

CALIFORNIA COASTAL COMMISSION

South Coast Area Office
200 Oceangate, Suite 1000
Long Beach, CA 90802-4302
(562) 590-5071



F8c

5-16-0681(JANET CURCI FAMILY TRUST)

MAY 12, 2017

EXHIBITS

Table of Contents

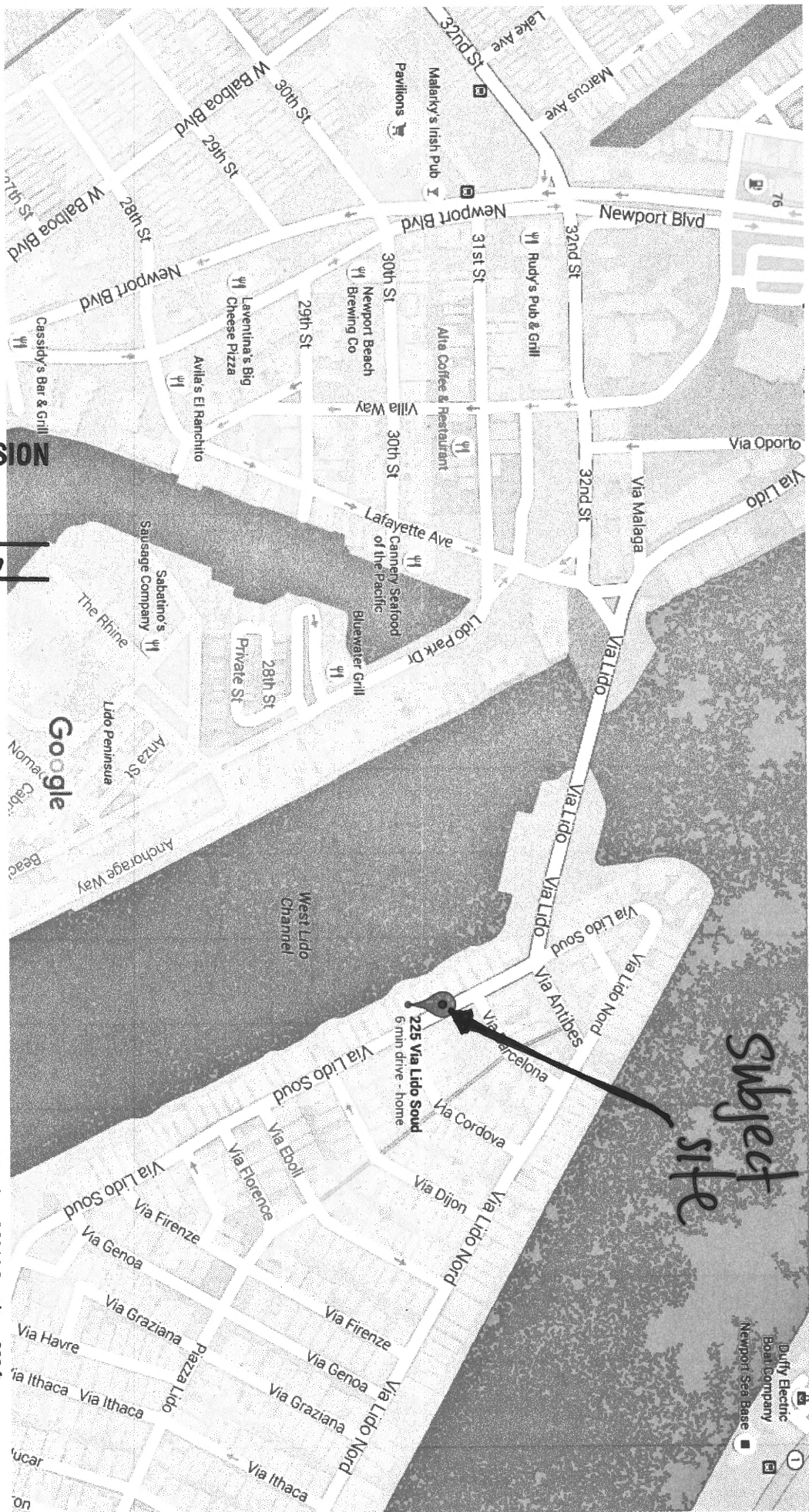
Exhibit 1 – Location and Vicinity Map

Exhibit 2 – Topographic and Boundary Survey

Exhibit 3 – Project Plans (Architectural, Grading/Drainage, Erosion Control, Landscaping)

Exhibit 4 – Seawall Repair/Reinforcement Plans

Google Maps 225 Via Lido Soud



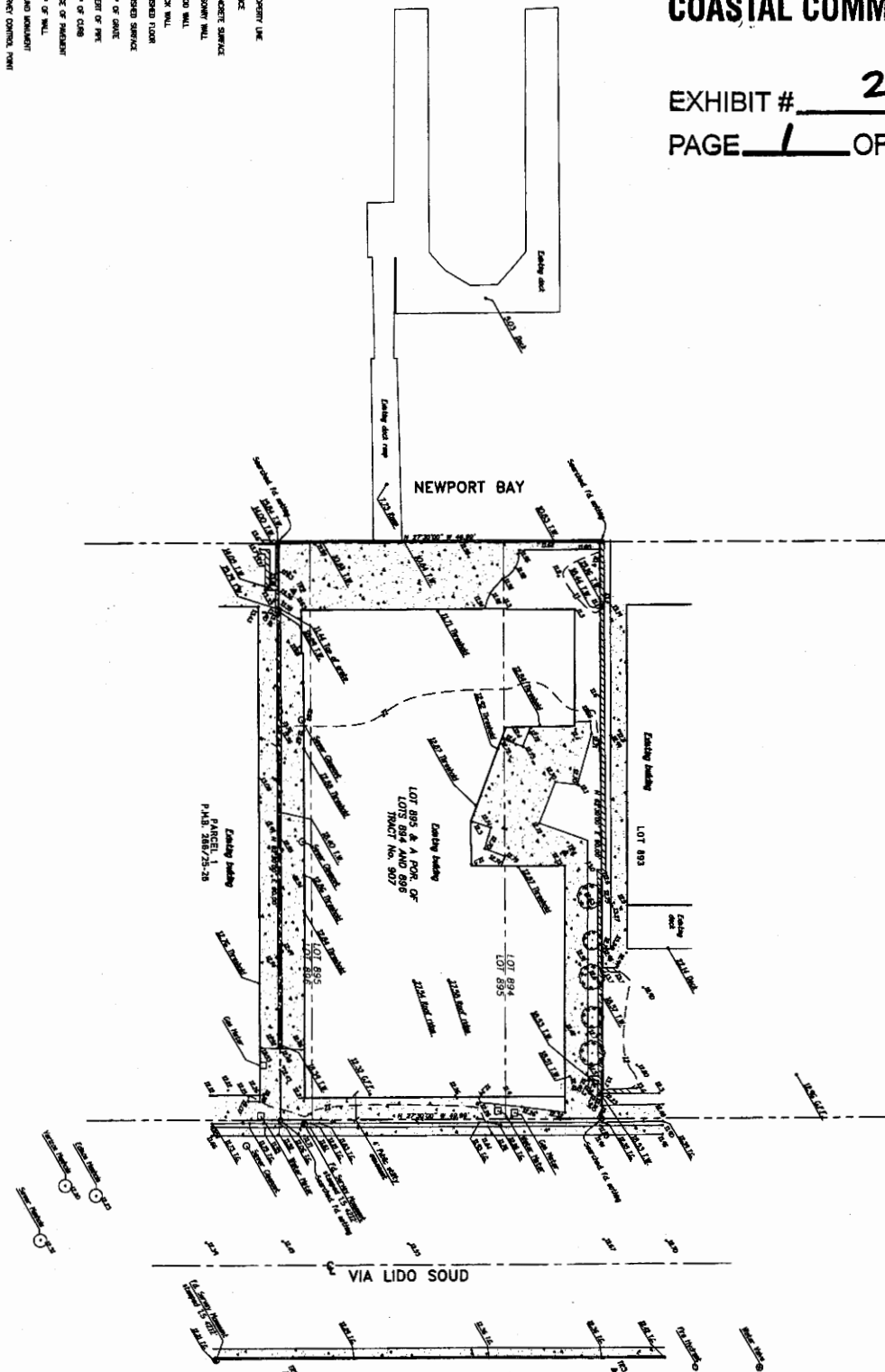
225 Via Lido Soud
Newport Beach, CA 92663

COASTAL COMMISSION

EXHIBIT # 1
PAGE 1 OF 1

COASTAL COMMISSION

EXHIBIT # 2
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NEIGHBORING NOTE:
THIS SURVEY WAS CONDUCTED UNDER A TITLE INSURANCE POLICY, TRACT NO. 907, U.M. 28/25-36.

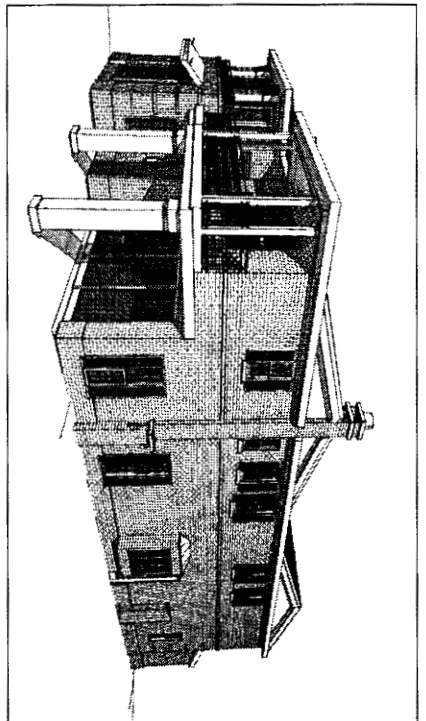
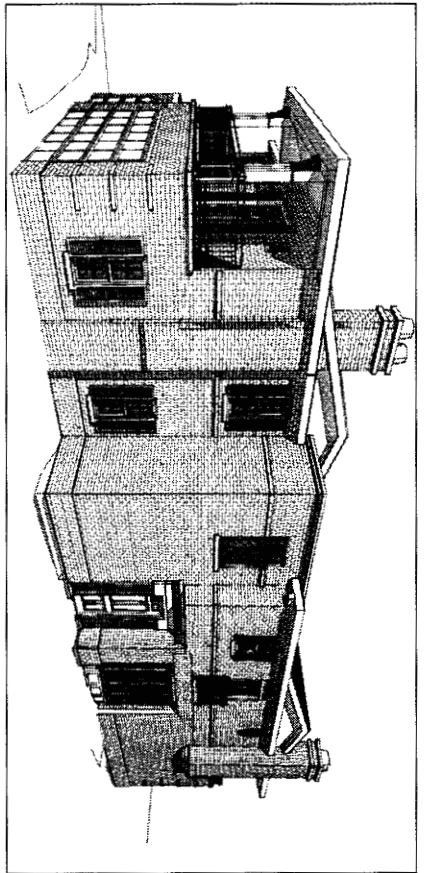
10-15-2015
Viktor P. Marum LS 8862



TOAL ENGINEERING, INC.
Civil Engineers and Land Surveyors
139 Avenida Novarro, San Clemente, Calif. 92672
Ph: 949-492-8588 Fax: 949-498-8625

REVISIONS	BY	DATE	APPROVED	DATE

TOPOGRAPHIC & BOUNDARY SURVEY
LOT 895 AND THE SE'LY 15 FEET OF LOT 894 AND THE NW'LY 5 FEET OF LOT 896 OF TRACT No. 907, U.M. 28/25-36
225 VIA LIDO SOUD, NEWPORT BEACH, CA
PREPARED FOR THE JANET CURCI FAMILY TRUST



PROJECT OVERVIEW

SCOPE OF WORK:

DEMO OF EXISTING RESIDENCE AND
NEW CONSTRUCTION OF WOOD FRAMED,
SINGLE FAMILY RESIDENCE
NO CHANGES TO EXISTING GRADIES

PROJECT OWNER:

JANET CURCI
NEWPORT BEACH, CA
(949) 922-7779

PROJECT ADDRESS:

225 VIA LIDO SQUAD
NEWPORT BEACH, CA 92663

APN:

423-14-1-02

LEGAL LOT DESCRIPTION:

LOT 1/2 OF 884, 885, 5' OF 886
TRACT 907

SITE EASEMENT:

4' PUBLIC UTILITY EASEMENT

GOVERNING CODES:

CBC 2013
CRC 2013

ZONING:

R1/RSD-C/R5-D

SETBACK MAP NO:

S-3A

COMMUNITY:

LIDO ISLE COMMUNITY ASSOCIATION

PROJECT DATA

LOT SIZE:

4,500 SF

BUILDABLE AREA:

3,192 SF

FLOOR AREA LIMITATION (2.0):

6,384 SF - CITY OF NEWPORT BEACH

FLOOR AREA LIMITATION (1.70):

5,428 SF - LIDO ISLAND HOS

MINIMUM OPEN VOLUME:

479 SF (5' x 5' x 7.5 H min)

PROPOSED OPEN VOLUME:

823.91 SF
(447.12 SF - MAIN, 376.79 SF - UPPER)

PROPOSED RESIDENCE

MAIN FLOOR:

2,105.88 SF

GARAGE:

677.39 SF

TRASH ENCLOSURE:

7.49 SF

UPPER FLOOR:

2,358.10 SF

TOTAL PROPOSED:

5,149.84 SF

TOTAL ROOF AREA

2,984 SF

FLAT ROOF AREA

587 SF

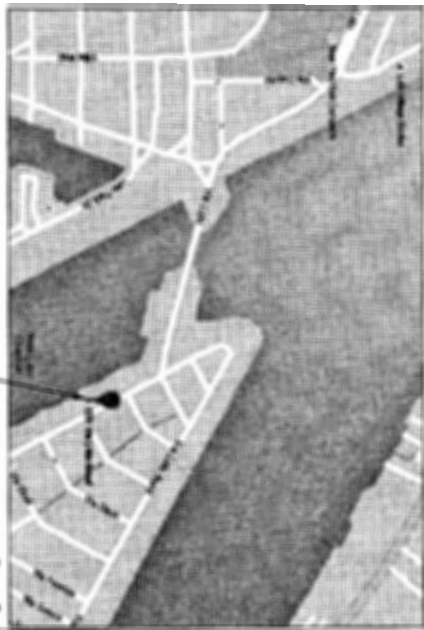
% OF FLAT ROOF AREA

20 %

SHEET INDEX

A-1	COVER SHEET
A-2	PLOT PLAN
A-3	SECTION PLAN - MAIN LEVEL
A-4	FLOOR PLAN - UPPER LEVEL
A-5	ROOF PLAN
A-6	ELEVATIONS
A-7	SECTION
A-8	PRELIMINARY GRADING PLAN & DRAINAGE
A-9	LANDSCAPE PLAN
A-10	

VICINITY MAP



COASTAL COMMISSION

EXHIBIT # 3
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BRIAN SIPE DESIGN
R.E. DESIGN / DEVELOPMENT
DEL MAR, CA 92014
858.775.8732

REVISIONS

TITLE: APPROVAL-IN-CONCEPT 7/16/16

CURCI RESIDENCE
225 VIA LIDO SQUAD
NEWPORT BEACH, CA 92663

COVER SHEET

A-1

ESTIMATE OF CHANGES

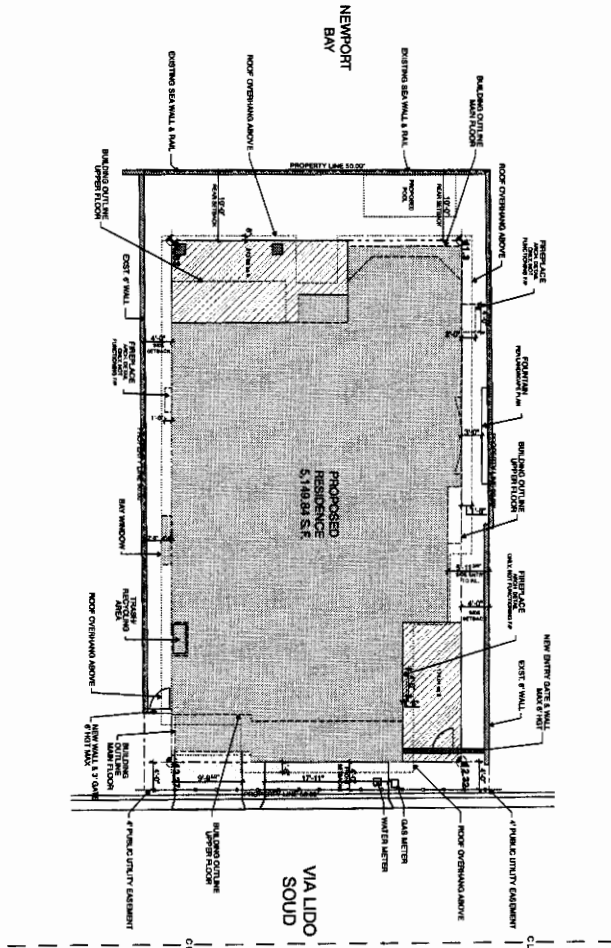
1.	11.3
2.	11.80
3.	12.20
4.	12.20
TOTAL	47.50 / 4.112

SCHEMATIC CALCULATION

HIGH POINT (12.20) - LOW POINT (11.8) / DISTANCE (75)

12.20 - 11.8 / 75 = .013

- LEGEND**
- PROPOSED WALL
 - EXISTING WALL
 - OPEN VOLUME AREA
 - ROOF OVERHANG ABOVE
 - PROPERTY LINE
 - BUILDING OUTLINE
 - SETBACK LINE
 - 4' PUBLIC UTILITY EASEMENT



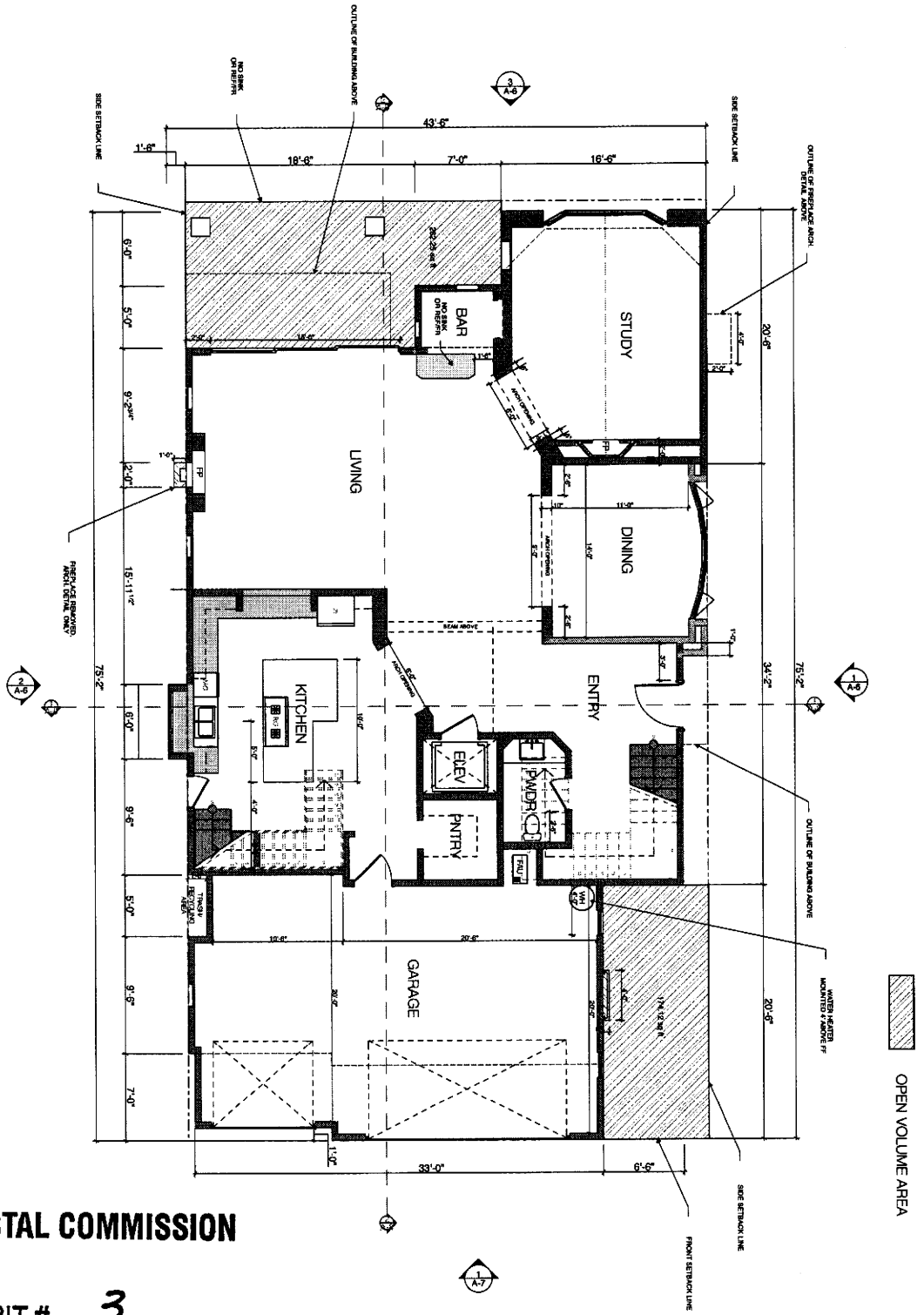
1 PLOT PLAN
SCALE: 1/8" = 1'-0"

COASTAL COMMISSION

EXHIBIT # 3
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BRIAN SIPE DESIGN P.E. DESIGN / DEVELOPMENT DEL MAR, CA 92014 658.775.8732	REVISIONS TITLE: APPROVAL-IN-CONCEPT 7/16/16	CURCI RESIDENCE 225 VIA LIDO SOUD NEWPORT BEACH, CA 92663 PLOT PLAN A-2
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1 FLOOR PLAN - MAIN LEVEL
SCALE 1/8" = 1'-0"



COASTAL COMMISSION

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A-3

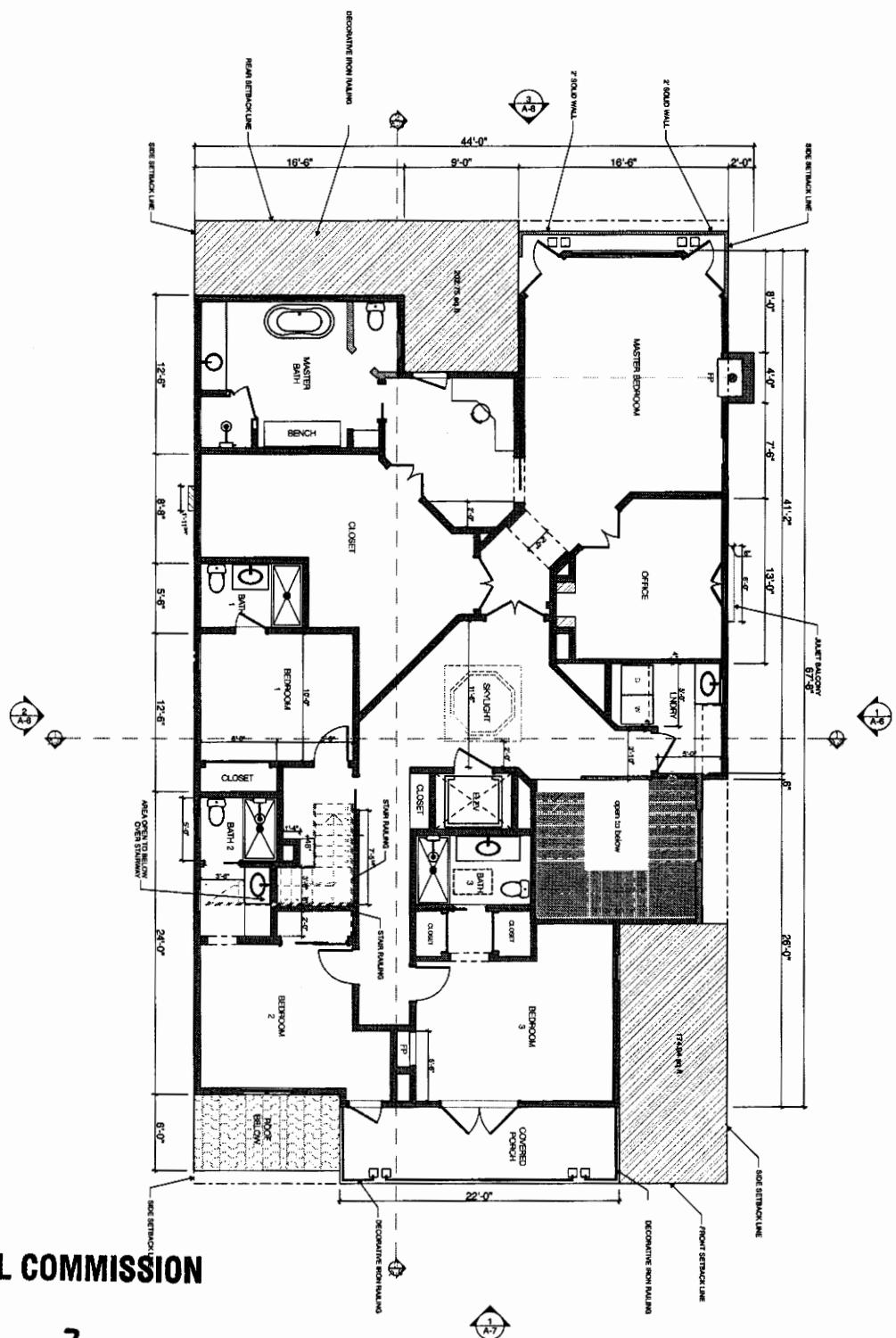
MAIN LEVEL -
FLOOR PLAN

CURCI RESIDENCE
225 VIA LIDO SOUD
NEWPORT BEACH, CA 92663

REVISIONS	
TITLE: APPROVAL-IN-CONCEPT	7/18/16

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DEL. MAP, CA 92014
858.775.8732

1 FLOOR PLAN - UPPER LEVEL
SCALE: 1/4" = 1'-0"



COASTAL COMMISSION

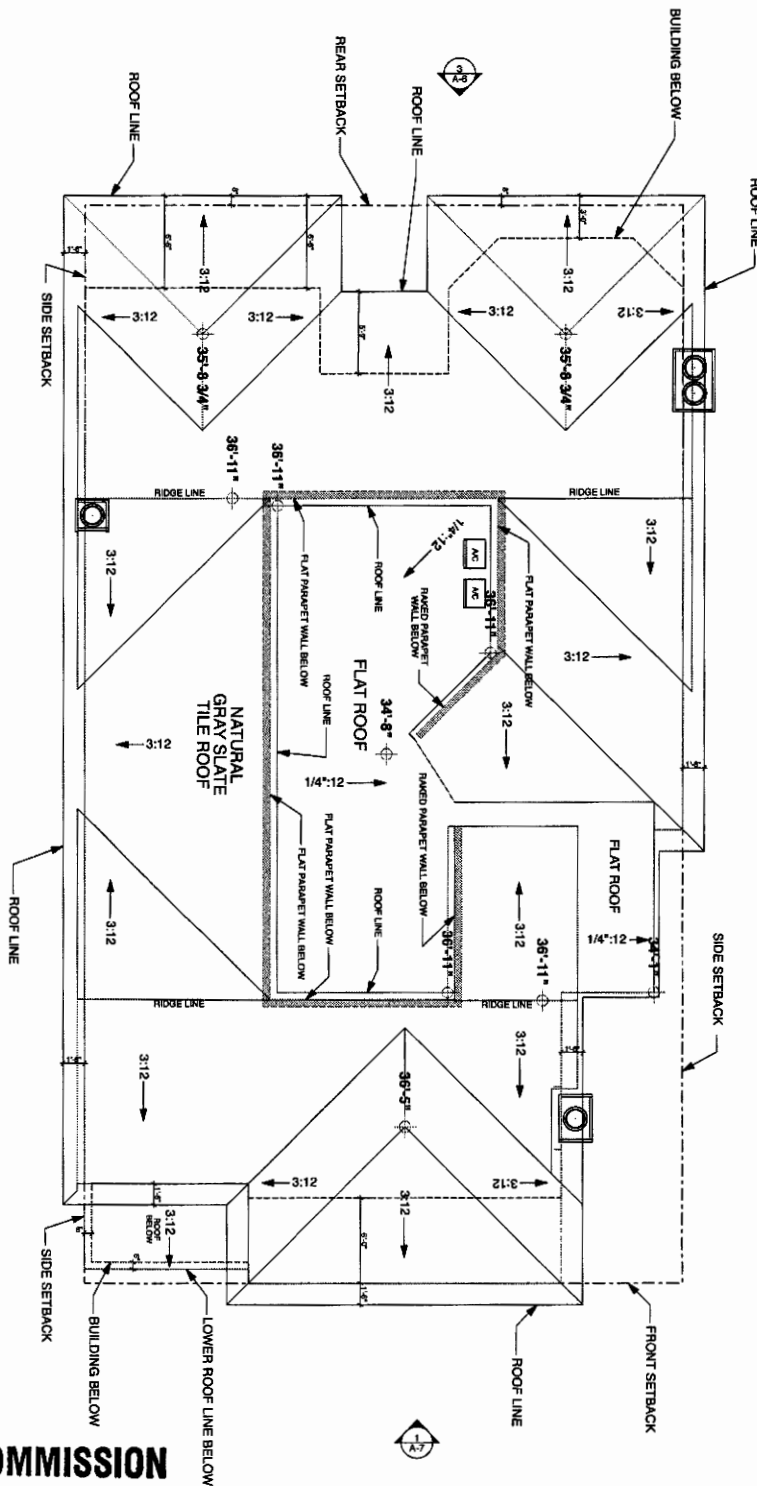
EXHIBIT # 3
PAGE 4 OF 12

BRIAN SIPE DESIGN R.E. DESIGN / DEVELOPMENT DEL MAR, CA 92014 658.775.8732	REVISIONS TITLE: APPROVAL-IN-CONCEPT 7/16/16	CURCI RESIDENCE 225 VIA LIDO SOUD NEWPORT BEACH, CA 92663	UPPER LEVEL - FLOOR PLAN A-4
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- NOTES:
1. SLOPED ROOF SHALL BE CLASS "A" ASSEMBLY, ARCHITECTURAL GRADE NATURAL GRAY SLATE TILE ROOF
 2. FLAT ROOF SHALL BE CLASS "A" ASSEMBLY ARCHITECTURAL GRADE FINISH
 3. NOTHING PERMITTED ON ROOF ABOVE 24"

ROOF AREA CALCULATIONS

TOTAL ROOF AREA	2,994 SF
FLAT ROOF AREA	597 SF
% OF FLAT ROOF AREA	20%



1 ROOF PLAN
SCALE: 1/4" = 1'-0"

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CURCI RESIDENCE
225 VIA LIDO SOUD
NEWPORT BEACH, CA 92663

ROOF PLAN

A-5

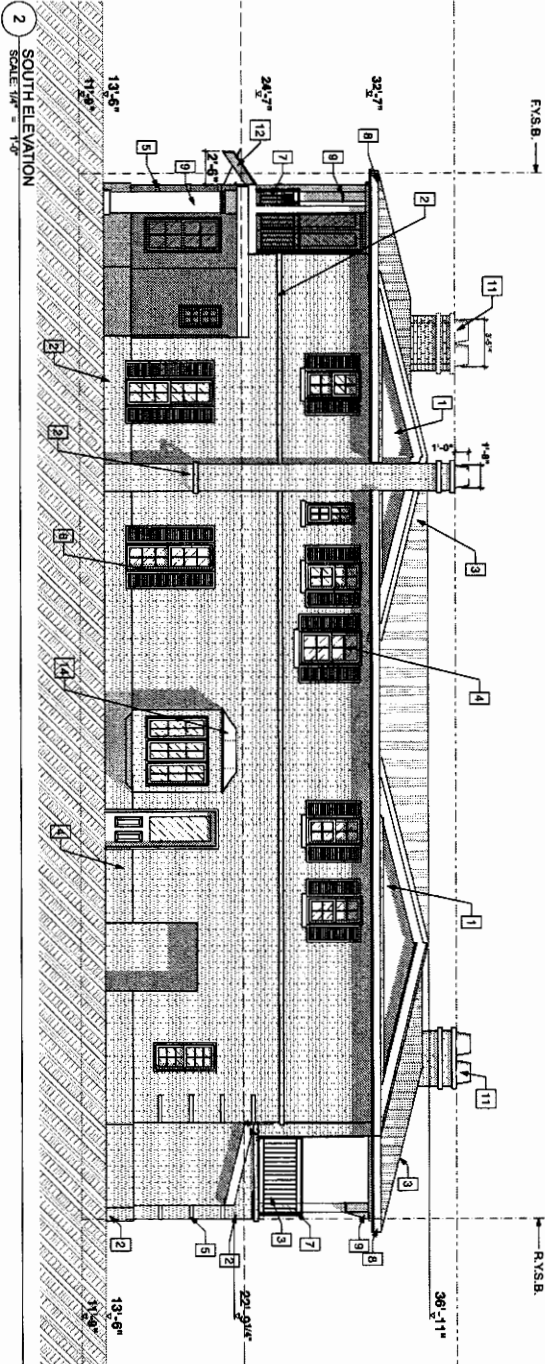
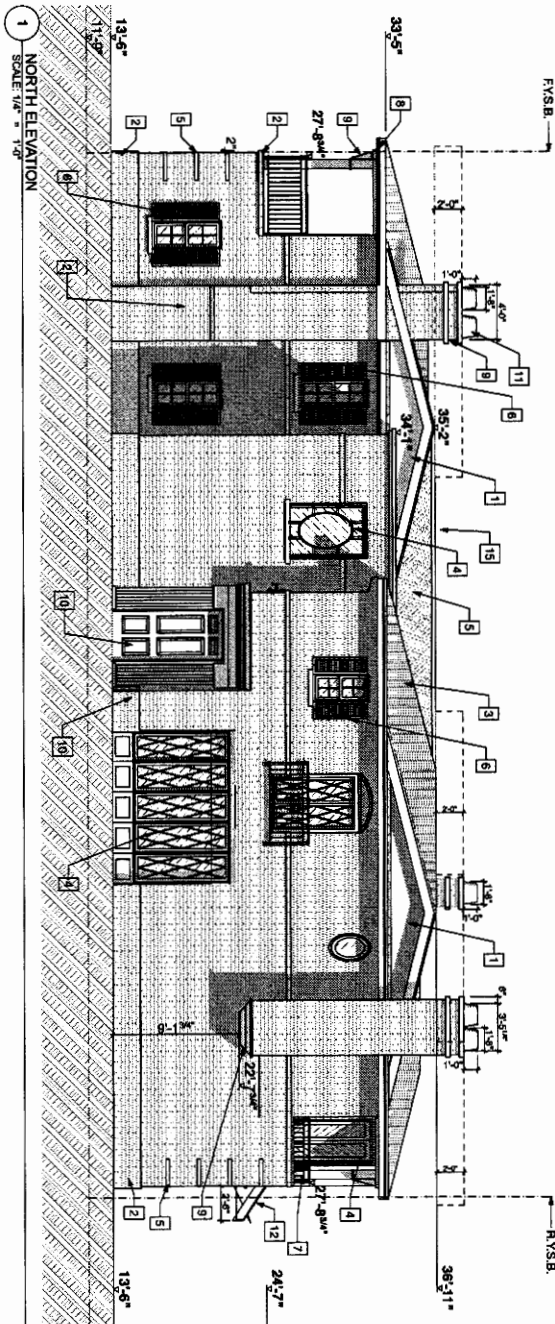
REVISIONS
TITLE: APPROVAL-IN-CONCEPT 7/18/16

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P.E. DESIGN / DEVELOPMENT
DEL. MAP. CA 92014
659.775.8732

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- 1 SMOOTH COAT STUCCO - WHITE
- 2 PAINTED BRICK - WHITE (BAND DETAIL 2" DEPTH)
- 3 SLATE TILE ROOF - GRAY
- 4 METAL CLAD FRAME - WHITE, DOORS & WINDOW TR
- 5 SMOOTH COAT STUCCO (RECESSED) - WHITE
- 6 PAINTED WOOD SHUTTERS - BLACK (DEPTH 6" MAX)
- 7 DECORATIVE IRON RAILING - BLACK
- 8 FASCIA & GUTTER TRIM - WHITE
- 9 PAINTED WOOD TRIM - WHITE
- 10 MAHOGANY WOOD - NATURAL
- 11 CHIMNEY CAP - COPPER
- 12 WHITE OUTDOOR FABRIC & IRON DETAIL, ARCHITECTURAL AWNING
- 13 PAINTED WOOD GARAGE DOORS - BLACK
- 14 STANDING SEAM METAL ROOF - COPPER
- 15 TOP OF PARAPET WALL



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NEWPORT BEACH, CA 92663

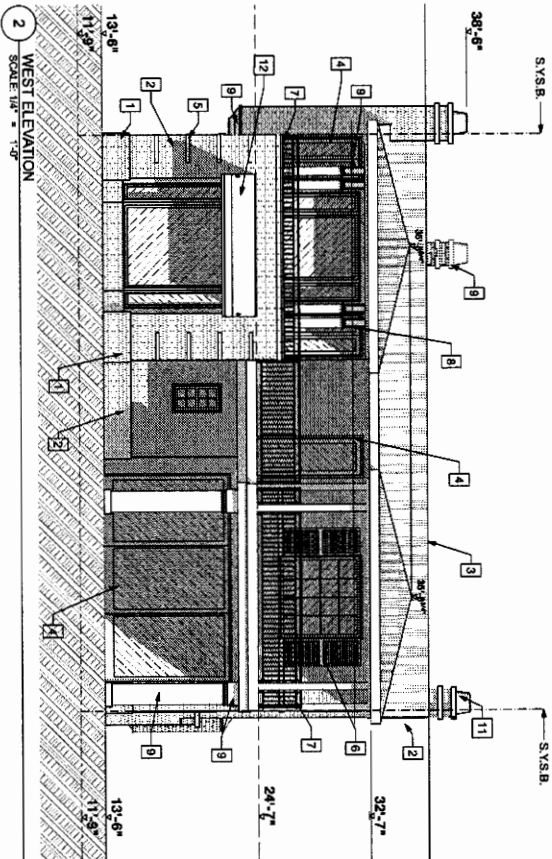
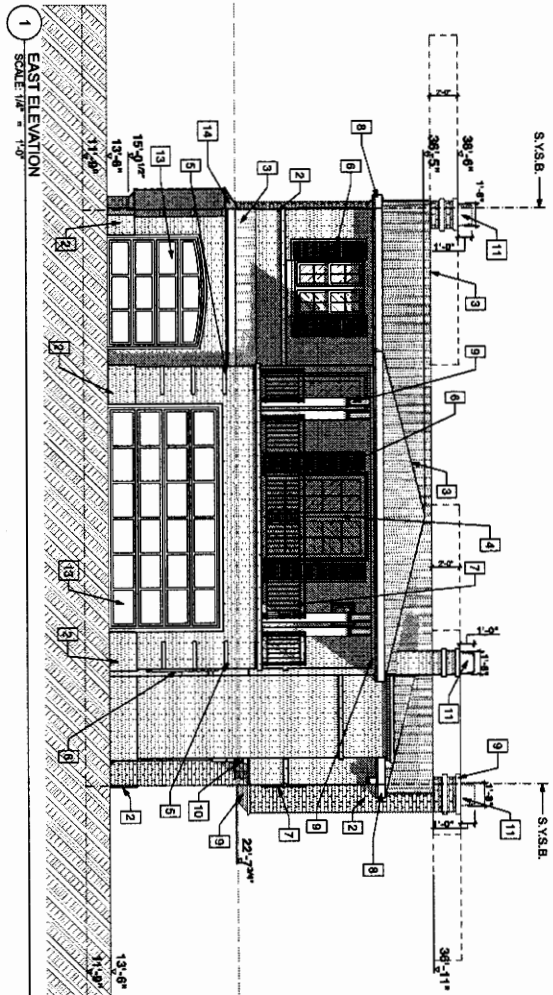
ELEVATION 1

A-6

- 1 SMOOTH COAT STUCCO - WHITE
- 2 PAINTED BRICK - WHITE (BAND DETAIL 2" DEPTH)
- 3 SLATE TILE ROOF - GRAY
- 4 METAL CLAD FRAME - WHITE, DOORS & WINDOW TYP.
- 5 SMOOTH COAT STUCCO (RECESSED) - WHITE
- 6 PAINTED WOOD SHUTTERS - BLACK (DEPTH 6" MAX)
- 7 DECORATIVE IRON RAILING - BLACK
- 8 FASCIA & GUTTER TYP. - WHITE
- 9 PAINTED WOOD TRIM - WHITE
- 10 MAHOGANY WOOD - NATURAL
- 11 CHIMNEY CAP - COPPER
- 12 WHITE OUTDOOR FABRIC & IRON DETAIL, ARCHITECTURAL AWNING
- 13 PAINTED WOOD GARAGE DOORS - BLACK
- 14 STANDING SEAM METAL ROOF - COPPER
- 15 TOP OF PARAPET WALL

COASTAL COMMISSION

EXHIBIT # 3
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TITLE: APPROVAL-IN-CONCEPT 7/15/16

CURCI RESIDENCE
225 VIA LIDO SOUD
NEWPORT BEACH, CA 92663

ELEVATION II

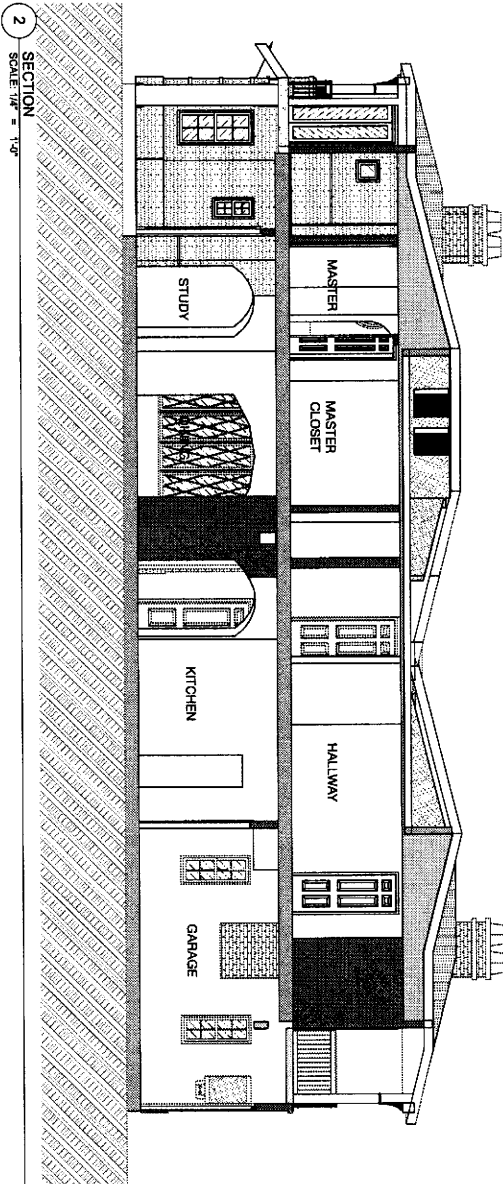
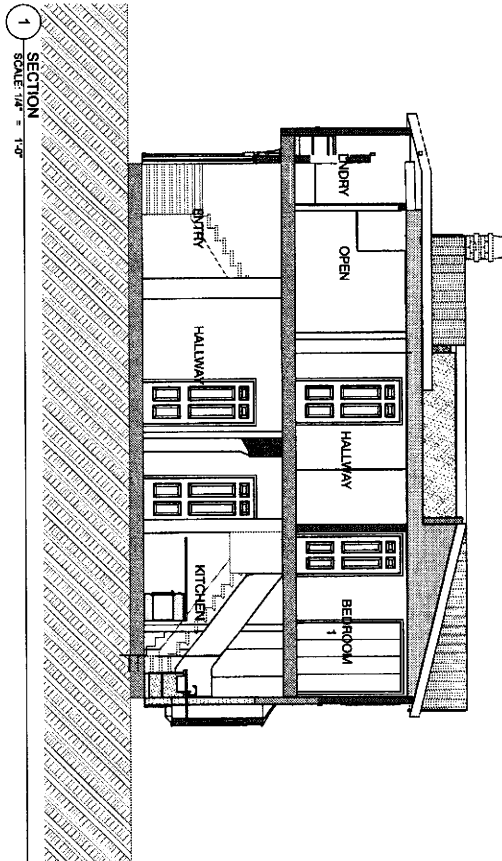
A-7

COASTAL COMMISSION

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NOTES

1. ASSOCIATION APPROVAL (ADVISORY) Issuance of Building Permit by the City does not relieve applicant of legal requirement to observe covenants, conditions, and restrictions which may be recorded against the property or to obtain community association of approval of plans.
2. Pools, spas, walls, fences, patio covers and other freestanding structures require separate reviews and permits.
3. Fences, hedges, walls, retaining walls, guardrails and handrails, or any combination thereof shall not exceed 42" from existing grade prior to construction within the required front setback areas.
4. All setbacks measured from property lines to face of building finish.



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P.L.L.C. DESIGN / DEVELOPMENT
DEL MAR, CA 92014
658.775.8732

REVISIONS

TITLE: APPROVAL-IN-CONCEPT 7/16/16

CURCI RESIDENCE
225 VIA LIDO SOUD
NEWPORT BEACH, CA 92663

SECTIONS

A-8

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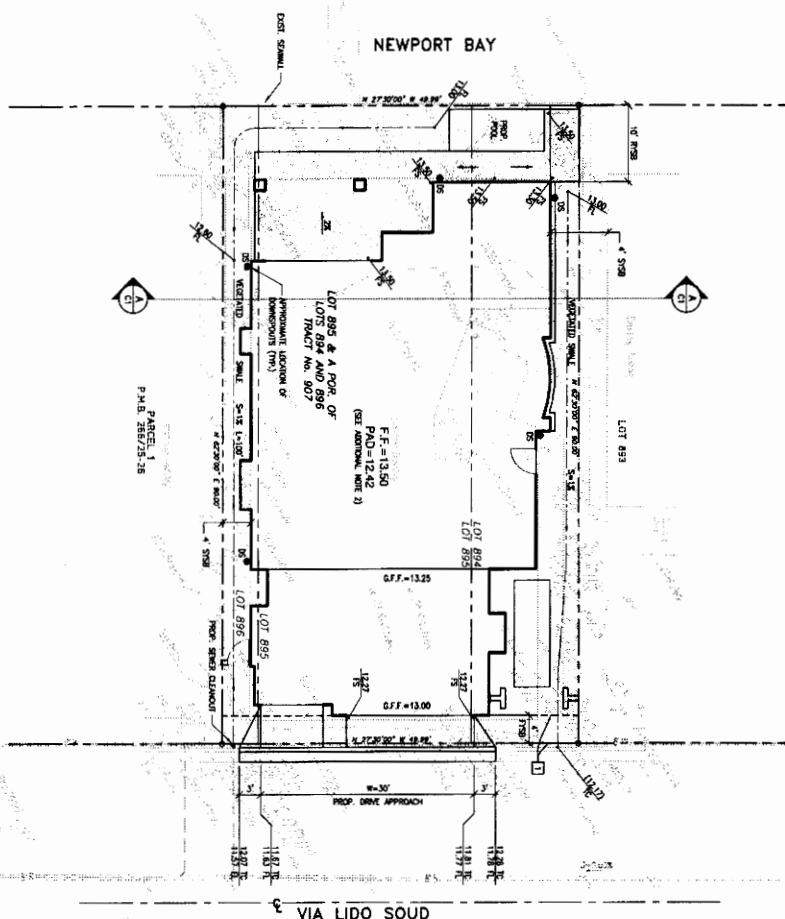
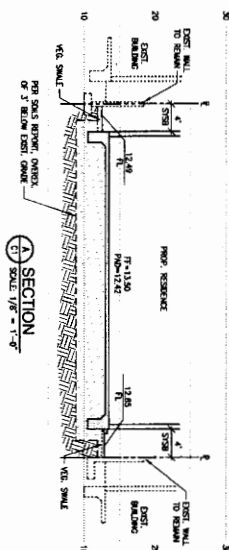
BENCHMARK NOTE:
 DCSBM 863-18-58
 ELEV=18.435
 MONROE DARTON, 1992 ADJ.

EASEMENT NOTE:
 THE PLAT FOR THIS SURVEY WAS PREPARED WITHOUT A TITLE REPORT. UNPLOTTED EASEMENTS MAY EXIST ON THE SUBJECT PROPERTY.

1 A 4' EASEMENT FOR PUBLIC UTILITY PURPOSES AS SHOWN ON A MAP OF TRACT 807, W. 4, 28/29-35

[illegible][illegible]

EXCAVATION.....	5 C
FILL.....	24 C
OVEREXCAVATION & RECOMPACTION.....	460 C



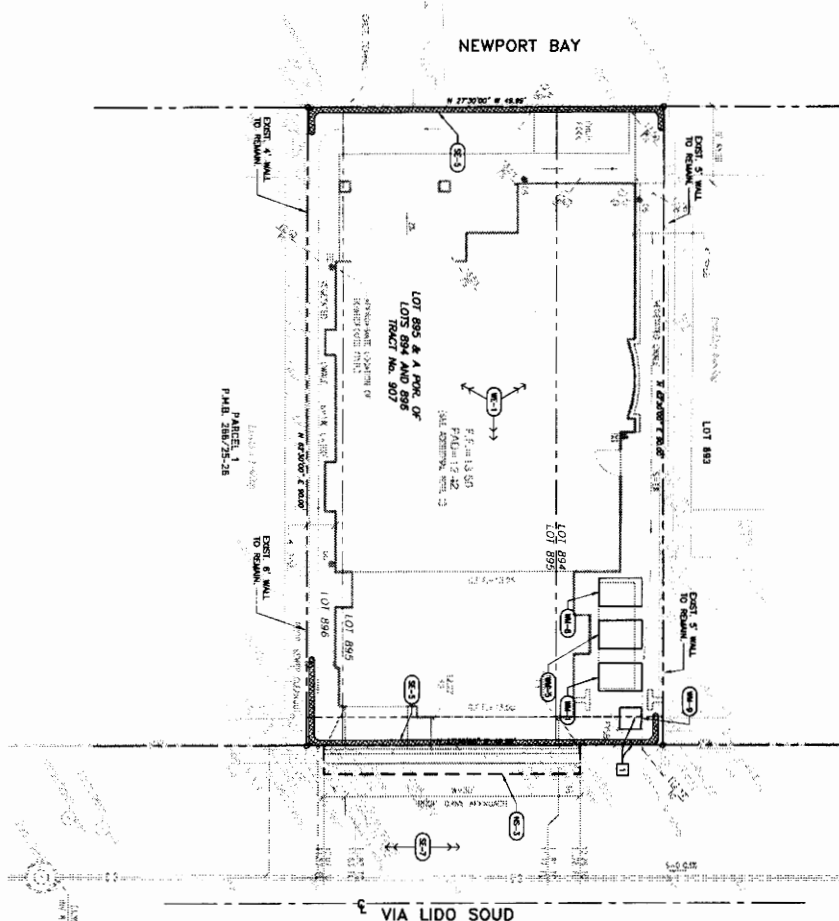
LEGEND	
	CONCRETE (NAME)
	FORMWORK (NAME)
	REINFORCEMENT (NAME)
	SOIL (NAME)
	WATER (NAME)
	AIR (NAME)
	GRAVEL (NAME)
	SAND (NAME)
	CLAY (NAME)
	ROCK (NAME)
	VEGETATION (NAME)
	FENCE (NAME)
	ROAD (NAME)
	RAILROAD (NAME)
	POWER LINE (NAME)
	WATER LINE (NAME)
	GAS LINE (NAME)
	SEWER LINE (NAME)
	TELEPHONE LINE (NAME)
	FIRE HYDRANT (NAME)
	VALVE (NAME)
	MANHOLE (NAME)
	LIGHT POLE (NAME)
	SIGN (NAME)
	TREE (NAME)
	BUSH (NAME)
	GRASS (NAME)
	FLOWER (NAME)
	FRUIT (NAME)
	VEGETABLE (NAME)
	ANIMAL (NAME)
	BIRD (NAME)
	FISH (NAME)
	INSECT (NAME)
	PLANT (NAME)
	ROCK (NAME)
	SOIL (NAME)
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	ROAD (NAME)
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	POWER LINE (NAME)
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	GAS LINE (NAME)
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	FIRE HYDRANT (NAME)
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	LIGHT POLE (NAME)
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	GRAVEL (NAME)
	SAND (NAME)
	CLAY (NAME)
	ROCK (NAME)
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	WATER LINE (NAME)
	GAS LINE (NAME)
	SEWER LINE (NAME)
	TELEPHONE LINE (NAME)
	FIRE HYDRANT (NAME)
	VALVE (NAME)
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	ANIMAL (NAME)
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	FISH (NAME)
	INSECT (NAME)
	PLANT (NAME)
	ROCK (NAME)
	SOIL (NAME)
	WATER (NAME)
	AIR (NAME)
	GRAVEL (NAME)
	SAND (NAME)

CURCI RESIDENCE	
PRELIMINARY GRADING & DRAINAGE PLAN	
LOT 895 & POR. LOTS 894 & 896, TR. 907 225 VIA LIDO SOUND	

[illegible]

TOAL ENGINEERING, INC. 	CIVIL ENGINEERING 10000 ALLEN BLVD. SUITE 100 NEW CRYSTAL, TX 75557 505-936-2222 FAX 505-936-2223 WWW.TOTAL-ENG.COM		DRAWINGS FOR: JANET QUORI MEMBER BOARD ON TEL. (505) 262-1779
	PROJECT NO.: DATE: 05/28/00		

EXHIBIT # 3
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NOTE

LEGEND

- 10-X-1 BAP DESIGNATION IN CALIFORNIA
STORMWATER BAP HANDBOOK -
CONSTRUCTION, LATEST EDITION,
BY THE CALIFORNIA STORMWATER
QUALITY ASSOCIATION.

YEAR-ROUND BMP REQUIREMENTS

- [illegible]

EROSION CONTROL BMPs		
EC-1	STORMWATER	SCHEDULE PREPARED BY CONSTRUCTOR SHALL BE ON-SITE DURING CONSTRUCTION.
TEMPORARY SEDIMENT CONTROL		
SC-2	TIRED RAILS	PROJECT AS SHOWN IN PLAN
SC-3	STREET SHEDDING AND WASHING	STORMWATER SHALL BE CAPTURED, COLLECTED AND PROPERLY DISPOSED OF ON OR OFF-SITE, ON A REGULAR BASIS.
WIND EROSION CONTROL		
WC-1	WIND EROSION CONTROL	WINDS OF FORCE 15 MPH SHALL BE USED TO ALLOCATE DUST SUSPENDED FROM ANY DISTURBED AREAS DURING CONSTRUCTION.
TRACKING CONTROL		
TC-1	STABILIZED CONSTRUCTION SITE	POSSIBLE DUST PLATES AT CONSTRUCTION SITE ENTRANCE & EXITS SHALL BE PLACED ON/AT SITE.
WASTE MANAGEMENT AND MATERIALS POLLUTION CONTROL		
WM-1	MATERIAL STORAGE AND STORAGE	IF MATERIALS ARE STORED ON-SITE, THEY SHALL BE STORED IN PILES, BARRIERS OR CONTAINERS AND COVERED FROM RAIN AND WIND.
WM-2	MATERIAL USE	CONTRACTOR SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
WM-3	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
WM-4	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
WM-5	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
WM-6	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
NON-STORED MATERIAL MANAGEMENT		
MS-1	WATER CONSTRUCTION PRACTICES	WATER CONSTRUCTION TO PREVENT DISTURBED NON-STORED WASTEWATERS.
MS-2	PAVING AND CONCRETE DISTURBANCES	PAVING AND CONCRETE DISTURBANCES TO PREVENT DISTURBED NON-STORED WASTEWATERS.
MS-3	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
MS-4	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
MS-5	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
MS-6	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
MS-7	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
MS-8	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
MS-9	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
MS-10	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
MS-11	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
MS-12	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.
MS-13	HAZARDOUS WASTE MANAGEMENT	HAZARDOUS WASTE MANAGEMENT SHALL BE OBLIGED TO RECONSTRUCT WITH PROTECT DIRECTION.

THIS SHEET FOR EROSION CONTROL ONLY

CURCI RESIDENCE

EROSION CONTROL PLAN

LOT 895 & POR. LOTS 894 & 896, TR. 907
225 VIA LIDO SOUND

[illegible]

TOAL
ENGINEERING, INC.
CIVIL ENGINEERING
LAND SURVEYING
STORMWATER QUALITY

139 Avenida Nacional
San Clemente, CA 92673
949.492.8586
www.toalengineering.com

DATE:	07/06/16	N. SCALE:	1"=5'
SURVEY DATE:	5/28/15	% SCALE:	N/A
DRN:	B.D.M.	DRG. NO.	
CHG:	C.R.		
APPRO.:	C.R.		
JOIN NO.		SHEET	OF
15526		2	2



VIA LIDO
SUD

Landscape Notes

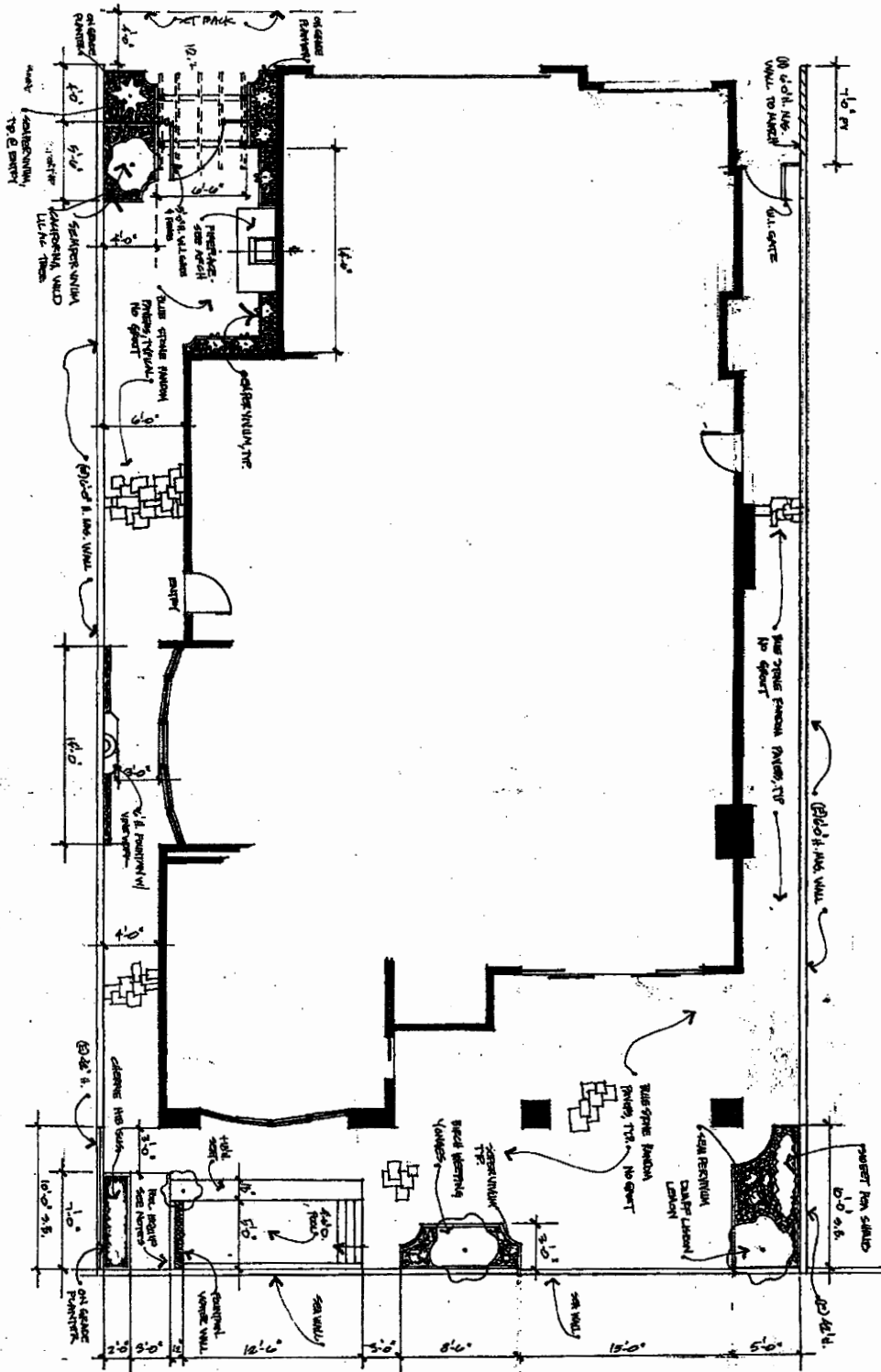
- All planters to be lined with stone borders at grade level.
- All planters to be covered with decomposed granite.
- All pavers to be blue stone in a random pattern.
- All planting to be drought resistant.
- Pool equipment enclosure is 42" h. and is screened on all 4 sides and top with solid surface panels and vented. The maximum 66 DBA noise level is per The City of Newport Beach requirements.

Water feature outside of the Dining Room is recycling.
Entry trellis - see architectural for elevation.

Plant List

- California Wild Lilac, canthorus, 7'h, 3' to 4' spread
- Sweet pea Shrub, polygalata, 3'h, 3' to 4' spread
- Dwarf Lemon Lavender, 5' to 7'h, 6' spread
- Cherry Hibiscus, thibicus rostratus, 6' h, 2' to 4' spread
- Black Weeping Yucca, 7' h, 2' spread
- Samperium, Crataegus, 4' to 5' h, succulent materials ground cover

Irrigation: Micro spray and drip irrigation



Landscape Plan

ALL PLANTS ARE DROUGHT TOLERANT, NON-INVASIVE

Curci Residence
225 Via Lido Blvd
Newport Beach, CA 92663

T.J. Consulting
4010 River Ave.
Newport Beach, CA 92663
(949) 209-7211

47.5	4
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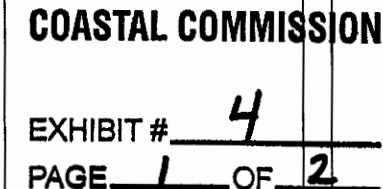
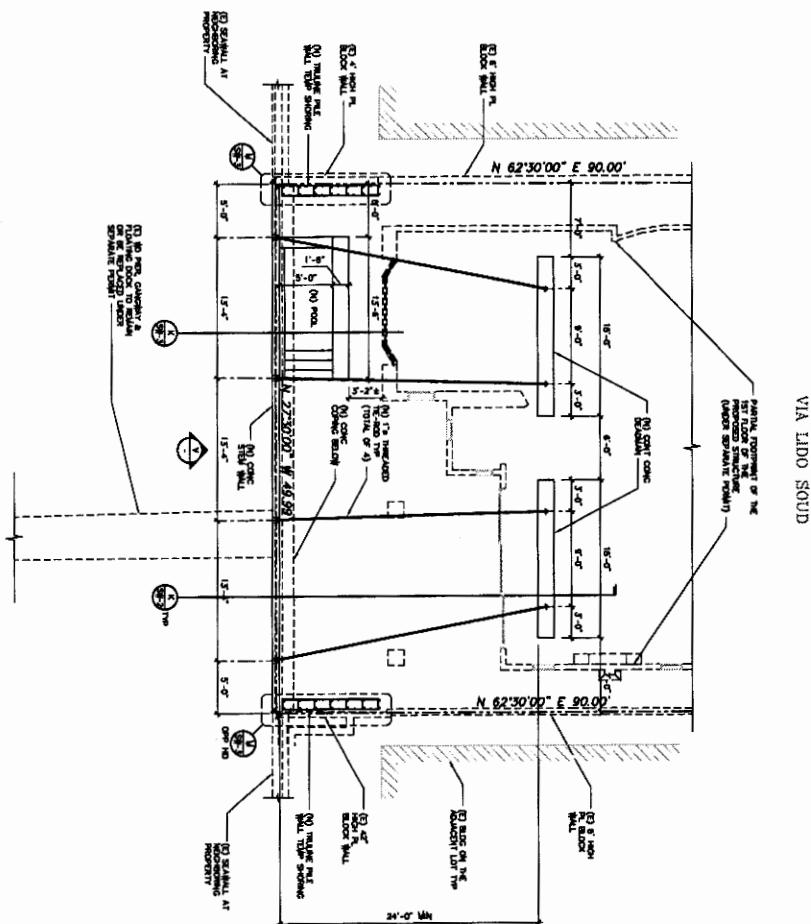


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NEWPORT BAY



APPLY DETAIL (SEE 5-D) AT THE DRYING PERIOD FOR ANY EXCAVATED MATERIAL PILED UP AT THE PROJECT SITE IN COMPLIANCE WITH ITEM 5 UNDER "DROPOUT CONTRACT NOTES" ON SHEET 5-D.

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[illegible]

SW-1

DES. P. PETROV
DRAWN P. PETROV
CHK'D. W. JAFARI
PROJ. MGR. W. JAFARI
DATE 07/19/10



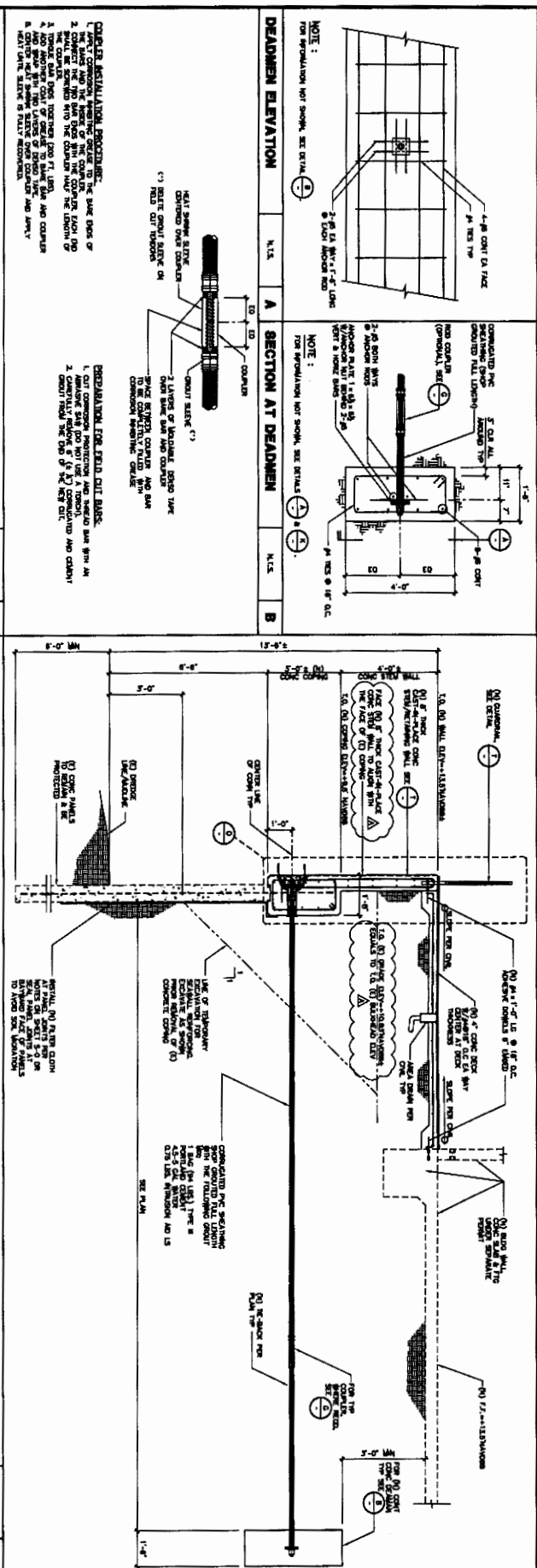
W WILLIAM SIMPSON
& ASSOCIATES, INC.
CONSULTING STRUCTURAL ENGINEERS
23 ORCHARD, SUITE 230 F (949) 208-9929
LAKE FOREST, CA 92630 F (949) 208-9950
WWW.WS08.COM M079@WS08.COM

**REINFORCING THE EXISTING
SEAWALL/BULKHEAD LOCATED AT:
225 VIA LIDO BOUD
NEWPORT BEACH, CA 92663**

SITE PLAN & ELEVATION

JANET CURCI FAMILY TRUST
808 SOUTH BAYFRONT
BALBOA ISLAND, CA 92662

SITE PLAN & ELEVATION

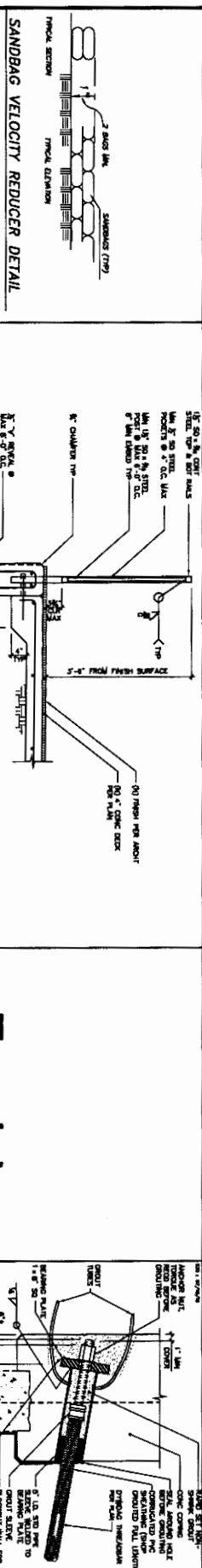


COUPLES INSTALLATION PROCEDURE:

1. CUT COMMONS PROTECTIVE AND WEAR SURF WITH AN APPROPRIATE TOOL (DO NOT USE A TORCH).
2. REMOVE SURF TO EXPOSE THE COUPLES AND THE LENGTH OF THE COUPLES.
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PREPARATION FOR FIELD CUT BASE:

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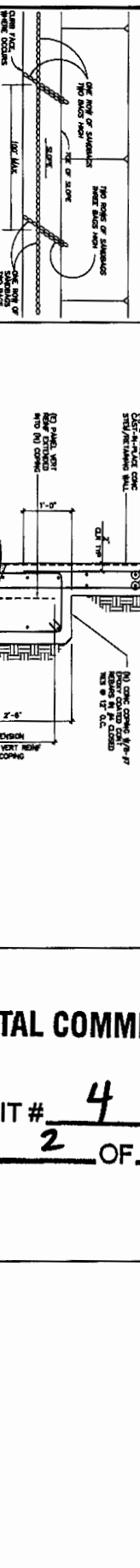


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COASTAL COMMISSION

EXHIBIT # 4

PAGE 2 OF 2

SW-2

WILLIAM SIMPSON & ASSOCIATES, INC.

REINFORCING THE EXISTING SEAWALL/BULKHEAD LOCATED AT: 225 VIA LIDO BOUD NEWPORT BEACH, CA 92663

OWNER / APPLICANT: JANET CURCI FAMILY TRUST 808 SOUTH BAYFRONT BALBOA ISLAND, CA 92662