

CALIFORNIA COASTAL COMMISSION

South Coast Area Office
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Th14a

5-16-0054(SOCAL LAND CO LLC)

JULY 13, 2017

EXHIBITS

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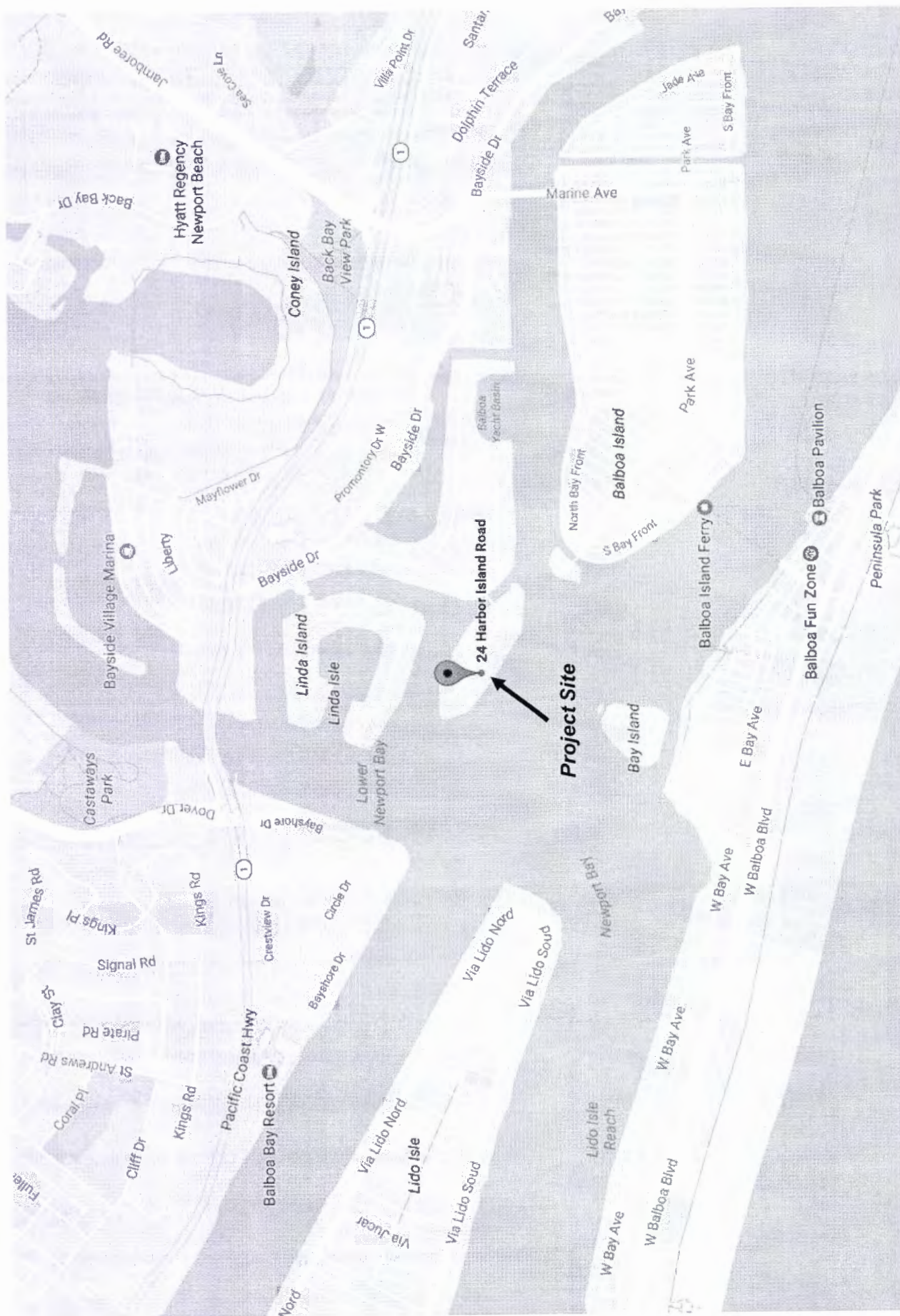
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POTENTIAL DISTURBANCES
NEARBY SENSITIVE LAND
NEEDHAM BEACH, MA 02461
LOT 34 & 35 - TRACT 902

Additions, remodels or renovations at a single family home with an existing pool require the suction outlet of the strainer pool, spa, or hot-tub pool to be located within sight of the residence and accessible by a direct and unobstructed path meeting the current standards of ASTM or ASME per section 115920-18C.

The discharge of pollutants to any storm drainage system is prohibited. No solid waste, petroleum hydrocarbons, and particulates, construction waste materials, debris, or other pollutants shall be stored on site or by construction activities shall be placed, conveyed or discharged into the street, gutter or storm drain system.

In accordance with Planning Area 6 (PA6) of the Massachusetts Department of Transportation [HDOT], this house is a Single-Family Dwelling.

- ### General Notes:
1. Refer to Site Drainage Plan sheet for existing grade elevations and finish grade elevations.
 2. Surveyor or Engineer shall permanently mark corners of offsets before starting grading.
 3. Fences, Gates, Walls, Planter boxes, Patios and other freestanding structures cannot be measured from Natural Grade within required yard setback.
 4. Finish grade within 10 feet of the new structure shall be sloped a minimum of 2% away from the building for drainage purposes.

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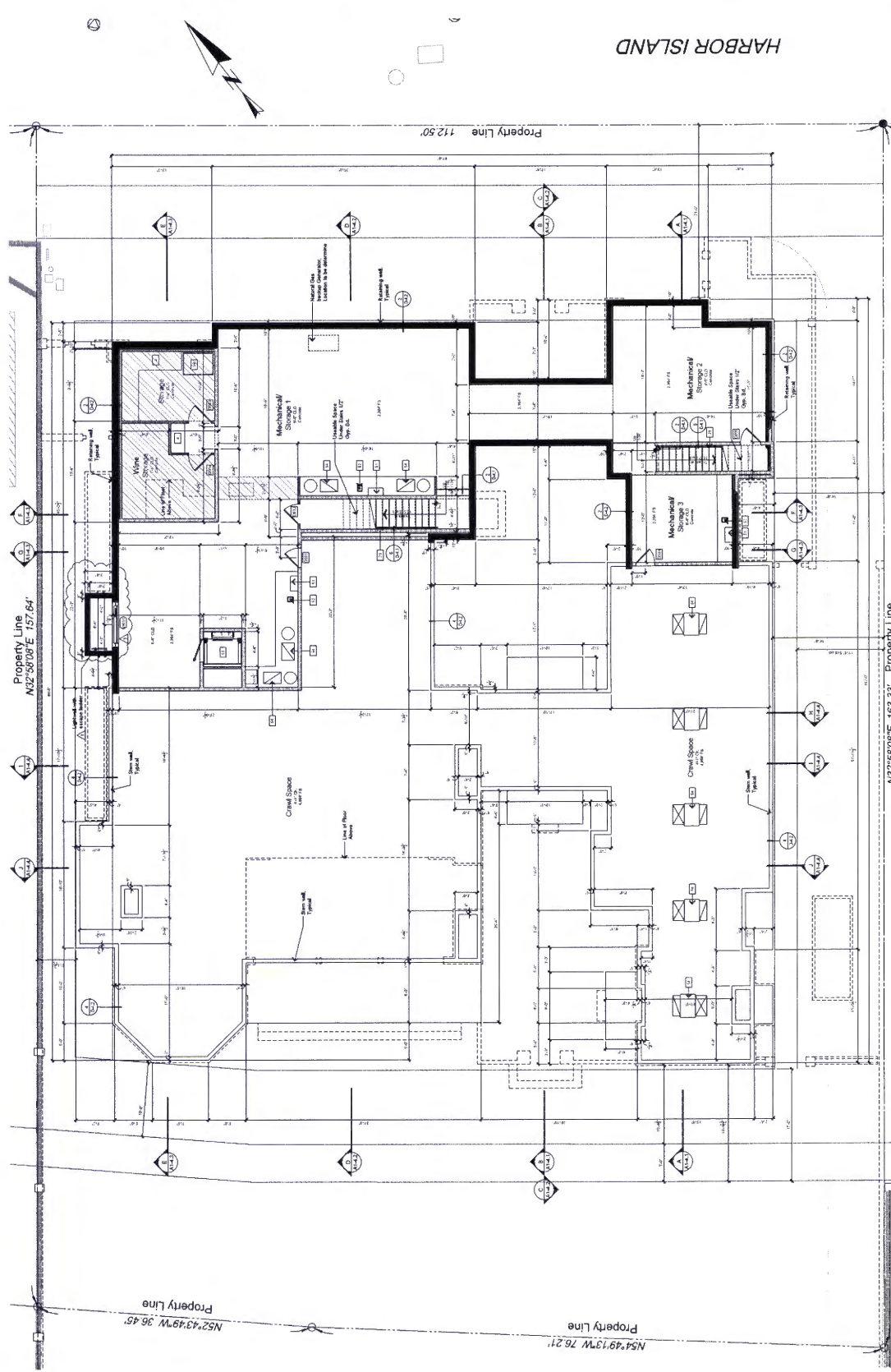
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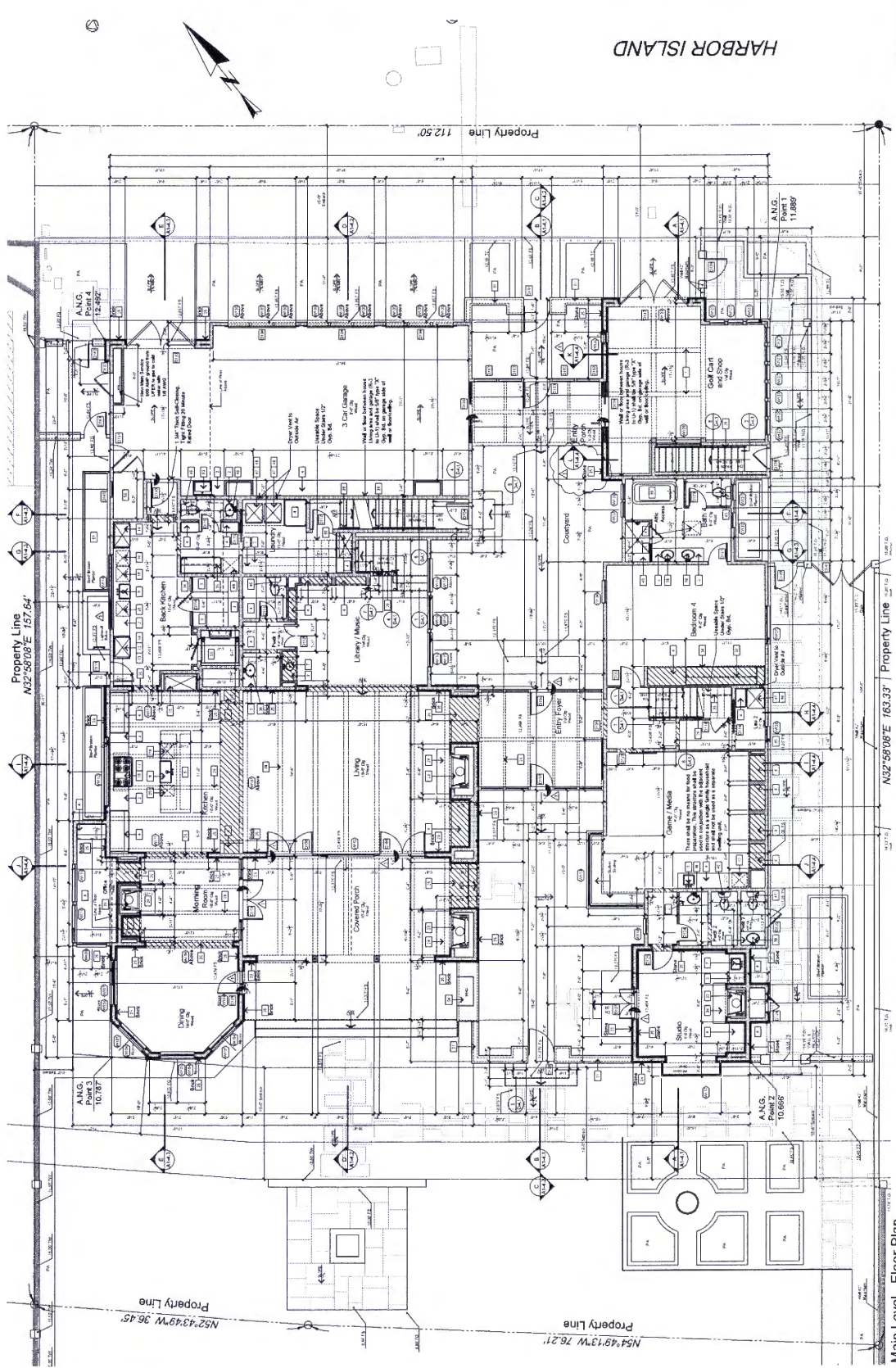
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Basement Level - Floor Plan

FLOOR PLAN KEY NOTES	
1	THIS FLOOR PLAN IS TO BE USED FOR THE CONSTRUCTION OF THE BASEMENT LEVEL OF THE RESIDENCE. IT IS TO BE USED IN CONJUNCTION WITH THE OTHER FLOOR PLANS AND THE SPECIFICATIONS.
2	ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED.
3	ALL WALLS ARE TO BE CONCRETE UNLESS OTHERWISE NOTED.
4	ALL FLOORS ARE TO BE CONCRETE UNLESS OTHERWISE NOTED.
5	ALL ROOFS ARE TO BE FLAT UNLESS OTHERWISE NOTED.
6	ALL EXTERIOR FINISHES ARE TO BE STONE UNLESS OTHERWISE NOTED.
7	ALL INTERIOR FINISHES ARE TO BE PLASTER UNLESS OTHERWISE NOTED.
8	ALL CEILING FINISHES ARE TO BE PLASTER UNLESS OTHERWISE NOTED.
9	ALL LIGHT FIXTURES ARE TO BE AS SHOWN UNLESS OTHERWISE NOTED.
10	ALL DOORS ARE TO BE 6\"/>
11	ALL WINDOWS ARE TO BE 6\"/>
12	ALL STAIRS ARE TO BE 8\"/>
13	ALL ELEVATIONS ARE TO FACE UNLESS OTHERWISE NOTED.
14	ALL FINISHES ARE TO BE AS SHOWN UNLESS OTHERWISE NOTED.
15	ALL MATERIALS ARE TO BE AS SHOWN UNLESS OTHERWISE NOTED.
16	ALL WORKMANSHIP IS TO BE TO THE SATISFACTION OF THE ARCHITECT.
17	ALL CONSTRUCTION IS TO BE IN ACCORDANCE WITH THE SPECIFICATIONS.
18	ALL UTILITIES ARE TO BE AS SHOWN UNLESS OTHERWISE NOTED.
19	ALL MECHANICAL SYSTEMS ARE TO BE AS SHOWN UNLESS OTHERWISE NOTED.
20	ALL ELECTRICAL SYSTEMS ARE TO BE AS SHOWN UNLESS OTHERWISE NOTED.
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Main Level - Floor Plan

FLOOR PLAN KEY NOTES

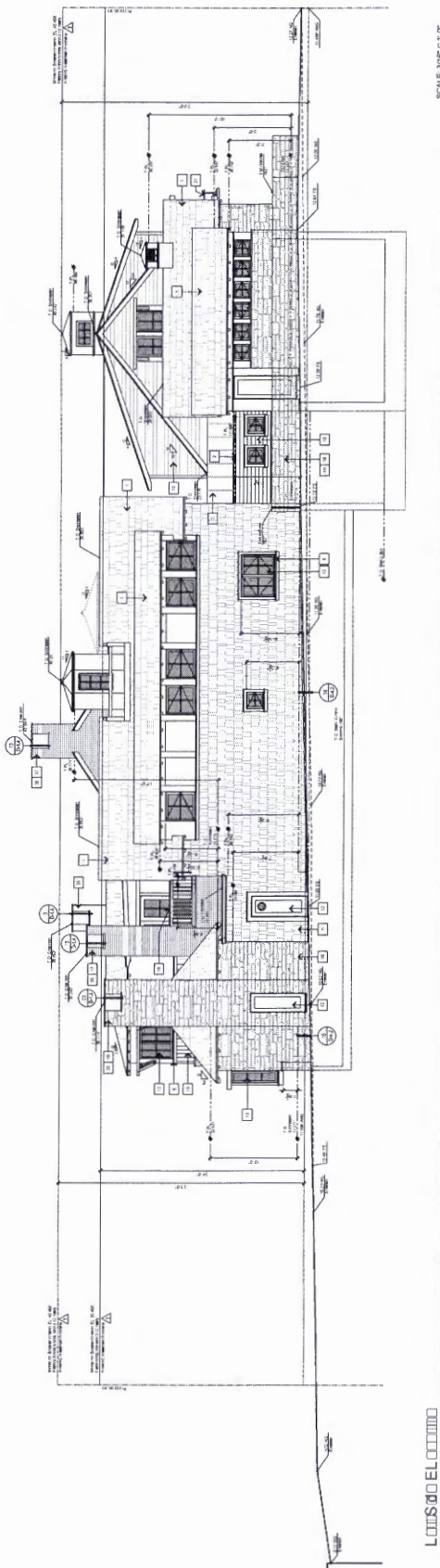
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WALL LEGEND

[illegible]

Area Tabulation

Main Level	2,071 Sq. Ft.
Media/Game Room	
Living Room	
Dining Room	
Kitchen	
Breakfast Room	
Master Suite	
Bedroom 2 & 3	
Bedroom 5 / Gym	
Total Living	
Basement	
Entry Porch	
Front Porch	
Back Porch	
Covered Terrace	
3 Car Garage	
Golf Cart Garage/Shop	
Total Gross Area	
(Total Living + Golf Cart + 3 Car Garage)	

[illegible]



WOOD SHINGLE ROOF	11	STEEL GUEST WINDOW
METAL DOOR	12	WOOD SLAT DOOR
WOOD SHUTTER PANELS	13	WOOD SHUTTER DOOR
WOOD TRELLIS	14	WOOD CLAMPING, SET UP TO TWIN
WOOD BRIDGE	15	APPLY 60 INCH VENEER
WOOD TO TWIN JUTAL	16	APPLY 60 INCH VENEER
WOOD BALCONY	17	CORNER, SET TO HANGING PLANT
WOOD BELLA	18	WOOD SILL
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WOOD BELLA	97	WOOD SILL
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24 Harbor Island
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FAX:BUILDING
SECTIONS

A1-4.1

Exhibit No. 5
Page 1 of 4

REFER TO STRUCTURAL ENGINEER DRAWINGS.

- SYMBOL
1. TYPICAL EXTERIOR WALL ASSEMBLY:
A. SMOOTH STUCCO FINISH
B. STONE VENEER (WHERE OCCURS)
C. WIRE LATH OVER MIN. TWO LAYERS
BUILDING PAPER

SYMBOL

TYPICAL EXTERIOR WALL ASSEMBLY:

A. SMOOTH STUCCO FINISH.

B. STONE VENEER (WHERE OCCURS).

C. WIRE LATH OVER MIN. TWO LAYERS BUILDING PAPER.

- | | |
|---|---------------------------------------|
| 4 | CONCRETE MAT SLAB SEE STRUCTURAL DWGS |
| 5 | CONCRETE FDN. SEE STRUCT. DWGS |
| 6 | 2" WOOD FRAMING. |

INSULATION SCHEDULE	
Ceiling	R-30
Exterior Wall	R-13 & R-11
Raised Floor	R-11
Slab Edge	None

Median (range) (years) (Continued)	
N/G	11.88(1)
N/G	12.68(2)
N/G	10.78(2)
N/G	13.4(2)
Total	45.8(4)

INSULATION SCHEDULE	
Ceiling	R-30
Exterior Wall	R-13 & R-11
Raised Floor	R-11
Slab Edge	None

NOTE
THE MINIMUM REQUIRED INTERIOR LIVING AREA SHALL BE AT LEAST 1,000 SQUARE FEET. THE MINIMUM REQUIRED PRINCIPAL STRUCTURE MINIMUM REQUIRE

MEASURED TOP OF SLAB ELEVATION FOR AREAS OF ALL NEW STRUCTURES 7'-00" (MAVD 88). THE HEIGHT OF A STRUCTURE SHALL BE MEASURED FROM THE BASED TOP OF SLAB ELEVATION.

1	WOOD SHINGLE ROOF
2	METAL ROOF
3	WOOD RAFTER TAILS

13	STEEL DOOR / WINDOW
14	WOOD-SLAB DOOR
15	WOOD SHUTTER
16	WOOD SHUTTER - REFER TO DETAIL
17	WALL-ED BRICK VENEER
18	WALL-ED STONE VENEER
19	LOW WALL - REFER TO LANDSCAPE PLANS
20	WEDO-GATE
21	DECOMPOSITIVE LIGHT FIXTURE
22	HOLLOW STEEL TUBULAR VEHICLE & TRUCK STOP STRUTS (INCLUDE "X" MODEL) SEE 3/11
23	BUILT-IN BENCH
24	DECOMPOSITIVE CAP
25	CHEMICAL CAP

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303 3240 STREET, SUITE 150
NEWPORT BEACH, CA 92660
TELEPHONE (949) 773-3255 FAX (949) 773-3259
BETNER GROUP, INC. 2016 COTTAGE STREET
NEWPORT BEACH, CA 92660
TELEPHONE (949) 773-3255 FAX (949) 773-3259
BETNER GROUP, INC.

LIT24 & 25 TITR802
APN: 050-230-40

PROJECT MANAGER: RR
PROJECT DESIGNER: BW
DRAWN BY:
PROJECT NUMBER: 15002
PROJECT CAD FILE: 15002-PUN-ELEV

SHEET NUMBER-

Exhibit No. 5
Page 2 of 4

2. **SYNOPSIS**

9. 118028-5, 0000 DANCING ARE TAKEN FROM THE
INTENT, REFER TO ENGINEERING DRAWINGS PREPARED
BY OTHERS FOR DETAILED INFORMATION.
- A. ABOUT A FOOT OF PAPER.
B. STONE VENEER (WHERE OCCURS)
C. WIRE LATH OVER AN TWO LAYER
BUILDING PAPER.

Journal of Management Education 32(1) 10-11

- 5 CONCRETE FDN. SEE STRUCT. DRNGS.
6 2" WOOD FRAMING.

INSULATION SCHEDULE	
CEILING	R-30
EXTERIOR WALL	R-13 & R-17
BASED FLOOR	R-17
SLAB EDGE	NOISE
DUCT	R-8

11 2007

- | | |
|--------|--------|
| 10 787 | 10 787 |
| 12 402 | 12 402 |
| <hr/> | |
| 45 826 | 45 826 |

NOTE

- SHALL BE AT LEAST
PRINCIPAL STRUCTURE
MINIMUM REQUIRED

1

WORLD SYSTEMS GROUP

- 5 WOOD RAFTER TAILS

17	APPLIED BRONZEWATER
18	APPLIED STONE WENER
19	LOW WALL - RETAIN TO LANDSCAPE PLANS
20	WOOD GATE
21	DECORATIVE LIGHT FIXTURE
22	HOUSE STREET NUMBER VISIBLE & LEGIBLE FROM STREET
23	10' HIGH (1" MOD) ODC SIGN (BUILT IN BEN)
24	DECORATIVE CAP
25	CHIMNEY CAP



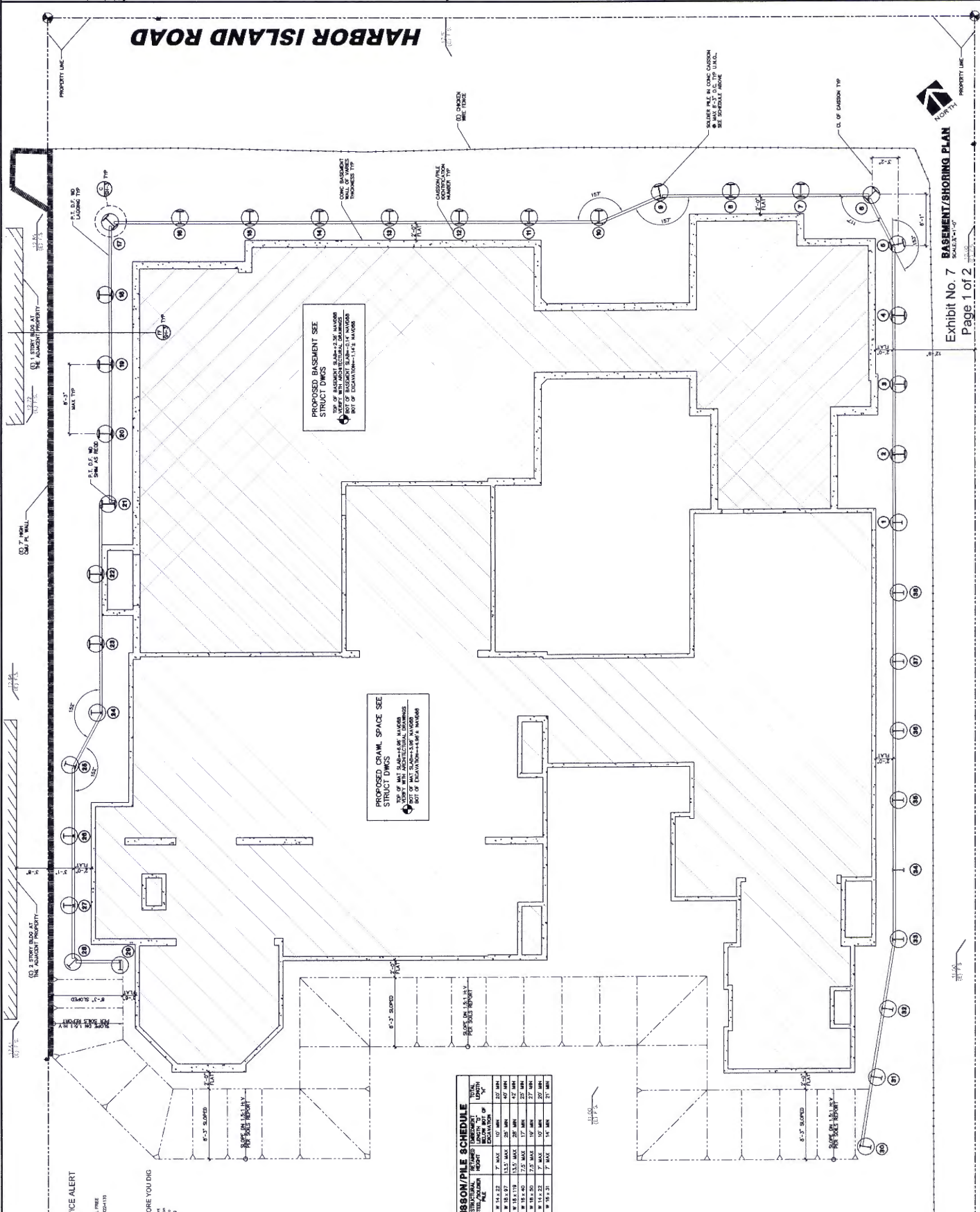
ELEVATION KEY NOTES

GRADE ESTABLISHMENT

SECTION KEY NOTES

1	TYPICAL DETENTION WALL ASSEMBLY	1	INSULATION OVER SLAB
2	CONCRETE DETENTION WALL	2	CEILING
3	SLAB ON GRADE	3	WALL
4	SLAB ON GRADE	4	WALL
5	WOOD FRAMING OVER STEEL DECK	5	WALL
6	WOOD FRAMING OVER STEEL DECK	6	WALL
7	WOOD FRAMING OVER STEEL DECK	7	WALL
8	WOOD FRAMING OVER STEEL DECK	8	WALL
9	WOOD FRAMING OVER STEEL DECK	9	WALL
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85	WOOD FRAMING OVER STEEL DECK	85	WALL
86	WOOD FRAMING OVER STEEL DECK	86	WALL
87	WOOD FRAMING OVER STEEL DECK	87	WALL
88	WOOD FRAMING OVER STEEL DECK	88	WALL
89	WOOD FRAMING OVER STEEL DECK	89	WALL
90	WOOD FRAMING OVER STEEL DECK</		

Exhibit No. 5
Page 4 of 4



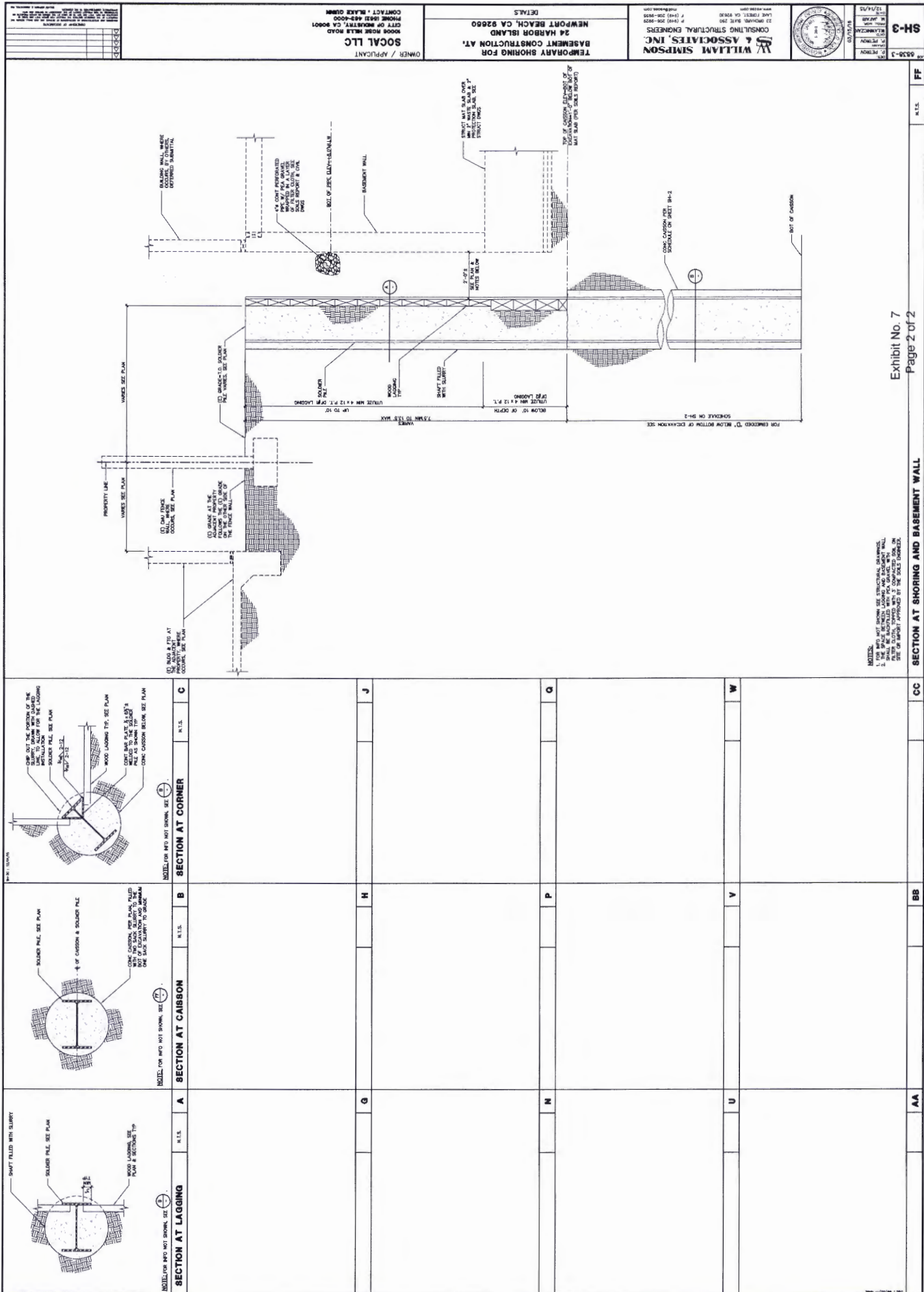
CAISSON/PILE ID No.	QUANTITY STRUCTURAL STEEL JOIST/PILE	REINFORCED CONCRETE PILE	EMBEDMENT LENGTH OF PILE EXCAVATION	TOTAL LENGTH OF PILE
1	24"	W 14 x 22	7 MAX	10' MIN
2	24"	W 18 x 87	13.5 MAX	20' MIN
3	24"	W 18 x 119	13.5 MAX	40' MIN
4	24"	W 18 x 119	13.5 MAX	40' MIN
5	24"	W 18 x 40	7.5 MAX	17' MIN
6	24"	W 18 x 40	7.5 MAX	17' MIN
7	24"	W 18 x 40	7.5 MAX	17' MIN
8	24"	W 14 x 22	7 MAX	10' MIN
9	24"	W 14 x 22	7 MAX	10' MIN
10	24"	W 14 x 22	7 MAX	10' MIN
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98	24"	W 14 x 22	7 MAX	10' MIN
99	24"	W 14 x 22	7 MAX	10' MIN
100	24"	W 14 x 22	7 MAX	10' MIN

UNDERGROUND SERVICE ALERT



TWO WORKING DAYS BEFORE YOU DIG

Section 4216/4217 of the Government Code requires a Dig Alert Identification Number be issued before a Permit to Excavate will be valid. If your Dig Alert Identification Number call



NOTES:
 1. THE WALL NOT SHOWN SEE STRUCTURAL DRAWING FOR DETAILS.
 2. THE WALL NOT SHOWN SEE STRUCTURAL DRAWING FOR DETAILS.
 3. THE WALL NOT SHOWN SEE STRUCTURAL DRAWING FOR DETAILS.
 4. THE WALL NOT SHOWN SEE STRUCTURAL DRAWING FOR DETAILS.
 5. THE WALL NOT SHOWN SEE STRUCTURAL DRAWING FOR DETAILS.

Exhibit No. 7
 Page 2 of 2

SECTION AT SHORING AND BASEMENT WALL

FF
 N.E.L.

SH-3
 03/15/15



WILLIAM SIMPSON & ASSOCIATES, INC.
 CONSULTING STRUCTURAL ENGINEERS
 12000 BAYVIEW BLVD. SUITE 200
 LA JOLLA, CA 92037
 P (619) 594-8888
 F (619) 594-8889
 www.williamsimpson.com

TEMPORARY SHORING FOR BASEMENT CONSTRUCTION AT NEWPORT BEACH, CA 92660
 DETAILS
 SHEET 002 OF 002
 03/15/15

SOCAL LLC
 10000 WILSON BLVD. SUITE 200
 CUSTODY, BLAKE GIBSON
 PHONE (949) 489-4000
 03/15/15

WILLIAM SIMPSON & ASSOCIATES, INC.
 12000 BAYVIEW BLVD. SUITE 200
 LA JOLLA, CA 92037
 P (619) 594-8888
 F (619) 594-8889
 www.williamsimpson.com

CITY OF NEWPORT BEACH NOTES

1. A PUBLIC WORKS DEPARTMENT ENCLOSURE PERMIT IS REQUIRED BEFORE THE BUILDING DEPARTMENT PERMIT CAN BE ISSUED. AT THE TIME OF PUBLIC WORKS DEPARTMENT PERMIT APPLICATION, THE CITY ENGINEER SHALL BE NOTIFIED AND YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THE PERMIT.
2. PRIOR TO PERFORMING ANY WORK IN THE CITY RIGHT-OF-WAY AN ENCLOSURE PERMIT MUST BE OBTAINED FROM THE PUBLIC WORKS DEPARTMENT.
3. THE CITY ENGINEER WILL BE REQUIRED FOR STREETS WITH A TRUCK-TRAILER AND OVERWATERING OVER 2" WASTE SLAB.
4. SEE SOIL REPORT FOR ALL UNDERGROUND REQUIREMENTS.
5. ALL RECOMMENDATIONS CONTAINED IN THE SOIL REPORT MUST BE FOLLOWED. THE SOIL REPORT IS DATED JULY 14, 2015 AND IS CONSIDERED PART OF THIS PLAN.
6. FOR TYPING AND FOUNDATION DESIGN, SEE STRUCTURAL PLAN.
7. PER CHAPTER 13 OF THE CITY MUNICIPAL CODE, A NEW 36-INCH BOLLARD STREET TREE IS REQUIRED. THE CITY ENGINEER SHALL BE NOTIFIED AND YOU SHOULD CONTACT YOUR COMMUNITY ASSOCIATIONS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION AUTHORIZED BY THE PERMIT.
8. THE CITY ENGINEER WILL BE REQUIRED FOR STREETS WITH A TRUCK-TRAILER AND OVERWATERING OVER 2" WASTE SLAB.
9. SEE SOIL REPORT FOR ALL UNDERGROUND REQUIREMENTS.
10. ALL RECOMMENDATIONS CONTAINED IN THE SOIL REPORT MUST BE FOLLOWED. THE SOIL REPORT IS DATED JULY 14, 2015 AND IS CONSIDERED PART OF THIS PLAN.
11. FOR TYPING AND FOUNDATION DESIGN, SEE STRUCTURAL PLAN.
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14. SEE SOIL REPORT FOR ALL UNDERGROUND REQUIREMENTS.
15. ALL RECOMMENDATIONS CONTAINED IN THE SOIL REPORT MUST BE FOLLOWED. THE SOIL REPORT IS DATED JULY 14, 2015 AND IS CONSIDERED PART OF THIS PLAN.
16. FOR TYPING AND FOUNDATION DESIGN, SEE STRUCTURAL PLAN.

SCOPE OF WORK

CONSTRUCTION OF NEW CUSTOM, SINGLE-FAMILY RESIDENCE AND GARAGE, INCLUDING LANDSCAPE AND DRAINAGE IMPROVEMENTS.

ADDITIONAL NOTES

1. ALL WORK SHALL BE EXISTING OR CONFORMS TO THE CITY OF NEWPORT BEACH CODES.
2. EXISTING LEVEL AND ELEVATIONS ARE BASED ON 10' MSL.
3. SLAB OVER 2" PROTECTION SLAB OVER WATERPROOFING OVER EXISTING SLAB SHALL BE 4" MINIMUM THICKNESS AND ELEVATIONS OVER EXISTING SLAB SHALL BE 2" MINIMUM THICKNESS.
4. SEE SOIL REPORT FOR ALL UNDERGROUND REQUIREMENTS.
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TOPOGRAPHIC SURVEY BY:

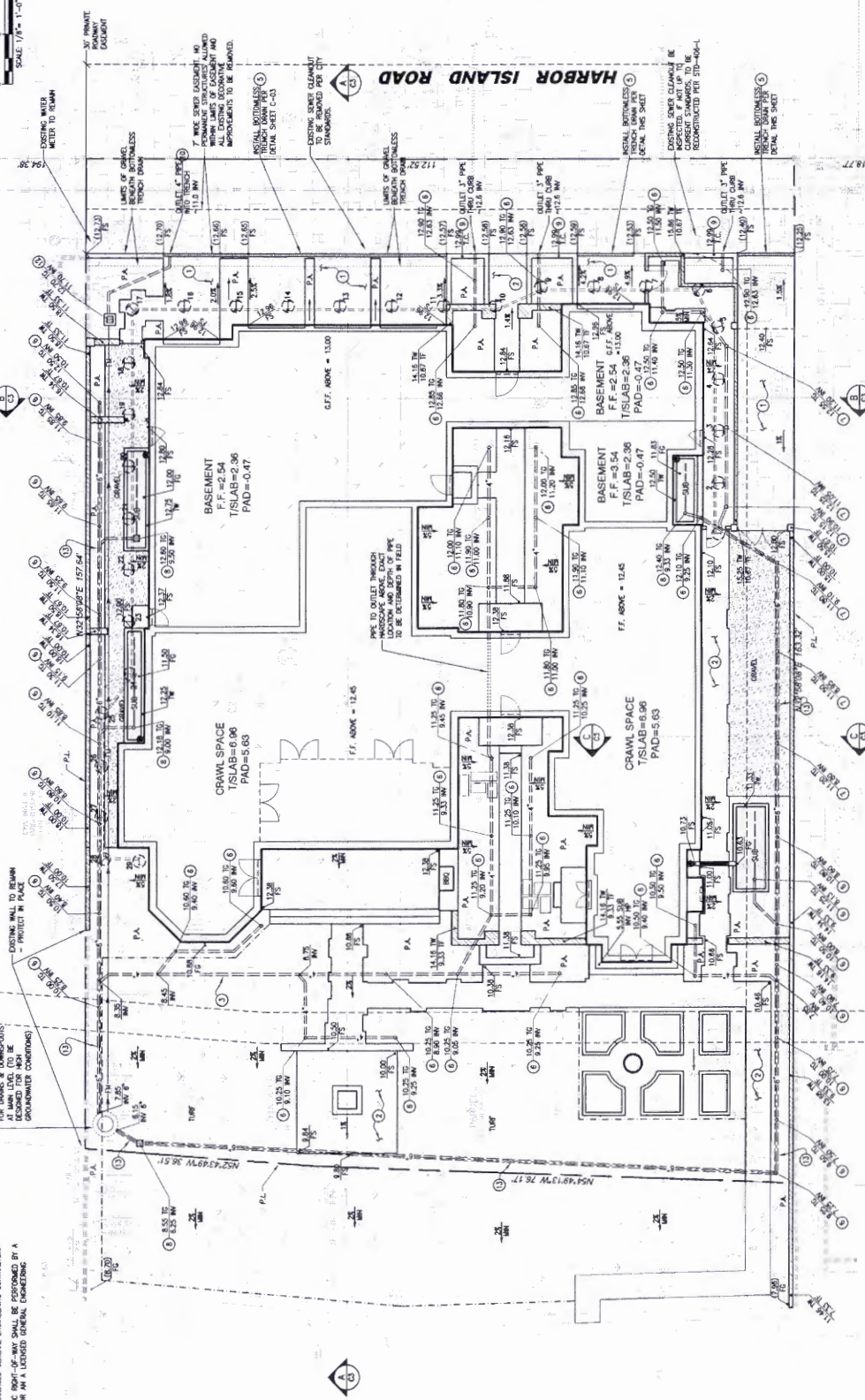
AREX LAND SURVEYING, INC.
HUNTINGTON BEACH, CA 92646
TEL: (714) 488-5005
FAX: (714) 433-4440
WEB: arexinc.com

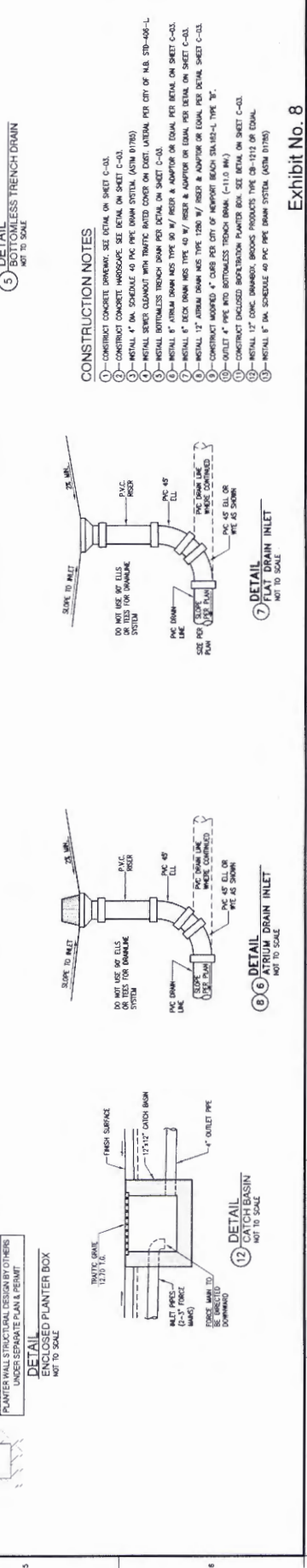
NOTE TO CONTRACTOR:

CIVIL ENGINEER OF RECORD APPROVAL REQUIRED PRIOR TO BACKFILL OF ALL EXISTING AND NEW CONSTRUCTION. CONTACT CIVIL ENGINEER FOR ANY CHANGES TO THE PLAN, SIZE, AND DEPTH OF DRAIN SYSTEM.

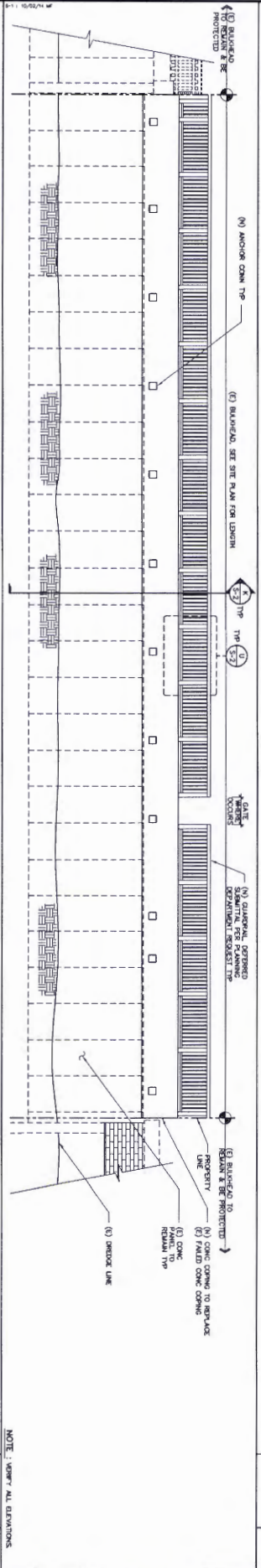
CONSTRUCTION NOTES

1. CONSTRUCT CONCRETE DRIVEWAY. SEE DETAIL ON SHEET C-03.
2. CONSTRUCT CONCRETE DRIVEWAY. SEE DETAIL ON SHEET C-03.
3. CONSTRUCT 4" DIA. SCHEDULE 40 PAC PIPE DRAIN SYSTEM (ASTM D1785).
4. CONSTRUCT 4" DIA. SCHEDULE 40 PAC PIPE DRAIN SYSTEM (ASTM D1785).
5. CONSTRUCT 4" DIA. SCHEDULE 40 PAC PIPE DRAIN SYSTEM (ASTM D1785).
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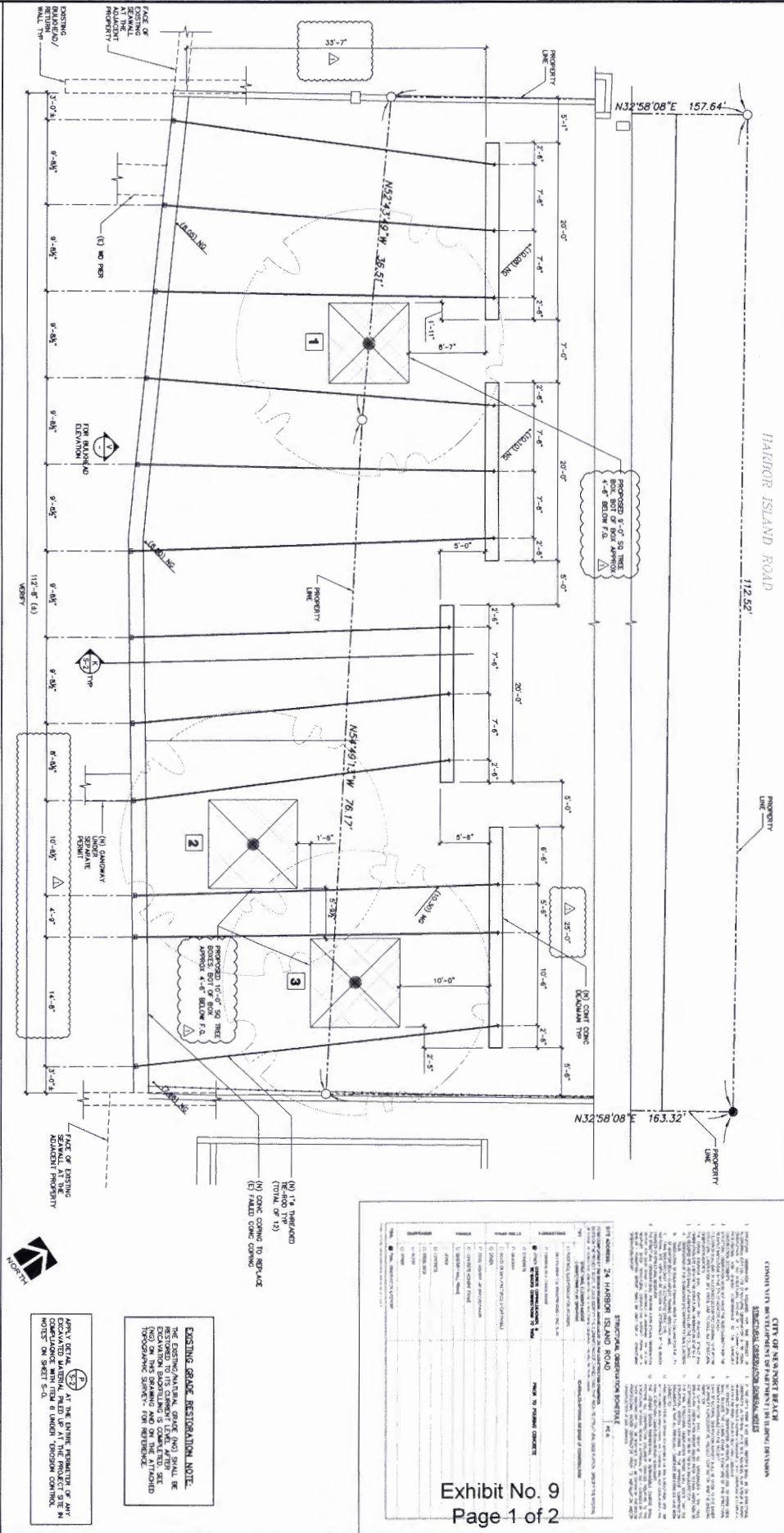




BULKHEAD ELEVATION

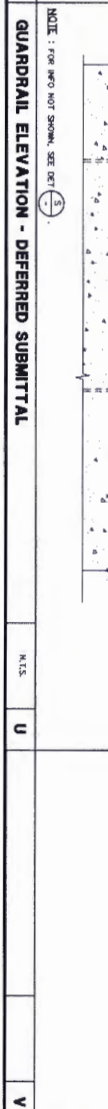
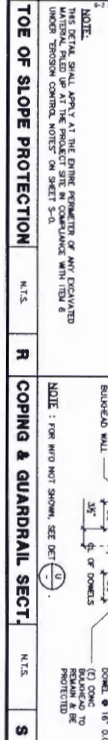
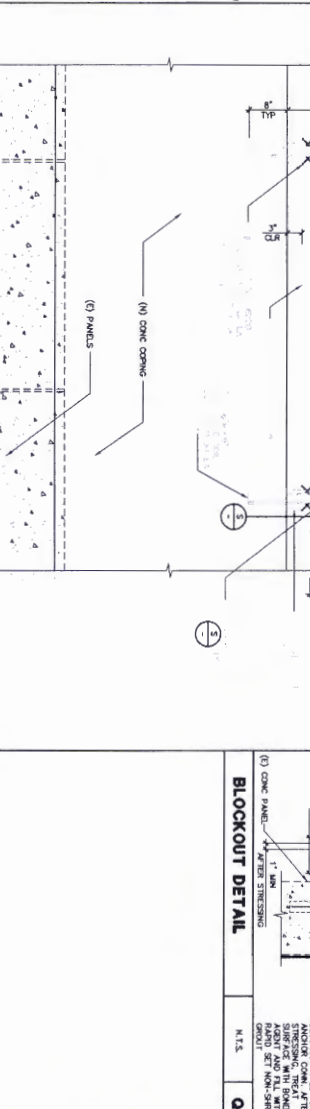
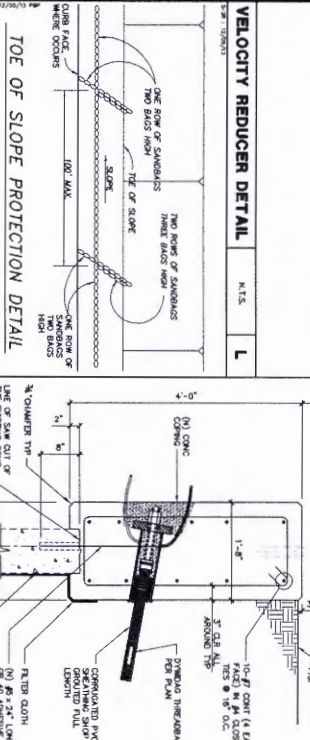
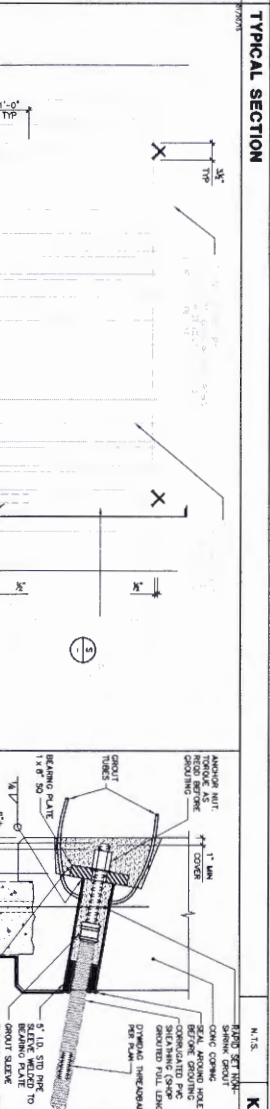
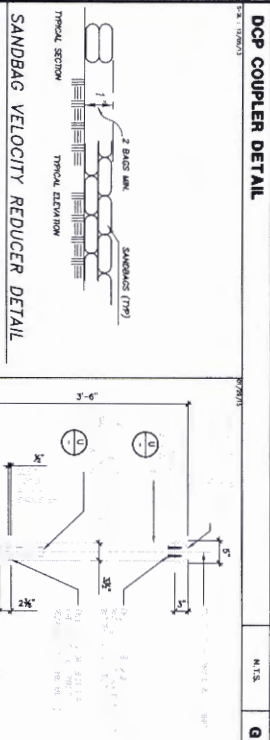
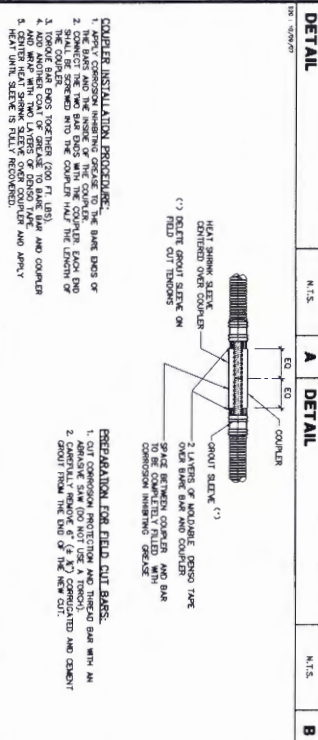
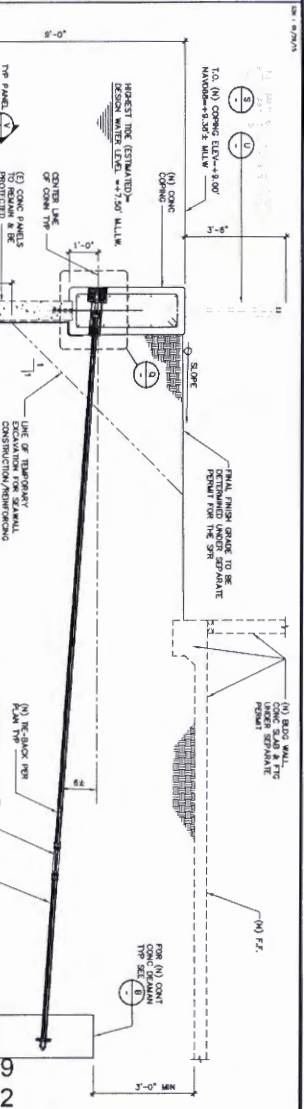
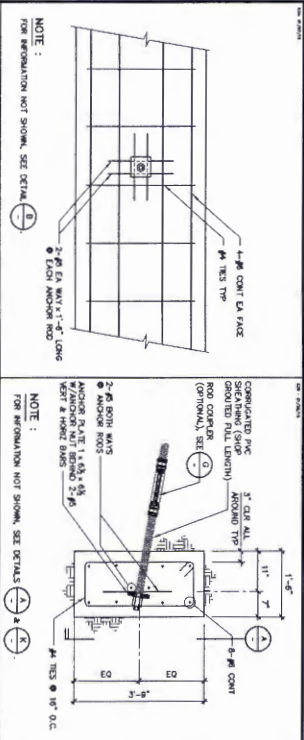


SITE PLAN



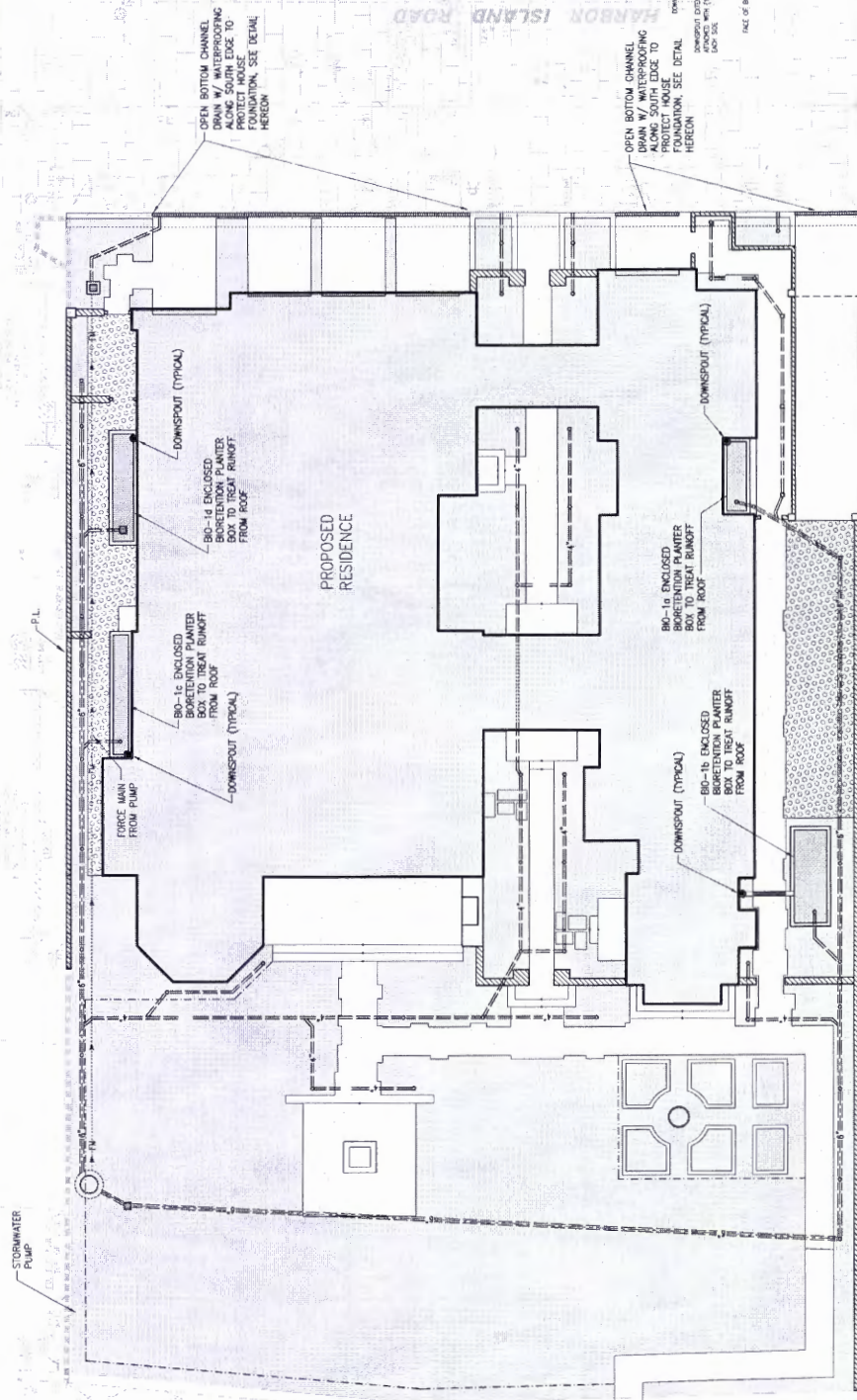
CITY OF NEWPORT BEACH
DEPARTMENT OF PLANNING AND DEVELOPMENT
24 HARBOR ISLAND ROAD
NEWPORT BEACH, CA 92660

Exhibit No. 9
 Page 1 of 2



WQMP LEGEND

- ENCLOSED PLANTER BOX
- LANDSCAPE AREA / PERVIOUS AREA
- PROPOSED CONCRETE PAVING
- PROPOSED BUILDING
- OPEN BOTTOM CHANNEL DRAIN
- RUNOFF FLOW DIRECTION
- PROPOSED DRAIN LINE
- PROPOSED DOWNSPOUT
- FLOW DIRECTION IN DRAIN LINES
- PROPOSED DRAIN INLETS

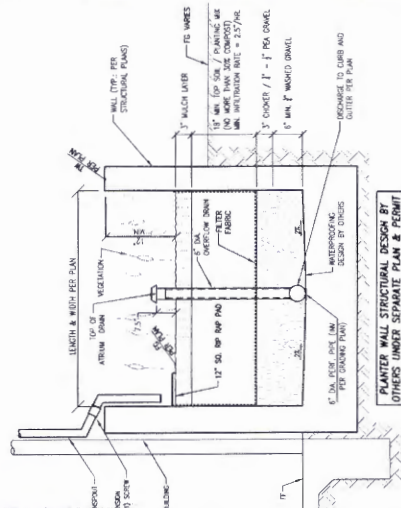


PROJECT INFORMATION:

DOY = 500 CU. FT. (PER WORKSHEET B - SECTION A-1)
 BOX DOY = 81 CU. FT. (PER WORKSHEET C - SECTION A-1.4)

BMP	AREA	DEPTH	RETENTION VOLUME	DOY	SPILL	DMA
BO-1a	29 sq. ft.	0.025 ft.	18 cu. ft.	N/A	N/A	1
BO-1b	42 sq. ft.	0.025 ft.	39 cu. ft.	N/A	N/A	1
BO-1c	39 sq. ft.	0.025 ft.	24 cu. ft.	N/A	N/A	1
BO-1d	46 sq. ft.	0.025 ft.	28 cu. ft.	N/A	N/A	1
TOTAL	-	-	109 cu. ft.	0.05 in.	-	-

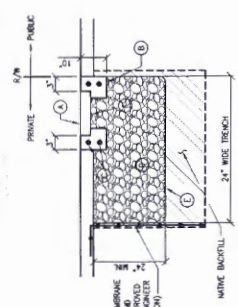
STANDARD: BO-1 STORAGE OF 109 CU. FT. = BOX DOY ... OF



PLANTER WALL STRUCTURAL DESIGN BY OTHERS UNDER SEPARATE PLAN & PERMIT
 DETAIL ENCLOSED PLANTER BOX
 NOT TO SCALE

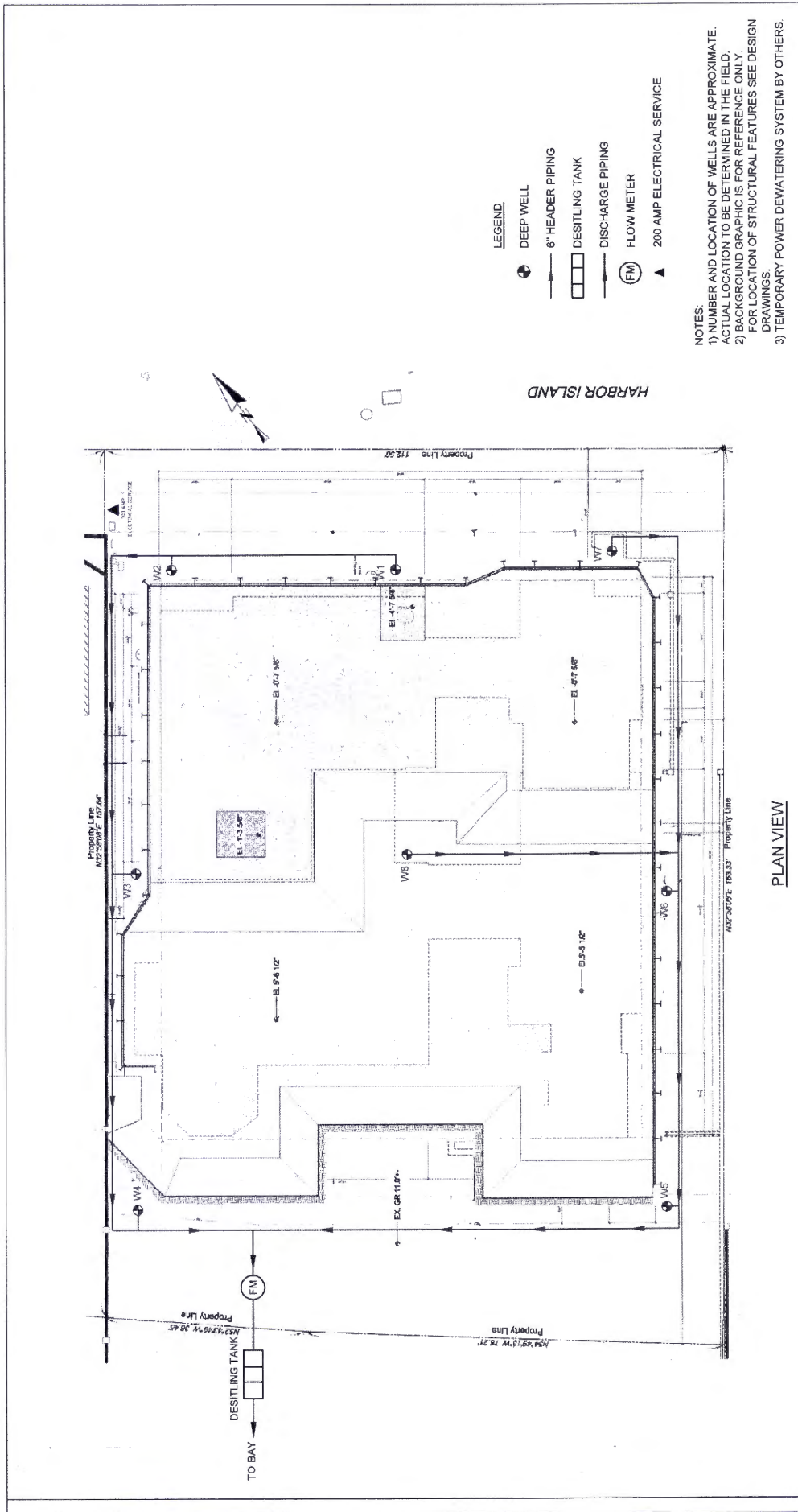
24 HARBOR ISLAND ROAD BMP EXHIBIT

WATER QUALITY MANAGEMENT PLAN (WQMP) SITE PLAN
TOAL ENGINEERING, INC.
 Civil Engineers, Land Planners, Land Surveyors
 139 Avenida Navarro, San Clemente, Calif. 92672
 Tel: 949-485-5555
 Fax: 949-485-5525

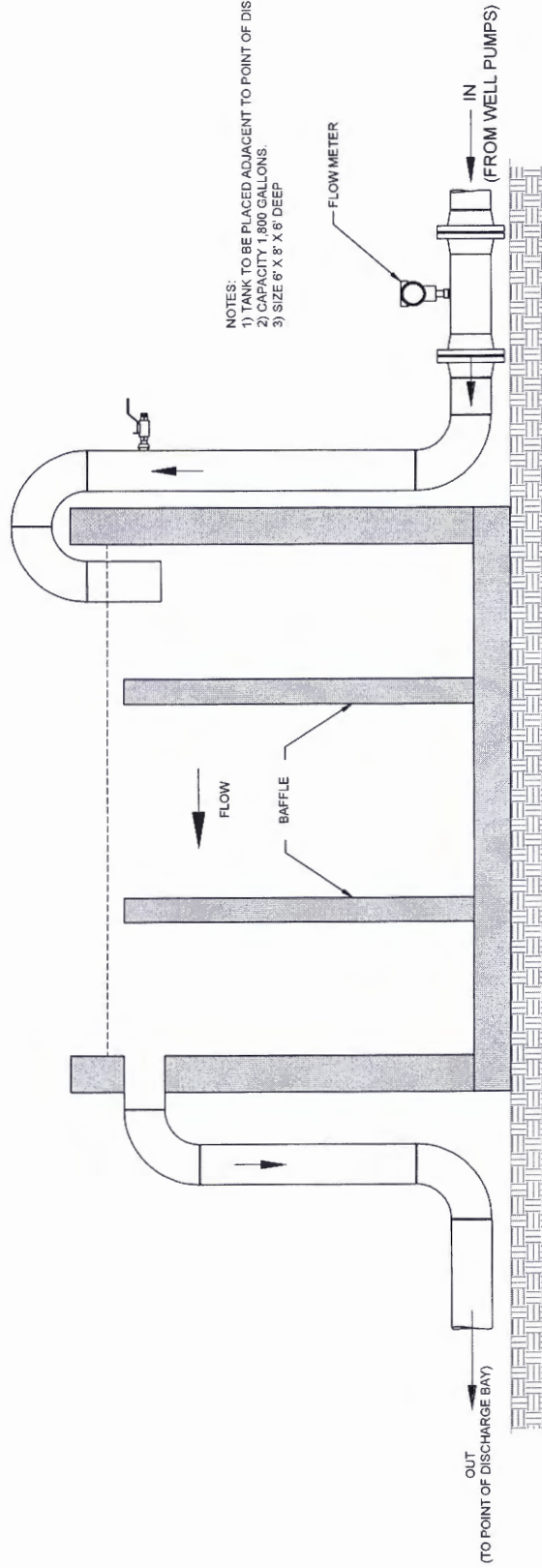


DETAIL BOTTOMLESS TRENCH DRAIN
 NOT TO SCALE

- 8" WIDE TRAFFIC RIBBED FRAME AND GRATE WITH 3/4" SLOOT OPENINGS.
- 405 TYPE 837 OR EQUIVALENT (PN. 800-728-1994).
- FORM AND POUR FORMER CONCRETE CURB 10" DEEP BY 8" WIDE.
- INSTALL #4 REBAR TOP AND BOTTOM (TYPICAL).
- INSTALL COARSE ROCK 3/4" TO 1" DIA.
- INSTALL 4000 PSI FABRIC TYPE 140 N OR EQUIVALENT AROUND CUREL.
- FILL REST OF TRENCH WITH CRUSHED ROCK TO 4" FROM TOP OF TRENCH.



GRIFIN DEWATERING CORPORATION L.L.C. 5306 CLINTON DRIVE HOUSTON, TX 77020 TEL: (713) 676-8000 FAX: (713) 676-8060 E MAIL: griffin@grifindewatering.com WEBSITE: www.grifindewatering.com		24 HARBOR ISLAND		DRAWN: JA SCALE: N.T.S. DATE: 5-10-2016 DWG 01	
REV. 0 This drawing is the property of Griffin Dewatering Corporation and its associated companies and is intended only for its sole or authorized use. It may contain proprietary, public or authorized third party information. Any alteration of this drawing is prohibited, without the express, written consent of an authorized representative of Griffin Dewatering Corporation.		ISSUE FOR APPROVAL 05/10/16 DATE BY APPVD.		NEW PORT BEACH, CA WELL & DISCHARGE LAYOUT	



NOTES:
 1) TANK TO BE PLACED ADJACENT TO POINT OF DISCHARGE
 2) CAPACITY 1,800 GALLONS.
 3) SIZE 6' X 8' DEEP

FLOW METER

FLOW

BAFFLE

OUT
 (TO POINT OF DISCHARGE BAY)

IN
 (FROM WELL PUMPS)

ELEVATION VIEW

0

REV.

ISSUE FOR APPROVAL

DESCRIPTION

DATE

BY

APPVD.

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GRIFFIN

5306 CLINTON DRIVE
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 FAX: (713) 875-6080
 E MAIL: griffin@griffindewatering.com
 WEBSITE: www.griffindewatering.com

24 HARBOR ISLAND

DRAWN: JA

SCALE: N.T.S.

DATE: 5-10-2016

DWG: 02

DESILTING TANK DETAIL DRAWING

Exhibit No. 11

Page 2 of 2

Harbor Island Residence

24 Harbor Island

Newport Beach, CA 92660

Client

EPT DESIGN
landscape architecture | urban design | planning

844 East Ocean Street, Suite 201 | Newport Beach, CA 92618 | Tel: 949.252.4500 | Fax: 949.252.4510
www.eptdesign.com

Consultant

Planting	By	Date
AC Ground	EF	11/20/13
AC Overlays	EF	12/11/13
Ground Overlays	EF	01/16/14
Ground Overlays	EF	02/18/14

Job Number: EDS-012 Design
Blair P.F.
Principal Designer: B.F.
Principal: M.E.

Planting Plan

L3.01

Plan View

PLANTING LEGEND: Trees

SYMBOL	NAME	SIZE	QTY	DETAIL
(Symbol)	Acacia saligna	10' H	12	A3.01.1
(Symbol)	Adiantum	10' H	1	A3.01.2
(Symbol)	Chlorophytum	10' H	2	A3.01.3
(Symbol)	Chlorophytum	10' H	2	A3.01.4
(Symbol)	Chlorophytum	10' H	2	A3.01.5
(Symbol)	Chlorophytum	10' H	2	A3.01.6
(Symbol)	Chlorophytum	10' H	2	A3.01.7
(Symbol)	Chlorophytum	10' H	2	A3.01.8
(Symbol)	Chlorophytum	10' H	2	A3.01.9
(Symbol)	Chlorophytum	10' H	2	A3.01.10

PLANTING LEGEND: Shrubs and Vines

SYMBOL	NAME	SIZE	QTY	DETAIL
(Symbol)	Chlorophytum	10' H	12	A3.01.11
(Symbol)	Chlorophytum	10' H	1	A3.01.12
(Symbol)	Chlorophytum	10' H	21	A3.01.13
(Symbol)	Chlorophytum	10' H	20	A3.01.14
(Symbol)	Chlorophytum	10' H	20	A3.01.15
(Symbol)	Chlorophytum	10' H	20	A3.01.16
(Symbol)	Chlorophytum	10' H	20	A3.01.17
(Symbol)	Chlorophytum	10' H	20	A3.01.18
(Symbol)	Chlorophytum	10' H	20	A3.01.19
(Symbol)	Chlorophytum	10' H	20	A3.01.20

PLANTING LEGEND: Ground Cover and Turf

SYMBOL	NAME	SIZE	QTY	DETAIL
(Symbol)	Chlorophytum	10' H	12	A3.01.21
(Symbol)	Chlorophytum	10' H	1	A3.01.22
(Symbol)	Chlorophytum	10' H	21	A3.01.23
(Symbol)	Chlorophytum	10' H	20	A3.01.24
(Symbol)	Chlorophytum	10' H	20	A3.01.25
(Symbol)	Chlorophytum	10' H	20	A3.01.26
(Symbol)	Chlorophytum	10' H	20	A3.01.27
(Symbol)	Chlorophytum	10' H	20	A3.01.28
(Symbol)	Chlorophytum	10' H	20	A3.01.29
(Symbol)	Chlorophytum	10' H	20	A3.01.30

- PLANTING NOTES**
1. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLANTING CODE AND THE LATEST EDITIONS OF THE CALIFORNIA PLANTING CODE.
 2. ALL PLANTING SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE CALIFORNIA PLANTING CODE AND THE LATEST EDITIONS OF THE CALIFORNIA PLANTING CODE.
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