

# **CALIFORNIA COASTAL COMMISSION**

South Coast Area Office  
200 Oceangate, Suite 1000  
Long Beach, CA 90802-4302  
(562) 590-5071



# **W9b**

**5-17-0226 (TEAM HALEY, LP)**

**JUNE 7, 2017**

## **EXHIBITS**

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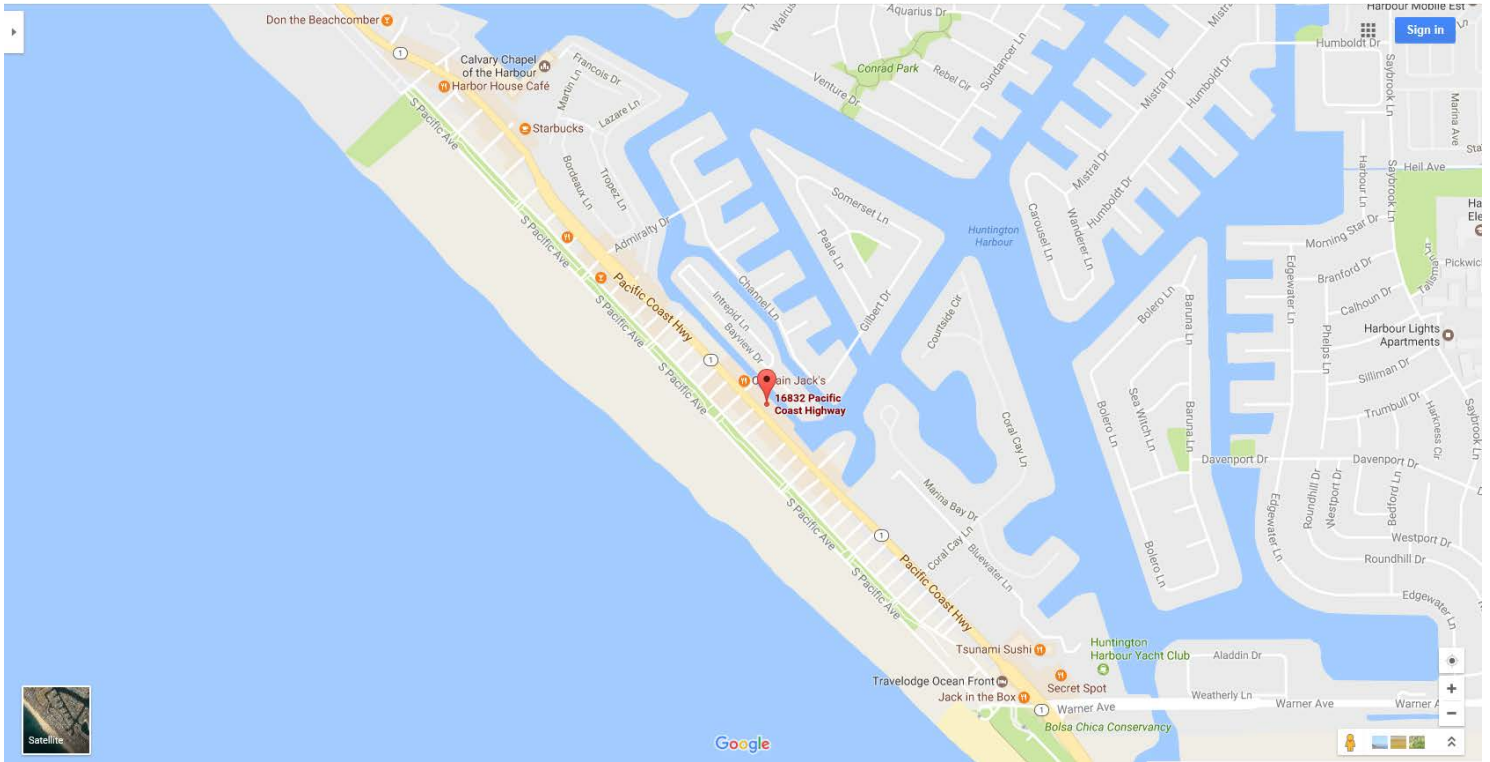


Exhibit 1  
Application No. 5-17-0226  
Team Haley, LP  
Vicinity Map



Exhibit 2  
Application No. 5-17-0226  
Team Haley, LP  
Project Location

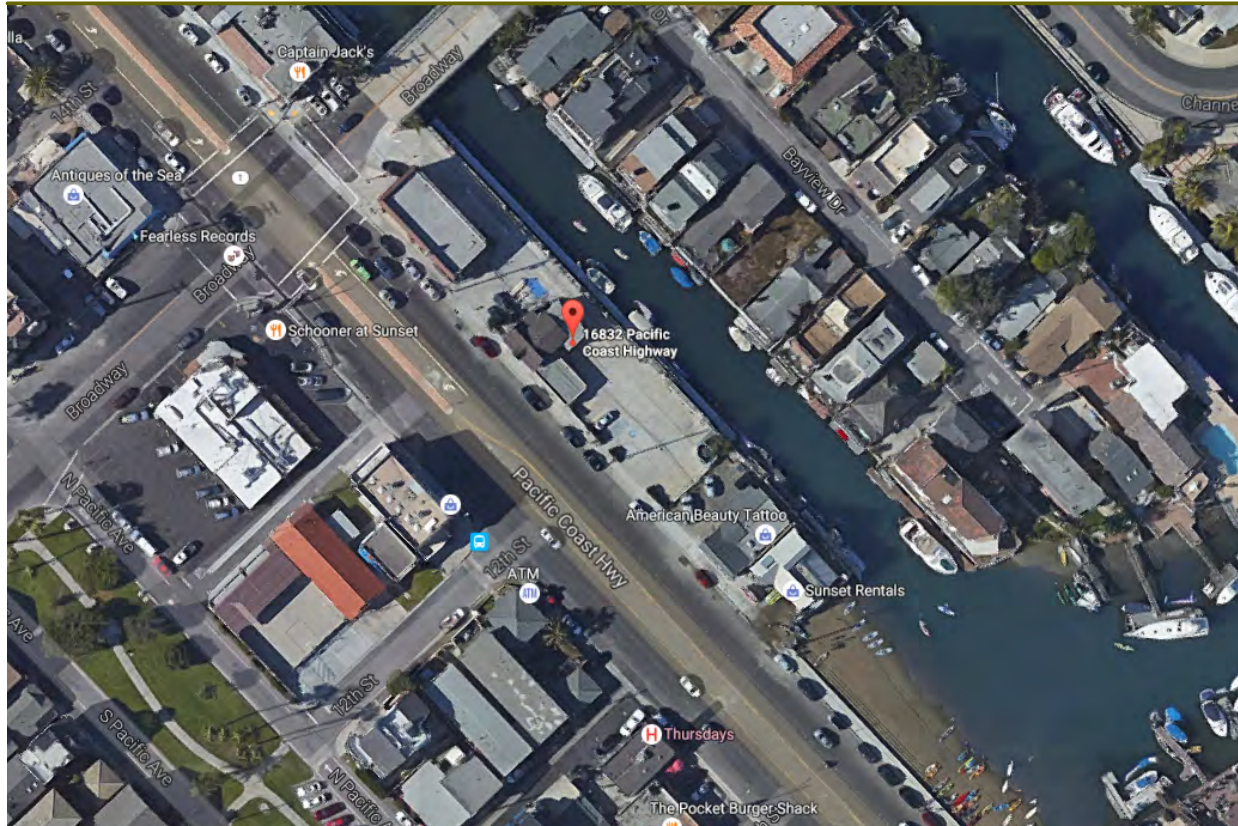




PROJECT LOCATIONS & CONTACTS

| OWNER                                                                                                                | ARCHITECTURAL SERVICES                                                                                                                                                                                  |
|----------------------------------------------------------------------------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| HALEY DEVELOPMENT<br>16832 Pacific Coast Highway<br>Sunset Beach, CA<br>Contact: Sondra Haley<br>Phone: 562.355.8158 | Kemmerer Design Architecture, Inc.<br>Marcus Kemmerer, AIA, NCARB, LEED AP<br>228 Crest Ave.<br>Huntington Beach, CA 92648<br>t. 714.752.0052<br>f. 714.969.9059<br>marcus@kdARCH.com<br>www.kdARCH.com |

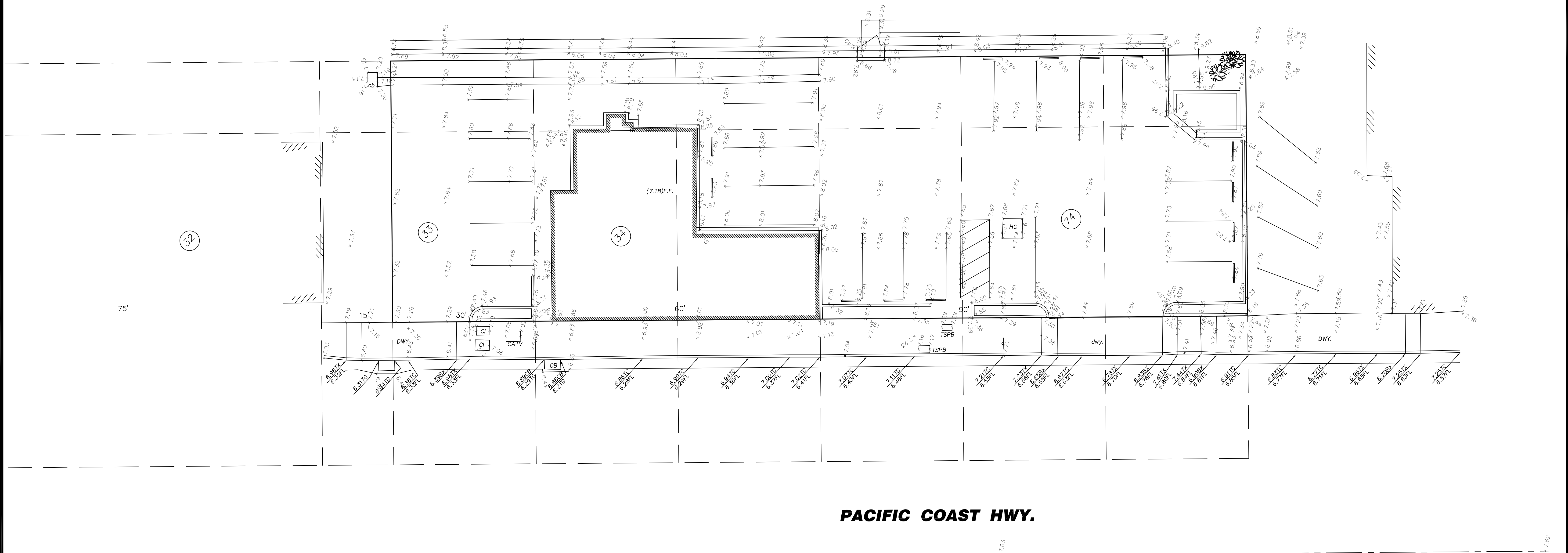
VICINITY MAP



PROJECT INFORMATION & GOVERNING CODES

|                                                     |                                                                                                                                                                                                               |                                                                                                      |
|-----------------------------------------------------|---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------|
| PROJECT SCOPE:                                      | <b>NEW CONSTRUCTION / REPLACE FIRE DAMAGE</b><br>- COMMERCIAL OFFICE / RETAIL @ FIRST FLOOR WITH EXISTING EXTERIOR WALLS<br>- NEW TWO BEDROOM RESIDENTIAL APARTMENT ON THE SECOND FLOOR<br>- RELOCATE STAIRS. |                                                                                                      |
| OCCUPANCY:                                          | GROUP B / R-1                                                                                                                                                                                                 |                                                                                                      |
| CONSTRUCTION:                                       | TYPE V-B (SPRINKLERED)                                                                                                                                                                                        |                                                                                                      |
| APN/PARCEL NO.:                                     | 178-532-34                                                                                                                                                                                                    |                                                                                                      |
| CENSUS TRACK:                                       | 0995131018                                                                                                                                                                                                    |                                                                                                      |
| BLOCK NO.:                                          | 212                                                                                                                                                                                                           |                                                                                                      |
| LOT NUMBER:                                         | 6                                                                                                                                                                                                             |                                                                                                      |
| ZONING:                                             | O-S OPEN SPACE                                                                                                                                                                                                |                                                                                                      |
| LOT AREA:                                           | 7,628 SQ. FT. (0.18)                                                                                                                                                                                          |                                                                                                      |
| LOT COVERAGE:                                       | 7,628 SQ. FT. + 2,310 SQ. FT. (BLDG+EAVES) = 30%                                                                                                                                                              |                                                                                                      |
| COASTAL ZONE:                                       | YES                                                                                                                                                                                                           |                                                                                                      |
| NO. OF STORIES:                                     | 2                                                                                                                                                                                                             |                                                                                                      |
| SQUARE FOOTAGE:                                     | <u><b>REPLACEMENT OF DESTROYED STRUCTURE</b></u><br>1ST FLOOR: 1,628 SF<br>2ND FLOOR: 1,121 SF<br>DECK: 43 SF<br>STAIRS & PORCH: 94 SF<br>TOTAL: 2,886 SF                                                     | <u><b>EXISTING</b></u><br>1ST FLOOR: 1,651<br>2ND FLOOR: 1,101<br>STAIRS & PORCH: 64<br>TOTAL: 2,816 |
| NEW SQUARE FOOTAGE:                                 | 70 SF                                                                                                                                                                                                         |                                                                                                      |
| <b>2013 TITLE 24 CALIFORNIA CODE OF REGULATIONS</b> |                                                                                                                                                                                                               |                                                                                                      |
| PART 1                                              | CALIFORNIA BUILDING STANDARDS ADMINISTRATIVE CODE                                                                                                                                                             |                                                                                                      |
| PART 2                                              | CALIFORNIA BUILDING CODE                                                                                                                                                                                      |                                                                                                      |
| PART 3                                              | CALIFORNIA ELECTRICAL CODE                                                                                                                                                                                    |                                                                                                      |
| PART 4                                              | CALIFORNIA MECHANICAL CODE                                                                                                                                                                                    |                                                                                                      |
| PART 5                                              | CALIFORNIA PLUMBING CODE                                                                                                                                                                                      |                                                                                                      |
| PART 6                                              | CALIFORNIA ENERGY CODE                                                                                                                                                                                        |                                                                                                      |
| PART 9                                              | CALIFORNIA FIRE CODE                                                                                                                                                                                          |                                                                                                      |
| PART 11                                             | CALIFORNIA GREEN BUILDING CODE                                                                                                                                                                                |                                                                                                      |
| PART 12                                             | CALIFORNIA REFERENCE STANDARD                                                                                                                                                                                 |                                                                                                      |
| CITY OF HUNTINGTON BEACH MUNICIPAL CODE             |                                                                                                                                                                                                               |                                                                                                      |





LEGEND

- A.C. ASPHALT CONCRETE  
B.W. BACK OF WALK  
CB CATCH BASIN  
CC CONCRETE  
C&G CURB & GUTTER  
CF CURB FACE  
CLF CHAIN LINK FENCE  
C.O. CLEAN OUT  
EC EDGE OF CONCRETE  
EG EDGE OF GUTTER  
E.P. EDGE OF PAVEMENT  
EM ELECTRIC METER  
E.P. EDGE OF PAVEMENT  
F.F. FINISHED FLOOR ELEVATION  
F.G. FINISHED GRADE ELEVATION  
FH FIRE HYDRANT  
F.L. FLOW LINE ELEVATION  
F.S. FINISHED SURFACE ELEVATION  
GM GAS METER  
INV. INVERT OF PIPE ELEVATION  
L.F. LINEAR FEET  
NG NATURAL GRADE  
PCC PORTLAND CEMENT CONCRETE  
P.L. PROPERTY LINE  
PM PARKING METER POST
- PP POWER POLE  
PB PULL BOX  
PCC PORTLAND CEMENT CONCRETE  
R/W RIGHT OF WAY  
SCO SEWER CLEANOUT  
SDMH STORM DRAIN MANHOLE  
SMH SEWER MANHOLE  
ST.LT. STREET LIGHT  
SW SIDE WALK  
T TELEPHONE  
TC TOP OF CURB ELEVATION  
TEL.MH TELEPHONE MANHOLE  
TF TOP OF FOOTING ELEVATION  
TG TOP OF GRATE ELEVATION  
TOE TOE OF SLOPE  
TOP TOP OF SLOPE  
TW TOP OF WALL ELEVATION  
WM WATER METER  
WV WATER VALVE  
IR.M. IRRIGATION METER  
LN.DSC. LANDSCAPE  
DDCA DOUBLE DETECTOR CHECK ASSEMBLY  
CONC. CONCRETE
- x — x — FENCE
- FIRE HYDRANT  
• MONUMENTS  
☆ LIGHT POLE
- E — ELECTRICAL  
— G — GAS  
— W — WATER  
— S — SEWER  
— T — TELEPHONE
- TREE

LEGAL DESCRIPTION

**PARCEL 1**  
LOTS 1 AND 4 IN BLOCK 212 OF TRACT NO. 494, AS PER MAP RECORDED IN BOOK 31, PAGES 28 AND 29 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**PARCEL 2**  
LOT 1, THE NORTHEASTERLY 16.66 FEET OF LOT 2, AND THE NORTHEASTERLY 39.99 FEET OF LOT 4, IN BLOCK 212 OF TRACT NO. 21, THE FIRST ADDITION TO SUNSET BEACH, AS PER MAP RECORDED IN BOOK 9, PAGE 22 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

**PARCEL 3**  
LOT 5, OF BLOCK 212, TRACT 494, AS SHOWN ON MAP RECORDED IN BOOK 31, PAGES 28 AND 29 OF MISCELLANEOUS MAPS, RECORDS OF SAID COUNTY.  
LOT 5, BLOCK 212, OF TRACT NO. 21, THE FIRST ADDITION TO SUNSET BEACH, AS PER MAP RECORDED IN BOOK 9, PAGE 22 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
LOT 6, BLOCK 212, OF TRACT NO. 21, THE FIRST ADDITION TO SUNSET BEACH, AS PER MAP RECORDED IN BOOK 9, PAGE 22 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
LOT 6 OF BLOCK 212, TRACT 494, AS SHOWN ON MAP RECORDED IN BOOK 31, PAGES 28 AND 29 OF MISCELLANEOUS MAPS, RECORDS OF SAID COUNTY.

**PARCEL 4**  
LOT 5 7 TO 9 INCLUSIVE, IN BLOCK 212, OF TRACT NO. 21, THE FIRST ADDITION TO SUNSET BEACH, AS PER MAP RECORDED IN BOOK 9, PAGE 22 OF MISCELLANEOUS MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.  
LOTS 7 TO 9 INCLUSIVE, IN BLOCK 212, TRACT 494, AS SHOWN ON MAP RECORDED IN BOOK 31, PAGES 28 AND 29 OF MISCELLANEOUS MAPS, RECORDS OF SAID COUNTY.

| NO.       | DATE | DESCRIPTION |
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**BENCHMARK G-978**  
DESCRIBED BY OCS 2003 - FD. 3 3/4" USGCS BRONZED BENCHMARK DISK STAMPED "G 978 1964", SET IN THE SW'LY CORNER OF A CONC. BRIDGE SPANNING A SMALL FINGER CHANNEL OF HUNTINGTON HARBOR. MON. IS LOCATED IN THE SE'LY CORNER OF THE INTERSECTION OF PCH AND BROADWAY, 14.4 FT. S'LY OF THE CL OF BROADWAY, 75.5 FT. ELY OF THE N'LY LANES ALONG PCH AND 3.3 FT. NW'LY OF SW'LY END OF THE GUARD RAIL ALONG THE BRIDGE. MON. IS SET LEVEL WITH THE SIDEWALK.  
ELEV. : 10.256 NAVD88 (ADJ. 2005)

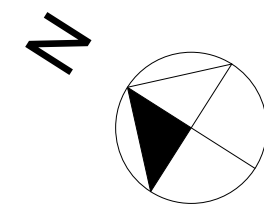
PREPARED BY:  
**ITF & ASSOCIATES, INC.**  
11278 LOS ALAMITOS BLVD., #354  
LOS ALAMITOS, CA 90720  
(800) 797-9483

**TOPOGRAPHIC SURVEY**  
**16832 PACIFIC COAST HWY.**  
**HUNTINGTON BEACH, CA**



|                                          |                   |                      |
|------------------------------------------|-------------------|----------------------|
| COMMERCIAL = 1631 SF / 225 = 7.25 STALLS |                   |                      |
| RESIDENTIAL = 2 STALLS / UNIT = 2 STALL  |                   |                      |
| PARKING                                  | REQ<br>10         | PROP<br>19           |
| SETBACKS                                 | F 0<br>S 0<br>B 0 | 8"<br>10'-20'<br>10' |
| HEIGHT                                   |                   | 28'-4 1/2" ASL       |
| PATIO                                    | <50% RES.         | <50% RES.            |
| BASE ELEVATION                           | 9'-0"             | 9'-0"                |

CHANNEL



1)

16832 Pacific Coast Highway  
Sunset Beach, CA 92649

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Seal: 

Drawing:  
**SITE PLAN**

Sheet Number:  
**A-3**







**EXISTING FULL HEIGHT EXT. WALL (BEARING)**

OUTSIDE:  
(E) 2X4 WOOD STUDS W/ INSULATION

INSIDE:  
¾" TYPE 'X' DRYWALL  
(TYPE 'WR' @ WET LOCATIONS)

**NEW EXTERIOR WALL (NON BEARING)**

OUTSIDE:  
STUCCO OR 2X4 WOOD STUDS @ 16" O.C.

**NEW EXTERIOR FULL HGT. WALL (BEARING)**

OUTSIDE:  
WOOD SIDING O/ PLYWOOD (SEE STRUCT. DWGS)  
O/ (N) 2X4 WOOD STUDS @ 16" O.C.

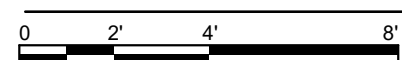
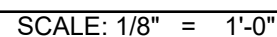
INSIDE:  
¾" TYPE 'X' DRYWALL  
(TYPE 'WR' @ WET LOCATIONS)

**NEW INTERIOR FULL HGT. WALL (NON BEARING)**

INSIDE / OUTSIDE:  
¾" TYPE 'X' DRYWALL O/ 2X4 STUDS @ 16" O.C.  
(TYPE 'WR' @ WET LOCATIONS)

**NEW INTERIOR PARTITION WALL (NON BEARING)**

INSIDE / OUTSIDE:  
¾" TYPE 'X' DRYWALL O/ 2X4 STUDS @ 16" O.C.  
(TYPE 'WR' @ WET LOCATIONS)



SCALE: 1/4" = 1'-0"

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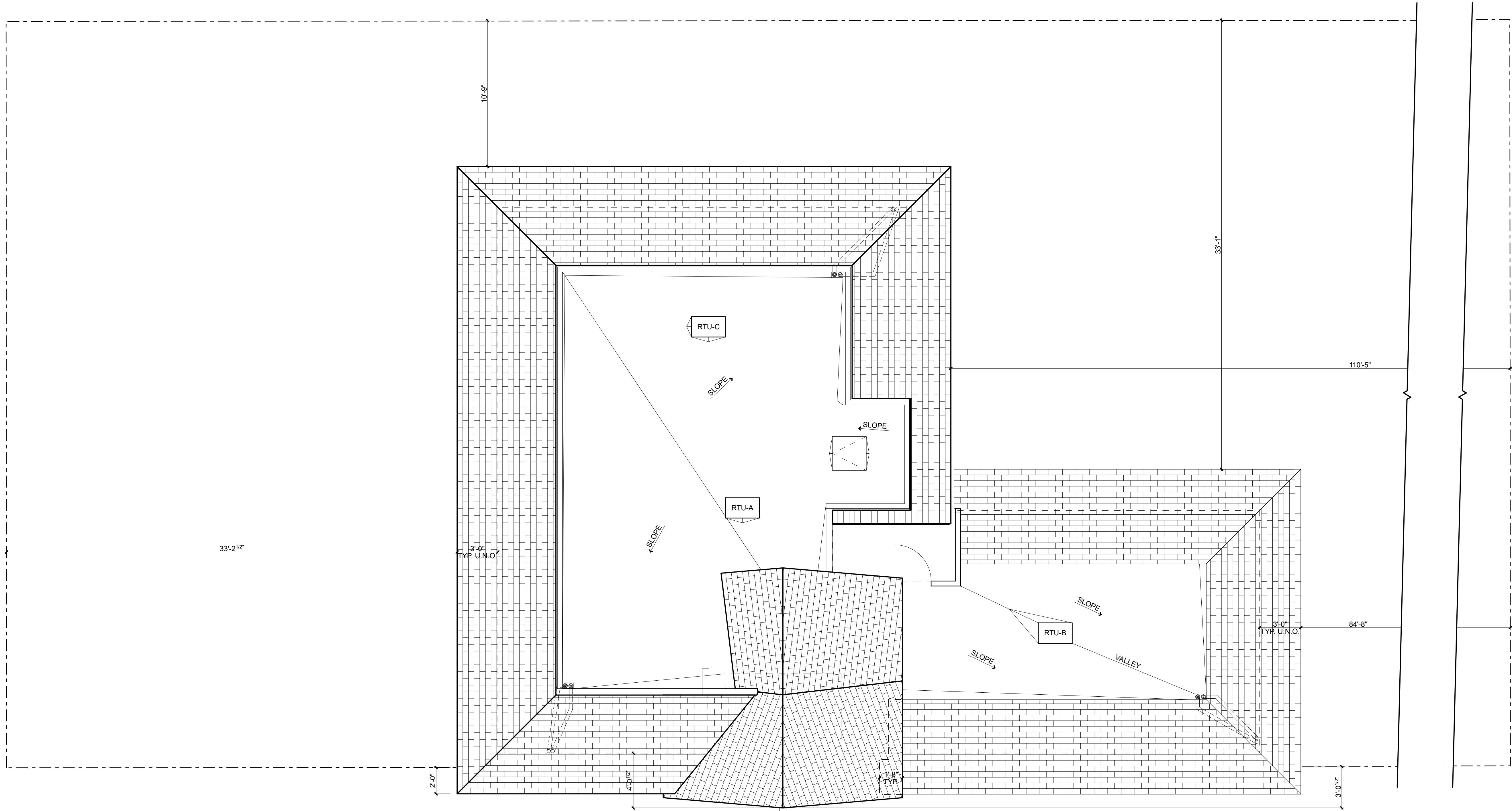
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| Drawn by:   | GSN     |
| Checked by: | MK      |
| Job Status: | DESIGN  |

**SECOND FLOOR  
PLAN  
(PROPOSED)**

Sheet Number:  
**A-5**

Total sheet count: 18





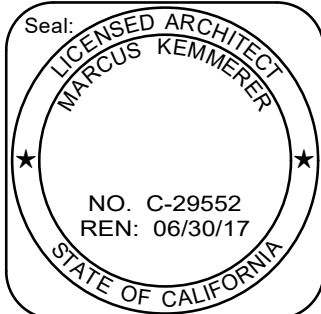
ROOF PLAN  
SCALE: 1/4" = 1'-0"

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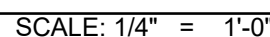
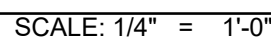
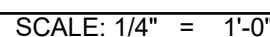
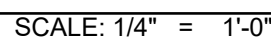
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| Checked by: | MK      |
| Job Status: | DESIGN  |

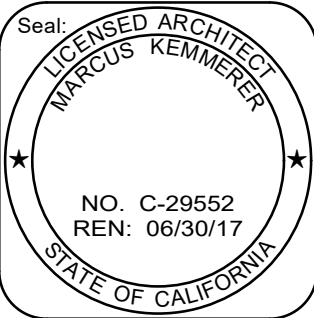




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Drawing:  
**ELEVATIONS  
 (PROPOSED)**  
 Sheet Number:  
**A-7**



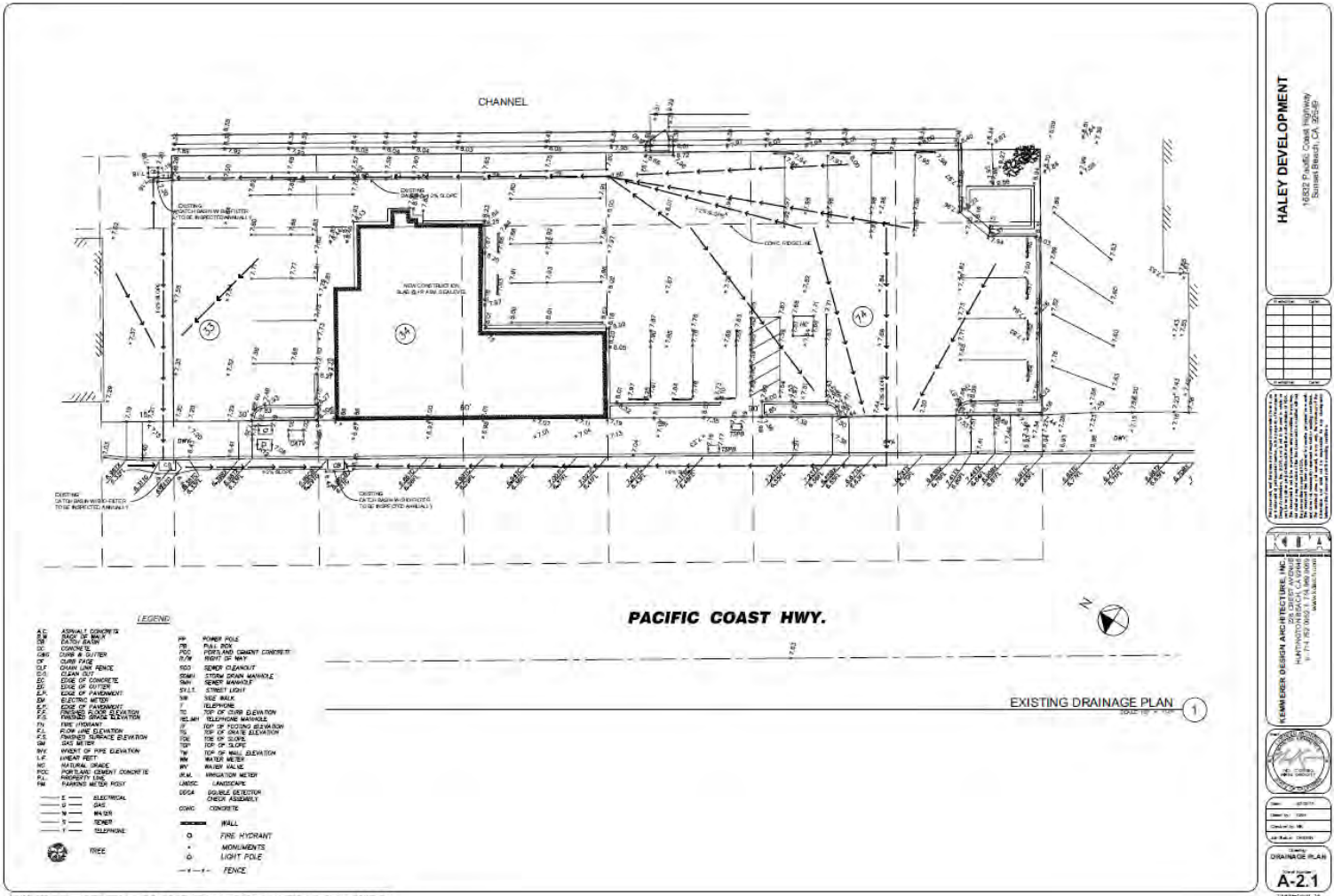


Exhibit 4  
 Application No. 5-17-0226  
 Team Haley, LP  
 Drainage Plan