate size and scale rubric" for the next Heneghan-type proposal that comes along.* That is not reassuring.
- The Heneghan proposal *is a direct result* of one of the above mentioned "spec" mansions in Carmet. One of them is immediately west of Heneghans and was built in 2003.
- The Heneghan proposal is 5 ½ feet *higher* than the roofline of the 2003 precedent setting mansion. So much for your staff's contention that the "project design...does not set precedent for non-conforming structures in the vicinity." Of course it does.

- The resulting proposed square footage of the Heneghan “non-conforming structure” *is greater than 95% of the homes in Carmet.* (33% of the 64 homes in Carmet are bungalows under 1000 sq.ft. 84.4% of the 64 homes in Carmet are under 1500 sq.ft.)

2. Staff’s conclusion that “eastward public views will remain consistent with the existing views of the surrounding area.” is patently false.

- The proposed Heneghan house will now be the fourth “non-modest residence” to impact Carmet’s fishing village “look,” the fourth to clutter the eastward travelers’ public views which *will not* remain consistent with the existing views of the surrounding area. As described by Coastal Commission staff, “the existing public view from Hwy 1 towards the east is of *modest residences* set upon a gentle slope leading toward rolling hills in the near distance.” *The ocean view on the west as well as our hamlet on the east together make up the scenic landscape of our coastline.*

3. I disagree with staff’s conclusion that changing the landscape of our neighborhood has “no bearing on regional or statewide resource issues.”

- Carmet is in a section of Coastline where the ocean, beach and sea wall butt up against State Highway 1. Our neighborhood starts across the narrow, two lane highway from the sea wall. This makes our neighborhood an extremely important part of the visual experience of the coastline.
- Highway 1 is a **STATE** highway. Our Highway 1 coastline in front of Carmet is extremely unique to the public experience. Marshal Gulch, Carmet Beach and Schoolhouse Beach “overlooks” *are extremely popular vista points for the public* who obviously enjoy all directions: (north, east, south and west.)
- As the domino effect continues, there will be tall houses on top of houses--obliterating the “gentle slopes” of our “rolling hills”--to impact the travelers’ visual experience.

- Staffs contends that the “addition would fit in behind existing mature trees located on the project site” and, therefore the “county-approved project does not impact the existing visual resources” for the public.

Unfortunately, the County, while “suggesting” the Heneghans leave the trees in place to protect the public’s view, there was no condition to that effect in the final determination. Also, there are “rumors” that the trees are diseased so must be removed. If that is the case, the Heneghans will benefit because their view of the ocean will not be impeded by trees. But the public will get the shaft.

- Our coastline, *unlike the coastline in southern California*, is wild and pristine and not littered with tall, modern commercial buildings and/or multi-storied homes.

4. I disagree that the proposed project was appropriately noticed. I wouldn’t have said so if it was. Someone is not telling the truth, and it isn’t I.

- *No* pink notices were tacked up in our neighborhood after the first ones, dated July 7, 2015, which notified us of the “Coastal Permit Notice of Waiver of Public Hearing,” dated July 7, 2015.
- Notifying only the people within 300 feet of the proposal is INADEQUATE. People whose views are most impacted (who live barely over 300 feet away) were not notified.
- Mailed notices were not mailed ten days in advance, and I have the postmarks to prove it.

5. The updating of the Local Coastal Plan is a work in progress. It is paramount that the CA Coastal Commission delay it’s decision in this matter until the new LCP is intact.

- On July 22, 2015, I participated in the public workshop in Bodega Bay regarding the updating of the 2001 Local Coastal Plan and submitted a written request indicating the urgency for keeping the rooflines low.

6. I am requesting one or more California Coastal Commission members visit Carmet before making your final decision.

- I disapprove that out of four Sonoma County Board of Zoning Commissioners and five Sonoma County Supervisors, only two members of the zoning board and one staff member visited the proposed site. One zoning board commissioner voted against the project. One voted in favor but had reservations about the trees--to protect the public.
- I have been led to believe that no representative of the California Coastal Commission will actually visit Carmet--due to "budget constraints."
- "Virtuals" and "Photo-shopping" do not cut it.
- Contrary to your staff's feelings that this is a "neighborhood issue," your decision is paramount to the scenic experience of all of us--public and residents--**FOREVER.**

Very truly yours, Godie J. Gale