

CALIFORNIA COASTAL COMMISSION

South Coast Area Office
200 Oceangate, Suite 1000
Long Beach, CA 90802-4302
(562) 590-5071



W13a-e

**A-5-VEN-17-0020, A-5-VEN-17-0021, A-5-VEN-17-0022,
A-5-VEN-17-0023, A-5-VEN-17-0024 (605-607 WESTMINSTER)**

JULY 12, 2017

EXHIBITS

Table of Contents

Exhibit 1: Location and Vicinity Map

Exhibit 2: Photos of Project Site, 5/15/2017

Exhibit 3: City of Los Angeles Department of City Planning Approved Claim of Exemptions

DIR-2017-1289-CEX

DIR-2017-1308-CEX

DIR-2017-1310-CEX

DIR-2017-1313-CEX

DIR-2017-1314-CEX

Exhibit 4: Appeals

Appeal No. A-5-VEN-17-0020

Appeal No. A-5-VEN-17-0021

Appeal No. A-5-VEN-17-0022

Appeal No. A-5-VEN-17-0023

Appeal No. A-5-VEN-17-0024

Exhibits Attached to All Appeals

Exhibit 5: Project Descriptions and Plans, Submitted by Applicant

Location Map: 605-607 Westminster Avenue, Venice

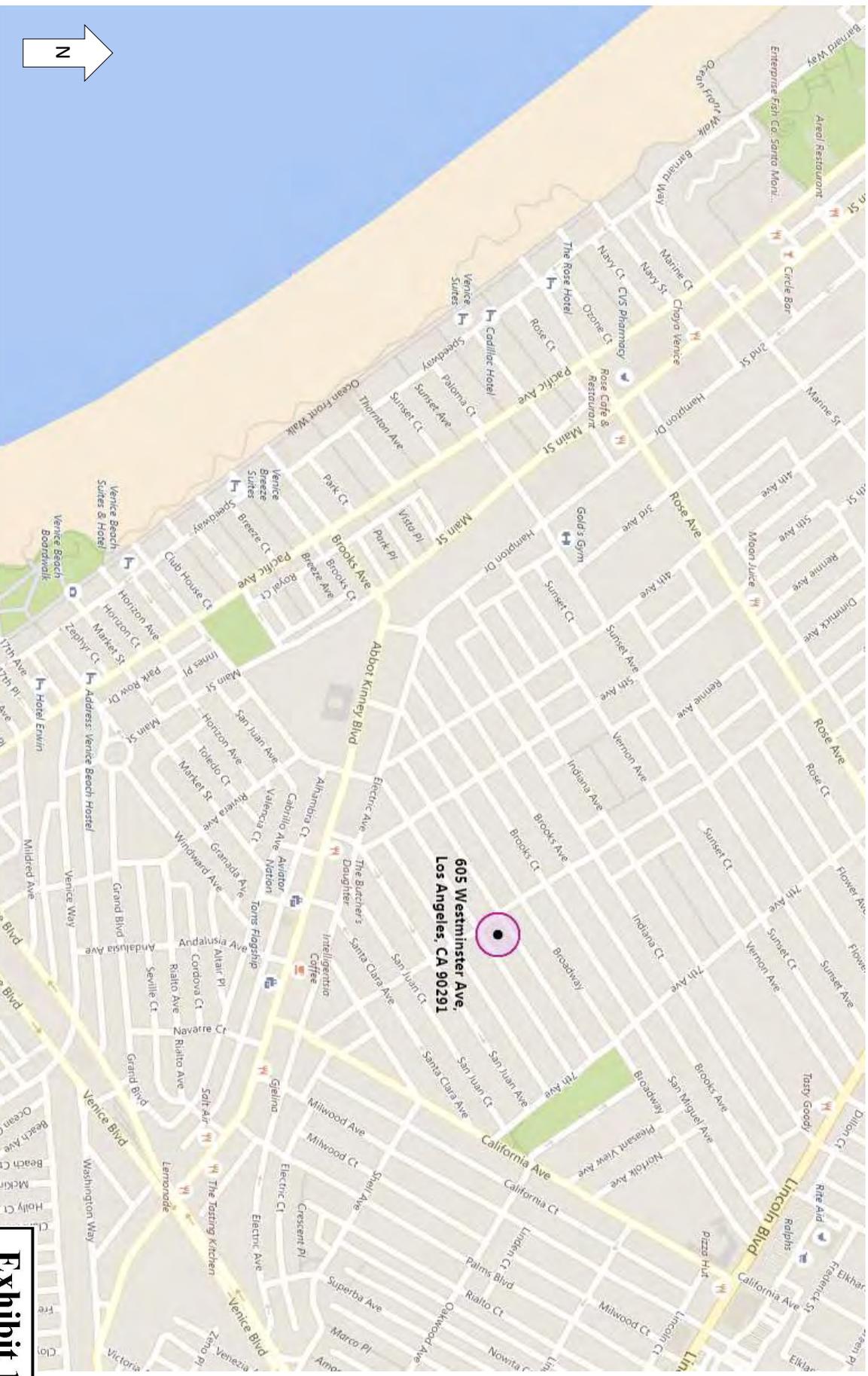


Photo credit: Bing Maps

Exhibit 1

Page 1 of 3

Vicinity Map: 605-607 Westminster Avenue, Venice

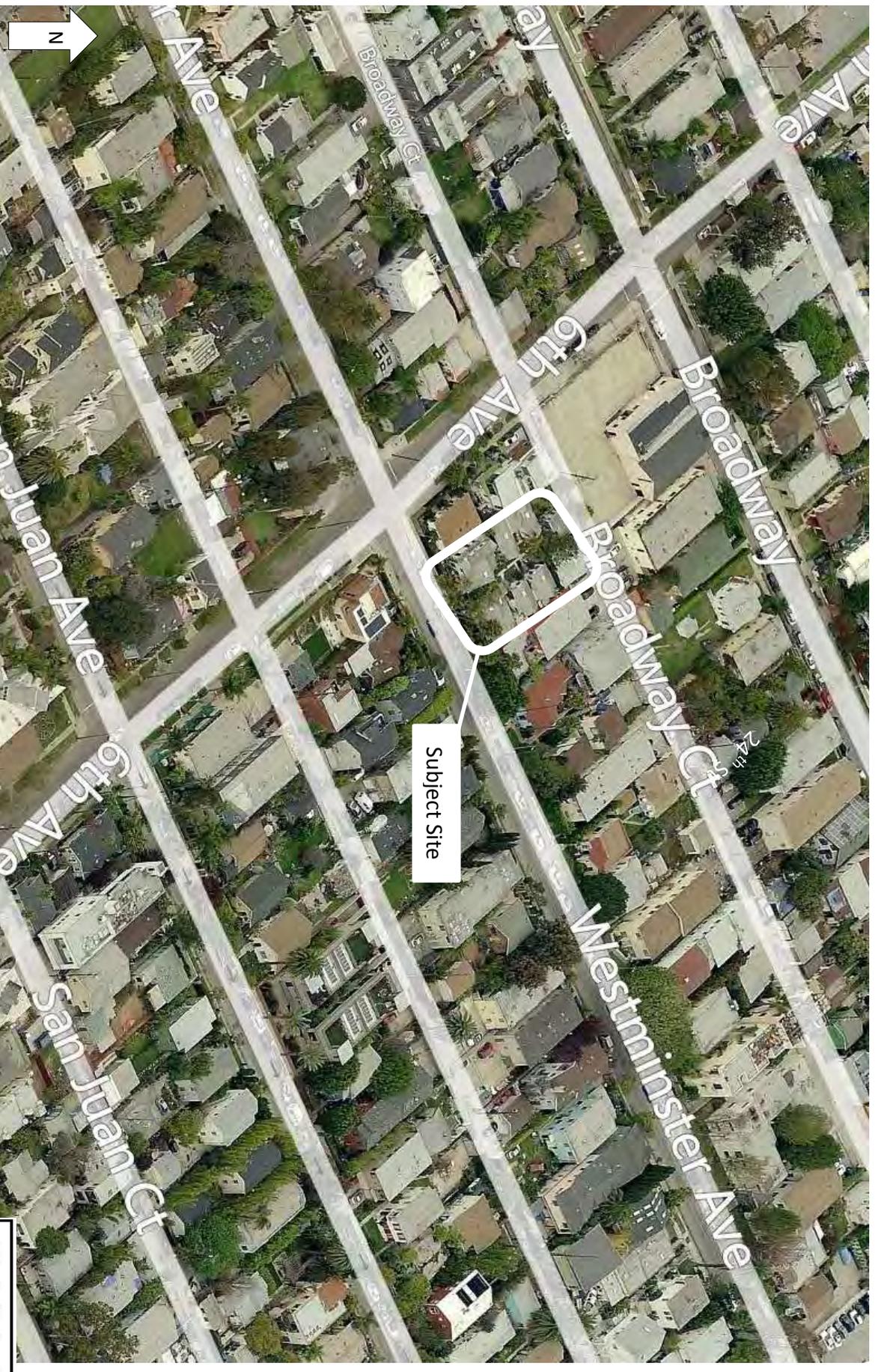


Photo credit: Bing Maps

Exhibit 1

Page 2 of 3



California Coastal
Commission

Site Map: 605-607 Westminster Avenue, Venice



Photo credit: Bing Maps

**Photo: 605 Westminster Avenue, Building A & B
Looking at Unit A, 5-15-17**



Photo credit: Commission Staff

Photo: 607 Westminster Ave., Building A, Front Facade, 5-15-17



Photo credit: Commission Staff

Exhibit 2

Page 2 of 5



California Coastal
Commission

Photo: 607 Westminster Ave., Building D, Front Facade, 5-15-17



Photo credit: Commission Staff

Photo: 607 Westminster Ave., Building E, Front Facade, 5-15-17



Photo credit: Commission Staff

Exhibit 2

Page 4 of 5



California Coastal
Commission

Photo: 607 Westminster Ave., Building E, Addition Repair, 5-15-17



Photo credit: Commission Staff

FILE COPY

RECEIVED
South Coast Region

APR 5 2017



APPLICATIONS:

COASTAL EXEMPTION (CEX)

CASE NO.: DIR-2017-1289-CEX

TO: California Coastal Commission
South Coastal District
200 OceanGate, 10th Floor
Long Beach, CA 90802-4302
(562) 590-5071

APPEAL PERIOD ENDS AT 5:00 P.M.

ON 5-3-17

APPEAL RECEIVED: YES NO

FROM: Los Angeles Department of City Planning
Development Services Center (DSC)
201 North Figueroa Street
Los Angeles, CA 90012

SUBJECT: COASTAL EXEMPTION—SINGLE JURISDICTION AREA ONLY

Under no circumstances shall a Coastal Exemption be issued for the following scopes of work:

- Remodels which involve the removal of 50% or more of existing exterior walls
- Addition, demolition, removal or conversion of any whole residential units (unless required by LADBS)
- Projects which involve significant grading or boring in a Special Grading or Landslide area
- Any change of use (to a more or less intensive use)

OWNER/APPLICANT TO COMPLETE THE FOLLOWING (type, print, or fill out on-line)

PROJECT ADDRESS: 605 E. Westminster Ave Bldg A and B
 LEGAL DESCRIPTION: LOT 44 BLOCK L TRACT Ocean Park Villa Tract
 ZONE: RD 1.5-1 COMMUNITY PLAN: Venice
 PROPOSED SCOPE OF WORK: Replace windows, replace dry wall, interior kitchen and bathroom remodel, reroof, add sill plate anchor bolts and cripple wall plywood.

RELATED PLAN CHECK NUMBER(S): ¹⁷⁰¹⁶⁻⁹⁰⁰⁰⁰⁻⁶¹¹⁸⁹ 17016-90000-01555, 17016-10000-06538, 17016-90000-06540, 17016-10001-01
17016-90000-01555, 17016-90000-05989, 17016-90000-05990, 17016-10001-01

Note: If there is related work to be pulled under a separate permit, please include in the above project description. The reason for this is so Planning Staff can evaluate the project as a whole and to avoid having to apply for another CEX for any subsequent permits related to the original scope of work.

Applicant Name: Kimberlina Whettam
 Mailing Address: 241 S. Figueroa St. #370 LA CA 90012
 Phone Number: 213228 5303 E-mail Address: Kimberlina@kiwhettam.com
 Signature: Kimberlina Whettam

THIS SECTION FOR OFFICE USE ONLY

This application has been reviewed by the staff of the Los Angeles Department of City Planning in accordance with the provisions of Section 30610 of the California Coastal Act. A determination has been made that a Coastal Development Permit is not required for the preceding described project based on the fact that it does not: (1) involve a risk of adverse environmental effect, (2) adversely affect public access, or (3) involve a change in use contrary to any policy of this division pursuant to Title 14 of the California Administrative Code, and qualifies for an exemption under one or more of the categories checked below.

- Improvements to Existing Single-Family Residences.** This includes interior and exterior improvements, additions, and uses which are accessory to a single-family residence (e.g. garages, pools, fences, storage). This does not include the increase or decrease in the number of residential dwelling units (including guest houses), or retaining walls or pools that may have a potential significant impact on coastal resources (i.e. ~~viewable from the public right-of-way, involves a significant amount of grading or boring in Hillside, Landslide or Special Grading areas~~), which may be reviewed on a case-by-case basis.
- Improvements to Any Existing Structure Other Than A Single-Family Residence.** For duplex or ~~triplex or fourplex~~ interior and exterior improvements, additions and uses which are accessory to the residential use (e.g. garages, pools, fences, storage sheds), but does not include the increase or decrease in the number of residential dwelling units, or retaining walls or pools that may have a potential significant impact on coastal resources (i.e. viewable from the public right-of-way, involves a significant amount of grading or boring in Hillside, Landslide or Special Grading areas), which may be reviewed on a case-by-case basis. For non-residential uses, this includes interior and exterior improvements and building signage (excluding pole, pylon and off-site signs), but does not include any addition of square footage or change of use (to a more or less intense use).
- Repair or Maintenance.** This includes replacement, repair and/or maintenance activities (i.e. re-roofing, replacement of equipment, etc.) which do not result in any changes, enlargement or expansion.
- Demolitions required by LADBS.** This includes projects which have been issued a Nuisance and Abatement or Order to Comply by the Department of Building & Safety requiring demolition due to an unsafe or substandard condition. Please attach the Building & Safety Notice.

This exemption in no way excuses the applicant from complying with all applicable policies, ordinances, codes and regulations of the City of Los Angeles. This exemption shall not apply if the project is not consistent with local land use regulations. If it is found that the project description is not in conformance with the actual project to be constructed or is not in conformance with Section 30610 of the California Coastal Act, this exemption is null and void.

Vincent P. Bertoni, AICP
Director of Planning

Issued By:


Signature

Banalynn Dominguez, Planning Assistant
Print Name and Title

Date:

March 30, 2017

Invoice No.:

36017

Receipt Number:

0104714521

Attached:

- Copy of Invoice with Receipt No.
- Copy of related Building & Safety Clearance Summary Worksheet(s)

Copyright 2017. All rights reserved. The use of this plan, calculation and specifications shall be restricted to the project for which they were prepared, and no portion thereof may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Tegon Engineering Group, Inc. The use of this plan, calculation and specifications shall be restricted to the project for which they were prepared, and no portion thereof may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Tegon Engineering Group, Inc. The use of this plan, calculation and specifications shall be restricted to the project for which they were prepared, and no portion thereof may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, electronic, mechanical, photocopying, recording, or by any information storage and retrieval system, without the prior written permission of Tegon Engineering Group, Inc.

5318 E. Second Street #539
Long Beach, CA 90803
310.413.9760
www.tegon.com



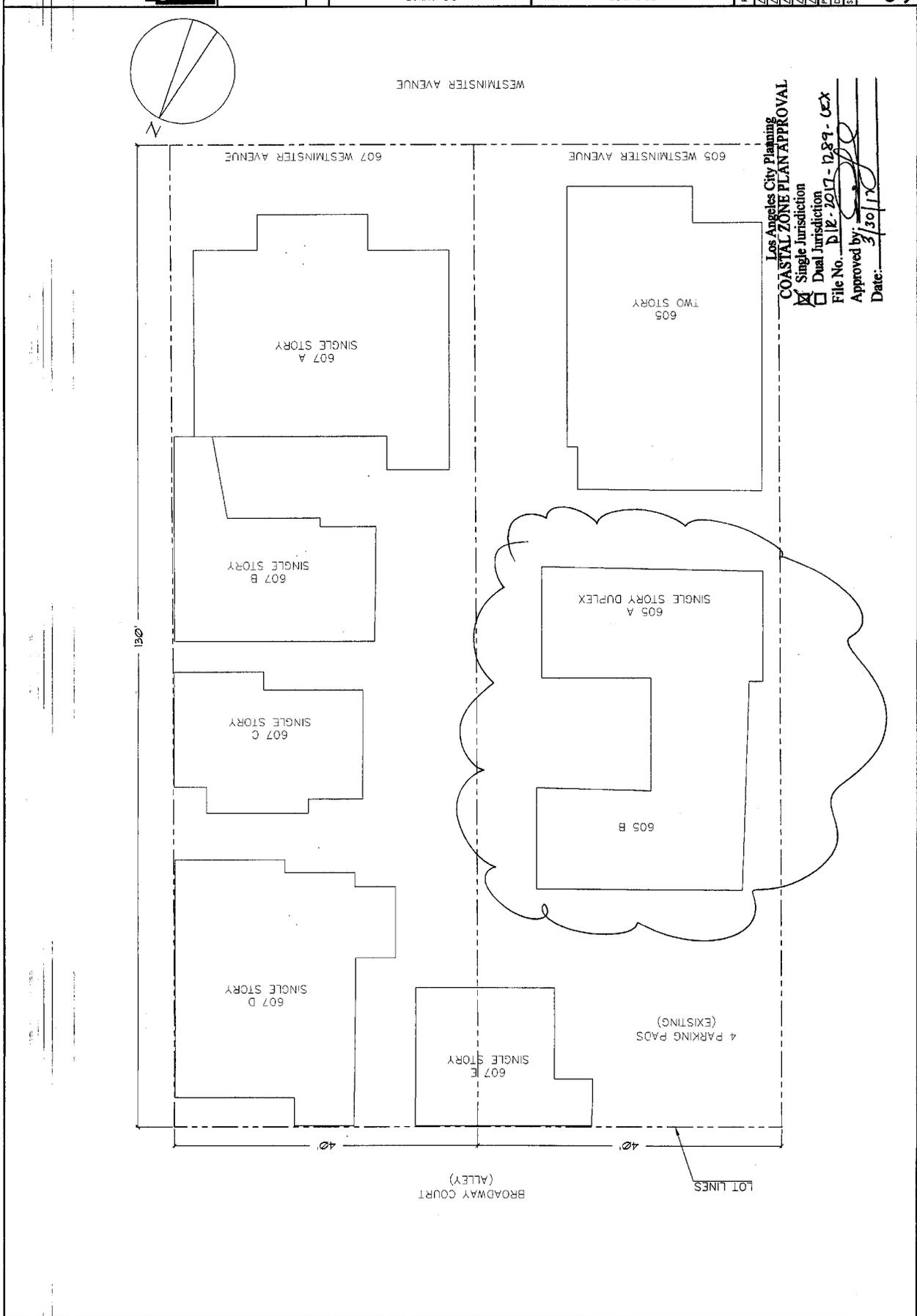
STAMP DATE
3/29/17

DRAWING
PLOT PLAN

PROJECT
605 A&B WESTMINSTER AVENUE
605 A WESTMINSTER AVENUE
VENICE, CA 90291

REVISIONS	
NO.	
DATE	3/29/2017
PROJECT #	7474237
SCALE	1/4" = 1'-0"

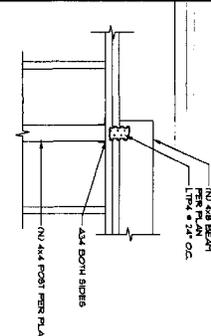
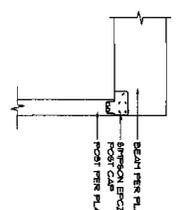
S-0.1
SHEET 2 OF 4



Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
 File No. 12-2017-1289-CGX
 Approved by: [Signature]
 Date: 3/30/17

SCALE: 3/16" = 1'-0"

PLOT PLAN



POST-BEAM DETAIL 20
STRUCTURAL DETAILS
POST-BEAM CONNECTION 21

2017 LABC FASTENING SCHEDULE
TABLE 2304.91

CONNECTION	FASTENING#	LOCATION
1) JOIST TO WALL OR BRACER	(1) 20 COMMON	CEILING
2) WALL BRACER OR LAMB TO EACH JOIST	(2) 20 COMMON	FACE WALL
3) JOIST TO WALL OR BRACER TO EACH JOIST	(2) 20 COMMON	FACE WALL
4) 1\"/>		

STRUCTURAL NOTES

1. ALL INTERIOR WALLS AND INTERIOR PARTITIONS SHALL BE CONSTRUCTED WITH 8\"/>

2. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

3. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

4. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

5. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

6. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

7. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

8. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

9. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

10. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

11. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

12. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

13. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

14. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

15. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

16. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

17. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

18. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

19. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

20. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

21. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

22. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

23. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

24. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

25. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

26. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

27. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

28. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

29. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

30. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

31. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

32. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

33. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

34. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

35. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

36. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

37. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

38. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

39. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

40. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

41. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

42. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

43. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

44. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

45. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

46. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

47. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

48. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

49. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

50. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

51. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

52. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

53. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

54. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

55. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

56. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

57. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

58. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

59. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

60. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

61. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

62. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

63. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

64. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

65. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

66. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

67. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

68. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

69. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

70. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

71. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

72. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

73. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

74. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

75. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

76. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

77. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

78. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

79. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

80. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

81. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

82. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

83. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

84. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

85. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

86. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

87. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

88. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

89. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

90. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

91. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

92. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

93. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

94. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

95. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

96. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

97. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

98. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

99. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

100. ALL EXTERIOR WALLS SHALL BE CONSTRUCTED WITH 8\"/>

PROJECT: 605 A & B WESTMINSTER, 605 A WESTMINSTER AVENUE, VENICE, CA 90291

DRAWING: STRUCTURAL DETAILS & STRUCTURAL NOTES

DATE: 3/29/17

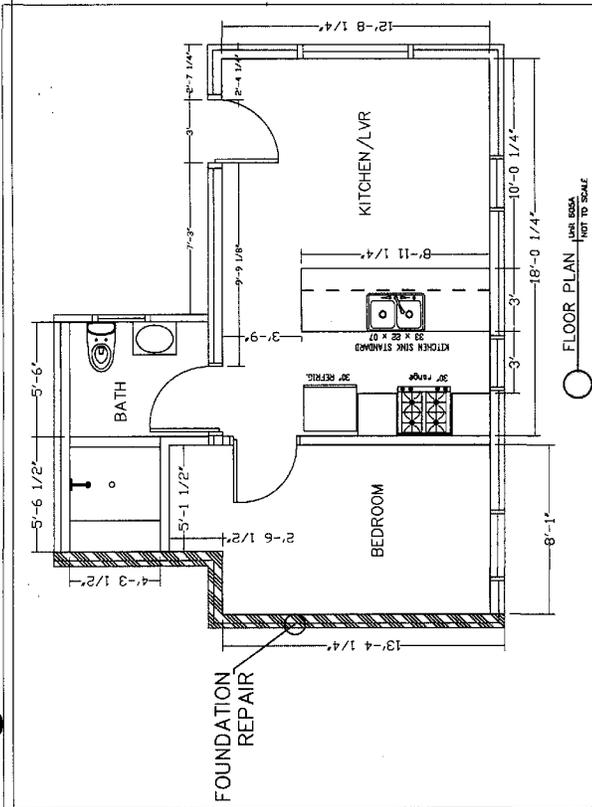
SCALE: 1" = 1'-0"

SD-2

SHEET 5 OF 6

TEG ENGINEERING & ARCHITECTURE, 5318 E. Second Street #339, Long Beach, CA 90803, 310.613.9980, www.TEGLosAngeles.com

Bungalow 605 A



FLOOR PLAN (SEE AREA NOT TO SCALE)

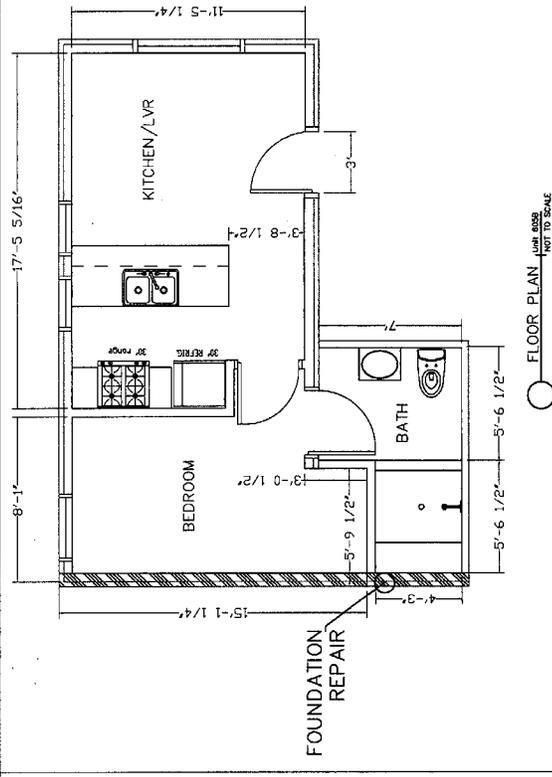
Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
 File No. D12-2017-1287-C6X
 Approved by: [Signature]
 Date: 3/30/17



Bungalow 605 A



Bungalow 605 B – Foundation Repair



FLOOR PLAN
JUNE 2008
NOT TO SCALE

Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
 File No. DIG - 2017 - 1287 - CSX
 Approved by: [Signature]
 Date: 3/20/17



Bungalow 605 B – Foundation Repair



FILE COPY

RECEIVED
South Coast Region

APR 5 2017



APPLICATIONS:

COASTAL EXEMPTION (CEX)

CASE NO.: DIR-2017-1308-CEX

TO: California Coastal Commission
South Coastal District
200 OceanGate, 10th Floor
Long Beach, CA 90802-4302
(562) 590-5071

APPEAL PERIOD ENDS AT 5:00 P.M.

ON 5-3-17

APPEAL RECEIVED: YES NO

FROM: Los Angeles Department of City Planning
Development Services Center (DSC)
201 North Figueroa Street
Los Angeles, CA 90012

SUBJECT: COASTAL EXEMPTION—SINGLE JURISDICTION AREA ONLY

Under no circumstances shall a Coastal Exemption be issued for the following scopes of work:

- Remodels which involve the removal of 50% or more of existing exterior walls
- Addition, demolition, removal or conversion of any whole residential units (unless required by LADBS)
- Projects which involve significant grading or boring in a Special Grading or Landslide area
- Any change of use (to a more or less intensive use)

OWNER/APPLICANT TO COMPLETE THE FOLLOWING (type, print, or fill out on-line)

PROJECT ADDRESS: 607 E. Westminster Ave Bldg A
LEGAL DESCRIPTION: LOT 43 BLOCK L TRACT Ocean Park Villa Tract
ZONE: RD1.5-1 **COMMUNITY PLAN:** Venice
PROPOSED SCOPE OF WORK: reroof with shingles and repair foundation

RELATED PLAN CHECK NUMBER(s): 17016-20000-04394, 17016-90000-01190, 17016-10001-0431

Note: If there is related work to be pulled under a separate permit, please include in the above project description. The reason for this is so Planning Staff can evaluate the project as a whole and to avoid having to apply for another CEX for any subsequent permits related to the original scope of work.

Applicant Name: Kimberlina Whettam
Mailing Address: 241 S. Figueroa St. #370 LA CA 90012
Phone Number: 818 427 2154 **E-mail Address:** Kimberlina@kwhettam.com
Signature: Kimberlina Whettam

THIS SECTION FOR OFFICE USE ONLY

This application has been reviewed by the staff of the Los Angeles Department of City Planning in accordance with the provisions of Section 30610 of the California Coastal Act. A determination has been made that a Coastal Development Permit is not required for the preceding described project based on the fact that it does not: (1) involve a risk of adverse environmental effect, (2) adversely affect public access, or (3) involve a change in use contrary to any policy of this division pursuant to Title 14 of the California Administrative Code, and qualifies for an exemption under one or more of the categories checked below.

- Improvements to Existing Single-Family Residences.** This includes interior and exterior improvements, additions, and uses which are accessory to a single-family residence (e.g. garages, pools, fences, storage). This does not include the increase or decrease in the number of residential dwelling units (including guest houses), or retaining walls or pools that may have a potential significant impact on coastal resources (i.e. viewable from the public right-of-way, involves a significant amount of grading or boring in Hillside, Landslide or Special Grading areas), which may be reviewed on a case-by-case basis.
- Improvements to Any Existing Structure Other Than A Single-Family Residence.** For duplex or multifamily residential uses, this includes interior and exterior improvements, additions and uses which are accessory to the residential use (e.g. garages, pools, fences, storage sheds), but does not include the increase or decrease in the number of residential dwelling units, or retaining walls or pools that may have a potential significant impact on coastal resources (i.e. viewable from the public right-of-way, involves a significant amount of grading or boring in Hillside, Landslide or Special Grading areas), which may be reviewed on a case-by-case basis. For non-residential uses, this includes interior and exterior improvements and building signage (excluding pole, pylon and off-site signs), but does not include any addition of square footage or change of use (to a more or less intense use).
- Repair or Maintenance.** This includes replacement, repair and/or maintenance activities (i.e. re-roofing, replacement of equipment, etc.) which do not result in any changes, enlargement or expansion.
- Demolitions required by LADBS.** This includes projects which have been issued a Nuisance and Abatement or Order to Comply by the Department of Building & Safety requiring demolition due to an unsafe or substandard condition. Please attach the Building & Safety Notice.

This exemption in no way excuses the applicant from complying with all applicable policies, ordinances, codes and regulations of the City of Los Angeles. This exemption shall not apply if the project is not consistent with local land use regulations. If it is found that the project description is not in conformance with the actual project to be constructed or is not in conformance with Section 30610 of the California Coastal Act, this exemption is null and void.

Vincent P. Bertoni, AICP
Director of Planning

Issued By:

Signature

Danalynn Dominguez, Planning Assistant

Print Name and Title

Date:

March 30, 2017

Invoice No.:

36 028

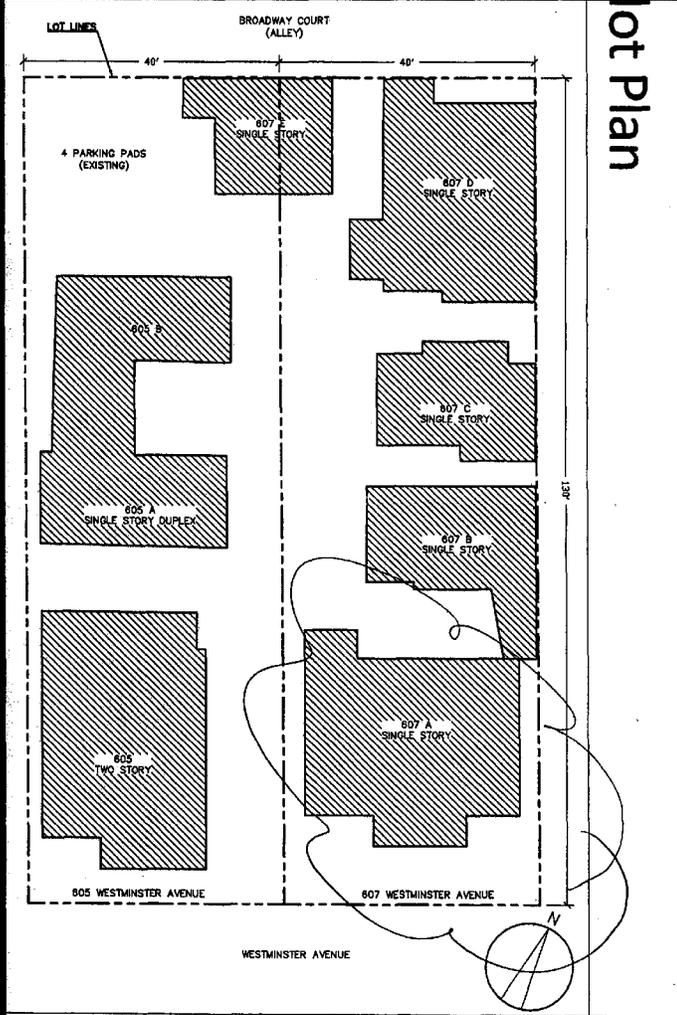
Receipt Number:

0104714519

Attached:

- Copy of Invoice with Receipt No.
- Copy of related Building & Safety Clearance Summary Worksheet(s)

Plot Plan



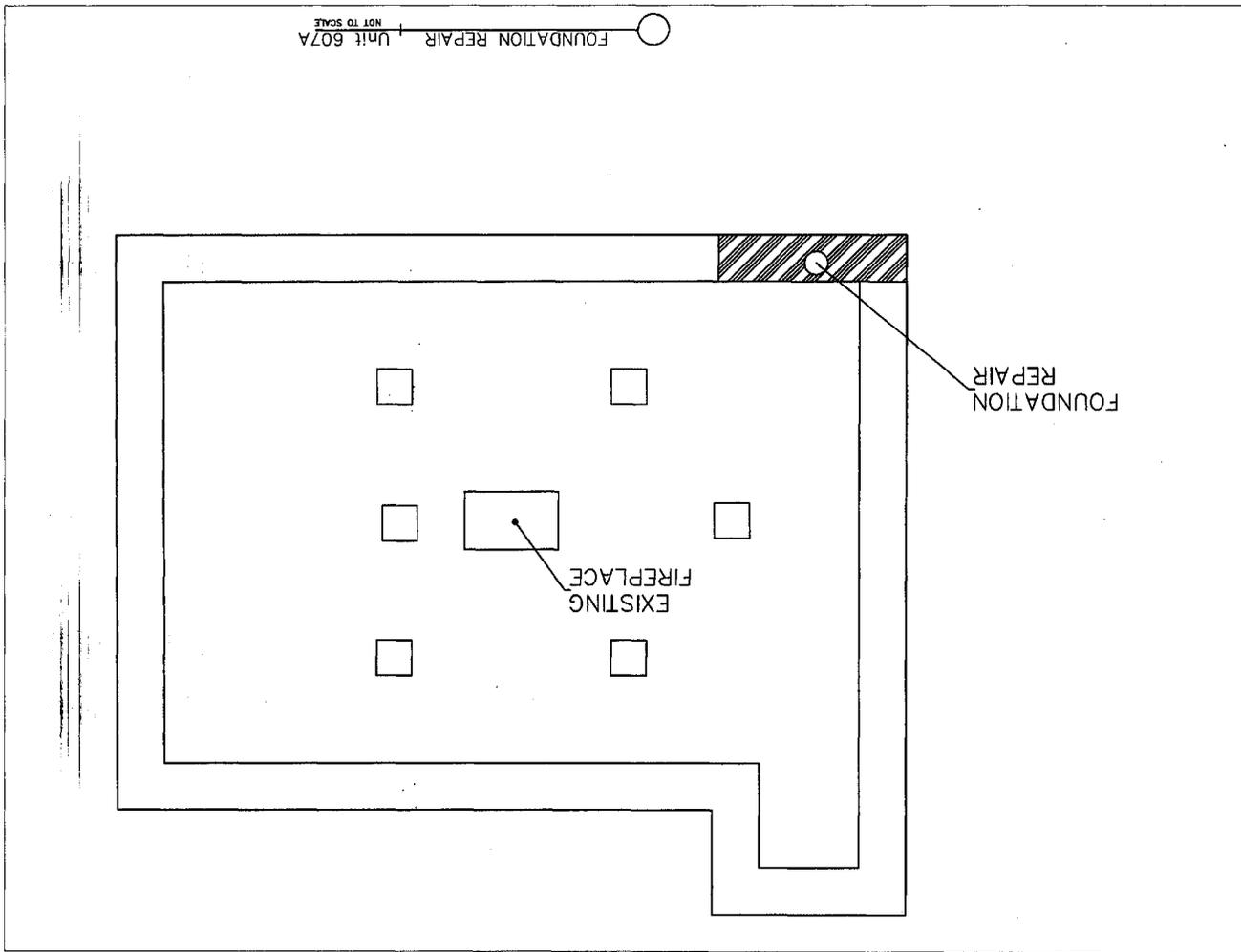
Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
 File No. DP-2017-1308 CSX
 Approved by: [Signature]
 Date: 3/29/17

RECEIVED
 South Coast Region

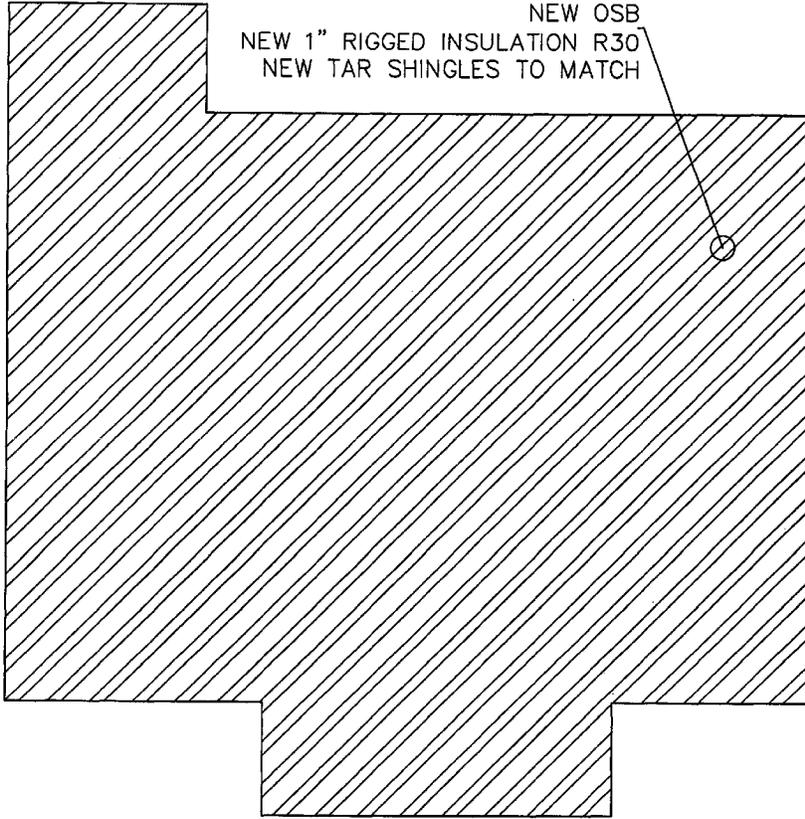
APR 5 2017

CALIFORNIA
 COASTAL COMMISSION

Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
File No. D1R-267-1308-65X
Approved by: [Signature]
Date: 3/30/17



REMOVE EXISTING SHINGLES
NEW OSB
NEW 1" RIGGED INSULATION R30
NEW TAR SHINGLES TO MATCH



○ NEW TAR SHINGLE ROOF, Unit 607A
NOT TO SCALE

Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
File No. D 114 - 2017 - 130 R 03X
Approved by: [Signature]
Date: 3/20/17

FILE COPY

RECEIVED
South Coast Region

APR 5 2017



APPLICATIONS:

CALIFORNIA

COASTAL EXEMPTION (CEX)

CASE NO.: 1 DIR-2017-1310-CEX

TO: California Coastal Commission
South Coastal District
200 Oceanate, 10th Floor
Long Beach, CA 90802-4302
(562) 590-5071

APPEAL PERIOD ENDS AT 5:00 P.M.
ON 5-3-17

FROM: Los Angeles Department of City Planning
Development Services Center (DSC)
201 North Figueroa Street
Los Angeles, CA 90012

APPEAL RECEIVED: YES NO _____

SUBJECT: COASTAL EXEMPTION—SINGLE JURISDICTION AREA ONLY

Under no circumstances shall a Coastal Exemption be issued for the following scopes of work:

- Remodels which involve the removal of 50% or more of existing exterior walls
- Addition, demolition, removal or conversion of any whole residential units (unless required by LADBS)
- Projects which involve significant grading or boring in a Special Grading or Landslide area
- Any change of use (to a more or less intensive use)

OWNER/APPLICANT TO COMPLETE THE FOLLOWING (type, print, or fill out on-line)

PROJECT ADDRESS: 607 E Westminster Ave Bldg B
LEGAL DESCRIPTION: LOT 43 BLOCK L TRACT Ocean Park Villa Tract
ZONE: RD1.5-1 **COMMUNITY PLAN:** Venice
PROPOSED SCOPE OF WORK: reroof to replace roof shingles & repair foundation

RELATED PLAN CHECK NUMBER(s): 17016-2000-04396, 17016-9000-01190, 17016-10001-04396,
17016-10000-06540

Note: If there is related work to be pulled under a separate permit, please include in the above project description. The reason for this is so Planning Staff can evaluate the project as a whole and to avoid having to apply for another CEX for any subsequent permits related to the original scope of work.

Applicant Name: Kimberlina Whettam

Mailing Address: 241 S. Figueroa St. #370 LA CA 90012

Phone Number: 213 228 5303 **E-mail Address:** kimberlina@kwhettam.com

Signature: Kimberlina Whettam

THIS SECTION FOR OFFICE USE ONLY

This application has been reviewed by the staff of the Los Angeles Department of City Planning in accordance with the provisions of Section 30610 of the California Coastal Act. A determination has been made that a Coastal Development Permit is not required for the preceding described project based on the fact that it does not: (1) involve a risk of adverse environmental effect, (2) adversely affect public access, or (3) involve a change in use contrary to any policy of this division pursuant to Title 14 of the California Administrative Code, and qualifies for an exemption under one or more of the categories checked below.

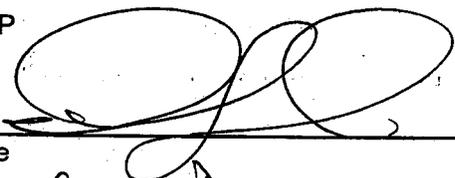
- Improvements to Existing Single-Family Residences.** This includes interior and exterior improvements, additions, and uses which are accessory to a single-family residence (e.g. garages, pools, fences, storage). This does not include the increase or decrease in the number of residential dwelling units (including guest houses), or retaining walls or pools that may have a potential significant impact on coastal resources (i.e. viewable from the public right-of-way, involves a significant amount of grading or boring in Hillside, Landslide or Special Grading areas), which may be reviewed on a case-by-case basis.
- Improvements to Any Existing Structure Other Than A Single-Family Residence.** For duplex or multifamily residential uses, this includes interior and exterior improvements, additions and uses which are accessory to the residential use (e.g. garages, pools, fences, storage sheds), but does not include the increase or decrease in the number of residential dwelling units, or retaining walls or pools that may have a potential significant impact on coastal resources (i.e. viewable from the public right-of-way, involves a significant amount of grading or boring in Hillside, Landslide or Special Grading areas), which may be reviewed on a case-by-case basis. For non-residential uses, this includes interior and exterior improvements and building signage (excluding pole, pylon and off-site signs), but does not include any addition of square footage or change of use (to a more or less intense use).
- Repair or Maintenance.** This includes replacement, repair and/or maintenance activities (i.e. re-roofing, replacement of equipment, etc.) which do not result in any changes, enlargement or expansion.
- Demolitions required by LADBS.** This includes projects which have been issued a Nuisance and Abatement or Order to Comply by the Department of Building & Safety requiring demolition due to an unsafe or substandard condition. Please attach the Building & Safety Notice.

This exemption in no way excuses the applicant from complying with all applicable policies, ordinances, codes and regulations of the City of Los Angeles. This exemption shall not apply if the project is not consistent with local land use regulations. If it is found that the project description is not in conformance with the actual project to be constructed or is not in conformance with Section 30610 of the California Coastal Act, this exemption is null and void.

Vincent P. Bertoni, AICP
Director of Planning

Issued By:

Signature


Print Name and Title

Banalynn Dominguez, Planning Assistant

Date:

March 30, 2017

Invoice No.:

36030

Receipt Number:

0104714517

Attached:

Copy of Invoice with Receipt No.

Copy of related Building & Safety Clearance Summary Worksheet(s)

- HOLD-DOWN CONNECTIONS TO BE USED TO SECURE THE WALL TO FOUNDATION. ALL HOLD-DOWNS SHALL BE ANCHORED TO THE FOUNDATION WITH AN ANCHOR BOLT. THE ANCHOR BOLT SHALL BE EMBEDDED IN THE FOUNDATION WITH A MINIMUM OF 12" OF CONCRETE. THE ANCHOR BOLT SHALL BE EMBEDDED IN THE FOUNDATION WITH A MINIMUM OF 12" OF CONCRETE.
- ALL HOLD-DOWNS SHALL BE EMBEDDED IN THE FOUNDATION WITH A MINIMUM OF 12" OF CONCRETE.
- ALL HOLD-DOWNS SHALL BE EMBEDDED IN THE FOUNDATION WITH A MINIMUM OF 12" OF CONCRETE.
- ALL HOLD-DOWNS SHALL BE EMBEDDED IN THE FOUNDATION WITH A MINIMUM OF 12" OF CONCRETE.
- ALL HOLD-DOWNS SHALL BE EMBEDDED IN THE FOUNDATION WITH A MINIMUM OF 12" OF CONCRETE.

- CONTRACTOR TO PROVIDE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM COMPONENT LISTED IN THE UBC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE SYSTEM COMPONENTS AND THE OWNER SHALL BE RESPONSIBLE FOR THE PAYMENT OF THE COSTS OF THE SYSTEM COMPONENTS.
- CONTRACTOR TO PROVIDE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM COMPONENT LISTED IN THE UBC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE SYSTEM COMPONENTS AND THE OWNER SHALL BE RESPONSIBLE FOR THE PAYMENT OF THE COSTS OF THE SYSTEM COMPONENTS.
- CONTRACTOR TO PROVIDE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM COMPONENT LISTED IN THE UBC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE SYSTEM COMPONENTS AND THE OWNER SHALL BE RESPONSIBLE FOR THE PAYMENT OF THE COSTS OF THE SYSTEM COMPONENTS.
- CONTRACTOR TO PROVIDE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM COMPONENT LISTED IN THE UBC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE SYSTEM COMPONENTS AND THE OWNER SHALL BE RESPONSIBLE FOR THE PAYMENT OF THE COSTS OF THE SYSTEM COMPONENTS.
- CONTRACTOR TO PROVIDE FOR THE CONSTRUCTION OF A WIND OR SEISMIC FORCE RESISTING SYSTEM COMPONENT LISTED IN THE UBC. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE DESIGN AND CONSTRUCTION OF THE SYSTEM COMPONENTS AND THE OWNER SHALL BE RESPONSIBLE FOR THE PAYMENT OF THE COSTS OF THE SYSTEM COMPONENTS.

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
1	CONCRETE	2800	CU YD	120.00
2	STEEL REINFORCING	3000	LB	1.50
3	FORMWORK	1000	SQ YD	10.00
4	WATER	1000	CU YD	1.00
5	CEMENT	1000	CU YD	1.00
6	ADDITIONAL REINFORCING	1000	LB	1.50
7	ADDITIONAL FORMWORK	1000	SQ YD	10.00
8	ADDITIONAL WATER	1000	CU YD	1.00
9	ADDITIONAL CEMENT	1000	CU YD	1.00
10	ADDITIONAL REINFORCING	1000	LB	1.50
11	ADDITIONAL FORMWORK	1000	SQ YD	10.00
12	ADDITIONAL WATER	1000	CU YD	1.00
13	ADDITIONAL CEMENT	1000	CU YD	1.00
14	ADDITIONAL REINFORCING	1000	LB	1.50
15	ADDITIONAL FORMWORK	1000	SQ YD	10.00
16	ADDITIONAL WATER	1000	CU YD	1.00
17	ADDITIONAL CEMENT	1000	CU YD	1.00
18	ADDITIONAL REINFORCING	1000	LB	1.50
19	ADDITIONAL FORMWORK	1000	SQ YD	10.00
20	ADDITIONAL WATER	1000	CU YD	1.00
21	ADDITIONAL CEMENT	1000	CU YD	1.00
22	ADDITIONAL REINFORCING	1000	LB	1.50
23	ADDITIONAL FORMWORK	1000	SQ YD	10.00
24	ADDITIONAL WATER	1000	CU YD	1.00
25	ADDITIONAL CEMENT	1000	CU YD	1.00
26	ADDITIONAL REINFORCING	1000	LB	1.50
27	ADDITIONAL FORMWORK	1000	SQ YD	10.00
28	ADDITIONAL WATER	1000	CU YD	1.00
29	ADDITIONAL CEMENT	1000	CU YD	1.00
30	ADDITIONAL REINFORCING	1000	LB	1.50
31	ADDITIONAL FORMWORK	1000	SQ YD	10.00
32	ADDITIONAL WATER	1000	CU YD	1.00
33	ADDITIONAL CEMENT	1000	CU YD	1.00
34	ADDITIONAL REINFORCING	1000	LB	1.50
35	ADDITIONAL FORMWORK	1000	SQ YD	10.00
36	ADDITIONAL WATER	1000	CU YD	1.00
37	ADDITIONAL CEMENT	1000	CU YD	1.00
38	ADDITIONAL REINFORCING	1000	LB	1.50
39	ADDITIONAL FORMWORK	1000	SQ YD	10.00
40	ADDITIONAL WATER	1000	CU YD	1.00
41	ADDITIONAL CEMENT	1000	CU YD	1.00
42	ADDITIONAL REINFORCING	1000	LB	1.50
43	ADDITIONAL FORMWORK	1000	SQ YD	10.00
44	ADDITIONAL WATER	1000	CU YD	1.00
45	ADDITIONAL CEMENT	1000	CU YD	1.00
46	ADDITIONAL REINFORCING	1000	LB	1.50
47	ADDITIONAL FORMWORK	1000	SQ YD	10.00
48	ADDITIONAL WATER	1000	CU YD	1.00
49	ADDITIONAL CEMENT	1000	CU YD	1.00
50	ADDITIONAL REINFORCING	1000	LB	1.50
51	ADDITIONAL FORMWORK	1000	SQ YD	10.00
52	ADDITIONAL WATER	1000	CU YD	1.00
53	ADDITIONAL CEMENT	1000	CU YD	1.00
54	ADDITIONAL REINFORCING	1000	LB	1.50
55	ADDITIONAL FORMWORK	1000	SQ YD	10.00
56	ADDITIONAL WATER	1000	CU YD	1.00
57	ADDITIONAL CEMENT	1000	CU YD	1.00
58	ADDITIONAL REINFORCING	1000	LB	1.50
59	ADDITIONAL FORMWORK	1000	SQ YD	10.00
60	ADDITIONAL WATER	1000	CU YD	1.00
61	ADDITIONAL CEMENT	1000	CU YD	1.00
62	ADDITIONAL REINFORCING	1000	LB	1.50
63	ADDITIONAL FORMWORK	1000	SQ YD	10.00
64	ADDITIONAL WATER	1000	CU YD	1.00
65	ADDITIONAL CEMENT	1000	CU YD	1.00
66	ADDITIONAL REINFORCING	1000	LB	1.50
67	ADDITIONAL FORMWORK	1000	SQ YD	10.00
68	ADDITIONAL WATER	1000	CU YD	1.00
69	ADDITIONAL CEMENT	1000	CU YD	1.00
70	ADDITIONAL REINFORCING	1000	LB	1.50
71	ADDITIONAL FORMWORK	1000	SQ YD	10.00
72	ADDITIONAL WATER	1000	CU YD	1.00
73	ADDITIONAL CEMENT	1000	CU YD	1.00
74	ADDITIONAL REINFORCING	1000	LB	1.50
75	ADDITIONAL FORMWORK	1000	SQ YD	10.00
76	ADDITIONAL WATER	1000	CU YD	1.00
77	ADDITIONAL CEMENT	1000	CU YD	1.00
78	ADDITIONAL REINFORCING	1000	LB	1.50
79	ADDITIONAL FORMWORK	1000	SQ YD	10.00
80	ADDITIONAL WATER	1000	CU YD	1.00
81	ADDITIONAL CEMENT	1000	CU YD	1.00
82	ADDITIONAL REINFORCING	1000	LB	1.50
83	ADDITIONAL FORMWORK	1000	SQ YD	10.00
84	ADDITIONAL WATER	1000	CU YD	1.00
85	ADDITIONAL CEMENT	1000	CU YD	1.00
86	ADDITIONAL REINFORCING	1000	LB	1.50
87	ADDITIONAL FORMWORK	1000	SQ YD	10.00
88	ADDITIONAL WATER	1000	CU YD	1.00
89	ADDITIONAL CEMENT	1000	CU YD	1.00
90	ADDITIONAL REINFORCING	1000	LB	1.50
91	ADDITIONAL FORMWORK	1000	SQ YD	10.00
92	ADDITIONAL WATER	1000	CU YD	1.00
93	ADDITIONAL CEMENT	1000	CU YD	1.00
94	ADDITIONAL REINFORCING	1000	LB	1.50
95	ADDITIONAL FORMWORK	1000	SQ YD	10.00
96	ADDITIONAL WATER	1000	CU YD	1.00
97	ADDITIONAL CEMENT	1000	CU YD	1.00
98	ADDITIONAL REINFORCING	1000	LB	1.50
99	ADDITIONAL FORMWORK	1000	SQ YD	10.00
100	ADDITIONAL WATER	1000	CU YD	1.00

COVER SHEET INDEX

NO.	DESCRIPTION
1	GENERAL NOTES
2	FOUNDATION AND STRUCTURAL NOTES
3	FOUNDATION AND STRUCTURAL PLAN
4	STRUCTURAL DETAILS
5	STRUCTURAL NOTES

RECEIVED
 South Coast Region
 APR 5 2017
 CALIFORNIA
 COASTAL COMMISSION

Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
 File No. 112-1014-13010
 Approved by: [Signature]
 Date: 3/29/17

REQUIRED STRUCTURAL OBSERVATIONS

ELEMENT	DESCRIPTION
FOUNDATION	
DIAPHRAGMS	
FRAMING	
ROOF	

STRUCTURAL OBSERVATION REQUESTS
 PROVIDE THE, INC. AT LEAST 48 HOURS NOTICE PRIOR TO ANY OBSERVATIONS.
 FOR EXPANDED OBSERVATIONS, CONTACT THE, INC. AT LEAST 14 DAYS PRIOR TO ANY OBSERVATIONS.
 SAME DAY NOTICE IS AVAILABLE AT AN ADDITIONAL RATE.
 CONTACT: JAMES TILCHNER, INC. (310) 413-9780
 JAMES@TILCHNER.COM

DECLARATION BY OWNER
 I, the undersigned, declare that the above listed firm or individual is listed by me to be the Structural Observer.
 Signature: _____ Date: _____
 Title: _____
 License No.: _____
 State: _____

LAOPBS Los Angeles Regional Union Code Program
 Structural Observation Program
 AND DESIGNATION OF THE STRUCTURAL OBSERVER
 PROJECT ADDRESS: 607 B WESTMINSTER AVENUE
 REAR PAT. NO.: _____
 ENGINEER: TEG, INC.
 DATE: 3/29/17

DECLARATION BY OBSERVER
 I, the undersigned, declare that I am a duly Licensed Professional Engineer in the State of California and I am qualified to perform the duties of a Structural Observer.
 Signature: _____ Date: _____
 Title: _____
 License No.: _____
 State: _____

S-0
 SHEET 1 OF 6

PROJECT
 607 B WESTMINSTER AVENUE
 607 B WESTMINSTER AVENUE
 VENICE, CA 90291

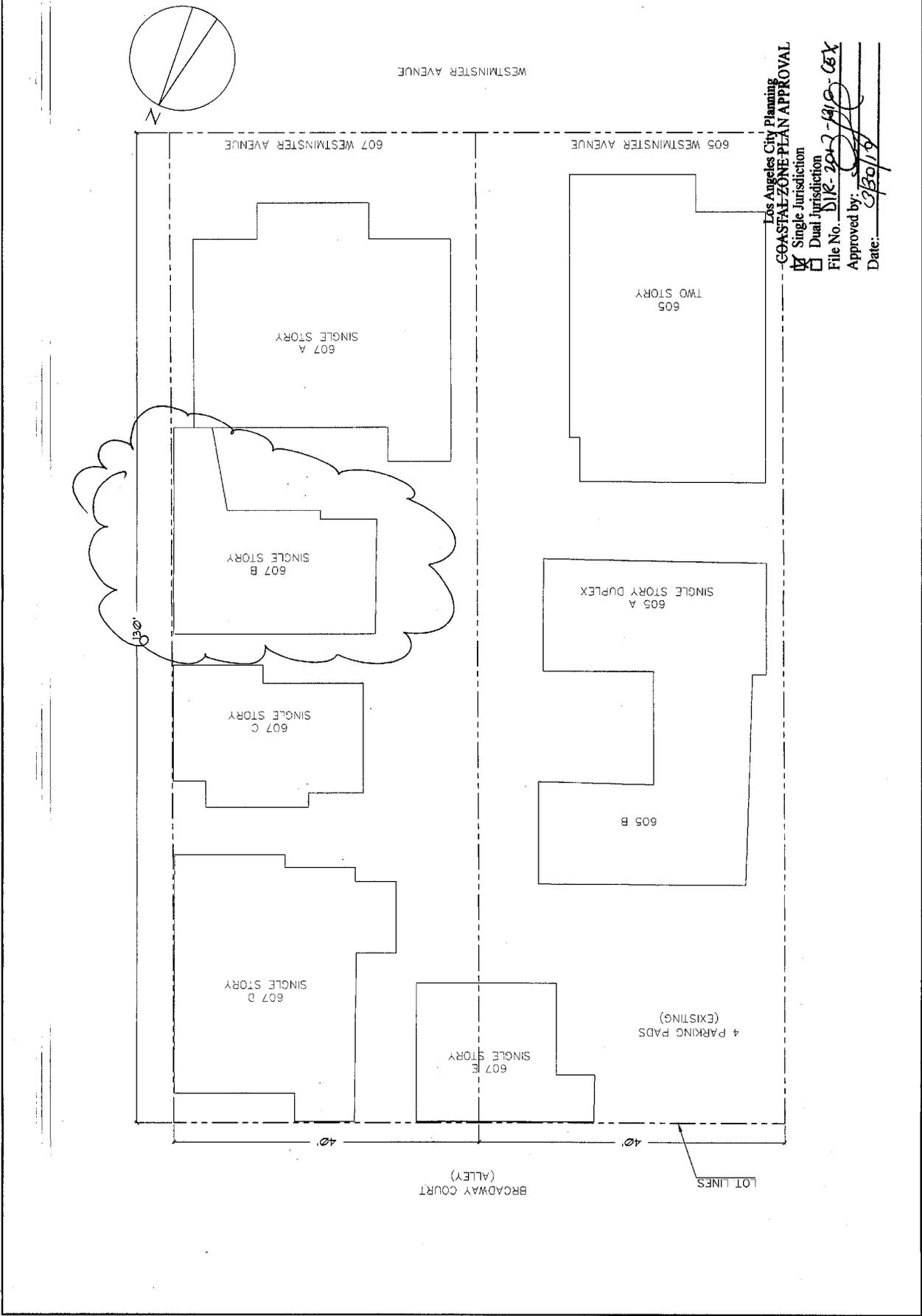
DRAWING
 STRUCTURAL NOTES
 CITY OF LOS ANGELES

TEG
 TILCHNER ENGINEERING GROUP, INC.
 5318 E. Second Street #537
 Los Angeles, CA 90003
 310.413.9780
 www.TEGLosAngeles.com

Copyright 2017. All rights reserved. The use of these plans, specifications and reports shall be restricted to the original site for which they were prepared and no other use is permitted without the written consent of the engineer. If these plans, specifications and reports are used for any other purpose, the user assumes all liability for any and all consequences. The user agrees to hold the engineer harmless from and against all claims, damages, costs and expenses, including reasonable attorneys' fees, that may be incurred by the engineer as a result of the use of these plans, specifications and reports for any purpose other than that for which they were prepared. This agreement shall be deemed to be a part of these plans, specifications and reports. The user agrees to hold the engineer harmless from and against all claims, damages, costs and expenses, including reasonable attorneys' fees, that may be incurred by the engineer as a result of the use of these plans, specifications and reports for any purpose other than that for which they were prepared. This agreement shall be deemed to be a part of these plans, specifications and reports.

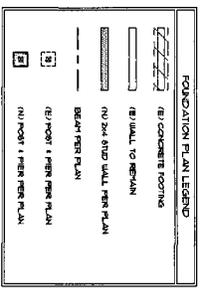
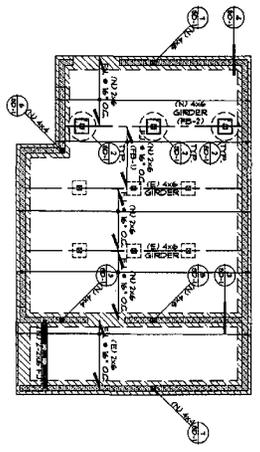
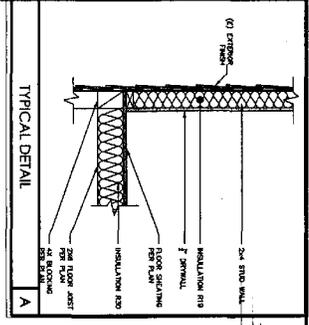
 <p>TEG 310.413.9980 Long Beach, CA 90803 www.teglosangeles.com</p>		STAMP DATE 3/29/17	DRAWING PLOT PLAN	PROJECT 607 B WESTMINSTER AVENUE VENICE, CA 90291	REVISIONS BY DATE
		SCALE: 1/4" = 1'-0"			PROJECT # 17121237 DATE: 3/29/2017

S-0.1
SHEET 2 OF 6



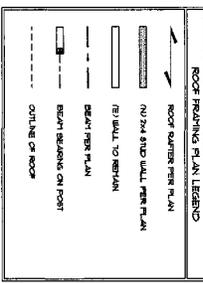
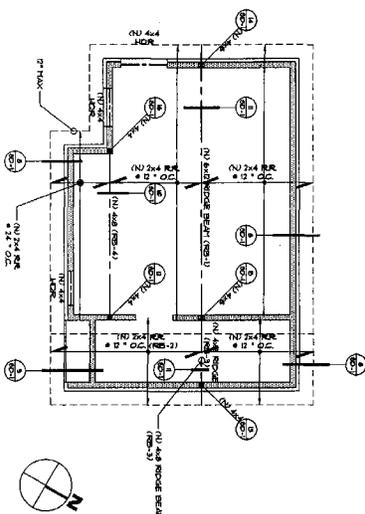
Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
 File No. D18-2017-198-C6X
 Approved by: [Signature]
 Date: 3/30/18

SCALE: 3/16" = 1'-0" 1 PLOT PLAN



ROOF FRAMING PLAN NOTES

1. ALL DIMENSION AND MATERIALS SHALL UTILIZE COMMON UNITS OR CALIBRATED BOB CUTS.
2. TRUSS ADAPTS TO MEET REQUIREMENTS UNLESS SPECIFIED OTHERWISE.
3. ROOF SHEATHING: 1/2" CDX PANELS @ 2' O.C. BOUNDARY ROOF BOUNDING NOT REQUIRED.
4. PROVIDE SILLER BLOCKS @ 8" O.C.



Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
 File No. ME-2017-1919-CGX
 Approved by: [Signature]
 Date: 3/29/17

IMPORTANT NOTICE
 THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF TURNER ENGINEERING GROUP, INC. AND ARE NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT THE WRITTEN PERMISSION OF TURNER ENGINEERING GROUP, INC.

FOUNDATION PLAN NOTES

1. REQUIRED MAJOR AND MINOR UNDERLAYS SHALL BE IN ACCORDANCE WITH THE FOUNDATION SPECIFICATIONS.
2. ROOF FOUNDATION PLATE AND GALL TO THE FOUNDATION SHALL BE IN ACCORDANCE WITH THE FOUNDATION SPECIFICATIONS.
3. ALL CONNECTIONS AND DETAIL LANGUAGE IN CONTACT WITH FOUNDATION SHALL HAVE BEEN APPROVED BY THE ENGINEER.

UNIT 607 B FOUNDATION PLAN SCALE: 1/4" = 1'-0" 1

UNIT 607 B ROOF FRAMING PLAN SCALE: 1/4" = 1'-0" 2

REVISIONS

NO.	DATE	BY	DESCRIPTION

PROJECT: 607 B WESTMINSTER
 607 B WESTMINSTER AVENUE
 VENICE, CA 90291

DRAWING: FOUNDATION PLAN & ROOF FRAMING PLAN

START DATE: 3/29/17

DATE: 3/29/17

SCALE: 1/4" = 1'-0"

S-1

SHEET 3 OF 6

Copyright 2017. All rights reserved. The use of these plans, calculations and specifications shall be restricted to the original site for which they were prepared, and publication thereof is expressly limited to such use. Reproduction, publication or reuse by any method, in whole or part, is prohibited without the permission and consent of Turner Engineering Group, Inc. Title to the plans, calculations and specifications shall constitute prima facie evidence of the acceptance of these restrictions. In the event of unauthorized reuse of the plans by a third party, the third party shall hold Turner Engineering Group, Inc. harmless. Plans are not valid for construction unless approved by the corresponding official governmental authority.

TEG
 5318 E. Second Street #539
 Long Beach, CA 90803
 310.613.9980
 www.TEGLosAngeles.com

Bungalow 607 B – Scope of Work

1. Five new 12"x12"x18" concrete piers
2. Remove and replace 36 LF of sagging floor girders
3. Remove and replace 76 LF of cracked foundation
4. Replace five windows with new low E windows (same location)
5. New electric and plumbing
6. New roof sheeting, insulation shingles (color and style to match existing)
7. New kitchen and bathroom

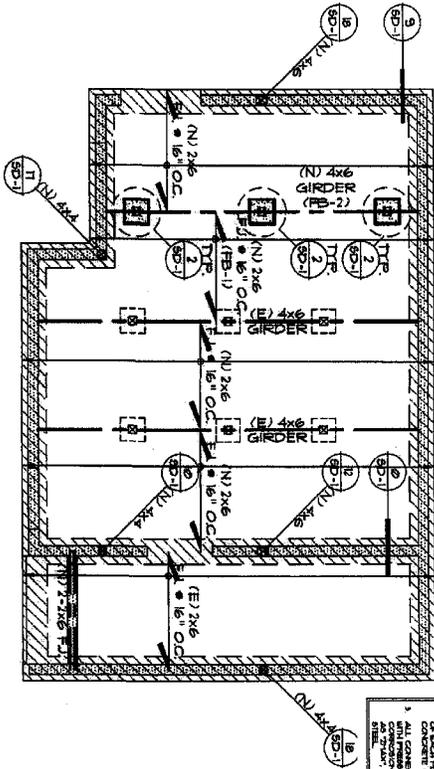
Bungalow 607 B -- Foundation Repair



Bungalow 607 B – Foundation Repair



Bungalow 607 B – Foundation Work



FOUNDATION PLAN NOTES

1. REQUIRED STEEL AND WOODWORK LAYOUTS SHALL BE SUBMITTED AND SEaled PRIOR TO POORATION.
2. ROOT FOUNDATION NAILS AND SAILS TO THE FOUNDATION SHALL BE AS SHOWN IN THE PLAN. ALL CONNECTIONS AND DETAIL WORKING IN CONTACT WITH CONCRETE SHALL BE AS SHOWN IN THE PLAN. ALL CONNECTIONS AND DETAIL WORKING IN CONTACT WITH WOOD SHALL BE AS SHOWN IN THE PLAN.
3. ALL CONNECTIONS AND DETAIL WORKING IN CONTACT WITH CONCRETE SHALL BE AS SHOWN IN THE PLAN. ALL CONNECTIONS AND DETAIL WORKING IN CONTACT WITH WOOD SHALL BE AS SHOWN IN THE PLAN.

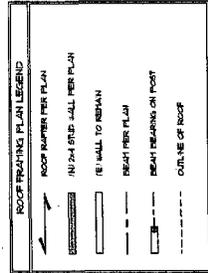
FOUNDATION PLAN LEGEND

	(B) CONCRETE FOOTING
	(E) WALL TO REMAIN
	(N) 4x6 STEEL WALL PIER PLAN
	BEAM PIER PLAN
	(E) POST & BEAM PIER PLAN
	(N) FLOOR PIER PLAN

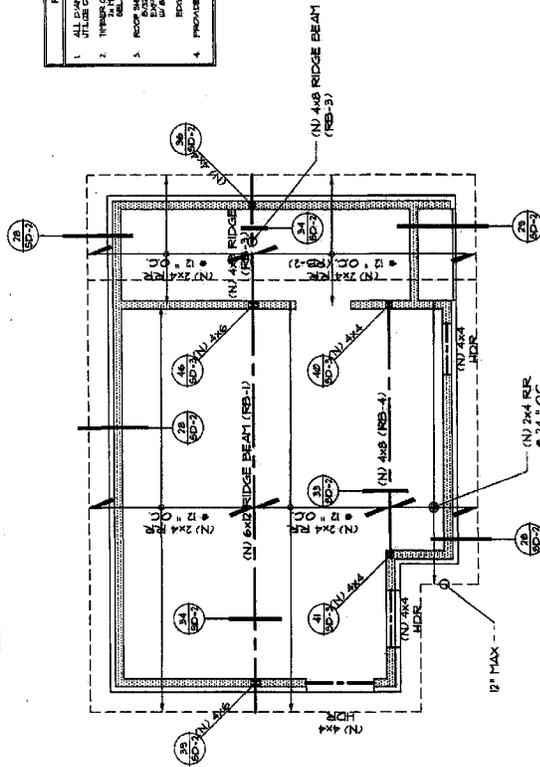
Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
 Approved by: *[Signature]*
 Date: 3/20/12



Bungalow 607 B - Framing Work



- ROOF FRAMING PLAN NOTES**
- ALL DIMENSIONS AND OVERALLS, UNLESS SHOWN OTHERWISE, SHALL BE TO THE CENTER LINES OF GALVANIZED BOX ONLY.
 - TRUSS GIRDERS SHALL BE 12" O.C. UNLESS NOTED OTHERWISE.
 - ROOF BRACING: PROVIDE BRACING AS SHOWN. BRACING SHALL BE 2x4x8 SPACING AT 12" O.C. UNLESS NOTED OTHERWISE. BRACING SHALL BE 8" x 8" x 8" UNLESS NOTED OTHERWISE.
 - PROVIDE RAFTER BLOCKING @ 8'-0" O.C.



Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
 File No. D12-2017-1310-60X
 Approved by: [Signature]
 Date: 2/20/17

RECEIVED
South Coast Region

APR 5 2017



FILE COPY

APPLICATIONS:

CALIFORNIA

COASTAL EXEMPTION (CEX)

CASE NO.: DIR-2017-1313-CEX

TO: California Coastal Commission
South Coastal District
200 Oceangate, 10th Floor
Long Beach, CA 90802-4302
(562) 590-5071

APPEAL PERIOD ENDS AT 5:00 P.M.

ON 5-3-17

FROM: Los Angeles Department of City Planning
Development Services Center (DSC)
201 North Figueroa Street
Los Angeles, CA 90012

APPEAL RECEIVED: YES NO

SUBJECT: COASTAL EXEMPTION—SINGLE JURISDICTION AREA ONLY

Under no circumstances shall a Coastal Exemption be issued for the following scopes of work:

- Remodels which involve the removal of 50% or more of existing exterior walls
- Addition, demolition, removal or conversion of any whole residential units (unless required by LADBS)
- Projects which involve significant grading or boring in a Special Grading or Landslide area
- Any change of use (to a more or less intensive use)

OWNER/APPLICANT TO COMPLETE THE FOLLOWING (type, print, or fill out on-line)

PROJECT ADDRESS: 607 E. Westminster Ave Bldg D

LEGAL DESCRIPTION: LOT 43 BLOCK L TRACT Ocean Park Villa

ZONE: RD1.5-1 COMMUNITY PLAN: Venice

PROPOSED SCOPE OF WORK: Replace windows (4), replace drywall, kitchen and bathroom remodel, re-roof and foundation repair

RELATED PLAN CHECK NUMBER(S): 17016-9000-01556, 17016-10001-04399, 17016-9000-01190, 17016-10002-01556, 17016-20000-04399

Note: If there is related work to be pulled under a separate permit, please include in the above project description. The reason for this is so Planning Staff can evaluate the project as a whole and to avoid having to apply for another CEX for any subsequent permits related to the original scope of work.

Applicant Name: Kimberlina Whettam

Mailing Address: 241 S. Figueroa St. #370 LA CA 90012

Phone Number: 818427 2154 E-mail Address: Kimberlina@kwhettam.com

Signature: Kimberlina Whettam

THIS SECTION FOR OFFICE USE ONLY

This application has been reviewed by the staff of the Los Angeles Department of City Planning in accordance with the provisions of Section 30610 of the California Coastal Act. A determination has been made that a Coastal Development Permit is not required for the preceding described project based on the fact that it does not: (1) involve a risk of adverse environmental effect, (2) adversely affect public access, or (3) involve a change in use contrary to any policy of this division pursuant to Title 14 of the California Administrative Code, and qualifies for an exemption under one or more of the categories checked below.

- Improvements to Existing Single-Family Residences.** This includes interior and exterior improvements, additions, and uses which are accessory to a single-family residence (e.g. garages, pools, fences, storage). This does not include the increase or decrease in the number of residential dwelling units (including guest houses), or retaining walls or pools that may have a potential significant impact on coastal resources (i.e. viewable from the public right-of-way, involves a significant amount of grading or boring in Hillside, Landslide or Special Grading areas), which may be reviewed on a case-by-case basis.
- Improvements to Any Existing Structure Other Than A Single-Family Residence.** For duplex or multifamily residential uses, this includes interior and exterior improvements, additions and uses which are accessory to the residential use (e.g. garages, pools, fences, storage sheds), but does not include the increase or decrease in the number of residential dwelling units, or retaining walls or pools that may have a potential significant impact on coastal resources (i.e. viewable from the public right-of-way, involves a significant amount of grading or boring in Hillside, Landslide or Special Grading areas), which may be reviewed on a case-by-case basis. For non-residential uses, this includes interior and exterior improvements and building signage (excluding pole, pylon and off-site signs), but does not include any addition of square footage or change of use (to a more or less intense use).
- Repair or Maintenance.** This includes replacement, repair and/or maintenance activities (i.e. re-roofing, replacement of equipment, etc.) which do not result in any changes, enlargement or expansion.
- Demolitions required by LADBS.** This includes projects which have been issued a Nuisance and Abatement or Order to Comply by the Department of Building & Safety requiring demolition due to an unsafe or substandard condition. Please attach the Building & Safety Notice.

This exemption in no way excuses the applicant from complying with all applicable policies, ordinances, codes and regulations of the City of Los Angeles. This exemption shall not apply if the project is not consistent with local land use regulations. If it is found that the project description is not in conformance with the actual project to be constructed or is not in conformance with Section 30610 of the California Coastal Act, this exemption is null and void.

Vincent P. Bertoni, AICP
Director of Planning

Issued By:

Signature

Print Name and Title


Danalynn Dominguez, Planning Assistant

Date:

March 30, 2017

Invoice No.:

36032

Receipt Number:

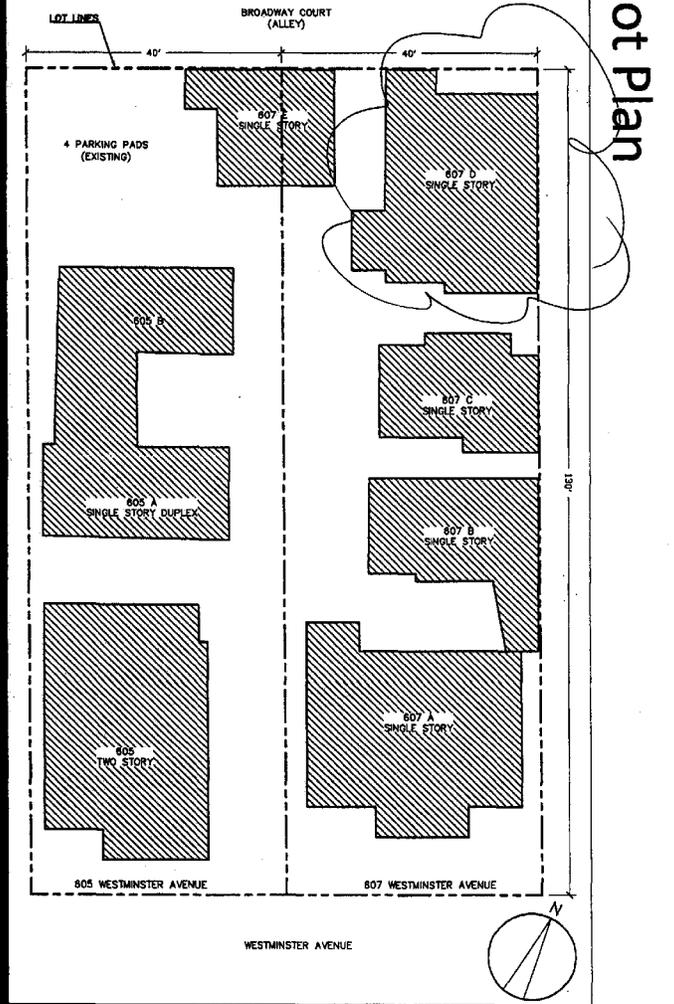
0104714515

Attached:

Copy of Invoice with Receipt No.

Copy of related Building & Safety Clearance Summary Worksheet(s)

Plot Plan



Los Angeles City Planning
 COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
 File No. DIR-2017-013-06 X
 Approved by: *[Signature]*
 Date: 3/30/17

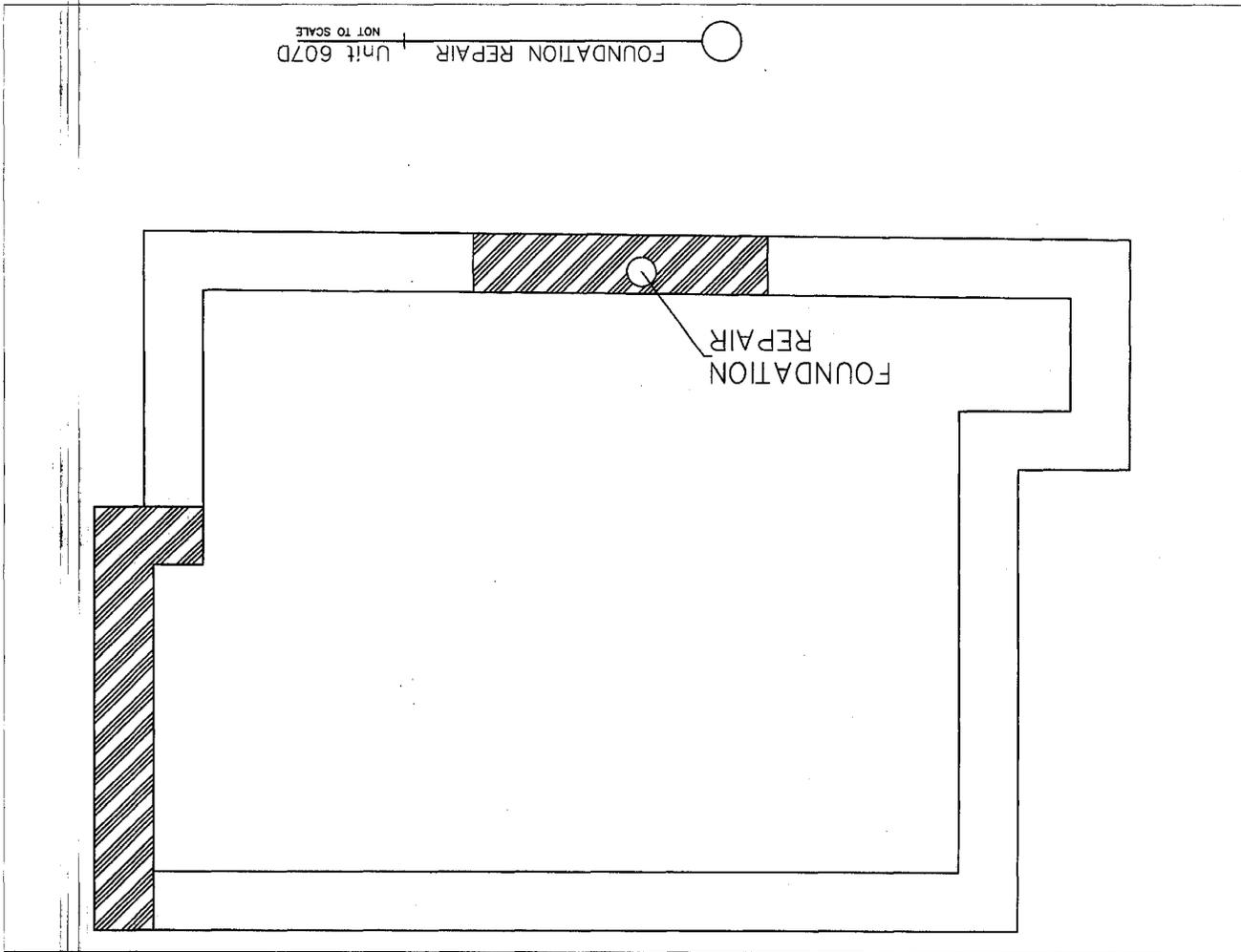
Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL

Single Jurisdiction
 Dual Jurisdiction

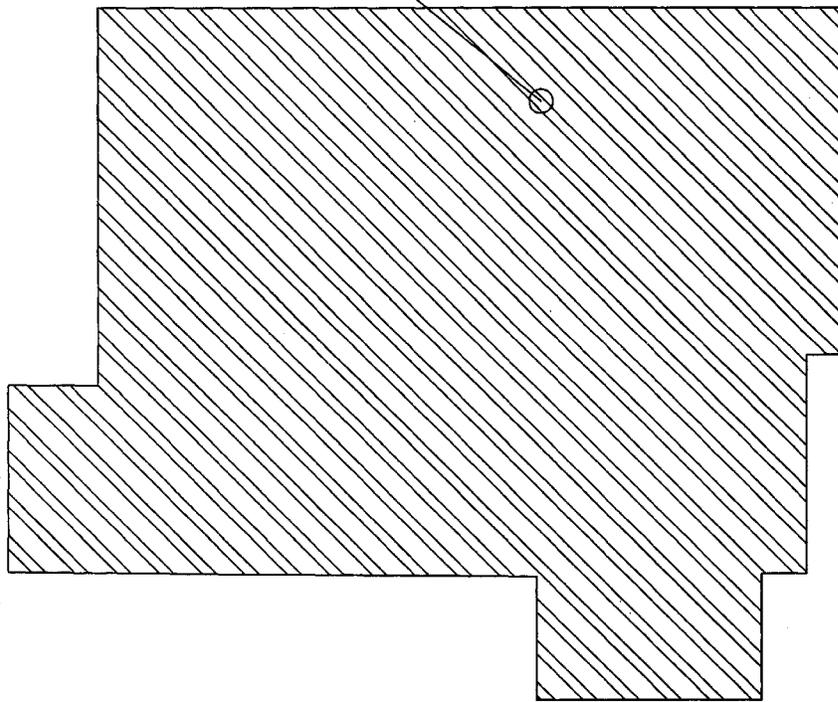
File No. D12-7017-1313-CGX

Approved by: [Signature]

Date: 3/20/12



REMOVE EXISTING SHINGLES
NEW OSB
NEW 1" RIGGED INSULATION R30
NEW TAR SHINGLES TO MATCH



○ NEW TAR SHINGLE ROOF, Unit 607D
NOT TO SCALE

Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
File No. DIR-2017-133-68X
Approved by: 
Date: 3/30/17

FILE COPY

APR 5 2017



CALIFORNIA
COASTAL COMMISSION

APPLICATIONS:

COASTAL EXEMPTION (CEX)

CASE NO.: DIR-2017-1314-CEX

TO: California Coastal Commission
South Coastal District
200 OceanGate, 10th Floor
Long Beach, CA 90802-4302
(562) 590-5071

APPEAL PERIOD ENDS AT 5:00 P.M.
ON 5-3-17

FROM: Los Angeles Department of City Planning
Development Services Center (DSC)
201 North Figueroa Street
Los Angeles, CA 90012

APPEAL RECEIVED: YES NO

SUBJECT: COASTAL EXEMPTION—SINGLE JURISDICTION AREA ONLY

Under no circumstances shall a Coastal Exemption be issued for the following scopes of work:

- Remodels which involve the removal of 50% or more of existing exterior walls
- Addition, demolition, removal or conversion of any whole residential units (unless required by LADBS)
- Projects which involve significant grading or boring in a Special Grading or Landslide area
- Any change of use (to a more or less intensive use)

OWNER/APPLICANT TO COMPLETE THE FOLLOWING (type, print, or fill out on-line)

PROJECT ADDRESS: 607 E. Westminster Ave Bldg E

LEGAL DESCRIPTION: LOT 43 BLOCK L TRACT Ocean Park Villa

ZONE: RD1.5-1 COMMUNITY PLAN: Venice

PROPOSED SCOPE OF WORK: replace windows, replace dry wall, interior
Kitchen and bathroom remodel, add sill plate anchor bolts and cripple
wall plywood. Remove and replace 17' linear feet of exterior wall.
Remove and replace the roof.

RELATED PLAN CHECK NUMBER(s): 17016-10000-06541, 17016-90000-01190, 17016-90000-01556

Note: If there is related work to be pulled under a separate permit, please include in the above project description. The reason for this is so Planning Staff can evaluate the project as a whole and to avoid having to apply for another CEX for any subsequent permits related to the original scope of work.

Applicant Name: Kimberlina Whettam

Mailing Address: 241 S. Figueroa St. #370 LA CA 90012

Phone Number: 8184272154 E-mail Address: kimberlina@kwhettam.com

Signature: Kimberlina Whettam

THIS SECTION FOR OFFICE USE ONLY

This application has been reviewed by the staff of the Los Angeles Department of City Planning in accordance with the provisions of Section 30610 of the California Coastal Act. A determination has been made that a Coastal Development Permit is not required for the preceding described project based on the fact that it does not: (1) involve a risk of adverse environmental effect, (2) adversely affect public access, or (3) involve a change in use contrary to any policy of this division pursuant to Title 14 of the California Administrative Code, and qualifies for an exemption under one or more of the categories checked below.

- Improvements to Existing Single-Family Residences.** This includes interior and exterior improvements, additions, and uses which are accessory to a single-family residence (e.g. garages, pools, fences, storage). This does not include the increase or decrease in the number of residential dwelling units (including guest houses), or retaining walls or pools that may have a potential significant impact on coastal resources (i.e. viewable from the public right-of-way, involves a significant amount of grading or boring in Hillside, Landslide or Special Grading areas), which may be reviewed on a case-by-case basis.
- Improvements to Any Existing Structure Other Than A Single-Family Residence.** For duplex or multifamily residential uses, this includes interior and exterior improvements, additions and uses which are accessory to the residential use (e.g. garages, pools, fences, storage sheds), but does not include the increase or decrease in the number of residential dwelling units, or retaining walls or pools that may have a potential significant impact on coastal resources (i.e. viewable from the public right-of-way, involves a significant amount of grading or boring in Hillside, Landslide or Special Grading areas), which may be reviewed on a case-by-case basis. For non-residential uses, this includes interior and exterior improvements and building signage (excluding pole, pylon and off-site signs), but does not include any addition of square footage or change of use (to a more or less intense use).
- Repair or Maintenance.** This includes replacement, repair and/or maintenance activities (i.e. re-roofing, replacement of equipment, etc.) which do not result in any changes, enlargement or expansion.
- Demolitions required by LADBS.** This includes projects which have been issued a Nuisance and Abatement or Order to Comply by the Department of Building & Safety requiring demolition due to an unsafe or substandard condition. Please attach the Building & Safety Notice.

This exemption in no way excuses the applicant from complying with all applicable policies, ordinances, codes and regulations of the City of Los Angeles. This exemption shall not apply if the project is not consistent with local land use regulations. If it is found that the project description is not in conformance with the actual project to be constructed or is not in conformance with Section 30610 of the California Coastal Act, this exemption is null and void.

Vincent P. Bertoni, AICP
Director of Planning

Issued By:



Signature

Danalynn Dominguez, Planning Assistant

Print Name and Title

Date:

March 30, 2017

Invoice No.:

36033

Receipt Number:

0104714513

Attached:

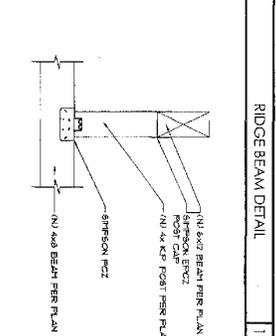
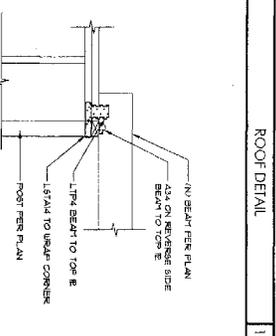
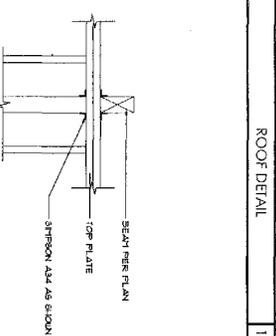
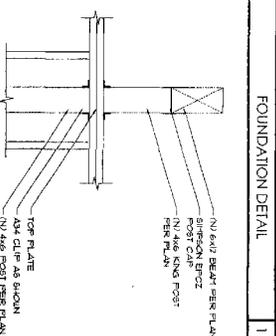
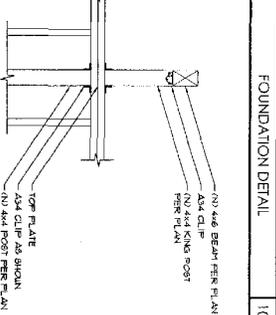
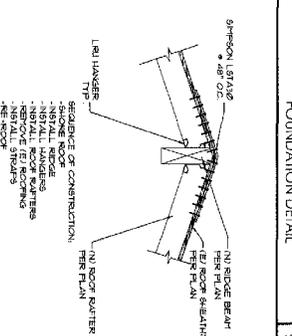
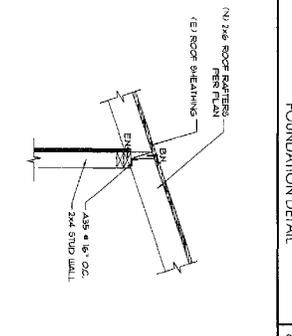
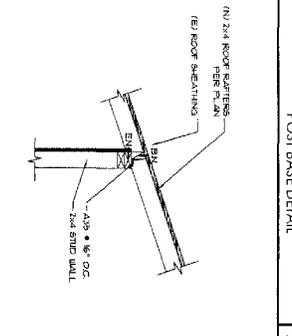
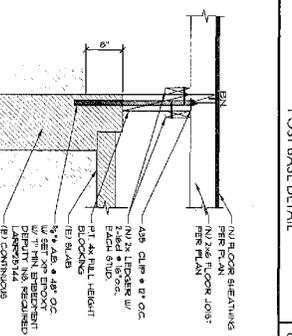
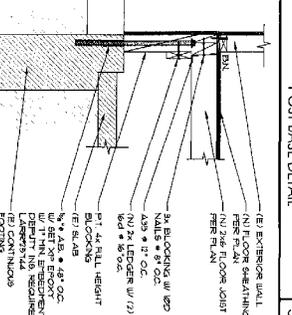
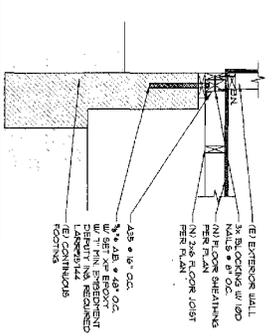
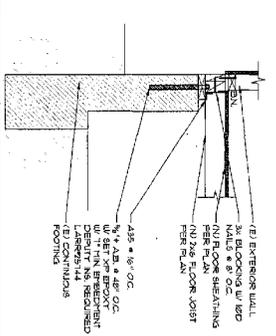
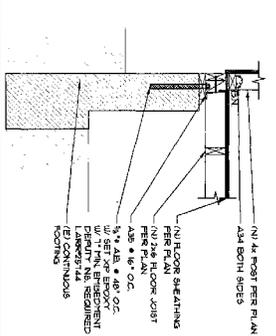
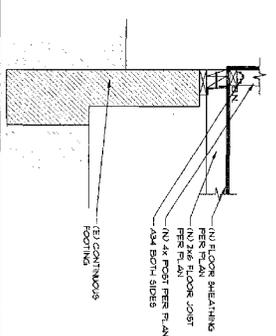
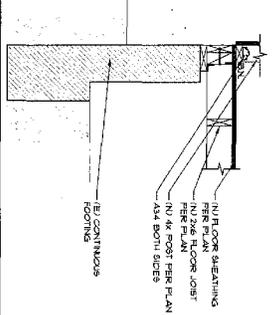
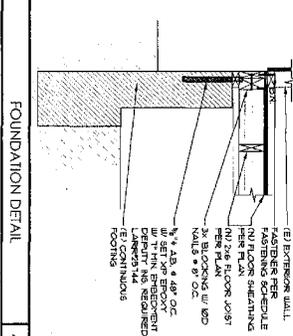
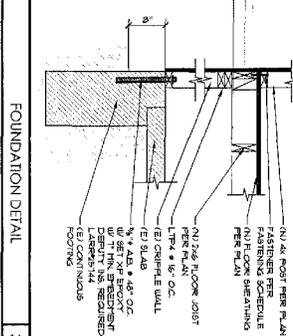
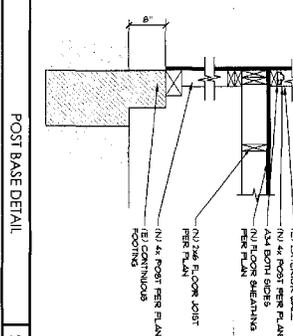
- Copy of Invoice with Receipt No.
- Copy of related Building & Safety Clearance Summary Worksheet(s)

REBAR MINIMUM GRADING REQUIREMENTS

BETWEEN BARS	4'-0" TO 10'-0"	10'-0" TO 15'-0"	15'-0" TO 20'-0"	20'-0" TO 25'-0"	25'-0" TO 30'-0"	30'-0" TO 35'-0"	35'-0" TO 40'-0"	40'-0" TO 45'-0"	45'-0" TO 50'-0"	50'-0" TO 55'-0"	55'-0" TO 60'-0"
REINFORCING BAR	4	5	6	7	8	9	10	11	12	13	14
MINIMUM GRADING	1/4"	3/8"	1/2"	5/8"	3/4"	7/8"	1"	1 1/8"	1 1/4"	1 1/2"	1 3/4"

BAR # TO LENGTH TABLE

BAR #	24"	30"	36"	42"	48"	54"	60"	66"	72"	78"	84"	90"	96"	102"	108"	114"	120"
1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
2	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
3	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
4	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
5	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
6	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
7	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
8	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
9	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
10	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
11	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
12	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
13	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
14	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
15	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
16	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
17	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
18	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1
19	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1	1



POST-BEAM DETAIL	15	POST-BEAM DETAIL	16	POST-BEAM DETAIL	17	POST-CORNER CONNECTION	18	POST-BEAM DETAIL	19
------------------	----	------------------	----	------------------	----	------------------------	----	------------------	----

PROJECT: 607 E WESTMINSTER, VENICE, CA 90291

DRAWING: STRUCTURAL DETAILS

DATE: 3/29/17

SCALE: 1" = 1'-0"

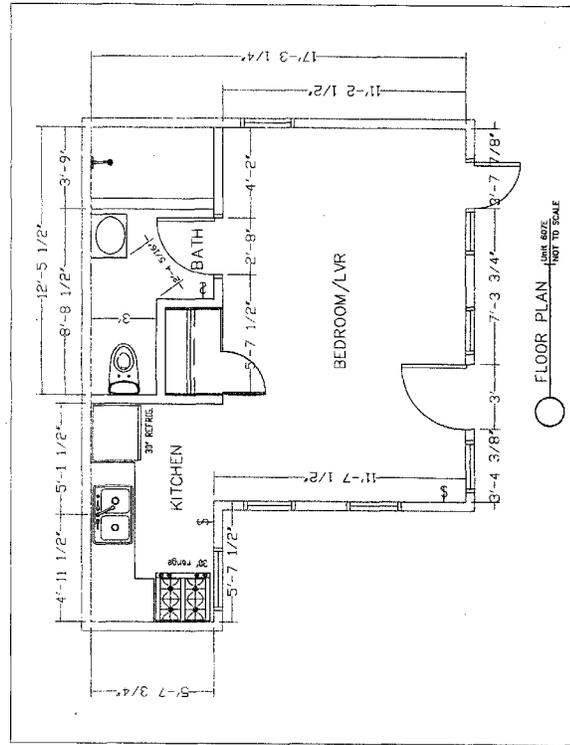
SD-1

REGNOVING BY

TEG LOS ANGELES

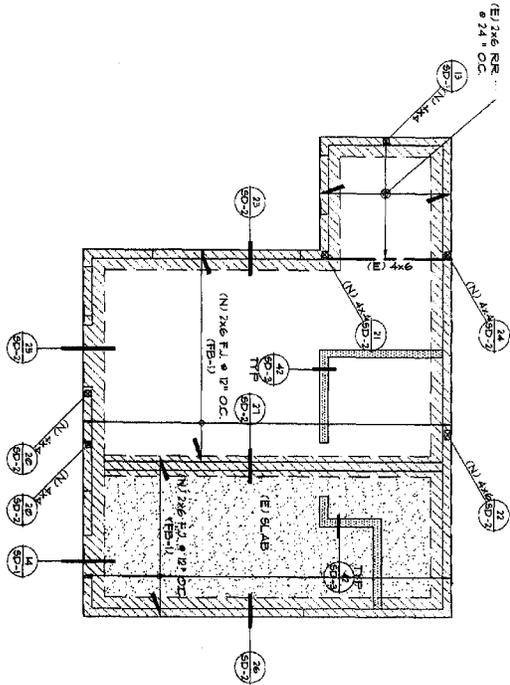
TUCHSCHER ENGINEERING GROUP, INC. 3318 E. SECOND STREET #239 Long Beach, CA 90803 310.613.9980 www.TEGLosAngeles.com

Bungalow 607 E



Los Angeles City Planning
 COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
 File No. DIR-2017-1314-CBX
 Approved by: [Signature]
 Date: 3/30/17

Bungalow 607 E - Foundation Work



FOUNDATION PLAN NOTES

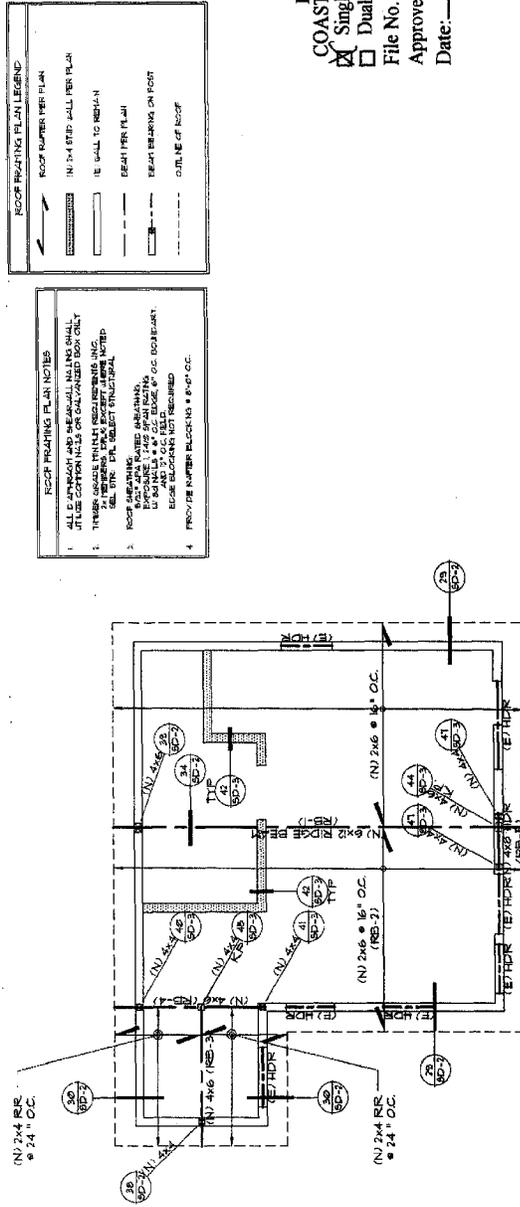
1. REINFORCED STEEL AND WOODEN SHORING SHALL BE INSTALLED AND REMOVED PRIOR TO FOUNDATION WORK.
2. EQUAL FOUNDATION HEAVY AND LIGHT SHALL BE PROVIDED FOR ALL FOUNDATION WALLS AND ALL TO BE CONCRETE.
3. ALL CONNECTIONS AND METAL LAMINATE IN CONTACT WITH REINFORCED CONCRETE SHALL BE GALVANIZED OR HOT DIPPED GALVANIZED, OR SEE STANDARD SPECIFICATIONS.

FOUNDATION PLAN LEGEND

	REINFORCED CONCRETE FOOTING
	2x4 STUD WALL PER PLAN
	2x6 HEAVY WALL PER PLAN
	2x6 LIGHT WALL PER PLAN
	2x6 FIBER REINFORCED POLYMER WALL PER PLAN

Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL
 Dual Jurisdiction
 Single Jurisdiction
 File No. DIR - 2017-1314-CGX
 Approved by: [Signature]
 Date: 3/30/17

Bungalow 607 E -- Framing Work



ROOF FRAMING PLAN LEGEND

ROOF NUMBER PER PLAN	ROOF NUMBER PER PLAN
(N) 2x4 RR @ 24" O.C.	(R) 2x4 RR @ 24" O.C.
(H) 2x4 RR @ 24" O.C.	(E) 2x4 RR @ 24" O.C.
(S) 2x4 RR @ 24" O.C.	(T) 2x4 RR @ 24" O.C.
(G) 2x4 RR @ 24" O.C.	(B) 2x4 RR @ 24" O.C.
(K) 2x4 RR @ 24" O.C.	(L) 2x4 RR @ 24" O.C.
(M) 2x4 RR @ 24" O.C.	(P) 2x4 RR @ 24" O.C.
(Q) 2x4 RR @ 24" O.C.	(U) 2x4 RR @ 24" O.C.
(V) 2x4 RR @ 24" O.C.	(W) 2x4 RR @ 24" O.C.
(X) 2x4 RR @ 24" O.C.	(Y) 2x4 RR @ 24" O.C.
(Z) 2x4 RR @ 24" O.C.	(AA) 2x4 RR @ 24" O.C.
(AB) 2x4 RR @ 24" O.C.	(AC) 2x4 RR @ 24" O.C.
(AD) 2x4 RR @ 24" O.C.	(AE) 2x4 RR @ 24" O.C.
(AF) 2x4 RR @ 24" O.C.	(AG) 2x4 RR @ 24" O.C.
(AH) 2x4 RR @ 24" O.C.	(AI) 2x4 RR @ 24" O.C.
(AJ) 2x4 RR @ 24" O.C.	(AK) 2x4 RR @ 24" O.C.
(AL) 2x4 RR @ 24" O.C.	(AM) 2x4 RR @ 24" O.C.
(AN) 2x4 RR @ 24" O.C.	(AO) 2x4 RR @ 24" O.C.
(AP) 2x4 RR @ 24" O.C.	(AQ) 2x4 RR @ 24" O.C.
(AR) 2x4 RR @ 24" O.C.	(AS) 2x4 RR @ 24" O.C.
(AT) 2x4 RR @ 24" O.C.	(AU) 2x4 RR @ 24" O.C.
(AV) 2x4 RR @ 24" O.C.	(AW) 2x4 RR @ 24" O.C.
(AX) 2x4 RR @ 24" O.C.	(AY) 2x4 RR @ 24" O.C.
(AZ) 2x4 RR @ 24" O.C.	(BA) 2x4 RR @ 24" O.C.
(BB) 2x4 RR @ 24" O.C.	(BC) 2x4 RR @ 24" O.C.
(BD) 2x4 RR @ 24" O.C.	(BE) 2x4 RR @ 24" O.C.
(BF) 2x4 RR @ 24" O.C.	(BG) 2x4 RR @ 24" O.C.
(BH) 2x4 RR @ 24" O.C.	(BI) 2x4 RR @ 24" O.C.
(BJ) 2x4 RR @ 24" O.C.	(BK) 2x4 RR @ 24" O.C.
(BL) 2x4 RR @ 24" O.C.	(BM) 2x4 RR @ 24" O.C.
(BN) 2x4 RR @ 24" O.C.	(BO) 2x4 RR @ 24" O.C.
(BP) 2x4 RR @ 24" O.C.	(BQ) 2x4 RR @ 24" O.C.
(BR) 2x4 RR @ 24" O.C.	(BS) 2x4 RR @ 24" O.C.
(BT) 2x4 RR @ 24" O.C.	(BU) 2x4 RR @ 24" O.C.
(BV) 2x4 RR @ 24" O.C.	(BW) 2x4 RR @ 24" O.C.
(BX) 2x4 RR @ 24" O.C.	(BY) 2x4 RR @ 24" O.C.
(BZ) 2x4 RR @ 24" O.C.	(C0) 2x4 RR @ 24" O.C.

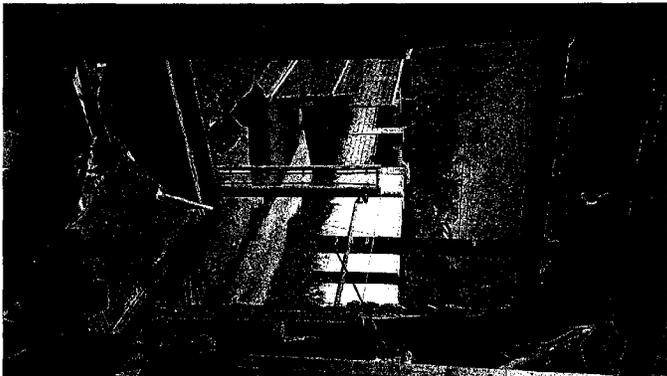
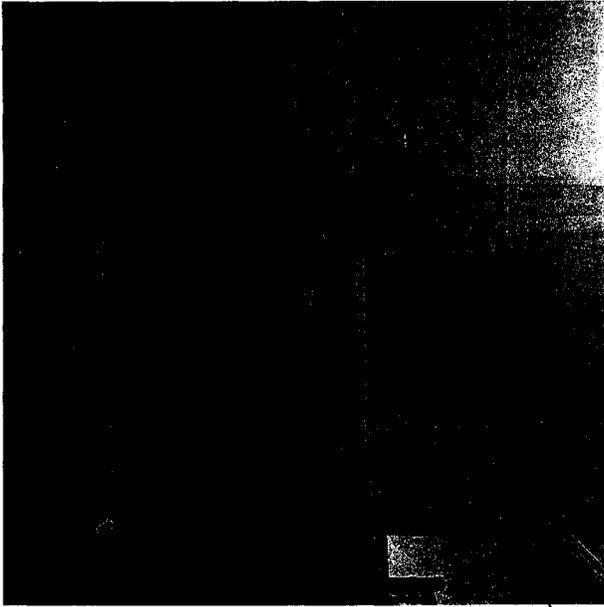
- ROOF FRAMING PLAN NOTES**
1. ALL MEMBERS AND BEAMS SHALL MEET ALL REQUIREMENTS OF THE CALIFORNIA BUILDING CODE AND ALL APPLICABLE LOCAL ORDINANCES.
 2. TRUSS BRACE PRINT REQUIREMENTS APPLY TO ALL TRUSS PRINTS. SEE TRUSS PRINT FOR STRUCTURAL REQUIREMENTS.
 3. ROOF BRACING: SEE TRUSS PRINT FOR STRUCTURAL REQUIREMENTS. ALL BRACING SHALL BE 2x4 @ 16" O.C. UNLESS OTHERWISE NOTED.
 4. PROVIDE NUMBER BLOCKS IN 8"x8" O.C.

Los Angeles City Planning
COASTAL ZONE PLAN APPROVAL
 Single Jurisdiction
 Dual Jurisdiction
 File No. D12-2017-1314-CEX
 Approved by: [Signature]
 Date: 3/30/18



Bungalow 607 E

Area of framing failed, to be replaced at inspectors request



Area re-framed

Bungalow 607 E



Failed foundation



CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
200 OCEANGATE, 10TH FLOOR
LONG BEACH, CA 90802-4416
VOICE (562) 590-5071 FAX (562) 590-5084

MAY 03 2017



CALIFORNIA
COASTAL COMMISSION

APPEAL FROM COASTAL PERMIT DECISION OF LOCAL GOVERNMENT

Please Review Attached Appeal Information Sheet Prior To Completing This Form.

SECTION I. Appellant(s)

Name: see separate sheet

Mailing Address:

City:

Zip Code:

Phone:

SECTION II. Decision Being Appealed

1. Name of local/port government:

Los Angeles

2. Brief description of development being appealed:

Five permits wrongly issued as CEX for various work bing done on two properties.
See attached sheet.

3. Development's location (street address, assessor's parcel no., cross street, etc.):

605-607 Westminster Avenue, Venice, CA 90291
4239019037 ; 4239019038 ; Sxth Avenue

4. Description of decision being appealed (check one.):

- Approval; no special conditions
- Approval with special conditions:
- Denial

Note: For jurisdictions with a total LCP, denial decisions by a local government cannot be appealed unless the development is a major energy or public works project. Denial decisions by port governments are not appealable.

TO BE COMPLETED BY COMMISSION:

APPEAL NO:

A-5-VEN-17-0020

DATE FILED:

May 3, 2017

DISTRICT:

South Coast

APPEAL FROM COASTAL PERMIT DECISION OF LOCAL GOVERNMENT (Page 2)

5. Decision being appealed was made by (check one):

- Planning Director/Zoning Administrator
- City Council/Board of Supervisors
- Planning Commission
- Other

6. Date of local government's decision: 30 March 2017

7. Local government's file number (if any): DIR-2017-1289-CEX

SECTION III. Identification of Other Interested Persons

Give the names and addresses of the following parties. (Use additional paper as necessary.)

a. Name and mailing address of permit applicant:

Kimberlina Whettam, 241 S. Figueroa Street #370, LA, CA 90012

b. Names and mailing addresses as available of those who testified (either verbally or in writing) at the city/county/port hearing(s). Include other parties which you know to be interested and should receive notice of this appeal.

(1) There were no hearings because of incorrect permit process.

(2)

(3)

(4)

IV. REASONS FOR APPEAL—for each of the 5 CEX's for 605-607 Westminster, a Unified Development

A. CEX'S filed on March 30, 2017:

DIR-2017-1289-CEX

605 Westminster, buildings A & B

Replace windows, replace drywall, kitchen and bathroom remodel, reroof, add sill plate anchor bolts and cripple wall plywood.

DIR-2017-1308-CEX

607 Westminster, building A

Reroof with shingles and repair foundation.

DIR-2017-1310-CEX

607 Westminster, building B

Reroof to replace roof shingles and repair foundation.

DIR-2017-1313-CEX

607 Westminster, building D

Replace windows (4), replace drywall, kitchen and bathroom remodel, reroof and foundation repair.

DIR-2017-1314-CEX

607 Westminster, building E

Replace windows, replace drywall, interior kitchen and bathroom remodel, add sill plate anchor bolts and cripple wall plywood, remove and replace 17 linear feet of exterior wall, remove and replace the roof.

B. Background:

For purposes of CEQA and the Coastal Act, the definition of environment includes resources of "historic or aesthetic significance."

The Coastal Act Legislative Findings and Declarations states (in part):

"The permanent protection of the state's natural and scenic resources is a paramount concern to present and future residents of the state and nation."

The basic goals of the State for the Coastal Zone include a goal to "protect, maintain and where feasible, enhance and restore the overall quality of the coastal zone environment and its natural and artificial resources."

The National Historic Preservation Act sets forth a program to carry out the national policy for protecting America's historic and cultural resources. The State assists local entities in historic preservation, and cities have the authority under their general police power to protect property of historical and aesthetic significance. Local regulation of landmarks and historic districts falls within the scope of permissible government objectives.

Except for work that is strictly interior remodeling, a Coastal Clearance is required for construction work/development in the Coastal Zone in order to obtain a building permit. There are two types of Coastal Clearances: a Coastal Development Permit and a Coastal Exemption. Coastal Exemptions are generally allowed when less than 50% of the structure is being demolished and if the project does not involve a risk of adverse environmental effect, or does not adversely affect public access, or does not involve a change in use, as defined. Otherwise, a Coastal Development Permit is required.

The City Planners erred and abused their discretion by granting the CEX permits improperly. In addition, the LADBS officials erred and abused their discretion in issuing numerous Building Permits without any Coastal Clearances. We are appealing also because of the piecemeal manner in which the permits were issued for the work being done. As indicated in the related VSO (see Exhibit H), the work done entailed both interior and exterior construction, including window replacement, roofing, remodels to various parts of building. However, the 8 bungalows are part of a single property, a Unified Development, and application for a single coastal permit for the full extent of the work should have been made. Had the city done that, it would have been apparent that the work was extensive enough to require a CDP and an appropriate CEQA review. A historical property is not eligible for an exemption from CEQA or a Coastal Exemption.

For this case, the City Planning Assistant (acting on behalf of the City Planning Director) was derelict in their duty in issuing these CEX permits as they did not make a determination (or made an erroneous determination) that "a Coastal Development Permit is not required for the described project based on the fact that it does not involve a risk of adverse environmental effect." There IS in fact a risk of adverse environmental effect, due to the historic significance of the property and the nature of the work being done, as further detailed below. It is not clear whether the City Planning Assistants who are assigned to approve Coastal Exemptions have been properly trained in determining whether there is a risk of adverse environmental effect. In addition, the work being done exceeded the work as described on the building permits issued.

It appears obvious that the overall work done over the past 12-18 months was piecemealed in order to avoid processing the project with a proper Coastal Clearance. The prior owner submitted the permits on a piecemeal basis, by unit (for each of the 8 units) and by type of work done; for example, for each one of the 8 units there are individual building permits for each of the following: the roof, the foundation, bathroom and kitchen "remodel," replacing the drywall, re-stuccoing, the plumbing, the electrical, and so on. There is also a permit to convert a duplex to a SFD, and a second story was added to the 605 Westminster front building, both of which require a CDP. At least 46 Building Permits were issued for what should have been one overall project, requiring a CDP for a Coastal Clearance. Some of these Building Permits were covered by the Coastal Exemptions at issue, but work under numerous Building Permits still have no Coastal Clearance and must obtain the proper after-the-fact Coastal permits. See Exhibit G for the Building Permits not covered by the Coastal Exemptions at issue in this appeal. Instead, work that constitutes development was done at this 2-lot site, Bungalow Court with significant historic ties, without any Coastal Clearances, and this work undermines the historical integrity of the property. This work also far exceeds what is permitted by the building permits that they were obtained online or over the counter on a piecemeal basis.

In addition, it should be noted that when the majority of the work was being done, there were NO PERMITS POSTED anywhere at the site. Two separate parties verified this.

Also, an application is pending for this property for Historic Cultural status with the City. See Exhibit D. A CEX cannot be issued due to this pending historic analysis, as the project DOES involve a risk of adverse environmental effect and thus is an exception to qualification for a Coastal Exemption, as per

the Coastal Act Section 30610. In addition, as per the City's zoning policies:

The Historic District and Contributing properties are presumed to be historical resources under the California Environmental Quality Act (Section 21084.1 of the CEQA Statute and Section 15064.5 of the CEQA Guidelines). Any proposed new development project that requires discretionary project approvals, such as a Coastal Development Permit, will trigger review under CEQA and a thorough investigation and analysis of project impacts to historical resources.

- Demolition of a Contributing building is a significant impact to a historical resource.
- New construction that is compatible with Contributing buildings and meets the Secretary of the Interior's Standards for the Treatment of Historic Properties is not a significant impact to a historical resource.
- "Not Sure" properties must be evaluated to determine if they are Contributors or Non-Contributors before project impacts can be assessed.

Not only did this applicant process this work with the City on a piecemeal basis instead of as one project for this entire Bungalow Court, violations of both the Coastal Act and CEQA, but they are using over the counter or internet permits. No one knows better than long-time inspector Bob Dunn that Coastal Clearance via either a CDP or a CEX is required for this kind of work in the Coastal Zone. This piecemealing of the work and related permits and the lack of proper Coastal Clearances should have been caught by the LADBS Inspector. There is a clear problem with checks and balances within LADBS. Also, for many of the Building Permits, the same inspector is processing and issuing the permits and doing the inspections.

C. Pertinent sections of the Certified* Venice Local Coastal Program Land Use Plan:

***the Coastal Commission has certified that the Venice Land Use Plan is in compliance and conformance with the California Coastal Act of 1976**

Chapter II. Land Use Plan Policies, Policy Group I. Locating and Planning New Development/Coastal Visual Resources and Special Communities,

Preservation of Venice as a Special Coastal Community:

Policy I. E. 1. General: Venice's unique social and architectural diversity should be protected as a Special Coastal Community* pursuant to Chapter 3 of the California Coastal Act of 1976.

*** Chapter I. Introduction, Definitions of "Special Coastal Community": An area recognized as an important visitor destination center on the coastline, *characterized by a particular cultural, historical, or architectural heritage that is distinctive*, provides opportunities for pedestrian and bicycle access for visitors to the coast, and adds to the visual attractiveness of the coast.**

Preservation of Cultural Resources

Policy I. F. 1. Historic and Cultural Resources.

The historical, architectural and cultural character of structures and landmarks in Venice should be identified, protected and restored.....

Policy I. F. 2. Reuse and Renovation of Historic Structures.

Wherever possible, the adaptive reuse and renovation of existing historic structures shall be encouraged so as to preserve the harmony and integrity of historic buildings identified in this LUP.

This means:

a. Renovating building facades to reflect their historic character as closely as possible, and discouraging alterations to create an appearance inconsistent with the actual character of the buildings.

- b. Protecting rather than demolishing historic or culturally significant properties by finding compatible uses which may be housed in them that require a minimum alteration to the historic character of the structure and its environment.**
- c. Rehabilitation shall not destroy the distinguishing feature or character of the property and its environment and removal or alteration of historical architectural features shall be minimized.**
- d. The existing character of building/house spaces and setbacks shall be maintained.**
- e. *The existing height, bulk and massing which serves as an important characteristic of the resource shall be retained.***

D. Issues:

On March 30, 2017, five coastal exemptions were issued for the property at 605-607 Westminster. No local specific plan permit compliance review was done and no local city permit was issued before granting the CEX permits.

The property, a double lot with 8 original bungalows was acquired by Irvin Tabor in 1916 and housed his extended family who were settling in Venice from Louisiana to work at the Venice Pier owned by Abbot Kinney.

The property is identified as a Contributor in SurveyLA: "May be a rare example of a property associated with Venice founder Abbot Kinney, and/or Kinney's chauffeur Irving Tabor, an important early black resident of Venice. ... more research is needed to confirm these associations; therefore, the evaluation could not be completed." More research has been done and the association with Irvin [sic] Tabor is confirmed. The property is under consideration for Historic Cultural Monument status by the City of L.A. Office of Historic Resources.

We are very concerned, as a great deal of construction work has been done to identify the history and condition of the property. Work was stopped because work being done was outside the limits of the building permits and because of the historic significance. The City's issuance of the five CEX permits prevented a full inspection of the work done thus far and to protect it from any further degradation of its historic significance. It needs the review to determine the Findings required of a CDP, as should be done for any historic structure. And it needs to be done immediately before we lose the piece of important Venice history.

Any determination made in the Coastal Zone must be made in the context of the Coastal Act. It is nonsensical and erroneous to say that as long as 50% or more of the existing structure is not removed, replaced or demolished that historic and visual coastal resources can be destroyed, which would cause a significant adverse cumulative impact, and that nothing can be done to stop this. This is contrary to the Coastal Act, which states that "permanent protection of the state's natural and scenic resources is a paramount concern...", that these coastal resources are "of vital and enduring interest..." and that "the Coastal Act is to be liberally construed to accomplish its purposes and objectives." Given that, the CEX process should have procedures that would avoid a significant adverse cumulative impact to coastal resources. The Coastal Commission must not allow actions that would harm its own designation of Venice as a Special Coastal Community, which in this case would be allowing changes to historic coastal resources to be processed with no protections or mitigations to avoid the risks of significant adverse cumulative environmental impacts. That is contrary to the Commission's mandate and mission and to the spirit of the Coastal Act.

The CEX decision must not be made in a vacuum but rather in the context of the Coastal Zone and the Coastal Act. If the result of the CEX decision is materially contrary to the intent of the Coastal Act, something is wrong...the law has been interpreted incorrectly or the process implemented erroneously. The result must be reasonable in light of the intent of the coastal law.

An erroneous Interpretation and decision on this case will cause an accelerated adverse cumulative impact. The project is not exempt development until a determination is made that it is exempt, and that determination is based on certain requirements in the Coastal Act. It is clear that the Commission cannot make a decision on a matter in the Coastal Zone without consideration of the Coastal Act, as it's requirements must be the basis for that decision, including consideration of cumulative impact.

If this CEX is upheld, as soon as word gets out this new scheme will result in a massive "gold rush," with developers finding many creative ways to say they will keep 50% of the existing structure, which will buy them the ability to add unlimited square footage, with the only constraints being the City's uncertified codes for setbacks and height. It will be particularly easy when the existing house is small, as many of the existing older Venice homes are. In fact, it will be possible to have significantly larger structures than would be approved in a CDP process that requires Findings for conformance with the Coastal Act and to its Certified Venice Land Use Plan guidance, including the requirement for compatibility with mass, scale and character.

The Commission must be consistent with its prior actions for numerous Substantial Issue decisions and related determining factors. In April 2016, Coastal Staff issued a Staff Reports for: A-5-VEN-16-0005, A-5-VEN-16-0006, A-5-VEN-16-00019, A-5-VEN-16-00020, A-5-VEN-16-00021, 5-VEN-16-00027, A-5-VEN-16-0028, A-5-VEN-16-0029, A-5-VEN-16-0031, and A-5-VEN-16-0034.

With respect to the Substantial Issue determining factor for "Significance of the Coastal Resources Affected," the above-mentioned ten (10) April 2016 Staff Reports concluded that: "The coastal resource that is affected by these locally approved projects is community character, which is significant in Venice...Community character issues are particularly important in Venice...the erosion of community character is a cumulative issue, and the City's cumulative exemption of has a significant impact on Venice's visual character," as well as on its designation as a Special Coastal Community."

In addition, because the overall project was not properly processed as a CDP, there was no Mello Act Compliance Review. The property is covered by the Rent Stabilization Ordinance (see Exhibits B and C), and due to this fact as well as the small size of the units and the poor condition prior to renovations, it is likely that the units would be determined to be Replacement Affordable Units and thus upon any major demolition/development or conversion would need to be replaced on a one-for-one basis, with a tenants' rights to return. This analysis must be performed.

Recent Coastal Act changes resulting from the passage of AB 2616 provide for consideration of environmental justice when acting on a coastal development permit. The legislature has found and declared that it is important for the commission to encourage the protection of existing and the provision of new affordable housing opportunities for persons of low and moderate income in the coastal zone. Environmental Justice is defined as the fair treatment of people of all races, cultures, and incomes with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations and policies.

E. Exhibits:

EXHIBIT A--Applicable CEX and related Building Permits

EXHIBIT B—605 Westminster ZIMAS Info

EXHIBIT C—607 Westminster ZIMAS Info

EXHIBIT D—Case for Historic Preservation Review for 605-607 Westminster

EXHIBIT E—605 Westminster Building Permit Listing as of May 2, 2017

EXHIBIT F—607 Westminster Building Permit Listing as of May 2, 2017

EXHIBIT G—605-607 Westminster Building Permits with No Coastal Clearance

EXHIBIT H—VSO for 605 Westminster

EXHIBIT I—607 Westminster Units D&E—Permit Removed from ZIMAS

EXHIBIT J—Marketing Materials

EXHIBIT K--SurveyLA & History of Property

RECEIVED
South Coast Region

APR 5 2017



APPLICATIONS:

COASTAL EXEMPTION (CEX)

CASE NO.: DIR-2017-1289-CEX

TO: California Coastal Commission
South Coastal District
200 Oceangate, 10th Floor
Long Beach, CA 90802-4302
(562) 590-5071

APPEAL PERIOD ENDS AT 5:00 P.M.

ON 5-3-17

APPEAL RECEIVED: YES NO

FROM: Los Angeles Department of City Planning
Development Services Center (DSC)
201 North Figueroa Street
Los Angeles, CA 90012

SUBJECT: COASTAL EXEMPTION—SINGLE JURISDICTION AREA ONLY

Under no circumstances shall a Coastal Exemption be issued for the following scopes of work:

- Remodels which involve the removal of 50% or more of existing exterior walls
- Addition, demolition, removal or conversion of any whole residential units (unless required by LADBS)
- Projects which involve significant grading or boring in a Special Grading or Landslide area
- Any change of use (to a more or less intensive use)

OWNER/APPLICANT TO COMPLETE THE FOLLOWING (type, print, or fill out on-line)

PROJECT ADDRESS: 605 E. Westminster Ave Bldg A and B
 LEGAL DESCRIPTION: LOT 44 BLOCK L TRACT Ocean Park Villa Tract
 ZONE: RD 1.5-1 COMMUNITY PLAN: Venice
 PROPOSED SCOPE OF WORK: Replace windows, replace dry wall, interior kitchen and bathroom remodel, re-roof, add sill plate anchor bolts and cripple wall plywood.

RELATED PLAN CHECK NUMBER(S): 17016-9000-01555, 17016-9000-05181, 17016-9000-05970, 17016-9000-05970, 17016-9000-05970

Note: If there is related work to be pulled under a separate permit, please include in the above project description. The reason for this is so Planning Staff can evaluate the project as a whole and to avoid having to apply for another CEX for any subsequent permits related to the original scope of work.

Applicant Name: Kimberlina Whettam
 Mailing Address: 241 S. Figueroa St. #370 LA CA 90012
 Phone Number: 213 228 5303 E-mail Address: Kimberlina@kiwhettam.com
 Signature: Kimberlina Whettam 1

THIS SECTION FOR OFFICE USE ONLY

This application has been reviewed by the staff of the Los Angeles Department of City Planning in accordance with the provisions of Section 30610 of the California Coastal Act. A determination has been made that a Coastal Development Permit is not required for the preceding described project based on the fact that it does not: (1) involve a risk of adverse environmental effect, (2) adversely affect public access, or (3) involve a change in use contrary to any policy of this division pursuant to Title 14 of the California Administrative Code, and qualifies for an exemption under one or more of the categories checked below.

- Improvements to Existing Single-Family Residences.** This includes interior and exterior improvements, additions, and uses which are accessory to a single-family residence (e.g. garages, pools, fences, storage). This does not include the increase or decrease in the number of residential dwelling units (including guest houses), or retaining walls or pools that may have a potential significant impact on coastal resources (i.e. ~~viewable from the public right-of-way~~ involves a significant amount of grading or boring in Hillside, Landslide or Special Grading areas), which may be reviewed on a case-by-case basis.
- Improvements to Any Existing Structure Other Than A Single-Family Residence.** For duplex or ~~other residential uses~~ interior and exterior improvements, additions and uses which are accessory to the residential use (e.g. garages, pools, fences, storage sheds), but does not include the increase or decrease in the number of residential dwelling units, or retaining walls or pools that may have a potential significant impact on coastal resources (i.e. viewable from the public right-of-way, involves a significant amount of grading or boring in Hillside, Landslide or Special Grading areas), which may be reviewed on a case-by-case basis. For non-residential uses, this includes interior and exterior improvements and building signage (excluding pole, pylon and off-site signs), but does not include any addition of square footage or change of use (to a more or less intense use).
- Repair or Maintenance.** This includes replacement, repair and/or maintenance activities (i.e. re-roofing, replacement of equipment, etc.) which do not result in any changes, enlargement or expansion.
- Demolitions required by LADBS.** This includes projects which have been issued a Nuisance and Abatement or Order to Comply by the Department of Building & Safety requiring demolition due to an unsafe or substandard condition. Please attach the Building & Safety Notice.

This exemption in no way excuses the applicant from complying with all applicable policies, ordinances, codes and regulations of the City of Los Angeles. This exemption shall not apply if the project is not consistent with local land use regulations. If it is found that the project description is not in conformance with the actual project to be constructed or is not in conformance with Section 30610 of the California Coastal Act, this exemption is null and void.

Vincent P. Bertoni, AICP
Director of Planning

Issued By:

Signature

Print Name and Title


Banalynn Dominguez, Planning Assistant

Date:

March 30, 2017

Invoice No.:

36017

Receipt Number:

0104714521

Attached:

Copy of Invoice with Receipt No.

Copy of related Building & Safety Clearance Summary Worksheet(s)

Los Angeles Department of Building and Safety

4

Certificate Information: 605 E WESTMINSTER AVE 90291

Application / Permit 17016-90000-01189
Plan Check / Job No. --
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description Add sill plate anchors bolts, cripple wall plywood and replace foundation per L.A. City Std. Plan #1(EQ hazard reduction per Chapter 92).
Permit Issued Issued on 1/19/2017
Issuing Office _____
Current Status Issued on 1/19/2017

Permit Application Status History

Issued 1/19/2017

INTERNET PERMIT

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Sinar Construction Inc; Lic. No.: 457238-B 4489 W PICO BOULEVARD LOS ANGELES, CA 90019

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Deputy Drilled-in Anchors	2/9/2017	Conditional Approval	BOB DUNN
Excavation/Setback/Form/Re-Bar	2/10/2017	Approved	BOB DUNN

Los Angeles Department of Building and Safety

Certificate Information: 605 E WESTMINSTER AVE A & B 90291

(b)

Application / Permit 17016-10002-01555
Plan Check / Job No. X17LA05106
Group Building
Type Bldg-After/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (2) Duplex
Work Description SUPPLEMENTAL TO CAPTURE COASTAL CLEARANCE SIGN-OFF.
Permit Issued No
Current Status Application Submittal on 3/29/2017

Permit Application Status History

No Data Available.

Permit Application Clearance Information

Coastal Zone	Not Cleared	3/29/2017	VICTOR CUEVAS
Specific Plan	Not Cleared	3/29/2017	VICTOR CUEVAS

Contact Information

Contractor	Omni Valley Construction Corporation; Lic. No.: 868360-B	20555 DEVONSHIRE STREET #150 91311	CHATSWORTH, CA
------------	---	---------------------------------------	----------------

Inspector Information

No Data Available.

Pending Inspections

No Data Available.

Inspection Request History

No Data Available.

Los Angeles Department of Building and Safety

9

Certificate Information: 605 E WESTMINSTER AVE A & B 90291

Application / Permit 17016-10000-06538
Plan Check / Job No. B17LA04263
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (2) Duplex
Work Description VOLUNTARY FOOTING REINFORCEMENT , STUD FRAMING & RE-ROOFING OF (E) ONE-STORY DUPLEX . NO CHANGE IN EXTERIOR WALL FINISH .
Permit Issued No
Current Status Corrections Issued on 3/20/2017

Permit Application Status History

Submitted	3/20/2017	APPLICANT
Assigned to Plan Check Engineer	3/20/2017	GEORGE BANNING
Corrections Issued	3/20/2017	GEORGE BANNING

Permit Application Clearance Information

Specific Plan	Not Cleared	3/20/2017	GEORGE BANNING
Coastal Zone	Not Cleared	3/23/2017	JASON HEALEY

Contact Information

Engineer Tuchscher, James Todd, Lic. No.: C77649 5503 E 2ND ST LONG BEACH, CA 90803

Inspector Information

No Data Available.

Pending Inspections

No Data Available.

Inspection Request History

No Data Available.

Los Angeles Department of Building and Safety

Certificate Information: 605 E WESTMINSTER AVE b 90291



Application / Permit 17016-10001-05990
Plan Check / Job No. X17LA05114
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description SUPPLEMENTAL TO CAPTURE COASTAL CLEARANCE SIGN-OFF.
Permit Issued No
Current Status Application Submittal on 3/29/2017

Permit Application Status History

No Data Available.

Permit Application Clearance Information

Coastal Zone	Not Cleared	3/29/2017	VICTOR CUEVAS
Specific Plan	Not Cleared	3/29/2017	VICTOR CUEVAS

Contact Information

Contractor Bartech, Lic. No.: 857082-C39 6153 TONY AVENUE WOODLAND HILLS, CA 91367

Inspector Information

No Data Available.

Pending Inspections

No Data Available.

Inspection Request History

No Data Available.

Los Angeles Department of Building and Safety

Certificate Information: 605 E WESTMINSTER AVE A & B 90291

33

Application / Permit 17016-90000-01555
Plan Check / Job No. --
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (2) Duplex
Work Description Replace 10 window(s). Same size, location, number, type. Replace drywall/plaster (patch and paint). Non-structural repair only. Interior kitchen remodel/repair (no changes in walls or openings). Interior bathroom remodel/repair (no changes in walls or openings).
Permit Issued Issued on 1/24/2017
Issuing Office _____
Current Status Issued on 1/24/2017

Permit Application Status History

Issued 1/24/2017

INTERNET PERMIT

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Omni Valley Construction Corporation, Lic. No.: 868360-B
20555 DEVONSHIRE STREET #150 CHATSWORTH, CA 91311

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

No Data Available.

Los Angeles Department of Building and Safety

Certificate Information: 605 E WESTMINSTER AVE A 90291

(j)

Application / Permit 17016-90000-05989
Plan Check / Job No. --
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description Reroof with 18 sqrs COMP SHINGLE roofing over new solid sheathing. Re-roof with Class A or B material weighing less than 6 pounds per sq. ft. For residential roof replacement > 50% of the total roof area, apply Cool Roof Product labeled and certified by Cool Roof Rating Council (CRRC). Cool Roof may be required for non-residential buildings per Title 24, Part 6, Section 149(b).
Permit Issued Issued on 3/14/2017
Issuing Office
Current Status Intent to Revoke on 3/23/2017

Permit Application Status History

Issued	3/14/2017	INTERNET PERMIT
Intent to Revoke	3/23/2017	SHAHEN AKELYAN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Bartech, Lic. No.: 857082-C39 6153 TONY AVENUE WOODLAND HILLS, CA 91367

Inspector Information

BOB DUNN, (310) 914-3981 Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Floor/Roof Diaphragm/Shear Wall	3/16/2017	Not Ready for Inspection	BOB DUNN
Floor/Roof Diaphragm/Shear Wall	3/18/2017	Approved	JOEL LAUNCHBAUGH

Los Angeles Department of Building and Safety

②

Certificate Information: 605 E WESTMINSTER AVE b 90291

Application / Permit 17016-90000-05990
Plan Check / Job No. --
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description Reroof with 10 sqrs COMP SHINGLE roofing over new solid sheathing. Re-roof with Class A or B material weighing less than 6 pounds per sq. ft. For residential roof replacement > 50% of the total roof area, apply Cool Roof Product labeled and certified by Cool Roof Rating Council (CRRC). Cool Roof may be required for non-residential buildings per Title 24, Part 6, Section 149(b)
Permit Issued Issued on 3/14/2017
Issuing Office
Current Status Intent to Revoke on 3/23/2017

Permit Application Status History

Issued	3/14/2017	INTERNET PERMIT
Intent to Revoke	3/23/2017	SHAHEN AKELYAN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Bartech, Lic. No.: 857082-C39 6153 TONY AVENUE WOODLAND HILLS, CA 91367

Inspector Information

BOB DUNN, (310) 914-3981 Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

No Data Available.

Los Angeles Department of Building and Safety



Certificate Information: 605 E WESTMINSTER AVE A 90291

Application / Permit 17016-10001-05989
Plan Check / Job No. X17LA05113
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description SUPPLEMENTAL TO CAPTURE COASTAL CLEARANCE SIGN-OFF.
Permit Issued No
Current Status Application Submittal on 3/29/2017

Permit Application Status History

No Data Available.

Permit Application Clearance Information

Coastal Zone	Not Cleared	3/29/2017	VICTOR CUEVAS
Specific Plan	Not Cleared	3/29/2017	VICTOR CUEVAS

Contact Information

Contractor Bartech, Lic. No.: 857082-C39 6153 TONY AVENUE WOODLAND HILLS, CA 91367

Inspector Information

No Data Available.

Pending Inspections

No Data Available.

Inspection Request History

No Data Available.

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
200 OCEANGATE, 10TH FLOOR
LONG BEACH, CA 90802-4416
VOICE (562) 590-5071 FAX (562) 590-5084

MAY 03 2017

CALIFORNIA
COASTAL COMMISSION



APPEAL FROM COASTAL PERMIT DECISION OF LOCAL GOVERNMENT

Please Review Attached Appeal Information Sheet Prior To Completing This Form.

SECTION I. Appellant(s)

Name: see separate sheet

Mailing Address:

City:

Zip Code:

Phone:

SECTION II. Decision Being Appealed

1. Name of local/port government:

Los Angeles

2. Brief description of development being appealed:

Five permits wrongly issued as CEX for various work bing done on two properties.
See attached sheet.

3. Development's location (street address, assessor's parcel no., cross street, etc.):

605-607 Westminster Avenue, Venice, CA 90291
4239019037 ; 4239019038 ; Sxth Avenue

4. Description of decision being appealed (check one.):

Approval; no special conditions

Approval with special conditions:

Denial

Note: For jurisdictions with a total LCP, denial decisions by a local government cannot be appealed unless the development is a major energy or public works project. Denial decisions by port governments are not appealable.

TO BE COMPLETED BY COMMISSION:

APPEAL NO:

A-5-VEN-17-0021

DATE FILED:

May 3, 2017

DISTRICT:

South Coast

APPEAL FROM COASTAL PERMIT DECISION OF LOCAL GOVERNMENT (Page 2)

5. Decision being appealed was made by (check one):

- Planning Director/Zoning Administrator
- City Council/Board of Supervisors
- Planning Commission
- Other

6. Date of local government's decision: 30 March 2017

7. Local government's file number (if any): DIR-2017-1289-CEX

SECTION III. Identification of Other Interested Persons

Give the names and addresses of the following parties. (Use additional paper as necessary.)

a. Name and mailing address of permit applicant:

Kimberlina Whettam, 241 S. Figueroa Street #370, LA, CA 90012

b. Names and mailing addresses as available of those who testified (either verbally or in writing) at the city/county/port hearing(s). Include other parties which you know to be interested and should receive notice of this appeal.

(1) There were no hearings because of incorrect permit process.

(2)

(3)

(4)

IV. REASONS FOR APPEAL—for each of the 5 CEX's for 605-607 Westminster, a Unified Development

A. CEX'S filed on March 30, 2017:

DIR-2017-1289-CEX

605 Westminster, buildings A & B

Replace windows, replace drywall, kitchen and bathroom remodel, reroof, add sill plate anchor bolts and cripple wall plywood.

DIR-2017-1308-CEX

607 Westminster, building A

Reroof with shingles and repair foundation.

DIR-2017-1310-CEX

607 Westminster, building B

Reroof to replace roof shingles and repair foundation.

DIR-2017-1313-CEX

607 Westminster, building D

Replace windows (4), replace drywall, kitchen and bathroom remodel, reroof and foundation repair.

DIR-2017-1314-CEX

607 Westminster, building E

Replace windows, replace drywall, interior kitchen and bathroom remodel, add sill plate anchor bolts and cripple wall plywood, remove and replace 17 linear feet of exterior wall, remove and replace the roof.

B. Background:

For purposes of CEQA and the Coastal Act, the definition of environment includes resources of "historic or aesthetic significance."

The Coastal Act Legislative Findings and Declarations states (in part):

"The permanent protection of the state's natural and scenic resources is a paramount concern to present and future residents of the state and nation."

The basic goals of the State for the Coastal Zone include a goal to "protect, maintain and where feasible, enhance and restore the overall quality of the coastal zone environment and its natural and artificial resources."

The National Historic Preservation Act sets forth a program to carry out the national policy for protecting America's historic and cultural resources. The State assists local entities in historic preservation, and cities have the authority under their general police power to protect property of historical and aesthetic significance. Local regulation of landmarks and historic districts falls within the scope of permissible government objectives.

Except for work that is strictly interior remodeling, a Coastal Clearance is required for construction work/development in the Coastal Zone in order to obtain a building permit. There are two types of Coastal Clearances: a Coastal Development Permit and a Coastal Exemption. Coastal Exemptions are generally allowed when less than 50% of the structure is being demolished and if the project does not involve a risk of adverse environmental effect, or does not adversely affect public access, or does not involve a change in use, as defined. Otherwise, a Coastal Development Permit is required.

The City Planners erred and abused their discretion by granting the CEX permits improperly. In addition, the LADBS officials erred and abused their discretion in issuing numerous Building Permits without any Coastal Clearances. We are appealing also because of the piecemeal manner in which the permits were issued for the work being done. As indicated in the related VSO (see Exhibit H), the work done entailed both interior and exterior construction, including window replacement, roofing, remodels to various parts of building. However, the 8 bungalows are part of a single property, a Unified Development, and application for a single coastal permit for the full extent of the work should have been made. Had the city done that, it would have been apparent that the work was extensive enough to require a CDP and an appropriate CEQA review. A historical property is not eligible for an exemption from CEQA or a Coastal Exemption.

For this case, the City Planning Assistant (acting on behalf of the City Planning Director) was derelict in their duty in issuing these CEX permits as they did not make a determination (or made an erroneous determination) that "a Coastal Development Permit is not required for the described project based on the fact that it does not involve a risk of adverse environmental effect." There IS in fact a risk of adverse environmental effect, due to the historic significance of the property and the nature of the work being done, as further detailed below. It is not clear whether the City Planning Assistants who are assigned to approve Coastal Exemptions have been properly trained in determining whether there is a risk of adverse environmental effect. In addition, the work being done exceeded the work as described on the building permits issued.

It appears obvious that the overall work done over the past 12-18 months was piecemealed in order to avoid processing the project with a proper Coastal Clearance. The prior owner submitted the permits on a piecemeal basis, by unit (for each of the 8 units) and by type of work done; for example, for each one of the 8 units there are individual building permits for each of the following: the roof, the foundation, bathroom and kitchen "remodel," replacing the drywall, re-stuccoing, the plumbing, the electrical, and so on. There is also a permit to convert a duplex to a SFD, and a second story was added to the 605 Westminster front building, both of which require a CDP. At least 46 Building Permits were issued for what should have been one overall project, requiring a CDP for a Coastal Clearance. Some of these Building Permits were covered by the Coastal Exemptions at issue, but work under numerous Building Permits still have no Coastal Clearance and must obtain the proper after-the-fact Coastal permits. See Exhibit G for the Building Permits not covered by the Coastal Exemptions at issue in this appeal. Instead, work that constitutes development was done at this 2-lot site, Bungalow Court with significant historic ties, without any Coastal Clearances, and this work undermines the historical integrity of the property. This work also far exceeds what is permitted by the building permits that they were obtained online or over the counter on a piecemeal basis.

In addition, it should be noted that when the majority of the work was being done, there were NO PERMITS POSTED anywhere at the site. Two separate parties verified this.

Also, an application is pending for this property for Historic Cultural status with the City. See Exhibit D. A CEX cannot be issued due to this pending historic analysis, as the project DOES involve a risk of adverse environmental effect and thus is an exception to qualification for a Coastal Exemption, as per

the Coastal Act Section 30610. In addition, as per the City's zoning policies:

The Historic District and Contributing properties are presumed to be historical resources under the California Environmental Quality Act (Section 21084.1 of the CEQA Statute and Section 15064.5 of the CEQA Guidelines). Any proposed new development project that requires discretionary project approvals, such as a Coastal Development Permit, will trigger review under CEQA and a thorough investigation and analysis of project impacts to historical resources.

- Demolition of a Contributing building is a significant impact to a historical resource.
- New construction that is compatible with Contributing buildings and meets the Secretary of the Interior's Standards for the Treatment of Historic Properties is not a significant impact to a historical resource.
- "Not Sure" properties must be evaluated to determine if they are Contributors or Non-Contributors before project impacts can be assessed.

Not only did this applicant process this work with the City on a piecemeal basis instead of as one project for this entire Bungalow Court, violations of both the Coastal Act and CEQA, but they are using over the counter or internet permits. No one knows better than long-time inspector Bob Dunn that Coastal Clearance via either a CDP or a CEX is required for this kind of work in the Coastal Zone. This piecemealing of the work and related permits and the lack of proper Coastal Clearances should have been caught by the LADBS Inspector. There is a clear problem with checks and balances within LADBS. Also, for many of the Building Permits, the same inspector is processing and issuing the permits and doing the inspections.

C. Pertinent sections of the Certified* Venice Local Coastal Program Land Use Plan:

***the Coastal Commission has certified that the Venice Land Use Plan is in compliance and conformance with the California Coastal Act of 1976**

Chapter II. Land Use Plan Policies, Policy Group I. Locating and Planning New Development/Coastal Visual Resources and Special Communities,

Preservation of Venice as a Special Coastal Community:

Policy I. E. 1. General: Venice's unique social and architectural diversity should be protected as a Special Coastal Community* pursuant to Chapter 3 of the California Coastal Act of 1976.

*** Chapter I. Introduction, Definitions of "Special Coastal Community": An area recognized as an important visitor destination center on the coastline, *characterized by a particular cultural, historical, or architectural heritage that is distinctive*, provides opportunities for pedestrian and bicycle access for visitors to the coast, and adds to the visual attractiveness of the coast.**

Preservation of Cultural Resources

Policy I. F. 1. Historic and Cultural Resources.

The historical, architectural and cultural character of structures and landmarks in Venice should be identified, protected and restored.....

Policy I. F. 2. Reuse and Renovation of Historic Structures.

Wherever possible, the adaptive reuse and renovation of existing historic structures shall be encouraged so as to preserve the harmony and integrity of historic buildings identified in this LUP.

This means:

a. Renovating building facades to reflect their historic character as closely as possible, and discouraging alterations to create an appearance inconsistent with the actual character of the buildings.

- b. Protecting rather than demolishing historic or culturally significant properties by finding compatible uses which may be housed in them that require a minimum alteration to the historic character of the structure and its environment.
- c. Rehabilitation shall not destroy the distinguishing feature or character of the property and its environment and removal or alteration of historical architectural features shall be minimized.
- d. The existing character of building/house spaces and setbacks shall be maintained.
- e. *The existing height, bulk and massing which serves as an important characteristic of the resource shall be retained.*

D. Issues:

On March 30, 2017, five coastal exemptions were issued for the property at 605-607 Westminster. No local specific plan permit compliance review was done and no local city permit was issued before granting the CEX permits.

The property, a double lot with 8 original bungalows was acquired by Irvin Tabor in 1916 and housed his extended family who were settling in Venice from Louisiana to work at the Venice Pier owned by Abbot Kinney.

The property is identified as a Contributor in SurveyLA: "May be a rare example of a property associated with Venice founder Abbot Kinney, and/or Kinney's chauffeur Irving Tabor, an important early black resident of Venice. ... more research is needed to confirm these associations; therefore, the evaluation could not be completed." More research has been done and the association with Irvin [sic] Tabor is confirmed. The property is under consideration for Historic Cultural Monument status by the City of L.A. Office of Historic Resources.

We are very concerned, as a great deal of construction work has been done to identify the history and condition of the property. Work was stopped because work being done was outside the limits of the building permits and because of the historic significance. The City's issuance of the five CEX permits prevented a full inspection of the work done thus far and to protect it from any further degradation of its historic significance. It needs the review to determine the Findings required of a CDP, as should be done for any historic structure. And it needs to be done immediately before we lose the piece of important Venice history.

Any determination made in the Coastal Zone must be made in the context of the Coastal Act. It is nonsensical and erroneous to say that as long as 50% or more of the existing structure is not removed, replaced or demolished that historic and visual coastal resources can be destroyed, which would cause a significant adverse cumulative impact, and that nothing can be done to stop this. This is contrary to the Coastal Act, which states that "permanent protection of the state's natural and scenic resources is a paramount concern...", that these coastal resources are "of vital and enduring interest..." and that "the Coastal Act is to be liberally construed to accomplish its purposes and objectives." Given that, the CEX process should have procedures that would avoid a significant adverse cumulative impact to coastal resources. The Coastal Commission must not allow actions that would harm its own designation of Venice as a Special Coastal Community, which in this case would be allowing changes to historic coastal resources to be processed with no protections or mitigations to avoid the risks of significant adverse cumulative environmental impacts. That is contrary to the Commission's mandate and mission and to the spirit of the Coastal Act.

The CEX decision must not be made in a vacuum but rather in the context of the Coastal Zone and the Coastal Act. If the result of the CEX decision is materially contrary to the intent of the Coastal Act, something is wrong...the law has been interpreted incorrectly or the process implemented erroneously. The result must be reasonable in light of the intent of the coastal law.

An erroneous Interpretation and decision on this case will cause an accelerated adverse cumulative Impact. The project is not exempt development until a determination is made that it is exempt, and that determination is based on certain requirements in the Coastal Act. It is clear that the Commission cannot make a decision on a matter in the Coastal Zone without consideration of the Coastal Act, as it's requirements must be the basis for that decision, including consideration of cumulative impact.

If this CEX is upheld, as soon as word gets out this new scheme will result in a massive "gold rush," with developers finding many creative ways to say they will keep 50% of the existing structure, which will buy them the ability to add unlimited square footage, with the only constraints being the City's uncertified codes for setbacks and height. It will be particularly easy when the existing house is small, as many of the existing older Venice homes are. In fact, it will be possible to have significantly larger structures than would be approved in a CDP process that requires Findings for conformance with the Coastal Act and to its Certified Venice Land Use Plan guidance, including the requirement for compatibility with mass, scale and character.

The Commission must be consistent with its prior actions for numerous Substantial Issue decisions and related determining factors. In April 2016, Coastal Staff issued a Staff Reports for: A-5-VEN-16-0005, A-5-VEN-16-0006, A-5-VEN-16-00019, A-5-VEN-16-00020, A-5-VEN-16-00021, 5-VEN-16-00027, A-5-VEN-16-0028, A-5-VEN-16-0029, A-5-VEN-16-0031, and A-5-VEN-16-0034.

With respect to the Substantial Issue determining factor for "Significance of the Coastal Resources Affected," the above-mentioned ten (10) April 2016 Staff Reports concluded that: "The coastal resource that is affected by these locally approved projects is community character, which is significant in Venice...Community character issues are particularly important in Venice...the erosion of community character is a cumulative issue, and the City's cumulative exemption ofhas a significant impact on Venice's visual character," as well as on its designation as a Special Coastal Community."

In addition, because the overall project was not properly processed as a CDP, there was no Mello Act Compliance Review. The property is covered by the Rent Stabilization Ordinance (see Exhibits B and C), and due to this fact as well as the small size of the units and the poor condition prior to renovations, it is likely that the units would be determined to be Replacement Affordable Units and thus upon any major demolition/development or conversion would need to be replaced on a one-for-one basis, with a tenants' rights to return. This analysis must be performed.

Recent Coastal Act changes resulting from the passage of AB 2616 provide for consideration of environmental justice when acting on a coastal development permit. The legislature has found and declared that it is important for the commission to encourage the protection of existing and the provision of new affordable housing opportunities for persons of low and moderate income in the coastal zone. Environmental Justice is defined as the fair treatment of people of all races, cultures, and incomes with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations and policies.

E. Exhibits:

EXHIBIT A--Applicable CEX and related Building Permits

EXHIBIT B—605 Westminster ZIMAS Info

EXHIBIT C—607 Westminster ZIMAS Info

EXHIBIT D—Case for Historic Preservation Review for 605-607 Westminster

EXHIBIT E—605 Westminster Building Permit Listing as of May 2, 2017

EXHIBIT F—607 Westminster Building Permit Listing as of May 2, 2017

EXHIBIT G—605-607 Westminster Building Permits with No Coastal Clearance

EXHIBIT H—VSO for 605 Westminster

EXHIBIT I—607 Westminster Units D&E—Permit Removed from ZIMAS

EXHIBIT J—Marketing Materials

EXHIBIT K--SurveyLA & History of Property

RECEIVED
South Coast Region

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
200 OCEANGATE, 10TH FLOOR
LONG BEACH, CA 90802-4416
VOICE (562) 590-5071 FAX (562) 590-5084

MAY 03 2017

**CALIFORNIA
COASTAL COMMISSION**



APPEAL FROM COASTAL PERMIT DECISION OF LOCAL GOVERNMENT

Please Review Attached Appeal Information Sheet Prior To Completing This Form.

SECTION I. Appellant(s)

Name: see separate sheet

Mailing Address:

City:

Zip Code:

Phone:

SECTION II. Decision Being Appealed

1. Name of local/port government:

Los Angeles

2. Brief description of development being appealed:

Five permits wrongly issued as CEX for various work bing done on two properties.
See attached sheet.

3. Development's location (street address, assessor's parcel no., cross street, etc.):

605-607 Westminster Avenue, Venice, CA 90291
4239019037 ; 4239019038 ; Sxth Avenue

4. Description of decision being appealed (check one.):

- Approval; no special conditions
- Approval with special conditions:
- Denial

Note: For jurisdictions with a total LCP, denial decisions by a local government cannot be appealed unless the development is a major energy or public works project. Denial decisions by port governments are not appealable.

TO BE COMPLETED BY COMMISSION:

APPEAL NO:

A-5-VEN-17-0022

DATE FILED:

May 3, 2017

DISTRICT:

South Coast

APPEAL FROM COASTAL PERMIT DECISION OF LOCAL GOVERNMENT (Page 2)

5. Decision being appealed was made by (check one):

- Planning Director/Zoning Administrator
- City Council/Board of Supervisors
- Planning Commission
- Other

6. Date of local government's decision: 30 March 2017

7. Local government's file number (if any): DIR-2017-1289-CEX

SECTION III. Identification of Other Interested Persons

Give the names and addresses of the following parties. (Use additional paper as necessary.)

a. Name and mailing address of permit applicant:

Kimberlina Whettam, 241 S. Figueroa Street #370, LA, CA 90012

b. Names and mailing addresses as available of those who testified (either verbally or in writing) at the city/county/port hearing(s). Include other parties which you know to be interested and should receive notice of this appeal.

(1) There were no hearings because of incorrect permit process.

(2)

(3)

(4)

IV. REASONS FOR APPEAL—for each of the 5 CEX's for 605-607 Westminster, a Unified Development

A. CEX'S filed on March 30, 2017:

DIR-2017-1289-CEX

605 Westminster, buildings A & B

Replace windows, replace drywall, kitchen and bathroom remodel, reroof, add sill plate anchor bolts and cripple wall plywood.

DIR-2017-1308-CEX

607 Westminster, building A

Reroof with shingles and repair foundation.

DIR-2017-1310-CEX

607 Westminster, building B

Reroof to replace roof shingles and repair foundation.

DIR-2017-1313-CEX

607 Westminster, building D

Replace windows (4), replace drywall, kitchen and bathroom remodel, reroof and foundation repair.

DIR-2017-1314-CEX

607 Westminster, building E

Replace windows, replace drywall, interior kitchen and bathroom remodel, add sill plate anchor bolts and cripple wall plywood, remove and replace 17 linear feet of exterior wall, remove and replace the roof.

B. Background:

For purposes of CEQA and the Coastal Act, the definition of environment includes resources of "historic or aesthetic significance."

The Coastal Act Legislative Findings and Declarations states (in part):

"The permanent protection of the state's natural and scenic resources is a paramount concern to present and future residents of the state and nation."

The basic goals of the State for the Coastal Zone include a goal to "protect, maintain and where feasible, enhance and restore the overall quality of the coastal zone environment and its natural and artificial resources."

The National Historic Preservation Act sets forth a program to carry out the national policy for protecting America's historic and cultural resources. The State assists local entities in historic preservation, and cities have the authority under their general police power to protect property of historical and aesthetic significance. Local regulation of landmarks and historic districts falls within the scope of permissible government objectives.

Except for work that is strictly interior remodeling, a Coastal Clearance is required for construction work/development in the Coastal Zone in order to obtain a building permit. There are two types of Coastal Clearances: a Coastal Development Permit and a Coastal Exemption. Coastal Exemptions are generally allowed when less than 50% of the structure is being demolished and if the project does not involve a risk of adverse environmental effect, or does not adversely affect public access, or does not involve a change in use, as defined. Otherwise, a Coastal Development Permit is required.

The City Planners erred and abused their discretion by granting the CEX permits improperly. In addition, the LADBS officials erred and abused their discretion in issuing numerous Building Permits without any Coastal Clearances. We are appealing also because of the piecemeal manner in which the permits were issued for the work being done. As indicated in the related VSO (see Exhibit H), the work done entailed both interior and exterior construction, including window replacement, roofing, remodels to various parts of building. However, the 8 bungalows are part of a single property, a Unified Development, and application for a single coastal permit for the full extent of the work should have been made. Had the city done that, it would have been apparent that the work was extensive enough to require a CDP and an appropriate CEQA review. A historical property is not eligible for an exemption from CEQA or a Coastal Exemption.

For this case, the City Planning Assistant (acting on behalf of the City Planning Director) was derelict in their duty in issuing these CEX permits as they did not make a determination (or made an erroneous determination) that "a Coastal Development Permit is not required for the described project based on the fact that it does not involve a risk of adverse environmental effect." There IS in fact a risk of adverse environmental effect, due to the historic significance of the property and the nature of the work being done, as further detailed below. It is not clear whether the City Planning Assistants who are assigned to approve Coastal Exemptions have been properly trained in determining whether there is a risk of adverse environmental effect. In addition, the work being done exceeded the work as described on the building permits issued.

It appears obvious that the overall work done over the past 12-18 months was piecemealed in order to avoid processing the project with a proper Coastal Clearance. The prior owner submitted the permits on a piecemeal basis, by unit (for each of the 8 units) and by type of work done; for example, for each one of the 8 units there are individual building permits for each of the following: the roof, the foundation, bathroom and kitchen "remodel," replacing the drywall, re-stuccoing, the plumbing, the electrical, and so on. There is also a permit to convert a duplex to a SFD, and a second story was added to the 605 Westminster front building, both of which require a CDP. At least 46 Building Permits were issued for what should have been one overall project, requiring a CDP for a Coastal Clearance. Some of these Building Permits were covered by the Coastal Exemptions at issue, but work under numerous Building Permits still have no Coastal Clearance and must obtain the proper after-the-fact Coastal permits. See Exhibit G for the Building Permits not covered by the Coastal Exemptions at issue in this appeal. Instead, work that constitutes development was done at this 2-lot site, Bungalow Court with significant historic ties, without any Coastal Clearances, and this work undermines the historical integrity of the property. This work also far exceeds what is permitted by the building permits that they were obtained online or over the counter on a piecemeal basis.

In addition, it should be noted that when the majority of the work was being done, there were NO PERMITS POSTED anywhere at the site. Two separate parties verified this.

Also, an application is pending for this property for Historic Cultural status with the City. See Exhibit D. A CEX cannot be issued due to this pending historic analysis, as the project DOES involve a risk of adverse environmental effect and thus is an exception to qualification for a Coastal Exemption, as per

the Coastal Act Section 30610. In addition, as per the City's zoning policies:

The Historic District and Contributing properties are presumed to be historical resources under the California Environmental Quality Act (Section 21084.1 of the CEQA Statute and Section 15064.5 of the CEQA Guidelines). Any proposed new development project that requires discretionary project approvals, such as a Coastal Development Permit, will trigger review under CEQA and a thorough investigation and analysis of project impacts to historical resources.

- Demolition of a Contributing building is a significant impact to a historical resource.
- New construction that is compatible with Contributing buildings and meets the Secretary of the Interior's Standards for the Treatment of Historic Properties is not a significant impact to a historical resource.
- "Not Sure" properties must be evaluated to determine if they are Contributors or Non-Contributors before project impacts can be assessed.

Not only did this applicant process this work with the City on a piecemeal basis instead of as one project for this entire Bungalow Court, violations of both the Coastal Act and CEQA, but they are using over the counter or internet permits. No one knows better than long-time inspector Bob Dunn that Coastal Clearance via either a CDP or a CEX is required for this kind of work in the Coastal Zone. This piecemealing of the work and related permits and the lack of proper Coastal Clearances should have been caught by the LADBS Inspector. There is a clear problem with checks and balances within LADBS. Also, for many of the Building Permits, the same inspector is processing and issuing the permits and doing the inspections.

C. Pertinent sections of the Certified* Venice Local Coastal Program Land Use Plan:

***the Coastal Commission has certified that the Venice Land Use Plan is in compliance and conformance with the California Coastal Act of 1976**

Chapter II. Land Use Plan Policies, Policy Group I. Locating and Planning New Development/Coastal Visual Resources and Special Communities,

Preservation of Venice as a Special Coastal Community:

Policy I. E. 1. General: Venice's unique social and architectural diversity should be protected as a Special Coastal Community* pursuant to Chapter 3 of the California Coastal Act of 1976.

*** Chapter I. Introduction, Definitions of "Special Coastal Community": An area recognized as an important visitor destination center on the coastline, *characterized by a particular cultural, historical, or architectural heritage that is distinctive*, provides opportunities for pedestrian and bicycle access for visitors to the coast, and adds to the visual attractiveness of the coast.**

Preservation of Cultural Resources

Policy I. F. 1. Historic and Cultural Resources.

The historical, architectural and cultural character of structures and landmarks in Venice should be identified, protected and restored.....

Policy I. F. 2. Reuse and Renovation of Historic Structures.

Wherever possible, the adaptive reuse and renovation of existing historic structures shall be encouraged so as to preserve the harmony and integrity of historic buildings identified in this LUP.

This means:

a. Renovating building facades to reflect their historic character as closely as possible, and discouraging alterations to create an appearance inconsistent with the actual character of the buildings.

- b. Protecting rather than demolishing historic or culturally significant properties by finding compatible uses which may be housed in them that require a minimum alteration to the historic character of the structure and its environment.
- c. Rehabilitation shall not destroy the distinguishing feature or character of the property and its environment and removal or alteration of historical architectural features shall be minimized.
- d. The existing character of building/house spaces and setbacks shall be maintained.
- e. *The existing height, bulk and massing which serves as an important characteristic of the resource shall be retained.*

D. Issues:

On March 30, 2017, five coastal exemptions were issued for the property at 605-607 Westminster. No local specific plan permit compliance review was done and no local city permit was issued before granting the CEX permits.

The property, a double lot with 8 original bungalows was acquired by Irvin Tabor in 1916 and housed his extended family who were settling in Venice from Louisiana to work at the Venice Pier owned by Abbot Kinney.

The property is identified as a Contributor in SurveyLA: "May be a rare example of a property associated with Venice founder Abbot Kinney, and/or Kinney's chauffeur Irving Tabor, an important early black resident of Venice. ... more research is needed to confirm these associations; therefore, the evaluation could not be completed." More research has been done and the association with Irvin [sic] Tabor is confirmed. The property is under consideration for Historic Cultural Monument status by the City of L.A. Office of Historic Resources.

We are very concerned, as a great deal of construction work has been done to identify the history and condition of the property. Work was stopped because work being done was outside the limits of the building permits and because of the historic significance. The City's issuance of the five CEX permits prevented a full inspection of the work done thus far and to protect it from any further degradation of its historic significance. It needs the review to determine the Findings required of a CDP, as should be done for any historic structure. And it needs to be done immediately before we lose the piece of important Venice history.

Any determination made in the Coastal Zone must be made in the context of the Coastal Act. It is nonsensical and erroneous to say that as long as 50% or more of the existing structure is not removed, replaced or demolished that historic and visual coastal resources can be destroyed, which would cause a significant adverse cumulative impact, and that nothing can be done to stop this. This is contrary to the Coastal Act, which states that "permanent protection of the state's natural and scenic resources is a paramount concern...", that these coastal resources are "of vital and enduring interest..." and that "the Coastal Act is to be liberally construed to accomplish its purposes and objectives." Given that, the CEX process should have procedures that would avoid a significant adverse cumulative impact to coastal resources. The Coastal Commission must not allow actions that would harm its own designation of Venice as a Special Coastal Community, which in this case would be allowing changes to historic coastal resources to be processed with no protections or mitigations to avoid the risks of significant adverse cumulative environmental impacts. That is contrary to the Commission's mandate and mission and to the spirit of the Coastal Act.

The CEX decision must not be made in a vacuum but rather in the context of the Coastal Zone and the Coastal Act. If the result of the CEX decision is materially contrary to the intent of the Coastal Act, something is wrong...the law has been interpreted incorrectly or the process implemented erroneously. The result must be reasonable in light of the intent of the coastal law.

An erroneous Interpretation and decision on this case will cause an accelerated adverse cumulative impact. The project is not exempt development until a determination is made that it is exempt, and that determination is based on certain requirements in the Coastal Act. It is clear that the Commission cannot make a decision on a matter in the Coastal Zone without consideration of the Coastal Act, as it's requirements must be the basis for that decision, including consideration of cumulative impact.

If this CEX is upheld, as soon as word gets out this new scheme will result in a massive "gold rush," with developers finding many creative ways to say they will keep 50% of the existing structure, which will buy them the ability to add unlimited square footage, with the only constraints being the City's uncertified codes for setbacks and height. It will be particularly easy when the existing house is small, as many of the existing older Venice homes are. In fact, it will be possible to have significantly larger structures than would be approved in a CDP process that requires Findings for conformance with the Coastal Act and to its Certified Venice Land Use Plan guidance, including the requirement for compatibility with mass, scale and character.

The Commission must be consistent with its prior actions for numerous Substantial Issue decisions and related determining factors. In April 2016, Coastal Staff issued a Staff Reports for: A-5-VEN-16-0005, A-5-VEN-16-0006, A-5-VEN-16-00019, A-5-VEN-16-00020, A-5-VEN-16-00021, S-VEN-16-00027, A-5-VEN-16-0028, A-5-VEN-16-0029, A-5-VEN-16-0031, and A-5-VEN-16-0034.

With respect to the Substantial Issue determining factor for "Significance of the Coastal Resources Affected," the above-mentioned ten (10) April 2016 Staff Reports concluded that: "The coastal resource that is affected by these locally approved projects is community character, which is significant in Venice...Community character issues are particularly important in Venice...the erosion of community character is a cumulative issue, and the City's cumulative exemption ofhas a significant impact on Venice's visual character," as well as on its designation as a Special Coastal Community."

In addition, because the overall project was not properly processed as a CDP, there was no Mello Act Compliance Review. The property is covered by the Rent Stabilization Ordinance (see Exhibits B and C), and due to this fact as well as the small size of the units and the poor condition prior to renovations, it is likely that the units would be determined to be Replacement Affordable Units and thus upon any major demolition/development or conversion would need to be replaced on a one-for-one basis, with a tenants' rights to return. This analysis must be performed.

Recent Coastal Act changes resulting from the passage of AB 2616 provide for consideration of environmental justice when acting on a coastal development permit. The legislature has found and declared that it is important for the commission to encourage the protection of existing and the provision of new affordable housing opportunities for persons of low and moderate income in the coastal zone. Environmental Justice is defined as the fair treatment of people of all races, cultures, and incomes with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations and policies.

E. Exhibits:

EXHIBIT A--Applicable CEX and related Building Permits

EXHIBIT B—605 Westminster ZIMAS Info

EXHIBIT C—607 Westminster ZIMAS Info

EXHIBIT D—Case for Historic Preservation Review for 605-607 Westminster

EXHIBIT E—605 Westminster Building Permit Listing as of May 2, 2017

EXHIBIT F—607 Westminster Building Permit Listing as of May 2, 2017

EXHIBIT G—605-607 Westminster Building Permits with No Coastal Clearance

EXHIBIT H—VSO for 605 Westminster

EXHIBIT I—607 Westminster Units D&E—Permit Removed from ZIMAS

EXHIBIT J—Marketing Materials

EXHIBIT K--SurveyLA & History of Property

RECEIVED
South Coast Region

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
200 OCEANGATE, 10TH FLOOR
LONG BEACH, CA 90802-4416
VOICE (562) 590-5071 FAX (562) 590-5084

MAY 03 2017

**CALIFORNIA
COASTAL COMMISSION**



APPEAL FROM COASTAL PERMIT DECISION OF LOCAL GOVERNMENT

Please Review Attached Appeal Information Sheet Prior To Completing This Form.

SECTION I. Appellant(s)

Name: see separate sheet

Mailing Address:

City:

Zip Code:

Phone:

SECTION II. Decision Being Appealed

1. Name of local/port government:

Los Angeles

2. Brief description of development being appealed:

Five permits wrongly issued as CEX for various work bing done on two properties.
See attached sheet.

3. Development's location (street address, assessor's parcel no., cross street, etc.):

605-607 Westminster Avenue, Venice, CA 90291
4239019037 ; 4239019038 ; Sxth Avenue

4. Description of decision being appealed (check one.):

- Approval; no special conditions
- Approval with special conditions:
- Denial

Note: For jurisdictions with a total LCP, denial decisions by a local government cannot be appealed unless the development is a major energy or public works project. Denial decisions by port governments are not appealable.

<u>TO BE COMPLETED BY COMMISSION:</u>	
APPEAL NO:	A-S-VEN-17-0023
DATE FILED:	May 3, 2017
DISTRICT:	South Coast

APPEAL FROM COASTAL PERMIT DECISION OF LOCAL GOVERNMENT (Page 2)

5. Decision being appealed was made by (check one):

- Planning Director/Zoning Administrator
- City Council/Board of Supervisors
- Planning Commission
- Other

6. Date of local government's decision: 30 March 2017

7. Local government's file number (if any): DIR-2017-1289-CEX

SECTION III. Identification of Other Interested Persons

Give the names and addresses of the following parties. (Use additional paper as necessary.)

a. Name and mailing address of permit applicant:

Kimberlina Whettam, 241 S. Figueroa Street #370, LA, CA 90012

b. Names and mailing addresses as available of those who testified (either verbally or in writing) at the city/county/port hearing(s). Include other parties which you know to be interested and should receive notice of this appeal.

(1) There were no hearings because of incorrect permit process.

(2)

(3)

(4)

IV. REASONS FOR APPEAL—for each of the 5 CEX's for 605-607 Westminster, a Unified Development

A. CEX'S filed on March 30, 2017:

DIR-2017-1289-CEX

605 Westminster, buildings A & B

Replace windows, replace drywall, kitchen and bathroom remodel, reroof, add sill plate anchor bolts and cripple wall plywood.

DIR-2017-1308-CEX

607 Westminster, building A

Reroof with shingles and repair foundation.

DIR-2017-1310-CEX

607 Westminster, building B

Reroof to replace roof shingles and repair foundation.

DIR-2017-1313-CEX

607 Westminster, building D

Replace windows (4), replace drywall, kitchen and bathroom remodel, reroof and foundation repair.

DIR-2017-1314-CEX

607 Westminster, building E

Replace windows, replace drywall, interior kitchen and bathroom remodel, add sill plate anchor bolts and cripple wall plywood, remove and replace 17 linear feet of exterior wall, remove and replace the roof.

B. Background:

For purposes of CEQA and the Coastal Act, the definition of environment includes resources of "historic or aesthetic significance."

The Coastal Act Legislative Findings and Declarations states (in part):

"The permanent protection of the state's natural and scenic resources is a paramount concern to present and future residents of the state and nation."

The basic goals of the State for the Coastal Zone include a goal to "protect, maintain and where feasible, enhance and restore the overall quality of the coastal zone environment and its natural and artificial resources."

The National Historic Preservation Act sets forth a program to carry out the national policy for protecting America's historic and cultural resources. The State assists local entities in historic preservation, and cities have the authority under their general police power to protect property of historical and aesthetic significance. Local regulation of landmarks and historic districts falls within the scope of permissible government objectives.

Except for work that is strictly interior remodeling, a Coastal Clearance is required for construction work/development in the Coastal Zone in order to obtain a building permit. There are two types of Coastal Clearances: a Coastal Development Permit and a Coastal Exemption. Coastal Exemptions are generally allowed when less than 50% of the structure is being demolished and if the project does not involve a risk of adverse environmental effect, or does not adversely affect public access, or does not involve a change in use, as defined. Otherwise, a Coastal Development Permit is required.

The City Planners erred and abused their discretion by granting the CEX permits improperly. In addition, the LADBS officials erred and abused their discretion in issuing numerous Building Permits without any Coastal Clearances. We are appealing also because of the piecemeal manner in which the permits were issued for the work being done. As indicated in the related VSO (see Exhibit H), the work done entailed both interior and exterior construction, including window replacement, roofing, remodels to various parts of building. However, the 8 bungalows are part of a single property, a Unified Development, and application for a single coastal permit for the full extent of the work should have been made. Had the city done that, it would have been apparent that the work was extensive enough to require a CDP and an appropriate CEQA review. A historical property is not eligible for an exemption from CEQA or a Coastal Exemption.

For this case, the City Planning Assistant (acting on behalf of the City Planning Director) was derelict in their duty in issuing these CEX permits as they did not make a determination (or made an erroneous determination) that "a Coastal Development Permit is not required for the described project based on the fact that it does not involve a risk of adverse environmental effect." There IS in fact a risk of adverse environmental effect, due to the historic significance of the property and the nature of the work being done, as further detailed below. It is not clear whether the City Planning Assistants who are assigned to approve Coastal Exemptions have been properly trained in determining whether there is a risk of adverse environmental effect. In addition, the work being done exceeded the work as described on the building permits issued.

It appears obvious that the overall work done over the past 12-18 months was piecemealed in order to avoid processing the project with a proper Coastal Clearance. The prior owner submitted the permits on a piecemeal basis, by unit (for each of the 8 units) and by type of work done; for example, for each one of the 8 units there are individual building permits for each of the following: the roof, the foundation, bathroom and kitchen "remodel," replacing the drywall, re-stuccoing, the plumbing, the electrical, and so on. There is also a permit to convert a duplex to a SFD, and a second story was added to the 605 Westminster front building, both of which require a CDP. At least 46 Building Permits were issued for what should have been one overall project, requiring a CDP for a Coastal Clearance. Some of these Building Permits were covered by the Coastal Exemptions at issue, but work under numerous Building Permits still have no Coastal Clearance and must obtain the proper after-the-fact Coastal permits. See Exhibit G for the Building Permits not covered by the Coastal Exemptions at issue in this appeal. Instead, work that constitutes development was done at this 2-lot site, Bungalow Court with significant historic ties, without any Coastal Clearances, and this work undermines the historical integrity of the property. This work also far exceeds what is permitted by the building permits that they were obtained online or over the counter on a piecemeal basis.

In addition, it should be noted that when the majority of the work was being done, there were NO PERMITS POSTED anywhere at the site. Two separate parties verified this.

Also, an application is pending for this property for Historic Cultural status with the City. See Exhibit D. A CEX cannot be issued due to this pending historic analysis, as the project DOES involve a risk of adverse environmental effect and thus is an exception to qualification for a Coastal Exemption, as per

the Coastal Act Section 30610. In addition, as per the City's zoning policies:

The Historic District and Contributing properties are presumed to be historical resources under the California Environmental Quality Act (Section 21084.1 of the CEQA Statute and Section 15064.5 of the CEQA Guidelines). Any proposed new development project that requires discretionary project approvals, such as a Coastal Development Permit, will trigger review under CEQA and a thorough investigation and analysis of project impacts to historical resources.

- Demolition of a Contributing building is a significant impact to a historical resource.
- New construction that is compatible with Contributing buildings and meets the Secretary of the Interior's Standards for the Treatment of Historic Properties is not a significant impact to a historical resource.
- "Not Sure" properties must be evaluated to determine if they are Contributors or Non-Contributors before project impacts can be assessed.

Not only did this applicant process this work with the City on a piecemeal basis instead of as one project for this entire Bungalow Court, violations of both the Coastal Act and CEQA, but they are using over the counter or internet permits. No one knows better than long-time inspector Bob Dunn that Coastal Clearance via either a CDP or a CEX is required for this kind of work in the Coastal Zone. This piecemealing of the work and related permits and the lack of proper Coastal Clearances should have been caught by the LADBS Inspector. There is a clear problem with checks and balances within LADBS. Also, for many of the Building Permits, the same inspector is processing and issuing the permits and doing the inspections.

C. Pertinent sections of the Certified* Venice Local Coastal Program Land Use Plan:

***the Coastal Commission has certified that the Venice Land Use Plan is in compliance and conformance with the California Coastal Act of 1976**

Chapter II. Land Use Plan Policies, Policy Group I. Locating and Planning New Development/Coastal Visual Resources and Special Communities,

Preservation of Venice as a Special Coastal Community:

Policy I. E. 1. General: Venice's unique social and architectural diversity should be protected as a Special Coastal Community* pursuant to Chapter 3 of the California Coastal Act of 1976.

*** Chapter I. Introduction, Definitions of "Special Coastal Community": An area recognized as an important visitor destination center on the coastline, *characterized by a particular cultural, historical, or architectural heritage that is distinctive*, provides opportunities for pedestrian and bicycle access for visitors to the coast, and adds to the visual attractiveness of the coast.**

Preservation of Cultural Resources

Policy I. F. 1. Historic and Cultural Resources.

The historical, architectural and cultural character of structures and landmarks in Venice should be identified, protected and restored.....

Policy I. F. 2. Reuse and Renovation of Historic Structures.

Wherever possible, the adaptive reuse and renovation of existing historic structures shall be encouraged so as to preserve the harmony and integrity of historic buildings identified in this LUP.

This means:

a. Renovating building facades to reflect their historic character as closely as possible, and discouraging alterations to create an appearance inconsistent with the actual character of the buildings.

- b. Protecting rather than demolishing historic or culturally significant properties by finding compatible uses which may be housed in them that require a minimum alteration to the historic character of the structure and its environment.
- c. Rehabilitation shall not destroy the distinguishing feature or character of the property and its environment and removal or alteration of historical architectural features shall be minimized.
- d. The existing character of building/house spaces and setbacks shall be maintained.
- e. *The existing height, bulk and massing which serves as an important characteristic of the resource shall be retained.*

D. Issues:

On March 30, 2017, five coastal exemptions were issued for the property at 605-607 Westminster. No local specific plan permit compliance review was done and no local city permit was issued before granting the CEX permits.

The property, a double lot with 8 original bungalows was acquired by Irvin Tabor in 1916 and housed his extended family who were settling in Venice from Louisiana to work at the Venice Pier owned by Abbot Kinney.

The property is identified as a Contributor in SurveyLA: "May be a rare example of a property associated with Venice founder Abbot Kinney, and/or Kinney's chauffeur Irving Tabor, an important early black resident of Venice. ... more research is needed to confirm these associations; therefore, the evaluation could not be completed." More research has been done and the association with Irvin [sic] Tabor is confirmed. The property is under consideration for Historic Cultural Monument status by the City of L.A. Office of Historic Resources.

We are very concerned, as a great deal of construction work has been done to identify the history and condition of the property. Work was stopped because work being done was outside the limits of the building permits and because of the historic significance. The City's issuance of the five CEX permits prevented a full inspection of the work done thus far and to protect it from any further degradation of its historic significance. It needs the review to determine the Findings required of a CDP, as should be done for any historic structure. And it needs to be done immediately before we lose the piece of important Venice history.

Any determination made in the Coastal Zone must be made in the context of the Coastal Act. It is nonsensical and erroneous to say that as long as 50% or more of the existing structure is not removed, replaced or demolished that historic and visual coastal resources can be destroyed, which would cause a significant adverse cumulative impact, and that nothing can be done to stop this. This is contrary to the Coastal Act, which states that "permanent protection of the state's natural and scenic resources is a paramount concern...", that these coastal resources are "of vital and enduring interest..." and that "the Coastal Act is to be liberally construed to accomplish its purposes and objectives." Given that, the CEX process should have procedures that would avoid a significant adverse cumulative impact to coastal resources. The Coastal Commission must not allow actions that would harm its own designation of Venice as a Special Coastal Community, which in this case would be allowing changes to historic coastal resources to be processed with no protections or mitigations to avoid the risks of significant adverse cumulative environmental impacts. That is contrary to the Commission's mandate and mission and to the spirit of the Coastal Act.

The CEX decision must not be made in a vacuum but rather in the context of the Coastal Zone and the Coastal Act. If the result of the CEX decision is materially contrary to the intent of the Coastal Act, something is wrong...the law has been interpreted incorrectly or the process implemented erroneously. The result must be reasonable in light of the intent of the coastal law.

An erroneous interpretation and decision on this case will cause an accelerated adverse cumulative impact. The project is not exempt development until a determination is made that it is exempt, and that determination is based on certain requirements in the Coastal Act. It is clear that the Commission cannot make a decision on a matter in the Coastal Zone without consideration of the Coastal Act, as its requirements must be the basis for that decision, including consideration of cumulative impact.

If this CEX is upheld, as soon as word gets out this new scheme will result in a massive "gold rush," with developers finding many creative ways to say they will keep 50% of the existing structure, which will buy them the ability to add unlimited square footage, with the only constraints being the City's uncertified codes for setbacks and height. It will be particularly easy when the existing house is small, as many of the existing older Venice homes are. In fact, it will be possible to have significantly larger structures than would be approved in a CDP process that requires Findings for conformance with the Coastal Act and to its Certified Venice Land Use Plan guidance, including the requirement for compatibility with mass, scale and character.

The Commission must be consistent with its prior actions for numerous Substantial Issue decisions and related determining factors. In April 2016, Coastal Staff issued a Staff Reports for: A-5-VEN-16-0005, A-5-VEN-16-0006, A-5-VEN-16-00019, A-5-VEN-16-00020, A-5-VEN-16-00021, 5-VEN-16-00027, A-5-VEN-16-0028, A-5-VEN-16-0029, A-5-VEN-16-0031, and A-5-VEN-16-0034.

With respect to the Substantial Issue determining factor for "Significance of the Coastal Resources Affected," the above-mentioned ten (10) April 2016 Staff Reports concluded that: "The coastal resource that is affected by these locally approved projects is community character, which is significant in Venice...Community character issues are particularly important in Venice...the erosion of community character is a cumulative issue, and the City's cumulative exemption ofhas a significant impact on Venice's visual character," as well as on its designation as a Special Coastal Community."

In addition, because the overall project was not properly processed as a CDP, there was no Mello Act Compliance Review. The property is covered by the Rent Stabilization Ordinance (see Exhibits B and C), and due to this fact as well as the small size of the units and the poor condition prior to renovations, it is likely that the units would be determined to be Replacement Affordable Units and thus upon any major demolition/development or conversion would need to be replaced on a one-for-one basis, with a tenants' rights to return. This analysis must be performed.

Recent Coastal Act changes resulting from the passage of AB 2616 provide for consideration of environmental justice when acting on a coastal development permit. The legislature has found and declared that it is important for the commission to encourage the protection of existing and the provision of new affordable housing opportunities for persons of low and moderate income in the coastal zone. Environmental Justice is defined as the fair treatment of people of all races, cultures, and incomes with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations and policies.

E. Exhibits:

EXHIBIT A--Applicable CEX and related Building Permits

EXHIBIT B—605 Westminster ZIMAS Info

EXHIBIT C—607 Westminster ZIMAS Info

EXHIBIT D—Case for Historic Preservation Review for 605-607 Westminster

EXHIBIT E—605 Westminster Building Permit Listing as of May 2, 2017

EXHIBIT F—607 Westminster Building Permit Listing as of May 2, 2017

EXHIBIT G—605-607 Westminster Building Permits with No Coastal Clearance

EXHIBIT H—VSO for 605 Westminster

EXHIBIT I—607 Westminster Units D&E—Permit Removed from ZIMAS

EXHIBIT J—Marketing Materials

EXHIBIT K--SurveyLA & History of Property

RECEIVED
South Coast Region

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE

200 OCEANGATE, 10TH FLOOR

LONG BEACH, CA 90802-4416

VOICE (562) 590-5071 FAX (562) 590-5084

MAY 03 2017

**CALIFORNIA
COASTAL COMMISSION**



APPEAL FROM COASTAL PERMIT DECISION OF LOCAL GOVERNMENT

Please Review Attached Appeal Information Sheet Prior To Completing This Form.

SECTION I. Appellant(s)

Name: see separate sheet

Mailing Address:

City:

Zip Code:

Phone:

SECTION II. Decision Being Appealed

1. Name of local/port government:

Los Angeles

2. Brief description of development being appealed:

Five permits wrongly issued as CEX for various work bing done on two properties.
See attached sheet.

3. Development's location (street address, assessor's parcel no., cross street, etc.):

605-607 Westminster Avenue, Venice, CA 90291
4239019037 ; 4239019038 ; Sxth Avenue

4. Description of decision being appealed (check one.):

Approval; no special conditions

Approval with special conditions:

Denial

Note: For jurisdictions with a total LCP, denial decisions by a local government cannot be appealed unless the development is a major energy or public works project. Denial decisions by port governments are not appealable.

TO BE COMPLETED BY COMMISSION:

APPEAL NO:

A-5-VEN-17-0024

DATE FILED:

May 3, 2017

DISTRICT:

South Coast

APPEAL FROM COASTAL PERMIT DECISION OF LOCAL GOVERNMENT (Page 2)

5. Decision being appealed was made by (check one):

- Planning Director/Zoning Administrator
- City Council/Board of Supervisors
- Planning Commission
- Other

6. Date of local government's decision: 30 March 2017

7. Local government's file number (if any): DIR-2017-1289-CEX

SECTION III. Identification of Other Interested Persons

Give the names and addresses of the following parties. (Use additional paper as necessary.)

a. Name and mailing address of permit applicant:

Kimberlina Whettam, 241 S. Figueroa Street #370, LA, CA 90012

b. Names and mailing addresses as available of those who testified (either verbally or in writing) at the city/county/port hearing(s). Include other parties which you know to be interested and should receive notice of this appeal.

(1) There were no hearings because of incorrect permit process.

(2)

(3)

(4)

IV. REASONS FOR APPEAL—for each of the 5 CEX's for 605-607 Westminster, a Unified Development

A. CEX'S filed on March 30, 2017:

DIR-2017-1289-CEX

605 Westminster, buildings A & B

Replace windows, replace drywall, kitchen and bathroom remodel, reroof, add sill plate anchor bolts and cripple wall plywood.

DIR-2017-1308-CEX

607 Westminster, building A

Reroof with shingles and repair foundation.

DIR-2017-1310-CEX

607 Westminster, building B

Reroof to replace roof shingles and repair foundation.

DIR-2017-1313-CEX

607 Westminster, building D

Replace windows (4), replace drywall, kitchen and bathroom remodel, reroof and foundation repair.

DIR-2017-1314-CEX

607 Westminster, building E

Replace windows, replace drywall, interior kitchen and bathroom remodel, add sill plate anchor bolts and cripple wall plywood, remove and replace 17 linear feet of exterior wall, remove and replace the roof.

B. Background:

For purposes of CEQA and the Coastal Act, the definition of environment includes resources of "historic or aesthetic significance."

The Coastal Act Legislative Findings and Declarations states (in part):

"The permanent protection of the state's natural and scenic resources is a paramount concern to present and future residents of the state and nation."

The basic goals of the State for the Coastal Zone include a goal to "protect, maintain and where feasible, enhance and restore the overall quality of the coastal zone environment and its natural and artificial resources."

The National Historic Preservation Act sets forth a program to carry out the national policy for protecting America's historic and cultural resources. The State assists local entities in historic preservation, and cities have the authority under their general police power to protect property of historical and aesthetic significance. Local regulation of landmarks and historic districts falls within the scope of permissible government objectives.

Except for work that is strictly interior remodeling, a Coastal Clearance is required for construction work/development in the Coastal Zone in order to obtain a building permit. There are two types of Coastal Clearances: a Coastal Development Permit and a Coastal Exemption. Coastal Exemptions are generally allowed when less than 50% of the structure is being demolished and if the project does not involve a risk of adverse environmental effect, or does not adversely affect public access, or does not involve a change in use, as defined. Otherwise, a Coastal Development Permit is required.

The City Planners erred and abused their discretion by granting the CEX permits improperly. In addition, the LADBS officials erred and abused their discretion in issuing numerous Building Permits without any Coastal Clearances. We are appealing also because of the piecemeal manner in which the permits were issued for the work being done. As indicated in the related VSO (see Exhibit H), the work done entailed both interior and exterior construction, including window replacement, roofing, remodels to various parts of building. However, the 8 bungalows are part of a single property, a Unified Development, and application for a single coastal permit for the full extent of the work should have been made. Had the city done that, it would have been apparent that the work was extensive enough to require a CDP and an appropriate CEQA review. A historical property is not eligible for an exemption from CEQA or a Coastal Exemption.

For this case, the City Planning Assistant (acting on behalf of the City Planning Director) was derelict in their duty in issuing these CEX permits as they did not make a determination (or made an erroneous determination) that "a Coastal Development Permit is not required for the described project based on the fact that it does not involve a risk of adverse environmental effect." There IS in fact a risk of adverse environmental effect, due to the historic significance of the property and the nature of the work being done, as further detailed below. It is not clear whether the City Planning Assistants who are assigned to approve Coastal Exemptions have been properly trained in determining whether there is a risk of adverse environmental effect. In addition, the work being done exceeded the work as described on the building permits issued.

It appears obvious that the overall work done over the past 12-18 months was piecemealed in order to avoid processing the project with a proper Coastal Clearance. The prior owner submitted the permits on a piecemeal basis, by unit (for each of the 8 units) and by type of work done; for example, for each one of the 8 units there are individual building permits for each of the following: the roof, the foundation, bathroom and kitchen "remodel," replacing the drywall, re-stuccoing, the plumbing, the electrical, and so on. There is also a permit to convert a duplex to a SFD, and a second story was added to the 605 Westminster front building, both of which require a CDP. At least 46 Building Permits were issued for what should have been one overall project, requiring a CDP for a Coastal Clearance. Some of these Building Permits were covered by the Coastal Exemptions at issue, but work under numerous Building Permits still have no Coastal Clearance and must obtain the proper after-the-fact Coastal permits. See Exhibit G for the Building Permits not covered by the Coastal Exemptions at issue in this appeal. Instead, work that constitutes development was done at this 2-lot site, Bungalow Court with significant historic ties, without any Coastal Clearances, and this work undermines the historical integrity of the property. This work also far exceeds what is permitted by the building permits that they were obtained online or over the counter on a piecemeal basis.

In addition, it should be noted that when the majority of the work was being done, there were NO PERMITS POSTED anywhere at the site. Two separate parties verified this.

Also, an application is pending for this property for Historic Cultural status with the City. See Exhibit D. A CEX cannot be issued due to this pending historic analysis, as the project DOES involve a risk of adverse environmental effect and thus is an exception to qualification for a Coastal Exemption, as per

the Coastal Act Section 30610. In addition, as per the City's zoning policies:

The Historic District and Contributing properties are presumed to be historical resources under the California Environmental Quality Act (Section 21084.1 of the CEQA Statute and Section 15064.5 of the CEQA Guidelines). Any proposed new development project that requires discretionary project approvals, such as a Coastal Development Permit, will trigger review under CEQA and a thorough investigation and analysis of project impacts to historical resources.

- Demolition of a Contributing building is a significant impact to a historical resource.
- New construction that is compatible with Contributing buildings and meets the Secretary of the Interior's Standards for the Treatment of Historic Properties is not a significant impact to a historical resource.
- "Not Sure" properties must be evaluated to determine if they are Contributors or Non-Contributors before project impacts can be assessed.

Not only did this applicant process this work with the City on a piecemeal basis instead of as one project for this entire Bungalow Court, violations of both the Coastal Act and CEQA, but they are using over the counter or internet permits. No one knows better than long-time inspector Bob Dunn that Coastal Clearance via either a CDP or a CEX is required for this kind of work in the Coastal Zone. This piecemealing of the work and related permits and the lack of proper Coastal Clearances should have been caught by the LADBS Inspector. There is a clear problem with checks and balances within LADBS. Also, for many of the Building Permits, the same inspector is processing and issuing the permits and doing the inspections.

C. Pertinent sections of the Certified* Venice Local Coastal Program Land Use Plan:

***the Coastal Commission has certified that the Venice Land Use Plan is in compliance and conformance with the California Coastal Act of 1976**

Chapter II. Land Use Plan Policies, Policy Group I. Locating and Planning New Development/Coastal Visual Resources and Special Communities,

Preservation of Venice as a Special Coastal Community:

Policy I. E. 1. General: Venice's unique social and architectural diversity should be protected as a Special Coastal Community* pursuant to Chapter 3 of the California Coastal Act of 1976.

*** Chapter I. Introduction, Definitions of "Special Coastal Community": An area recognized as an important visitor destination center on the coastline, *characterized by a particular cultural, historical, or architectural heritage that is distinctive*, provides opportunities for pedestrian and bicycle access for visitors to the coast, and adds to the visual attractiveness of the coast.**

Preservation of Cultural Resources

Policy I. F. 1. Historic and Cultural Resources.

The historical, architectural and cultural character of structures and landmarks in Venice should be identified, protected and restored.....

Policy I. F. 2. Reuse and Renovation of Historic Structures.

Wherever possible, the adaptive reuse and renovation of existing historic structures shall be encouraged so as to preserve the harmony and integrity of historic buildings identified in this LUP.

This means:

a. Renovating building facades to reflect their historic character as closely as possible, and discouraging alterations to create an appearance inconsistent with the actual character of the buildings.

- b. Protecting rather than demolishing historic or culturally significant properties by finding compatible uses which may be housed in them that require a minimum alteration to the historic character of the structure and its environment.
- c. Rehabilitation shall not destroy the distinguishing feature or character of the property and its environment and removal or alteration of historical architectural features shall be minimized.
- d. The existing character of building/house spaces and setbacks shall be maintained.
- e. *The existing height, bulk and massing which serves as an important characteristic of the resource shall be retained.*

D. Issues:

On March 30, 2017, five coastal exemptions were issued for the property at 605-607 Westminster. No local specific plan permit compliance review was done and no local city permit was issued before granting the CEX permits.

The property, a double lot with 8 original bungalows was acquired by Irvin Tabor in 1916 and housed his extended family who were settling in Venice from Louisiana to work at the Venice Pier owned by Abbot Kinney.

The property is identified as a Contributor in SurveyLA: "May be a rare example of a property associated with Venice founder Abbot Kinney, and/or Kinney's chauffeur Irving Tabor, an important early black resident of Venice. ... more research is needed to confirm these associations; therefore, the evaluation could not be completed." More research has been done and the association with Irvin [sic] Tabor is confirmed. The property is under consideration for Historic Cultural Monument status by the City of L.A. Office of Historic Resources.

We are very concerned, as a great deal of construction work has been done to identify the history and condition of the property. Work was stopped because work being done was outside the limits of the building permits and because of the historic significance. The City's issuance of the five CEX permits prevented a full inspection of the work done thus far and to protect it from any further degradation of its historic significance. It needs the review to determine the Findings required of a CDP, as should be done for any historic structure. And it needs to be done immediately before we lose the piece of important Venice history.

Any determination made in the Coastal Zone must be made in the context of the Coastal Act. It is nonsensical and erroneous to say that as long as 50% or more of the existing structure is not removed, replaced or demolished that historic and visual coastal resources can be destroyed, which would cause a significant adverse cumulative impact, and that nothing can be done to stop this. This is contrary to the Coastal Act, which states that "permanent protection of the state's natural and scenic resources is a paramount concern...", that these coastal resources are "of vital and enduring interest..." and that "the Coastal Act is to be liberally construed to accomplish its purposes and objectives." Given that, the CEX process should have procedures that would avoid a significant adverse cumulative impact to coastal resources. The Coastal Commission must not allow actions that would harm its own designation of Venice as a Special Coastal Community, which in this case would be allowing changes to historic coastal resources to be processed with no protections or mitigations to avoid the risks of significant adverse cumulative environmental impacts. That is contrary to the Commission's mandate and mission and to the spirit of the Coastal Act.

The CEX decision must not be made in a vacuum but rather in the context of the Coastal Zone and the Coastal Act. If the result of the CEX decision is materially contrary to the intent of the Coastal Act, something is wrong...the law has been interpreted incorrectly or the process implemented erroneously. The result must be reasonable in light of the intent of the coastal law.

An erroneous Interpretation and decision on this case will cause an accelerated adverse cumulative Impact. The project is not exempt development until a determination is made that it is exempt, and that determination is based on certain requirements in the Coastal Act. It is clear that the Commission cannot make a decision on a matter in the Coastal Zone without consideration of the Coastal Act, as it's requirements must be the basis for that decision, including consideration of cumulative impact.

If this CEX is upheld, as soon as word gets out this new scheme will result in a massive "gold rush," with developers finding many creative ways to say they will keep 50% of the existing structure, which will buy them the ability to add unlimited square footage, with the only constraints being the City's uncertified codes for setbacks and height. It will be particularly easy when the existing house is small, as many of the existing older Venice homes are. In fact, it will be possible to have significantly larger structures than would be approved in a CDP process that requires Findings for conformance with the Coastal Act and to its Certified Venice Land Use Plan guidance, including the requirement for compatibility with mass, scale and character.

The Commission must be consistent with its prior actions for numerous Substantial Issue decisions and related determining factors. In April 2016, Coastal Staff issued a Staff Reports for: A-5-VEN-16-0005, A-5-VEN-16-0006, A-5-VEN-16-00019, A-5-VEN-16-00020, A-5-VEN-16-00021, 5-VEN-16-00027, A-5-VEN-16-0028, A-5-VEN-16-0029, A-5-VEN-16-0031, and A-5-VEN-16-0034.

With respect to the Substantial Issue determining factor for "Significance of the Coastal Resources Affected," the above-mentioned ten (10) April 2016 Staff Reports concluded that: "The coastal resource that is affected by these locally approved projects is community character, which is significant in Venice...Community character issues are particularly important in Venice...the erosion of community character is a cumulative issue, and the City's cumulative exemption ofhas a significant impact on Venice's visual character," as well as on its designation as a Special Coastal Community."

In addition, because the overall project was not properly processed as a CDP, there was no Mello Act Compliance Review. The property is covered by the Rent Stabilization Ordinance (see Exhibits B and C), and due to this fact as well as the small size of the units and the poor condition prior to renovations, it is likely that the units would be determined to be Replacement Affordable Units and thus upon any major demolition/development or conversion would need to be replaced on a one-for-one basis, with a tenants' rights to return. This analysis must be performed.

Recent Coastal Act changes resulting from the passage of AB 2616 provide for consideration of environmental justice when acting on a coastal development permit. The legislature has found and declared that it is important for the commission to encourage the protection of existing and the provision of new affordable housing opportunities for persons of low and moderate income in the coastal zone. Environmental Justice is defined as the fair treatment of people of all races, cultures, and incomes with respect to the development, adoption, implementation, and enforcement of environmental laws, regulations and policies.

E. Exhibits:

EXHIBIT A--Applicable CEX and related Building Permits

EXHIBIT B—605 Westminster ZIMAS Info

EXHIBIT C—607 Westminster ZIMAS Info

EXHIBIT D—Case for Historic Preservation Review for 605-607 Westminster

EXHIBIT E—605 Westminster Building Permit Listing as of May 2, 2017

EXHIBIT F—607 Westminster Building Permit Listing as of May 2, 2017

EXHIBIT G—605-607 Westminster Building Permits with No Coastal Clearance

EXHIBIT H—VSO for 605 Westminster

EXHIBIT I—607 Westminster Units D&E—Permit Removed from ZIMAS

EXHIBIT J—Marketing Materials

EXHIBIT K--SurveyLA & History of Property

ZIMAS

Search

Reports

Resources

News

Help

605 E WESTMINSTER AVE

Font: A A

Address/Logs	
File Address	605 E WESTMINSTER AVE
ZIP Code	90021
PIN Number	108B145 468
Lot/Parcel Area (Calculated)	5,205.8 (sq ft) ✓
Thomas Brothers Grid	PAGE 671 - GRID H5
Assessor Parcel No. (APN)	4239019038
Tract	OCEAN PARK VILLA TRACT
Map Reference	M 8 4-23
Block	L
Lot	44
Arp (Lot Cut Reference)	None
Map Sheet	108B145

Jurisdictional

Planning and Zoning

Assessor

Assessor Parcel No. (APN) 4239019038

Ownership (Assessor)

Owner1

Address

Ownership (Bureau of Engineering - Land Records)

Owner

Address

APN Area (Co. Public Works)* 0.119 (ac)

Use Code 0400 - Residential - Four Units (Any Combination) - 4 Stories or Less

Assessed Land Val \$2,413,000

Assessed Improvement Val \$300,000

Last Owner Change 12/02/2018

Last Sale Amount \$2,713,027

Tax Rate Area 67

Deed Ref No. (City Clerk) 718334

Deed Ref No. (City Clerk) 538360

Deed Ref No. (City Clerk) 3358294

Deed Ref No. (City Clerk) 306300.1

Deed Ref No. (City Clerk) 2873034

Deed Ref No. (City Clerk) 2705577

Deed Ref No. (City Clerk) 2705576

Deed Ref No. (City Clerk) 2705575

Deed Ref No. (City Clerk) 2705574

Deed Ref No. (City Clerk) 2705573

Deed Ref No. (City Clerk) 1521344

Deed Ref No. (City Clerk) 1461279

Deed Ref No. (City Clerk) 1461278

Deed Ref No. (City Clerk) 1448853.5

Deed Ref No. (City Clerk) 1351063

Deed Ref No. (City Clerk) 118003

Building 1

Year Built 1925

Building Class D6B

Number of Units 1

Number of Bedrooms 2 ✓

Number of Bathrooms 1 ✓

Building Square Footage 1,188.0 (sq ft)

Building 2

Year Built 1926

Building Class D6

Number of Units 2

Number of Bedrooms 2 ✓

Number of Bathrooms 2 ✓

Building Square Footage 872.0 (sq ft)

Building 3

Year Built 1924

Building Class D66B

Number of Units 1

Number of Bedrooms 0

Number of Bathrooms 1 ✓

Building Square Footage 354.0 (sq ft)

Building 4 No data for building 4

Building 5 No data for building 5

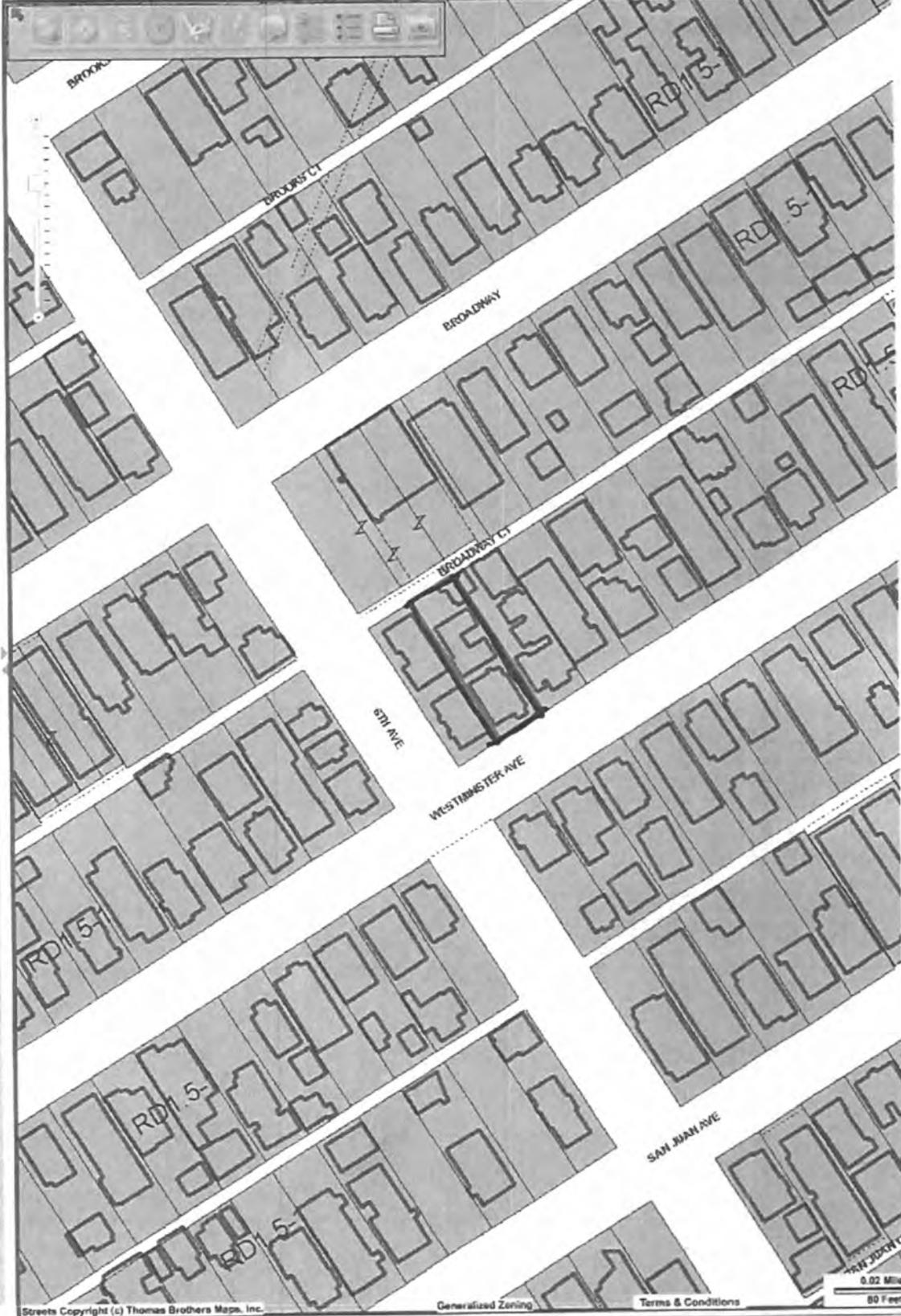
Case Numbers

Citywide/Code Amendment Cases

Additional

Seismic Hazards

Economic Development Areas



Handwritten note: 2 UNITS

ZIMAS

Search

Reports

Resources

News

605 E WESTMINSTER AVE Font: A A A

Address/Legal

Site Address	605 E WESTMINSTER AVE
ZIP Code	92291
PN Number	108D145 408
Lot/Parcel Area (Calculated)	5,205.8 (sq ft)
Thomas Brothers Grid	PAGE 671 - GRID H5
Assessor Parcel No. (APN)	4236019008
Tract	OCEAN PARK VILLA TRACT
Map Reference	M B 4-23
Block	L
Lot	44
Arb (Lot Cut Reference)	None
Map Sheet	108D145

Jurisdictional

Planning and Zoning

Special Notes	None
Zoning	RD1.5-1
Zoning Information (ZI)	ZI 2452 Transit Priority Area of the City of Los Angeles
Zoning Information (ZI)	ZI 2408 Director's Interpretation of the Yarnes SP for Small Lot Subdivisions
General Plan Land Use	Low Medium II Residential
General Plan Footnote(s)	Yes
Hillside Area (Zoning Code)	No
Specific Plan Area	Los Angeles Coastal Transportation Corridor
Specific Plan Area	Venice Coastal Zone
Historic Preservation Review	No
HistoricPlacesLA	None
CCO: Community Design Overlay	None
CPIO: Community Plan Imp Overlay	None
District	None
Subarea	None
CUGU: Clean Up-Green Up	None
NSO: Neighborhood Stabilization Overlay	No
POO: Pedestrian Oriented Districts	None
SN: Sign District	No
Streetscape	No
Adaptive Reuse Incentive Area	None
Elite Act Property	No
Rent Stabilization Ordinance (RSO)	Yes
CRA - Community Redevelopment Agency	None
Central City Parking	No
Downtown Parking	No
Building Line	None
500 Ft School Zone	No
500 Ft Park Zone	No

Assessor

Case Numbers

Recent Activity	DIR-2008-4703-D1	✓
Recent Activity	DIR-2017-1289-CEX	✓
Recent Activity	CHC-2017-1745-HCM	
Recent Activity	ENV-2017-1746-CE	✓
City Planning Commission	CPC-2005-8253-CA	
City Planning Commission	CPC-2009-4048-CA	
City Planning Commission	CPC-1998-1194-CP	
City Planning Commission	CPC-1987-648-ICQ	
City Planning Commission	CPC-1986-824-CPC	
City Planning Commission	CPC-1984-226-SP	
City Planning Commission	CPC-12582	
Ordinance	ORD-175694	
Ordinance	ORD-175693	
Ordinance	ORD-172897	
Ordinance	ORD-172019	
Ordinance	ORD-168999	
Ordinance	ORD-164844-SA1810	
Ordinance	ORD-121312	
Director of Planning	DIR 2014-2824-DI	
Environmental	ENV-2005-8253-ND	
Environmental	ENV-2004-2891-CE	
Environmental	ENV-2002-6836-SP	
Environmental	ENV-2001-846-NQ	

Citywide/Code Amendment Cases

Additional



ZIMAS

607 E WESTMINSTER AVE

607 E WESTMINSTER AVE

Form: A A A

Address/Legal

Site Address: 607 E WESTMINSTER AVE
 ZIP Code: 90291
 PIN Number: 108B145 451
 Lot/Parcel Area (Calculated): 5,207.9 (sq ft) ✓
 Thomas Brothers Grid: PACE 671 - GRID H5
 Assessor Parcel No. (APN): 4239019037
 Tract: OCEAN PARK VILLA TRACT
 Map Reference: M B 4-23
 Block: L
 Lot: 43
 Arb (Lot Cut Reference): None
 Map Sheet: 108B145

Jurisdictional

Planning and Zoning

Assessor

Assessor Parcel No. (APN): 4239019037

Ownership (Assessor)

Owner

Address

Ownership (Bureau of Engineering, Land Records)

Owner

Address

APN Area (Co. Public Works)* 0.119 (ac)

Use Code: 0400 Residential - Four Units (Any Combination) - 4 Stories or Less

Assessed Land Val: \$2,413,000
 Assessed Improvement Val: \$300,000
 Last Owner Change: 12/02/2016
 Last Sale Amount: \$2,713,027
 Tax Rate Area: 67

Deed Ref No. (City Clerk): 718334
 Deed Ref No. (City Clerk): 3358294
 Deed Ref No. (City Clerk): 305300-1
 Deed Ref No. (City Clerk): 2873033
 Deed Ref No. (City Clerk): 2705671
 Deed Ref No. (City Clerk): 2705670
 Deed Ref No. (City Clerk): 2705669
 Deed Ref No. (City Clerk): 2705668
 Deed Ref No. (City Clerk): 2705667
 Deed Ref No. (City Clerk): 1521452
 Deed Ref No. (City Clerk): 1461282
 Deed Ref No. (City Clerk): 1461281
 Deed Ref No. (City Clerk): 1448653-56
 Deed Ref No. (City Clerk): 1351063
 Deed Ref No. (City Clerk): 118002
 Deed Ref No. (City Clerk): 114327

Building 1

Year Built: 1915
 Building Class: D55B
 Number of Units: 1
 Number of Bedrooms: 2
 Number of Bathrooms: 1
 Building Square Footage: 734.0 (sq ft)

Building 2

Year Built: 1922
 Building Class: D46B
 Number of Units: 1
 Number of Bedrooms: 1
 Number of Bathrooms: 0 ✓
 Building Square Footage: 479.0 (sq ft)

Building 3

Year Built: 1922
 Building Class: D45B
 Number of Units: 1
 Number of Bedrooms: 1
 Number of Bathrooms: 0 ✓
 Building Square Footage: 440.0 (sq ft)

Building 4

Year Built: 1921
 Building Class: D41B
 Number of Units: 1
 Number of Bedrooms: 1
 Number of Bathrooms: 1

Building 5

No data for building 5

Case Numbers

Citywide/Code Amendment Cases

Streets Copyright (c) Thomas Brothers Maps, Inc. Generalized Zoning Terms & Conditions

ZIMAS

Search

Reports

Resources

News

Help

Address/Legal

Site Address: **607 E WESTMINSTER AVE**

ZIP Code: 90221

PIN Number: 108B145 451

Lot/Parcel Area (Calculated): 5,207.9 (sq ft)

Thomas Brothers Grid: PACE 671 - GRID H5

Assessor Parcel No. (APN): 4239010037

Tract: OCEAN PARK VILLA TRACT

Map Reference: M B 4 23

Block: L

Lot: 43

Arb (Lot Cut Reference): None

Map Sheet: 108B145

Jurisdictional

Planning and Zoning

Special Notes: None

Zoning: **RD1.5-1**

Zoning Information (ZI): ZI-2406 Director's Interpretation of the Venice SP for Small Lot Subdivision

Zoning Information (ZI): ZI-2452 Transit Priority Area in the City of Los Angeles

General Plan Land Use: Low Medium Density Residential

General Plan Footnote(s): Yes

Hillside Area (Zoning Code): No

Specific Plan Area: Los Angeles Coastal Transportation Corridor

Specific Plan Area: Venice Coastal Zone

Historic Preservation Review: No

HistoricPlacesLA: View

CDD - Community Design Overlay: None

CPIO - Community Plan Imp. Overlay: None

District: None

Subarea: None

CUGU - Clean Up-Green Up: No

NSO - Neighborhood Stabilization Overlay: No

POD - Pedestrian Oriented Districts: None

SN - Sign District: No

Streetscape: No

Adaptive Reuse Incentive Area: None

Ellis Act Property: No

Rent Stabilization Ordinance (RSO): Yes

CRX - Community Redevelopment Agency: None

Central City Parking: No

Downtown Parking: No

Building Line: None

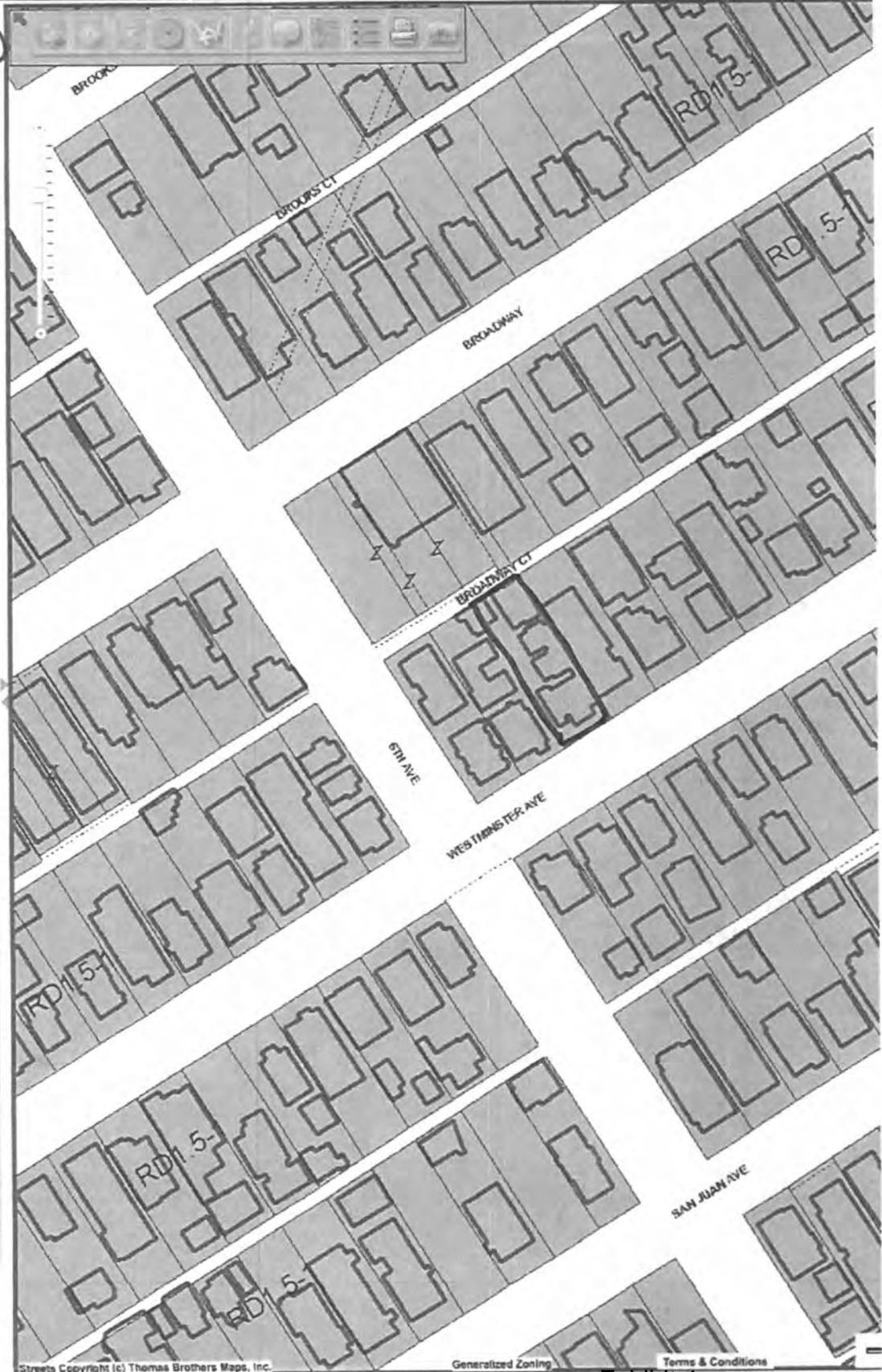
500 Ft School Zone: No

500 Ft Park Zone: No

Assessor

Case Numbers

- Recent Activity: DIR-2017-1308-CEX ✓
- Recent Activity: DIR-2017-1210-CEX ✓
- Recent Activity: DIR-2017-1313-CEX ✓
- Recent Activity: DIR-2008-4703-DI ✓
- Recent Activity: DIR-2017-1314-CEX ✓
- Recent Activity: DIR-2014-126-VSO ✓
- Recent Activity: CHC-2017-1745-HCM ✓
- Recent Activity: ENV-2017-1746-CE ✓
- City Planning Commission: CPC-2005-8252-CA ✓
- City Planning Commission: CPC-2000-4948-CA ✓
- City Planning Commission: CPC-1998-119-LCP ✓
- City Planning Commission: CPC-1997-648-ICQ ✓
- City Planning Commission: CPC-1988-824-CPC ✓
- City Planning Commission: CPC-1984-202-SP ✓
- City Planning Commission: CPC-12582 ✓
- Ordinance: ORD-175694 ✓
- Ordinance: ORD-172623 ✓
- Ordinance: ORD-172897 ✓
- Ordinance: ORD-172019 ✓
- Ordinance: ORD-168099 ✓
- Ordinance: ORD-164844-SA1610 ✓
- Ordinance: ORD-121312 ✓
- Director of Planning: DIR-2014-2824-DI ✓
- Environmental: ENV-2005-8263-ND ✓
- Environmental: ENV-2004-2691-CE ✓
- Environmental: ENV-2002-6032-SP ✓
- Environmental: ENV-2001-616-ND ✓



Streets Copyright (c) Thomas Brothers Maps, Inc.

Generalized Zoning Terms & Conditions

Case Information & Documents x +

planning.lacity.org/pdiscaseinfo/c Search

Los Angeles, CA
Fair
73.0 F
Winds: 0.0 mph
City / County Traffic

Department of City Planning
Case Summary & Documents

Case Number Ordinance Zoning Information CPC Cards

Case Number: ENV-2017-1746-CE Search Format: AA-YYYY-1234 Example: ZA-2011-3269 Advanced Search Help

Case Number: ENV-2017-1746-CE

Case Filed On: 05/01/2017
 Accepted for review on: MELISSA JONES
 Assigned Date: /

Staff Assigned: /
 Hearing Waived / Date Waived :
 Hearing Location:
 Hearing Date / Time:

ENV Action:
 ENV Action Date:
 End of Appeal Period:
 Appealed: No

BOE Reference Number:
 Case on Hold?: No

Primary Address

Address	CNC	CD
605 E WESTMINSTER AVE 90291 Venice 11		

 View All Addresses

Project Description: HISTORIC-CULTURAL MONUMENT APPLICATION FOR THE IRVIN TABOR FAMILY RESIDENCES
 Requested Entitlement: HISTORIC-CULTURAL MONUMENT APPLICATION FOR THE IRVIN TABOR FAMILY RESIDENCES
 Applicant:
 Representative:

0 Case Documents found for Case Number: ENV-2017-1746-CE

Type ↑	Scan Date	Signed
No Documents were found		

RECEIVED
 South Coast Region
 MAY 9 2017
 CALIFORNIA
 COASTAL COMMISSION

Permanent Link: <http://planning.lacity.org/pdiscaseinfo/CaseId/MjEzODEw0>

CITY OF LOS ANGELES
Office of Historic Resources/Cultural Heritage Commission
**HISTORIC-CULTURAL MONUMENT
NOMINATION FORM**



1. PROPERTY IDENTIFICATION

Proposed Monument Name: Irvin Tabor Family Residences		First Owner/Tenant	
Other Associated Names:			
Street Address: 605-607 Westminster Avenue		Zip: 90291	Council District:
Range of Addresses on Property: 605 - 607		Community Name: Oakwood, Venice	
Assessor Parcel Number: 4239019037-38	Tract: Ocean Park Villa Tract	Block: L	Lot: 43-44
Identification cont'd:			
Proposed Monument Property Type:	<input checked="" type="radio"/> Building	<input type="radio"/> Structure	<input type="radio"/> Object
		<input type="radio"/> Site/Open Space	<input type="radio"/> Natural Feature
Describe any additional resources located on the property to be included in the nomination, here: Property identified with a m:			

2. CONSTRUCTION HISTORY & CURRENT STATUS

Year built: 1906	<input checked="" type="radio"/> Factual <input type="radio"/> Estimated	Threatened? Private Development
Architect/Designer: unknown, partly by Irvin Tabor	Contractor:	
Original Use: family homes	Present Use: development	
Is the Proposed Monument on its Original Site?	<input checked="" type="radio"/> Yes	<input type="radio"/> No (explain in section 7) <input type="radio"/> Unknown (explain in section 7)

3. STYLE & MATERIALS

Bungalow Court **1-2** **Rectangular**

Architectural Style: Select from menu or type style directly into	Stories: 1-2	Plan Shape: Select
FEATURE	PRIMARY	SECONDARY
CONSTRUCTION	Type: Wood	Type: Select
CLADDING	Material: Wood clapboards	Material: Select
ROOF	Type: Gable	Type: Select
	Material: Composition shingle	Material: Select
WINDOWS	Type: Casement	Type: Select
	Material: Select	Material: Select
ENTRY	Style: Centered	Style: Select
DOOR	Type: French	Type: Select

CITY OF LOS ANGELES
 Office of Historic Resources/Cultural Heritage Commission
**HISTORIC-CULTURAL MONUMENT
 NOMINATION FORM**



4. ALTERATION HISTORY

List date and write a brief description of any major alterations or additions. This section may also be completed on a separate document. Include copies of permits in the nomination packet. Make sure to list any major alterations for which there are no permits, as well.

	see "605 Westminster Permits"

5. EXISTING HISTORIC RESOURCE IDENTIFICATION (if known)

<input checked="" type="checkbox"/> Listed in the National Register of Historic Places	
<input checked="" type="checkbox"/> Listed in the California Register of Historical Resources	
<input checked="" type="checkbox"/> Formally determined eligible for the National and/or California Registers	
<input checked="" type="checkbox"/> Located in an Historic Preservation Overlay Zone (HPOZ)	<input checked="" type="radio"/> Contributing feature <input type="radio"/> Non-contributing feature
<input checked="" type="checkbox"/> Determined eligible for national, state, or local landmark status by an historic resources survey(s)	Survey Name(s): SurveyLA
Other historical or cultural resource designations:	

6. APPLICABLE HISTORIC-CULTURAL MONUMENT CRITERIA

The proposed monument exemplifies the following Cultural Heritage Ordinance Criteria (Section 22.171.7):

<input checked="" type="checkbox"/>	Reflects the broad cultural, economic, or social history of the nation, state, or community
<input checked="" type="checkbox"/>	Is identified with historic personages or with important events in the main currents of national, state, or local history
	Embodies the distinguishing characteristics of an architectural-type specimen, inherently valuable for study of a period, style, or method of construction
	A notable work of a master builder, designer, or architect whose individual genius influenced his or her age

HISTORIC-CULTURAL MONUMENT NOMINATION FORM



7. WRITTEN STATEMENTS

This section allows you to discuss at length the significance of the proposed monument and why it should be designated an Historic-Cultural Monument. Type your response on separate documents and attach them to this form.

A. Proposed Monument Description - Describe the proposed monument's physical characteristics and relationship to its surrounding environment. Expand on sections 2 and 3 with a more detailed description of the site. Expand on section 4 and discuss the construction/alteration history in detail if that is necessary to explain the proposed monument's current form. Identify and describe any character-defining elements, structures, interior spaces, or landscape features.

B. Statement of Significance - Address the proposed monument's historic, cultural, and/or architectural significance by discussing how it satisfies the HCM criteria you selected in Section 6. You must support your argument with substantial evidence and analysis. The Statement of Significance is your main argument for designation so it is important to substantiate any claims you make with supporting documentation and research.

8. CONTACT INFORMATION

Applicant

Name: Jataun Valentine		Company:	
Street Address: 709 Vernon Avenue		City: Venice	State: CA
Zip: 90291	Phone Number: 310 396-3842	Email: jataunv@gmail.com	

Property Owner

Is the owner in support of the nomination? Yes No Unknown

Name: Lisa Hensen		Company:	
Street Address:		City:	State:
Zip:	Phone Number:	Email:	

Nomination Preparer/Applicant's Representative

Name: Sue Kaplan		Company:	
Street Address: 763 Nowita Place		City: Venice	State: CA
Zip: 90291	Phone Number: 310 822-0161	Email: sueakaplan@gmail.com	



HISTORIC-CULTURAL MONUMENT NOMINATION FORM

9. SUBMITTAL

When you have completed preparing your nomination, compile all materials in the order specified below. Although the entire packet must not exceed 100 pages, you may send additional material on a CD or flash drive.

APPLICATION CHECKLIST

- | | |
|--|--|
| 1. ✓ Nomination Form | 5. ✓ Copies of Primary/Secondary Documentation |
| 2. ✓ Written Statements A and B <i>to be sent</i> | 6. ✓ Copies of Building Permits for Major Alterations (include first construction permits) |
| 3. ✓ Bibliography | 7. ✓ Additional, Contemporary Photos |
| 4. ✓ Two Primary Photos of Exterior/Main Facade (8x10, the main photo of the proposed monument. Also email a digital copy of the main photo to: planning.ohr@lacity.org) | 8. ✓ Historical Photos |
| | 9. ✓ Zimas Parcel Report for all Nominated Parcels (including map) |

10. RELEASE

Please read each statement and check the corresponding boxes to indicate that you agree with the statement, then sign below in the provided space. Either the applicant or preparer may sign.	
<input checked="" type="checkbox"/>	I acknowledge that all documents submitted will become public records under the California Public Records Act, and understand that the documents will be made available upon request to members of the public for inspection and copying.
<input checked="" type="checkbox"/>	I acknowledge that all photographs and images submitted as part of this application will become the property of the City of Los Angeles, and understand that permission is granted for use of the photographs and images by the City without any expectation of compensation.
<input checked="" type="checkbox"/>	I acknowledge that I have the right to submit or have obtained the appropriate permission to submit all information contained in this application.

Name: Sue Kaplan Date: 13 March 2017 Signature: _____

Mail your Historic-Cultural Monument Submittal to the Office of Historic Resources.

Office of Historic Resources
 Department of City Planning
 200 N. Spring Street, Room 620
 Los Angeles, CA 90012
 Phone: 213-978-1200
 Website: preservation.lacity.org

THE TABOR FAMILY WESTMINSTER RESIDENCES: A MONUMENT TO BLACK HISTORY IN VENICE

SIGNIFICANCE (Item 7 A/B)

The property at 605-607 Westminster Ave. is significant for three independent reasons, each of which stands on its own as a reason for designation as a Historic Cultural Monument:

- 1) Association with important personages
- 2) Association with social history of the area
- 3) Property type

The significance of the bungalow court at 605-607 Westminster Ave. has been suggested in SurveyLA, which raises the issue of its possible importance as a “rare example of a property associated with Venice founder Abbot Kinney, and/or Kinney's chauffeur Irving Tabor, an important early black resident of Venice.” The SurveyLA Venice Report was conducted and written by Historic Resources Group, a leading historic preservation consultant, and concludes that more research would be required to confirm an historical status: The report goes further “Sources suggest this property was developed in 1915 by Abbot Kinney, with a main house and four smaller guest houses behind, forming a residential courtyard. Other sources indicate the Tabor family may have resided in one of the guesthouses around 1917-1923. However, more research is needed to confirm these associations; therefore, the evaluation could not be completed.” (SurveyLA, Venice Report Historic Districts, Planning Districts and Multi-Property Resources – 04/02/15)

The history, further researched by the applicant and others, confirms these associations and helps explain how the relationship of these two men, Abbot Kinney and Irvin Tabor, helped steer Venice to its future as a diverse community with a large African-American enclave.

Kinney may have owned the property prior to 1916, but Irvin Tabor bought it in that year and began to develop it himself, apparently with Kinney's help. The Tabor family did not just reside in one guesthouse. The extended family occupied all the buildings, and Irvin and his family lived in one until he moved into the inherited Kinney house that he moved to 1310 6th Avenue. He did retain ownership, for many years, as co-owner with his step-daughter Thelma Tabor Brawley. Thelma, as sole owner, sold it in 1977.

The property is also an important property type: an early and unusual example of a classic bungalow courtyard. SurveyLA's property description is also intriguing but incomplete, due to lack of access to the property, which is obscured by high fences.

Description: Located at 605-607 Westminster Avenue, this property spans two parcels, and contains a one-story main residence and four smaller guest houses behind, forming a residential courtyard. The property is not fully visible from the public right of way. (ibid)

There are actually eight structures on the combined two lots. One of them is two-story. They form an early example of a classic bungalow court, a property type pioneered in Pasadena just a decade before the development of this property was undertaken, reaching its height of popularity in this decade.

In Tabor's case, this allowed him an affordable way to gather his family in an intimate setting that fostered cohesion and provided privacy from the surrounding world. He was also able to build it himself, home by home, over time, as his family members arrived. The time of its construction, from 1916 through 1928, coincides with the height of Ku Klux Klan activity nationally, with its greatest growth in the West and Midwest; security must have been a consideration of Tabor's as well.

Venice has historically been one of the few racially and economically diverse beach communities in California. Its three square miles have been a mecca for artists, writers, musicians, celebrities and oddballs, along with millions of tourists every year. What makes Venice, Venice? It has always had a greater tolerance than the city around it. And that is a legacy of its founding — of its founder and an unusual relationship he developed with the African-American community that moved here from the Southeast to work for him. Unlike other local businessmen, he did not hesitate to befriend African-Americans and promote them to important positions.

In 1905, Abbot Kinney recorded a subdivision map for the Venice of America tract.

In 1909, Irvin Tabor, an African-American teenager from Louisiana, arrived in Venice. He was a pioneer of the Great Migration from the deep South, where rural poverty and a resurgence of the Ku Klux Klan was driving families to find new lives and jobs in the booming industrial north.

Unlike most moving north, who headed to the big cities of the Northeast and Midwest, Irvin Tabor made a left turn when he departed Louisiana to follow his cousin, Arthur Reese, to Venice, California. Here, he soon became the chauffeur and confidant of Venice's founder-developer, Abbot Kinney, while his cousin, Arthur, eventually became Kinney's principal designer. Tabor was instrumental in building Venice, and within Venice he also played an outsized role in building the first intentional African-American community on the California coast.

Tabor bought the Westminster property in 1916, just six years after his arrival. It consisted of two lots in what is now known as the Oakwood area. He set about building a residential compound where his extended family in Louisiana could join him. Bungalow courts were a new rage in Pasadena beginning in 1905, and Tabor, always resourceful, transplanted the style to Venice. Over the next 12 years, he created eight small homes around a central courtyard.

Irvin Tabor became a founding patriarch of Venice's African-American community, which has traditionally lived in roughly a square mile surrounding his court. He was one of the seminal influences on the creation and community of Venice. Descendants still live here and occupy a special place in the community.

Westminster Court's character as a bungalow court also creates an imperative need to preserve this housing style and this proposed development in particular.

URGENCY FOR DESIGNATION

The historic viability of the court is in immediate danger of being lost. It was bought in October 2016 by Lisa Henson and the bungalows are undergoing major structural work. It is therefore imperative that this application be considered immediately. (see photos)

At least one building is being dismantled down to its framing without proper California Coastal Commission permits. The planning process was circumvented with Building & Safety permits, the court's contributor status and possible historic monument status thus going undetected. The urgency is to stop this and hopefully insist that it be put back to its presale state.

As of March 23, community members have been able to obtain a stop work order and are hoping that the city will require a California Coastal permit, but that cannot be counted on. Presumably, the moment the stop work order is lifted, the owner will move forward with redoubled speed.

FEATURES OF THE PROPERTY

The Tabor residences form a bungalow courtyard, a new and very popular development form at the time, one ideally suited for an extended family lifestyle. Many of the courtyard garden complexes have been demolished over time. SurveyLA lists 12 courts from the 1920s in Venice in their report. At least one has been demolished after the survey was published. We don't know of another bungalow court identified with a particular family and certainly not

one so material to the beginning history of Venice and so closely identified with the founder, Abbot Kinney.

“The bungalow court is Los Angeles’s best-known multi-family dwelling type from the early 1900s. A formal composition of freestanding rental cottages bounding a central landscaped space, this housing form epitomizes urbanizing southern California in that heady era. Landscaped outdoor space, the popular Craftsman style of architecture, and the ideal of privacy afforded by a bungalow surrounded by lawns and gardens –luxuries formerly exclusive to the middle class and upper classes – all were made available to working-class and transient renters in a growing metropolis via this form of shelter. The bungalow court was made popular and available by Los Angeles builders and landlords in the first three decades of the twentieth-century.” (Todd Gish, “Bungalow Court Housing in Los Angeles, 1900-1930...,” *Southern California Quarterly*, v. 91, no. 4 Winter 2009-2010, pp. 365-387)

The courtyard footprint, the placement of the individual bungalows, has been preserved. The 605 lot has two structures, one a duplex and the original two-story house, making three homes. The other, 607, has five small bungalows on its lot. The other bungalows are all single-story. They are small, typical of houses of that period, and of the arts-and-crafts style also typical of the period, with wood clapboard siding and gabled roofs. The square footage of the individual buildings ranges from 363 sf-763 sf. The two-story is 1615 sf.

PRESENT CONDITION AND ONGOING WORK

It is difficult to determine what the condition was before it was purchased in 2012 by Fabian Bever (CEO, Modern Life Homes), the developer who sold it to the present owner, Lisa Henson, at the end of 2016. Without entry, it is difficult to determine what of the original has been retained, what is an acceptable remodel, and what has diminished the integrity of the structures and compromised the ability to restore. Between Bever and Henson, they took out at least 33 building permits allowing alterations to be done that may have caused some of the original features to be lost. It is not apparent how much work had been done prior to those permits having been issued.

Permits were erroneously issued; no one noticed that this was a SurveyLA contributor and that for the extent of work being done, a California Coastal permit is required. We are having difficulty setting everything right, hence our urgency to see the Tabor Family Residences granted historic designation. (for Summary of Building Permits, see Appendix A)

SIGNIFICANCE OF LOCATION

The property is located in the Oakwood neighborhood of Venice, one of the earliest intended African-American neighborhoods in Los Angeles. The "...Oakwood Planning District [is] a rare example of an early-20th century African-American enclave in Venice. Oakwood first established itself as an African-American neighborhood in the early 1900s, as blacks migrating from the South settled in Venice to work as manual laborers, service workers, and servants to wealthy white residents." (SurveyLA, *Historic Resources Survey Report: Venice Community Plan Area*, p. 44). There are a number of these early twentieth-century bungalows in the neighborhood and several are still in the family ownership of the early residents. Others are no longer owned by early Oakwood residents, but still exist. The Tabor Family Residences' physical existence and historical significance is proof of the strength this community still holds today, arguably more than any other area in Venice. The Tabor Family Residences are a legacy of the original community bonds.

OWNERSHIP AND DEVELOPMENT CHRONOLOGY

Tabor's arrival in Venice.

When Irvin Tabor came to Venice around 1909, according to his grandniece, Jataun Valentine, he was expecting his family to follow soon. His first priority was to have housing for them. (Jobs were a close second).

Irvin developed the property from his purchase in 1916 to approximately 1926. In 1916 (or 1914 according to Navalette Tabor Baily), there was at least one existing bungalow when he acquired the property. The bungalows (607b and c) were moved on rollers, as Navalette Tabor Baily recalled, from the bungalow colony of St Marks Island (now known as United States Island.) The rest were built by Tabor. (see Appendix B and Appendix C)

"... But right here in this area now, my cousin's family, they were the last ones [in the Tabor family] to come out. And my dad moved 'em [the bungalows] all in there. He pulled 'em on rollers. There were two or three houses built from the ground up, but the others were brought in, and there were eight altogether. So as the family came out, they all had places to stay anyway. And their kids, later on, had a place to stay..." (Interview with Navalette Tabor Bailey, Irvin's grandniece, in Andrew Deener, *Venice: A Contested Bohemia in Los Angeles*, p. 49.)

The property remained in family hands until 1977 when Thelma Tabor Brawley, Irvin's stepdaughter from his second wife Ethel, sold it. In May 1972, after Ethel died, Irvin put the property in joint tenancy between Thelma and himself. In August of that year, Irvin signed over the property in full to Thelma. In 1977 the property was sold. Irvin Tabor died in 1987.

The properties changed hands several times from that 1977 sale by Thelma Tabor Brawley until the present sales to Fabian Bever in 2012 and Lisa Henson in 2016. (see Appendix D)

Description from Linda J. Albertano, owner from 1985-1989:

"It was a courtyard on two lots. There was a two-story house in front on the 605 lot. It might have had three bedrooms or more. There was a decent sized one-story house in front on the 607 lot. It was at least two bedrooms. There were small one-bedroom cottages on each lot. I think there were five of them. Two on each side facing into the center of the lots, plus one in the back that face forward, if I remember correctly.

Now I'm thinking there was a third cottage on the 607 side (which would have brought the total of cottages up to six). There was a small parking lot in back of the last cottage on 605. I'm thinking the parking lot did not extend to the 607 side, so there may have been room for one more cottage. The last house on that side may have been slightly larger.

Remembering the permanent tenants on that side, I think there must have been three cottages, plus the larger house, on the 607 side. ... " (email, March 15, 2017)

Building records from the 1980-90s show little or no major remodeling. Foundation repair was done and interior remodeling (removal of a kitchen wall and other not itemized on building permits) (see Building Permits, Appendix D)

The next round of renovations began in 2013 after Mr Bever bought it and began turning the bungalows into short term rentals. The windows were replaced with modern single lites, new roofing, and general upgrades to the structures were made (see permit descriptions). Mr Bever improved the central garden with landscaping and concrete walkways in stone. (see Building Permits, Appendix E)

The structures' exteriors seem to retain much of the original appearance, although clapboard siding has been removed from several of the structures and

stucco applied in its place by Mr Bever, and Ms Henson is continuing it in her remodeling.

Mr Bever's promotional sales material described using original features as interior walls: old stencil printed numbers and gondola style color themes are still visible on the walls and ceilings. According to Mr Bever there were indications that Tabor recycled wood from the Venice boathouse and other parts of the old Amusement Parks. Also visible is some of the original wooden clapboard siding with its intriguing dark green tint from 1915, now preserved on the walls of an interior staircase. (Garner, "Forged Amid the Racial Divide," in *Hot Property, LA Times*. August 6, 2016)

WHAT IS VENICE and why is it significant?

The history of Venice, the "Venice of America" is well known and documented. It came out of the singular vision of Abbot Kinney. His dream of a cultural and entertainment center for Venice is still relevant. Venice is a tourist attraction, an artistic and cultural beacon for Los Angeles. In addition, Abbot Kinney's forward thinking acted as a social experiment for economic and racial diversity that is still a central part of the Venice culture and character. Venice included one of the first-established, intentional African-American communities in the city. Historically it has also been the most socially, racially, economically and culturally diverse coastal city in California.

ORIGINAL DEVELOPMENT OF VENICE

Abbot Kinney and the Coney Island of the Pacific.

The development of Venice as a beach and amusement park did not go smoothly. Disputes with business partners, competition with the adjacent cities and competing companies placed a burden on his finances and slowed his progress towards completion. Strong winds, heavy rains and fires also hindered completion and caused him to start over several times. Nonetheless, he opened officially July 4, 1905, twenty-one years after making the first investments in land.

When Irvin Tabor arrived in Venice to work at the amusement pier, Venice had grown from a marsh field to a thriving city and tourist attraction. As many as four different amusement piers were operating along the coast between Santa Monica and Venice. Kinney and the other park proprietors were always changing their rides and there was much work to be had. Natural disasters and competition among competitors continued to plague Kinney in the years between 1910 and 1925. Still he rebuilt the Venice pier several times.

Jeffrey Stanton's work *Venice, California: Coney Island of the Pacific*, (1993) is the standard work on the emerging Venice as a major city and tourist attraction. We know the African-Americans toiled to build Venice just as they toiled to build the U.S. Capitol and the Washington Monument. Yet this exhaustive and definitive history has not a mention of the African-American contribution much less the central role of Arthur Reese and Irvin Tabor. This is a history too important to allow to go unacknowledged. It must not be expunged from Venice's history. Recognizing the Tabor Family Residences as a monument adds to the collective history of this family and the whole community in Venice. We all become active witnesses to their legacy.

We know about these two influential people from the families that would not let the history of their ancestors fade. Tabor and Reese played much larger, more determinative roles in the Venice history. They are role models, Reese as designer, and also Tabor, who represented the entrepreneurial opportunities that his relationship with Kinney fostered for the black community. In the gentrification of Venice, we are in danger of losing not only the historical but the physical reminders of this community.

ABBOT KINNEY AND THE OAKWOOD COMMUNITY

Abbot Kinney made it possible for the African-Americans coming to Venice to take part in the American dream: to build a family and own a home. Many of the workers took advantage of the opportunity and over time owned several properties that provided housing for their respective extended families. Kinney's willingness to hire and promote African-Americans is shown by his close relationships with Irvin Tabor, a 14-year old transplant from Louisiana, and Tabor's cousin, Arthur Reese, hired first as Kinney's valet and then as the principal designer for his company.

Irvin arrived in Venice in 1909-10, got a job at the pier and within a year was selected by Kinney to be his chauffeur and, in time, his personal assistant (Tabor had never driven a car and borrowed one to learn and practice on). These two young African-Americans held esteemed and important roles among those that worked at the Venice of America for Abbot Kinney. They in turn became leaders of the historically African-American Oakwood neighborhood.

Their descendants have held a similar status in the generations since. Jataun Valentine, grandniece of Irvin Tabor, now 80 years old, continues the legacy of her ancestors as an activist and a pillar of the Oakwood community.

Thelma Brawley remembers the close relationship shared between Tabor and Kinney. "Daddy [Irvin Tabor] drove Mr. Kinney all over the United States. Wherever Mr. Kinney had to go, daddy would be there with him. And Mr. Kinney refused to stay in any hotel that would not take daddy. If it wasn't good

enough for Irving Tabor, it wasn't good enough for Abbot Kinney." (Rob Sullivan, LA Times, October 7, 1990). This was quite extraordinary for an upper-class, white businessman of his time, as it must have often presented more than a minor inconvenience.

Kinney's support of the Oakwood neighborhood was not without risk: "Kinney's egalitarianism apparently wasn't shared by the rest of the white citizens of Venice. From the beginning of Venice history, African-Americans were prohibited by covenant from living in much of Venice. ("That said premises shall not be sold nor leased to any person other than one of the white or Caucasian race." (Grant Deed for 925 Marco Place, p.2 handwritten document, dated December 16, 1906 and again p.5 dated January 1, 1925)

When it was discovered that Kinney had willed his own house to a black man, there was a hue and cry on the Venice Lagoon-only whites were allowed to live on the banks of the canals. So Tabor was forced to move the house and its garage to Oakwood to its present location. It was designated an Historic Cultural Monument in 2008.

Jataun Valentine recalled the KKK living across the street from the Kinney-Tabor house at 1301 6th Avenue. "In 1925, when my family first moved into this house, the KKK lived on the street. They would burn the cross on their front lawns." (Greta Cobar, "Jataun Valentine, Venice Community Activist Whose Story Goes Back to Abbot Kinney", *Free Venice Beachhead*, March 1, 2014.)

Ironically, what was accomplished by racial covenants in the early 20th Century is being reprised by gentrification in the early 21st Century. The history of the Tabor family and of Venice's African-American roots is in danger of being lost, not only because it is being built over by speculative development, but because the African-American community is being displaced and replaced by generally white occupants of the newer homes.

RECORDS OF OWNERSHIP & OCCUPANCY IRVIN TABOR & FAMILY

We have found no records of ownership for the properties before 1916. Family knowledge says that Abbot Kinney owned the lots from 1906. Records do not show that Kinney sold the property directly to Tabor but to a Harry E. and May E. Hester (The 1920 Census records show the Hesters living at 1046 Norton Street, District 63 [Hollywood]) and they don't appear in the City of Santa Monica Directories for 1915-1916 or 1917. The first grant deed known is for the sale of 607 Westminster on 12 July 1916 to Irvin Tabor by the Hesters with a mortgage of \$1000. (John Quincy Tabor, Jr believes that Kinney did own the

property [telephone conversation with Jataun Valentine, March 22, 2017].
Jataun Valentine does remember an intermediary owner after Kinney.)

Irvin and his family did move there. Santa Monica Directories show that Irvin Tabor settled in 607 Westminster in 1917. Before the purchase of the property, the Tabor siblings lived separately, though within doors of each other. Charles, Irvin's brother, settled next door with his family. The 1915-16 directories show Charles at 613 Westminster, Ruby (sister) at 654 Westminster Av, Irvin (listed as a janitor with the Abbot Kinney Co) at 546 San Juan and William (brother) at 546 San Juan. The 1917 Santa Monica City Directory shows Irvin already at 607. 605 Westminster does not come up in any of the directories until the 1923-24 issue. By the 1921-1922 directory, the family was well settled into their homes at 607 Westminster: Irvin, Clarence, Joseph and Ruby (his siblings). His other brother, Charles, was still living at 613 Westminster and Clifford, son of Clarence, at 2331 6th Avenue.

According to the 1923-24 directory, Irvin was in transition. His address is now listed as 605 Westminster. He is listed as also living at 1 Grand Canal, the Kinney residence. (OHR CHC-2008-521-HCM Kinney-Tabor House says the property was willed by Winifred, Abbot Kinney's widow to Tabor upon her death in 1927; Abbot Kinney died in 1920).

By 1925, only Joseph was listed living at 607d.

After the death of his second wife, Ethel, in 1972, Irvin Tabor put the property in joint ownership with her daughter, his step-daughter, Thelma C. Brawley. It stayed in the Tabor family until 1977 when Thelma C. Brawley sold it. (Much of the information above has been obtained through newspaper articles and in conversations with Jataun Valentine.) [see Dropbox Folder, Tabor articles about].

FAMILY AND COMMUNITY CONNECTIONS

The history of this property, of community building, of strong familial ties, of the entrepreneurial spirit of early Los Angeles, and of the emerging African-American presence despite restrictive covenants and societal exclusion, is the story of Venice.

It grew out of the exceptional relationships that Abbot Kinney developed with his African-American workmen. The creativity yielded by these relationships produced the exceptional place called Venice that has attracted visitors from around the world.

Irvin Tabor played major roles in the birth of Venice and of his community of transplants from the deep South.

The African-American role in the development and history of Venice has been both important and overlooked. Stanton's book and others omitting the story of this family and community show the peril if we don't actively tell the history and save the physical properties.

Much of the primary source material has already disappeared, but this rich history deserves to be recognized and explored while there is still material left and an oral tradition in the Tabor family. Meanwhile, it is important to keep the physical presence of that history alive in the form of Irvin Tabor's family bungalow court.

Abbot Kinney's respectful relationship with his workers enabled an enterprising spirit to rise in the Oakwood community and gave a secure status to the black immigrants from the Southeast who came here to work for him. Irvin Tabor picked up his family and moved to California to get a job in one of the wildest schemes in Los Angeles history. He quickly moved up to be his boss's chauffeur and close confidant, and bought property in 1916, developed it and moved his extended family onto it. This home is not just about any African-American home but that of the leading family of that emerging community, the Tabor family. What would the story of Venice be without them?

Jataun Valentine, Irvin's grandniece, when asked why it important that this home be honored: "[It is important] that future generations should know and learn about how it was" (in conversation with Sue Kaplan)

The Tabor Westminster Family Residences deserve to be recognized and honored as a Los Angeles Historic Cultural Monument.

APPENDICES

Appendix A: Alteration History

“Update 1969” (stamp) from Los Angeles Bureau of Assessors (LABA)

A. Irvin Tabor Permits

- 1915 Nov 607 “ front porch wood covered” (LABA)
- 1921 July 14 607a. Repairs to structure (LABA)
- 1922 Jan 5 “moved house to ... lot” (LABA)
- 1924 Dec 5. 607e (LABA)
- 1925 Oct 26 605 “[not legible Val?] on old house remodeled” (LABA)
- 1926 April 26 605 ¼ and 605 ½ (a and b). Bldg –Alter/Repair; Bldg Addition.
Move, add new foundation, 2 bathrooms and screen porches, remove front porch and add new porch, no windows [illegible] signed by D.B. Sheffield (friend and neighbor)
- 1927 May 21 605 1/4 and 605 ½ –Alter/Repair. To complete work as started in permit 12777 (April 26)
- 1927 Sept 13 605 a/b. Built 1926? (BALA)

B. 1980s-1990s

- 1987 Nov 10 Electrical Permit
- 1989 Mar 9 Bldg-Alteration/Repair
- 1989 June 13 Bldg-Addition
- 1989 June 13 Bldg-Addition
- 1989 Sept 20 Alteration; Bldg-Alteration/Repair
- 1989 Sept 20 Electrical
- 1989 Oct 17 Plumbing
- 1989 Oct 19 HVAC
- 1991 Jan 16 Miscellaneous

C. Fabian Bever

- 2013 May 22 Kitchen/Bathroom remodel, replace termite rot to framing
- 2014 June 20 (both lots) interior remodel/structural alterations, enlarge bedroom and kitchen (no additional square footage)
- 2015 Aug 7 Kitchen and bathroom remodel for residential buildings.
Water/termite damage
- 2015 Sept. Kitchen Kitchen/Bathroom remodel, replace termite rot to framing for houses and duplexes
- 2016 Feb 25 Bldg-Alteration/Repair. Windows
- 2016 Mar 7 Bldg-Alteration/Repair. Roof
- 1989 Apr 28 Plumbing
- 2010 Dec 23 Bldg-Alteration/Repair

B. Development of 605-607 Westminster

The year the bungalows appeared (from Applications to Alter, Repair or Demolish records from Department of Building and Safety, and Assessment Forms from Joint Bureau of Appraisal – Los Angeles) marked “Update 1969”

605	built in 1925
605 ¼ and 605 ½ (a/b)	Moved in 1926; built in?
607 (d?)	built in 1915
607a	built in 1921
607b/c	Built in 1910; moved to site in 1922
607e	built in 1924

605a/b moved in 1926? Permit 12777 April 26, 1926 signed by friend and Neighbor DB Sheffield; 1969 Update Owner Irvin
 Irvin address 607 Westminster, 6 buildings on lot, 2 family residences. A year later permit dated May 19, 1927 to complete the work signed by Irvin address 1310 6th Avenue

Appendix C: Occupants in The Tabor Family Residencies from Santa Monica City Directories, 1916, 1917, 1921, 1923-24, 1925. It only indicates which bungalows Joseph, Alf and Henry Alphonse resided in)

	1917	1921	1923-24	1925
605		Irvin	Henry Alphonse	Vacant
605a				Vacant
605b				Alf
605c				
607a				T H Johnson
607b			Vacant	John Ater
607c			Vacant	R H Miller
607d		Joseph	Joseph	Joseph
607e				
607 but bungalow unknown		John Quincy	John Quincy	

PARTIAL LIST OF RESIDENTS OF 605-607 WESTMINSTER.

The Tabor Brothers: Irvin Tabor (owner) and Mamie Carter, his wife
John Quincy Tabor, Elle Williams and children
Joseph Tabor and Bernadette Williams;
Charles Tabor and Antonia Gilbert
Jenny Tabor & Alphonse Henry

The children included: Navalette Tabor, John Quincy Tabor, Jr; Clarence and Clifford Tabor (sons of Clarence and Jean des Vigne); Hazel and Winola Henry and their siblings, et al.

Several of the next generation of children also lived there including Jataun and her sister Winola (Jackie).

(recalled by Jataun Valentine)

APPENDIX D: Summary of Grant Deeds from 1916 – present

July 12, 1916 Grant Deed to Irvin B. Tabor by Harry E. Hester and May E. Hester, wife, and Elmer Hester, son, of 607 Westminster Avenue

1948 February 3 Joint Tenancy Grant Deed between Irving B. Tabor and Ethel F. Tabor

May 17, 1972 Grant Deed of Tenancy after death of wife/mother Ethel Tabor to Thelma Brawley with Irvin Tabor

August 18, 1972 Grants 605-607 Westminster to Thelma Brawley “as her separate property”

April 15, 1977 Thelma Brawley transfers title to Raj R. Bhavnani and George J. Fukuda (half interest each as tenants in common

1985– Ownership was transferred between Miriam Fukuda and J. Fukuda, Raj R. Bhavnani, also as Sun-Pac Investment, Inc, and Bruce James and Frank Lutz

1985 - 1989 Bruce James and Frank Lutz quitclaim to J. Albertano and then Albertano and Lutz recorded successive quitclaims to each other.

(January 26, 1987 Affidavit Death Joint Tenant Certifies that decedent Irvin Tabor is the same as on the Joint Tenancy dated July 11, 1972)

1989 July – September. Quitclaims from Linda Albertano to Frank Lutz and then a series of recordings between them and Intercommodator, Dianne Goudal from Intercommodator, Inc to Diane Gourdal. In 2004 Dianne Gourdal records a Corporate Grant Deed to 605-607 Westminster Avenue, LLC

2006-2011 Quitclaims recorded between the following persons: 605-607 Westminster Ave, LLC, Mark Kaminsky and his wife Susan, David Ackert and his wife Charlotte,

Robert Shulkin and his wife Mari Lou Shulkin, Robert Meisel and his wife Joanna,
Melvin Nashban

2011 Sales between Nicola Antonia Wisemanhis wife and John Fabian Bever

April 2012 John Fabian Bever sells to Private Ocean Properties LLC (Bever's company)
Quitclains recorded between Bever and Marc Peters

December 2016 sold to Lisa Henson

Appendix E: For the permits issued to both Fabian Bever and Lisa Henson, see
the file:

605-607_Westminster_Individual_Building_Permits_March12,2017_annotated

Irvin Tabor: A Select Bibliography

Patricia Adler. *A History of the Venice Area*. Department of City Planning, Los Angeles, 1969.

Argonaut Newspaper. "Navalette Tabor Bailey, lifelong Venice resident and descendent of Abbot Kinney's assistant Irving Tabor, dies." Los Angeles: The Argonaut, July 29, 2010.

Citron, Alan. "Death of Venice Historian Closes Curtain on Era." Los Angeles Times, January 25, 1987.

Cobar, Greta. "Jataun Valentine, Venice Community Activist Whose Story Goes Back to Abbot Kinney", Free Venice Beachhead, March 1, 2014

Andrew Deener. *Venice: A Contested Bohemia in Los Angeles*. Chicago: University of Chicago Press, 2012.

Scott Garner. "Forged amid a racial divide. Set of bungalows in Venice is a bright legacy of an African American builder". Hot Property. Los Angeles Times, August 6, 2016

Margaret Molloy and Cecilia Williams. Black History Month with a focus on Venice & Original Families. A photo exhibition. Abbot Kinney Venice – Abbot Kinney Memorial Branch Library, February 25, 2017.

Santa Monica Outlook. Years 1906-1927.

Arnold Springer. *History of Venice of America. Vol. 1: The Venice Canals 1850-1930. Vol. 2. Annexation and Seccession Movements 1919-1939*. Bound together. Los Angeles, Ulan Bator Foundation, 1992.

Jeffrey Stanton. *Venice California: 'Coney Island of the Pacific'*. Self published (can find him at the Venice Farmers Market).

Sullivan, Rob. "An Intimate Look at History: The Oakwood homes that belongs to Thelma Tabor Brawley as a reminder of the special relationship her father had with his employer, Abbot Kinney, the funder of Venice." *Los Angeles Times*, October 7, 1990.

By William H. Allen, Jr., President.

By O. P. Clark, Secretary.

State of California, County of Los Angeles) ss. On this 25th day of July, 1916, before me, F. H. Orsens, a Notary Public in and for said County, personally appeared William H. Allen Jr., known to me to be the President, and O. P. Clark, known to me to be the Secretary of the Title Insurance and Trust Company, Trustee of the Corporation that executed the within and foregoing instrument, and known to me to be the persons who executed the within and foregoing instrument, on behalf of the Corporation therein named, and acknowledged to me that such corporation executed the same as such Trustee.

Witness my hand and official seal the day and year in this certificate first above written.

(Notarial Seal)

F. H. Orsens, Notary Public

In and for said County of Los Angeles, State of California.

#178. A full true and correct copy of original, recorded at request of Title Insurance & Tr. Co., Jul. 26, 1916, at 8:30 A. M. #200. Copyist #39

C. L. Logan, County Recorder, By M. Miller Deputy.

6259.543 DEEDS

U.S.L.R.S. 50 cts. Cancelled.

In Consideration of the receipt by the under-

signed of Ten and no/100 Dollars, Harry E. Hester and May E. Hester, his wife, and Elmer

Hester, a single man, of the City of Los Angeles, of Los Angeles County, State of California,

do Grant to Irvin B. Taber, of the City of Venice, of Los Angeles County, State of California,

his, that real property in the City of Venice, County of Los Angeles, State of California,

607 Westminster

described as follows:

Lot Forty-three (43) in Block "L" of the Ocean Park Villa

Tract, as per map recorded in Book Four (4) Page Twenty-three (23) of Maps, in the office of

the County Recorder of said Los Angeles County. Subject to taxes for the fiscal year 1916

-17) and subject also to conditions, restrictions and reservations contained in deed from

C. L. Bundy, et al., to J. D. Dibbern, recorded in Book 2304, Page 89, of Deeds Records of

said Los Angeles County. Subject to mortgage # One thousand Dollars (\$1000.00) recorded

in Book 3857, Page 31 of Mortgages.

To have and to hold unto the said grantee, his heirs and assigns.

Witness our hands this Twelfth day of July 1916.

Harry E. Hester

May E. Hester

Elmer Hester

State of California, County of Los Angeles) ss.

On this 12th day of July 1916 before

SANTA MONICA BAY CITIES DIRECTORY

461

Swift Miles lab h2255c Federal av S
 Swilling May Mrs musician r1621 4th S M
 Swinney Edla Tegner Mrs r924 2d S M
 Swinney Gerald student r858 Rialto av V
 Swinney Rudolph (Janet) rancher h858 Rialto av V
 Switzer Wm L h616 Wilshire blvd S
 Swope Jos A h12025 Mayfield av W
 Sylvester Nicholas h345½ 4th av V
 Sylvester W B (Helen S) h601 Ocean Front V
 Sylvey Chas slsmn r110 Pier av O P
SYLVIA JACK B (Rose B) Chiropodist 150½ Pier av, Ocean
 Park, Tel 61189
SYMINGTON WM H L (Grace B) Dentist, 207 Juniper
 Bldg, 311 Santa Monica Blvd, S M, Tel 21167, h815 Wil-
 shire Blvd, S M, Tel 21931
 Symmes Harrison C (Millie M) rest Ocean Front Prom nw
 cor Pickering Pier O P h159½ Kinney O P
 Symmes Mina wid W S h159 Kinney O P
 Syms Harry J (Florence A) h2712 4th O P
 Syphers Elmer L (Ella) barber Cheek & Penrose h1314 6th
 S M
 Szymanski Landon (Mary) eng engine Co No 37 L A F D
 h718 Santa Monica blvd S

T

Taber C H repr Marine Furniture Co
 Tablor Percy D (Olive B) h158 Wadsworth av O P
 Tabor Clarence E carp r607 Westminster av V
 Tabor Chas G (Antonia) tmstr h613 Westminster av V
 Tabor Clifford H (Lulu) clk h2331 6th O P
 Tabor Irwin B (Gertrude) auto opr h607 Westminster av V
 Tabor Jos H lab r607 Westminster av V
 Tabor Ruby C r607 Westminster av V
 Taft Etta B wid Stephen h334 Santa Monica blvd S
 Taft Fred H (Francis M) (Tanner, Odell & Taft) h524 Santa
 Monica blvd S M
 Taft Harris W (Lucile) (Tanner, Odell & Taft) h714 Wil-
 shire blvd S M
 Taft Highland E (Anna) h rear 2519 Sawtelle blvd S
 Taft H E lab N H D V S
 Taggart E T Mrs r150 Surf O P
 Taite Clara Mrs r1415 The Promenade S M
 Takeguma A h143 Del Rey av V

BALSLEY BROS.

PLUMBERS

A N D

GAS FITTERS

Our
 Prices
 and
 Work
 Will Always Be
 Found Satisfac-
 tory

620
 Santa Monica
 Blvd.,
 Santa Monica
 Phone 21321

RENNIE REALTY CO.

Real Estate Rentals
 Insurance

Los Angeles Department of Building and Safety

RECEIVED
South Coast Region

The information below was found on the following Parcel Identification Number (PIN):

MAY 9 2017

CALIFORNIA
COASTAL COMMISSION
1

108B145-468

+ Parcel Profile Report:

- Permit Information found: 7

Expand Closed 605 E WESTMINSTER AVE 90291

1

Application/Permit #	PC/Job #	Type	Status	Work Description
16016 - 10000 - 04949	X16LA03842	Bldg-Alter/Repair	Permit Finaled 10/20/2016	Re-roof with Class A or B material weighing less than 6 pound per sq. ft. For residential roof replacement > 50% of the total roof area, apply Cool Roof Product labeled and certified by Cool Roof Rating Council (CRRC). Cool Roof may be required for non-residential buildings per Title 24, Part 6, Section 149 (b).

2

16016 - 30000 - 04172	X16WL01217	Bldg-Alter/Repair	Permit Finaled 10/28/2016	15 WINDOW and 4 DOOR CHANGE-OUT (SAME SIZE & TYPE) FOR RESIDENTIAL BUILDINGS RE-ROOF WITH CLASS A OR B MATERIAL WEIGHING LESS THAN 6 POUNDS PER SQ. FT. FOR RESIDENTIAL ROOF REPLACEMENT > 50% OF THE TOTAL ROOF AREA, APPLY COOL ROOF PRODUCT LABELED AND CERTIFIED BY COOL ROOF RATING COUNCIL (CRRC). COOL ROOF MAY BE REQUIRED FOR NON-RESIDENTIAL BUILDINGS PER TITLE 24, PART 6, SECTION 149(b). GENERAL REHABILITATION FOR SINGLE FAMILY DWELLINGS AND DUPLEXES (NON-STRUCTURAL CHANGES, LESS THAN 10% OF REPLACEMENT COST OF BUILDING). REPLACEMENT OF DAMAGED FRAMING MEMBERS (LESS THAN 10% OF REPLACEMENT COST OF BUILDING) FOR HOUSES AND DUPLEXES (NOT INCLUDING DECKS). REPAIR OF WATER, DRY-ROT, OR TERMITE DAMAGED STAIRS IN RESIDENTIAL BUILDINGS (LESS THAN 10% OF REPLACEMENT COST OF STAIRS).
-----------------------	------------	-------------------	---------------------------	---

3

16016 - 30001 - 04172	X16WL05554	Bldg-Alter/Repair	Permit Finaled 10/26/2016	SUPPLEMENTAL PERMIT TO 16016-30000-04172 FOR KITCHEN AND BATHROOM REMODEL FOR RESIDENTIAL BUILDINGS (NO STRUCTURAL CHANGES). RE-STUCCO (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEXES ONLY. REPLACE DRYWALL (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEX ONLY.
-----------------------	------------	-------------------	------------------------------	--

4

17016 - 90000 - 01189	--	Bldg-Alter/Repair	Issued 1/19/2017	Add sill plate anchors bolts, cripple wall plywood and replace foundation per L.A. City Std. Plan #1(EQ hazard reduction per Chapter 92).
-----------------------	----	-------------------	---------------------	---

05041 - 10000 - 13980	--	Electrical	Permit Finaled 8/8/2005	NEW PANEL.
-----------------------	----	------------	----------------------------	------------

08041 - 10000 - 20897	X08LA16248	Electrical	Permit Finaled 9/29/2008	INSTALL (2) LIGHTS.
-----------------------	------------	------------	-----------------------------	---------------------

5

16041 - 30000 - 36298	X16WLD5913	Electrical	Permit Finaled 10/26/2016	KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING WIRING
-----------------------	------------	------------	------------------------------	---

6

16042 - 30000 - 22257	X16WL05912	Plumbing	Permit Finaled 10/26/2016	KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING PLUMBING
-----------------------	------------	----------	------------------------------	---

7

17042 - 30001 - 02095	X17WL00848	Plumbing	Issued 2/9/2017	SUPPLEMENTAL PERMIT TO PERMIT NUMBER 17042-20000-02095 TO RELOCATE SINKS, SHOWERS, TOILET - SEWER CONNECTIONS
-----------------------	------------	----------	--------------------	---

8

17042 - 20000 - 02095	X17VN01786	Plumbing	Issued 1/30/2017	REPIPE FIXTURES, WATER MAIN, REPLACE SEWER LINE ENGINEERING # V-PER, REPLACE WATER HEATERS WITH TANKLESS
-----------------------	------------	----------	---------------------	--

9

17042 - 90000 - 03498	--	Plumbing	Issued 2/16/2017	main line and sewer line
-----------------------	----	----------	---------------------	--------------------------

Expand Closed 605 E WESTMINSTER AVE A & B 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
17016 - 90000 - 01555	--	Bldg-Alter/Repair	Intent to Revoke 3/23/2017	Replace 10 window(s). Same size, location, number, type. Replace drywall/plaster (patch and paint). Non-structural repair only. Interior kitchen remodel/repair (no changes in walls or openings). Interior bathroom remodel/repair (no changes in walls or openings).

33

17016 - 10000 - 06538	B17LA04263	Bldg-Alter/Repair	Corrections Issued 3/20/2017	VOLUNTARY FOOTING REINFORCEMENT, STUD FRAMING & RE-ROOFING OF (E) ONE- STORY DUPLEX. NO CHANGE IN EXTERIOR WALL FINISH.
17016 - 10002 - 01555	X17LA05106	Bldg-Alter/Repair	Application Submittal 3/29/2017	SUPPLEMENTAL TO CAPTURE COASTAL CLEARANCE SIGN-OFF.
17016 - 10001 - 01555	X17LA03702	Bldg-Alter/Repair	Intent to Revoke 3/23/2017	SUPPLEMENTAL PERMIT FOR PERMIT # 17016-90000-01555 TO INCREASE VALUE BY \$23,700.00 TO TOTAL \$47,400.

Expand Closed 605 E WESTMINSTER AVE A 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
17016 - 10001 - 05989	X17LA05113	Bldg-Alter/Repair	Application Submittal 3/29/2017	SUPPLEMENTAL TO CAPTURE COASTAL CLEARANCE SIGN-OFF.
17016 - 90000 - 05989	--	Bldg-Alter/Repair	Intent to Revoke 3/23/2017	Reroof with 18 sqrs COMP SHINGLE roofing over new solid sheathing. Re-roof with Class A or B material weighing less than 6 pounds per sq. ft. For residential roof replacement > 50% of the total roof area, apply Cool Roof Product labeled and certified by Cool Roof Rating Council (CRRC). Cool Roof may be required for non-residential buildings per Title 24, Part 6, Section 149(b).
05041 - 10000 - 13995	--	Electrical	Permit Finaled 8/8/2005	INSTALL SUB PANEL

Expand Closed 605 E WESTMINSTER AVE A-B 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
17016 - 10000 - 06974	X17LA04783	Bldg-Alter/Repair	Issued 3/23/2017	Add sill plate anchor bolts, add plywood to cripple walls (if existing) and replace foundation per L.A. City Standard Plan #1 (Earthquake hazard reduction per Chapter 92 of the Los Angeles Building Code). (Houses, residential buildings up to 3 stories and up to 4 units).

Expand Closed 605 E WESTMINSTER AVE B 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
05041 - 10000 - 13998	--	Electrical	Permit Finaled 8/3/2005	INSTALL 9 GANG METER & 1 SUB PANEL

Application/Permit #	PC/Job #	Type	Status	Work Description
17016 - 90000 - 05990	--	Bldg-Alter/Repair	Intent to Revoke 3/23/2017	Reroof with 10 sqrs COMP SHINGLE roofing over new solid sheathing. Re-roof with Class A or B material weighing less than 6 pounds per sq. ft. For residential roof replacement > 50% of the total roof area, apply Cool Roof Product labeled and certified by Cool Roof Rating Council (CRRC). Cool Roof may be required for non-residential buildings per Title 24, Part 6, Section 149(b).
17016 - 10001 - 05990	X17LA05114	Bldg-Alter/Repair	Application Submittal 3/29/2017	SUPPLEMENTAL TO CAPTURE COASTAL CLEARANCE SIGN-OFF.

Expand Closed 607 E WESTMINSTER AVE 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
13016 - 30000 - 10136	X13WL02398	Bldg-Alter/Repair	Permit Expired 6/16/2015	KITCHEN & BATHROOM REMODEL. REPLACE DAMAGE/TERMITE/DRY ROT FRAMING MEMBER LESS THAN 10% OF REPLACEMENT COST OF BUILDING.
14016 - 30000 - 00195	B14WL00026	Bldg-Alter/Repair	Permit Expired 8/1/2016	Interior remodel and structural alterations of (e) one story single family dwelling to enlarge the bedroom and kitchen (no additional square footage to building). All work per engineers design.
17016 - 90000 - 01190	--	Bldg-Alter/Repair	Issued 1/19/2017	Add sill plate anchors bolts, cripple wall plywood and replace foundation per L.A. City Std. Plan #1(EQ hazard reduction per Chapter 92).
05041 - 91000 - 13979	--	Electrical	Permit Finaled 8/8/2005	INSTALL SUBPANEL
17042 - 90000 - 03499	--	Plumbing	Issued 2/16/2017	mainline and sewer line
17042 - 30001 - 02096	X17WL00846	Plumbing	Issued 2/9/2017	SUPPLEMENTAL PERMIT TO PERMIT NUMBER 17042-20000-02096 TO RELOCATE SINKS, SHOWERS, TOILET - SEWER CONNECTIONS
17042 - 20000 - 02096	X17VN01789	Plumbing	Issued 1/30/2017	REPIPE FIXTURES, WATER MAIN, REPLACE SEWER LINE ENGINEERING # V-PER, REPLACE WATER HEATERS WITH TANKLESS

Los Angeles Department of Building and Safety

The information below was found on the following Parcel Identification Number (PIN):

108B145-451

+ Parcel Profile Report:

- Permit Information found:

RECEIVED
South Coast Region

MAY 9 2017

CALIFORNIA
COASTAL COMMISSION

17

Expand Closed 605 E WESTMINSTER AVE A & B 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
17016 - 90000 - 01555	--	Bldg-Alter/Repair	Intent to Revoke 3/23/2017	Replace 10 window(s). Same size, location, number, type. Replace drywall/plaster (patch and paint). Non-structural repair only. Interior kitchen remodel/repair (no changes in walls or openings). Interior bathroom remodel/repair (no changes in walls or openings).
17016 - 10000 - 06538	B17LA04263	Bldg-Alter/Repair	Corrections Issued 3/20/2017	VOLUNTARY FOOTING REINFORCEMENT , STUD FRAMING & RE-ROOFING OF (E) ONE- STORY DUPLEX . NO CHANGE IN EXTERIOR WALL FINISH .
17016 - 10002 - 01555	X17LA05106	Bldg-Alter/Repair	Application Submittal 3/29/2017	SUPPLEMENTAL TO CAPTURE COASTAL CLEARANCE SIGN-OFF.
17016 - 10001 - 01555	X17LA03702	Bldg-Alter/Repair	Intent to Revoke 3/23/2017	SUPPLEMENTAL PERMIT FOR PERMIT #17016-90000-01555 TO INCREASE VALUE BY \$23,700.00 TO TOTAL \$47,400.

33

a

b

32

Expand Closed 605-607 E WESTMINSTER AVE 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
16016 - 10000 - 04949	X16LA03842	Bldg-Alter/Repair	Permit Finaled 10/20/2016	Re-roof with Class A or B material weighing less than 6 pound per sq. ft. For residential roof replacement > 50% of the total roof area, apply Cool Roof Product labeled and certified by Cool Roof Rating Council (CRRC). Cool Roof may be required for non-residential buildings per Title 24, Part 6, Section 149 (b).

1

2

16016 - 30000 - 04172

X16WL01217

Bldg-Alter/Repair

Permit
Finaled
10/28/2016

15 WINDOW and 4 DOOR CHANGE-OUT (SAME SIZE & TYPE) FOR RESIDENTIAL BUILDINGS RE-ROOF WITH CLASS A OR B MATERIAL WEIGHING LESS THAN 6 POUNDS PER SQ. FT. FOR RESIDENTIAL ROOF REPLACEMENT > 50% OF THE TOTAL ROOF AREA, APPLY COOL ROOF PRODUCT LABELED AND CERTIFIED BY COOL ROOF RATING COUNCIL (CRRC). COOL ROOF MAY BE REQUIRED FOR NON-RESIDENTIAL BUILDINGS PER TITLE 24, PART 6, SECTION 149(b). GENERAL REHABILITATION FOR SINGLE FAMILY DWELLINGS AND DUPLEXES (NON-STRUCTURAL CHANGES, LESS THAN 10% OF REPLACEMENT COST OF BUILDING). REPLACEMENT OF DAMAGED FRAMING MEMBERS (LESS THAN 10% OF REPLACEMENT COST OF BUILDING) FOR HOUSES AND DUPLEXES (NOT INCLUDING DECKS). REPAIR OF WATER, DRY-ROT, OR TERMITE DAMAGED STAIRS IN RESIDENTIAL BUILDINGS (LESS THAN 10% OF REPLACEMENT COST OF STAIRS).

3

16016 - 30001 - 04172

X16WL05554

Bldg-Alter/Repair

Permit
Finaled
10/26/2016

SUPPLEMENTAL PERMIT TO 16016-30000-04172 FOR KITCHEN AND BATHROOM REMODEL FOR RESIDENTIAL BUILDINGS (NO STRUCTURAL CHANGES). RE-STUCCO (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEXES ONLY. REPLACE DRYWALL (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEX ONLY.

4

17016 - 90000 - 01189

--

Bldg-Alter/Repair

Issued
1/19/2017

Add sill plate anchors bolts, cripple wall plywood and replace foundation per L.A. City Std. Plan #1(EQ hazard reduction per Chapter 92).

05041 - 10000 - 13980

--

Electrical

Permit
Finaled
8/8/2005

NEW PANEL.

08041 - 10000 - 20897

X08LA16248

Electrical

Permit
Finaled
9/29/2008

INSTALL (2) LIGHTS.

5

16041 - 30000 - 36298

X16WL05913

Electrical

Permit
Finaled
10/26/2016

KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING WIRING

6

16042 - 30000 - 22257

X16WL05912

Plumbing

Permit
Finaled
10/26/2016

KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING PLUMBING

7

17042 - 30001 - 02095	X17WL00848	Plumbing	Issued 2/9/2017	SUPPLEMENTAL PERMIT TO PERMIT NUMBER 17042-20000-02095 TO RELOCATE SINKS, SHOWERS, TOILET - SEWER CONNECTIONS
-----------------------	------------	----------	--------------------	---

8

17042 - 20000 - 02095	X17VN01786	Plumbing	Issued 1/30/2017	REPIPE FIXTURES, WATER MAIN, REPLACE SEWER LINE ENGINEERING # V-PER, REPLACE WATER HEATERS WITH TANKLESS
-----------------------	------------	----------	---------------------	--

9

17042 - 90000 - 03498	--	Plumbing	Issued 2/16/2017	main line and sewer line
-----------------------	----	----------	---------------------	--------------------------

Expand Closed 605-607 E WESTMINSTER AVE A-E 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
04042 - 30000 - 33335	--	Plumbing	Permit Finaled 11/23/2004	INSTALL SEISMIC VALVE TO ALL 8 UNITS.

Expand Closed 607 E WESTMINSTER AVE #C 90291

10

Application/Permit #	PC/Job #	Type	Status	Work Description
15016 - 30001 - 19934	X16WL05555	Bldg-Alter/Repair	Permit Finaled 10/28/2016	SUPPLEMENTAL PERMIT TO 15016-10000-19934 FOR (6)WINDOW and (1) DOOR CHANGE-OUT (SAME SIZE & TYPE) FOR RESIDENTIAL BUILDINGS. REPLACE DRYWALL (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEX ONLY.

11

15016 - 10000 - 19934	X15LA17403	Bldg-Alter/Repair	Permit Finaled 10/26/2016	Kitchen / bathroom remodel for residential buildings (no structural changes). Water damage, termite damage/ dry rot repair less than 10% of replacement cost of residential buildings. Replacement of damaged framing members (less than 10% of replacement cost of building) for houses and duplexes (not including decks).
-----------------------	------------	-------------------	------------------------------	--

Expand Closed 607 E WESTMINSTER AVE #D 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
10016 - 10000 - 23205	X10LA20147	Bldg-Alter/Repair	Permit Finaled 1/4/2011	Re-roof with Class A or B material weighing less than 6 pound per sq. ft.

Expand Closed 607 E WESTMINSTER AVE 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
----------------------	----------	------	--------	------------------

13016 - 30000 - 10136	X13WL02398	Bldg-Alter/Repair	Permit Expired 6/16/2015	KITCHEN & BATHROOM REMODEL. REPLACE DAMAGE/TERMITE/DRY ROT FRAMING MEMBER LESS THAN 10% OF REPLACEMENT COST OF BUILDING.
14016 - 30000 - 00195	B14WL00026	Bldg-Alter/Repair	Permit Expired 8/1/2016	Interior remodel and structural alterations of (c) one story single family dwelling to enlarge the bedroom and kitchen (no additional square footage to building). All work per engineers design.
17016 - 90000 - 01190	--	Bldg-Alter/Repair	Issued 1/19/2017	Add sill plate anchors bolts, cripple wall plywood and replace foundation per L.A. City Std. Plan #1(EQ hazard reduction per Chapter 92).
05041 - 91000 - 13979	--	Electrical	Permit Finaled 8/8/2005	INSTALL SUBPANEL
17042 - 90000 - 03499	--	Plumbing	Issued 2/16/2017	mainline and sewer line
17042 - 30001 - 02096	X17WL00846	Plumbing	Issued 2/9/2017	SUPPLEMENTAL PERMIT TO PERMIT NUMBER 17042-20000-02096 TO RELOCATE SINKS, SHOWERS, TOILET - SEWER CONNECTIONS
17042 - 20000 - 02096	X17VN01789	Plumbing	Issued 1/30/2017	REPIPE FIXTURES, WATER MAIN, REPLACE SEWER LINE ENGINEERING # V-PER, REPLACE WATER HEATERS WITH TANKLESS

Expand Closed 607 E WESTMINSTER AVE A 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
17016 - 10001 - 04394	X17LA05109	Bldg-Alter/Repair	Application Submittal 3/29/2017	SUPPLEMENTAL TO CAPTURE COASTAL CLEARANCE SIGN-OFF.
17016 - 20000 - 04394	X17VN03429	Bldg-Alter/Repair	Intent to Revoke 3/23/2017	Re-roof with Class A or B material weighing less than 6 pounds per sq. ft. over new solid sheathing. 12 Squares. For residential roof replacement > 50% of the total roof area, apply Cool Roof Product labeled and certified by Cool Roofing Rating Council (CRRC). Cool Roof may be required for non-residential buildings per Title 24, Part 6, Section 149(b).
05041 - 10000 - 13982	--	Electrical	Permit Finaled 8/8/2005	INSTALL SUBPANEL

Expand Closed 607 E WESTMINSTER AVE B 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
17016 - 10001 - 04396	X17LA05110	Bldg-Alter/Repair	Application Submittal 3/29/2017	SUPPLEMENTAL TO CAPTURE COASTAL CLEARANCE SIGN-OFF.
17016 - 10001 - 01556	X17LA03705	Bldg-Alter/Repair	Intent to Revoke 3/23/2017	SUPPLEMENTAL PERMIT FOR PERMIT #17016-90000-01556 TO CHANGE ADDRESS FROM 607 E. WESTMINSTER AVE D & E TO 607 E. WESTMINSTER AVE D., CORRECTING THE USE CODE TO SINGLE FAM. DWLG. AND TO DECREASE # OF WINDOW CHANGE OUT FROM (8) TO (4)
17016 - 10000 - 06540	B17LA04264	Bldg-Alter/Repair	Corrections Issued 3/20/2017	VOLUNTARY FOOTING REINFORCEMENT , STUD FRAMING & RE-ROOFING OF (E) ONE- STORY SINGLE FAMILY DWELLING . NO CHANGE IN EXTERIOR WALL FINISH .
17016 - 20000 - 04396	X17VN03430	Bldg-Alter/Repair	Intent to Revoke 3/23/2017	Re-roof with Class A or B material weighing less than 6 pounds per sq. ft. over new solid sheathing. 8.5 Squares. For residential roof replacement > 50% of the total roof area, apply Cool Roof Product labeled and certified by Cool Roofing Rating Council (CRRC). Cool Roof may be required for non-residential buildings per Title 24, Part 6, Section 149(b).
05041 - 10000 - 13983	--	Electrical	Permit Finaled 8/8/2005	NEW PANEL

Expand Closed 607 E WESTMINSTER AVE BLDG A 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
16041 - 30000 - 36301	X16WL05915	Electrical	Permit Finaled 10/26/2016	KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING WIRING
16042 - 30000 - 22258	X16WL05914	Plumbing	Permit Finaled 10/26/2016	KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING PLUMBING

Expand Closed 607 E WESTMINSTER AVE BLDG C 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
16041 - 30000 - 36303	X16WL05917	Electrical	Permit Finaled 10/26/2016	KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING WIRING
16042 - 30000 - 22259	X16WL05916	Plumbing	Permit Finaled 10/26/2016	KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING PLUMBING

Application/Permit #	PC/Job #	Type	Status	Work Description
16016 - 30000 - 23253	X16WL05610	Bldg-Alter/Repair	Permit Finaled 11/1/2016	6 WINDOW and 2 DOOR CHANGE-OUT (SAME SIZE & TYPE) FOR RESIDENTIAL BUILDINGS. KITCHEN AND BATHROOM REMODEL FOR RESIDENTIAL BUILDINGS (NO STRUCTURAL CHANGES). REPLACE DRYWALL (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEX ONLY. REPLACEMENT OF DAMAGED FRAMING MEMBERS (LESS THAN 10% OF REPLACEMENT COST OF BUILDING) FOR HOUSES AND DUPLEXES (NOT INCLUDING DECKS). WATER DAMAGE, TERMITE DAMAGE, OR DRY ROT REPAIR LESS THAN 10% OF REPLACEMENT COST OF RESIDENTIAL BUILDINGS.
16041 - 30000 - 36305	X16WL05919	Electrical	Permit Finaled 10/26/2016	KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING WIRING
16042 - 30000 - 22261	X16WL05918	Plumbing	Permit Finaled 10/29/2016	KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING PLUMBING

Expand Closed 607 E WESTMINSTER AVE BLDG E 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
16016 - 30000 - 23042	X16WL05556	Bldg-Alter/Repair	Permit Finaled 11/1/2016	(2) DOOR CHANGE-OUT (SAME SIZE & TYPE) FOR RESIDENTIAL BUILDINGS. RE-STUCCO (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEXES ONLY. REPLACE DRYWALL (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEX ONLY. REPLACEMENT OF DAMAGED FRAMING MEMBERS (LESS THAN 10% OF REPLACEMENT COST OF BUILDING) FOR HOUSES AND DUPLEXES (NOT INCLUDING DECKS).

Expand Closed 607 E WESTMINSTER AVE BLDG. A 90291

Application/Permit #	PC/Job #	Type	Status	Work Description
15016 - 30001 - 16626	X16WL05553	Bldg-Alter/Repair	Permit Finaled 11/1/2016	SUPPLEMENTAL PERMIT TO 15016-10000-16626 FOR (5) WINDOW and (4) DOOR CHANGE-OUT (SAME SIZE & TYPE) FOR RESIDENTIAL BUILDINGS. REPLACE DRYWALL (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEX ONLY.

27

15016 - 10000 - 16626	X15LA14696	Bldg-Alter/Repair	Permit Finaled 11/1/2016	Kitchen/bathroom remodel for residential buildings (no structural changes). Water damage, termite damage/ dry rot repair less than 10% of replacement cost of residential buildings.
-----------------------	------------	-------------------	--------------------------	--

Expand Closed 607 E WESTMINSTER AVE C 90291

28

Application/Permit #	PC/Job #	Type	Status	Work Description
17016 - 20000 - 04397	X17VN03431	Bldg-Alter/Repair	Permit Finaled 3/16/2017	Re-roof with Class A or B material weighing less than 6 pounds per sq. ft. over new solid sheathing. 8 Squares. For residential roof replacement > 50% of the total roof area, apply Cool Roof Product labeled and certified by Cool Roofing Rating Council (CRRC). Cool Roof may be required for non-residential buildings per Title 24, Part 6, Section 149(b).
05041 - 10000 - 13985	--	Electrical	Permit Finaled 8/8/2005	INSTALL SUB PANEL

Expand Closed 607 E WESTMINSTER AVE D & E 90291

29

Application/Permit #	PC/Job #	Type	Status	Work Description
17016 - 90000 - 01556	--	Bldg-Alter/Repair	Intent to Revoke 3/23/2017	Replace 8 window(s). Same size, location, number, type. Replace drywall/plaster (patch and paint). Non-structural repair only. Interior kitchen remodel/repair (no changes in walls or openings). Interior bathroom remodel/repair (no changes in walls or openings).

Expand Closed 607 E WESTMINSTER AVE D 90291

F

31

Application/Permit #	PC/Job #	Type	Status	Work Description
17016 - 10002 - 01556	X17LA05107	Bldg-Alter/Repair	Application Submittal 3/29/2017	SUPPLEMENTAL TO CAPTURE COASTAL CLEARANCE SIGN-OFF.
17016 - 20000 - 04399	X17VN03433	Bldg-Alter/Repair	Intent to Revoke 3/23/2017	Re-roof with Class A or B material weighing less than 6 pounds per sq. ft. over new solid sheathing. 12 Squares. For residential roof replacement > 50% of the total roof area, apply Cool Roof Product labeled and certified by Cool Roofing Rating Council (CRRC). Cool Roof may be required for non-residential buildings per Title 24, Part 6, Section 149(b).

g

17016 - 10001 - 04399	X17LA05112	Bldg-Alter/Repair	Application Submittal 3/29/2017	SUPPLEMENTAL TO CAPTURE COASTAL CLEARANCE SIGN-OFF.
05041 - 10000 - 13992	--	Electrical	Permit Finaled 8/8/2005	INSTALL SUB PANEL

Expand Closed 607 E WESTMINSTER AVE E 90291

h

Application/Permit #	PC/Job #	Type	Status	Work Description
17016 - 10000 - 06541	B17LA04265	Bldg-Alter/Repair	Corrections Issued 3/20/2017	VOLUNTARY FOOTING REINFORCEMENT , STUD FRAMING, ROOF FRAMING & RE-ROOFING OF (E) ONE-STORY SINGLE FAMILY DWELLING . NO CHANGE IN EXTERIOR WALLFINISH ,
05041 - 10000 - 13990	--	Electrical	Permit Finaled 8/8/2005	INSTALL SUB PANEL

+ Code Enforcement Information:

0

+ Soft-story Retrofit Program Information:

1

1088145 451

Los Angeles Department of Building and Safety

Certificate Information: 605 E WESTMINSTER AVE 90291

RECEIVED
South Coast Region

MAY 9 2017

①

Application / Permit 16016-10000-04949
Plan Check / Job No. X16LA03842
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description Re-roof with Class A or B material weighing less than 6 pound per sq. ft. For residential roof replacement > 50% of the total roof area, apply Cool Roof Product labeled and certified by Cool Roof Rating Council (CRRC). Cool Roof may be required for non-residential buildings per Title 24, Part 6, Section 149 (b).
Permit Issued Issued on 3/7/2016
Issuing Office Metro
Current Status Permit Finaled on 10/20/2016

CALIFORNIA
COASTAL COMMISSION

Permit Application Status History

Issued	3/7/2016
Permit Finaled	10/20/2016

LADBS

BOB DUNN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Hector'S Roofing Service: Lic. No.: 537713-C39 16116 BONFAIR AVENUE BELLFLOWER, CA 90706

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Floor/Roof Diaphragm/Shear Wall	10/17/2016	Not Ready for Inspection	BOB DUNN
Final	10/20/2016	Permit Finaled	BOB DUNN
Smoke Detectors	10/20/2016	Approved	BOB DUNN

Los Angeles Department of Building and Safety

Certificate Information: 605 E WESTMINSTER AVE 90291

(2)

Application / Permit 16016-30000-04172
Plan Check / Job No. X16WL01217
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description 15 WINDOW and 4 DOOR CHANGE-OUT (SAME SIZE & TYPE) FOR RESIDENTIAL BUILDINGS RE-ROOF WITH CLASS A OR B MATERIAL WEIGHING LESS THAN 6 POUNDS PER SQ. FT. FOR RESIDENTIAL ROOF REPLACEMENT > 50% OF THE TOTAL ROOF AREA, APPLY COOL ROOF PRODUCT LABELED AND CERTIFIED BY COOL ROOF RATING COUNCIL (CRRC). COOL ROOF MAY BE REQUIRED FOR NON-RESIDENTIAL BUILDINGS PER TITLE 24, PART 6, SECTION 149(b). GENERAL REHABILITATION FOR SINGLE FAMILY DWELLINGS AND DUPLEXES (NON-STRUCTURAL CHANGES, LESS THAN 10% OF REPLACEMENT COST OF BUILDING). REPLACEMENT OF DAMAGED FRAMING MEMBERS (LESS THAN 10% OF REPLACEMENT COST OF BUILDING) FOR HOUSES AND DUPLEXES (NOT INCLUDING DECKS). REPAIR OF WATER DRY-ROT, OR TERMITE DAMAGED STAIRS IN RESIDENTIAL BUILDINGS (LESS THAN 10% OF REPLACEMENT COST OF STAIRS).
Permit Issued Issued on 2/25/2016
Issuing Office West Los Angeles
Current Status Permit Finaled on 10/28/2016

Permit Application Status History

Issued	2/25/2016
Permit Finaled	10/27/2016

LADBS

BOB DUNN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor

Owner-Builder

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Final

9/21/2016

No Access for Inspection

BOB DUNN

Los Angeles Department of Building and Safety

Certificate Information: 605 E WESTMINSTER AVE 90291

③

Application / Permit 16016-30001-04172
Plan Check / Job No. X16WL05554
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description SUPPLEMENTAL PERMIT TO 16016-30000-04172 FOR KITCHEN AND BATHROOM REMODEL FOR RESIDENTIAL BUILDINGS (NO STRUCTURAL CHANGES), RE-STUCCO (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEXES ONLY. REPLACE DRYWALL (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEX ONLY.
Permit Issued Issued on 9/27/2016
Issuing Office West Los Angeles
Current Status Permit Finaled on 10/26/2016

Permit Application Status History

Issued 9/27/2016
Permit Finaled 10/25/2016

LADBS

BOB DUNN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor

Owner-Builder

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Final	9/28/2016	Not Ready for Inspection	BOB DUNN
Smoke Detectors	9/28/2016	Not Ready for Inspection	BOB DUNN
Interior/Exterior Lathing	10/12/2016	Approved	BOB DUNN
Final	10/25/2016	Permit Finaled	BOB DUNN
Smoke Detectors	10/25/2016	Approved	BOB DUNN

Los Angeles Department of Building and Safety

Certificate Information: 605 E WESTMINSTER AVE 90291

5

Application / Permit 16041-30000-36298
Plan Check / Job No. X16WL05913
Group Electrical
Type Electrical
Sub-Type 1 or 2 Family Dwelling
Primary Use ()
Work Description KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING WIRING
Permit Issued Issued on 10/13/2016
Issuing Office West Los Angeles
Current Status Permit Finaled on 10/25/2016

Permit Application Status History

Issued	10/13/2016	LADBS
Permit Finaled	10/25/2016	BOB DUNN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor: Garcia Edwin E; Lic. No.: 870660-B 1217 N VIRGIL AVE #3 LOS ANGELES, CA 90029

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Rough	10/17/2016	Approved	BOB DUNN
Final	10/25/2016	Permit Finaled	BOB DUNN

Los Angeles Department of Building and Safety

Certificate Information: 605 E WESTMINSTER AVE 90291

6

Application / Permit 16042-30000-22257
Plan Check / Job No. X16WL05912
Group Mechanical
Type Plumbing
Sub-Type 1 or 2 Family Dwelling
Primary Use 0
Work Description KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING PLUMBING
Permit Issued Issued on 10/13/2016
Issuing Office West Los Angeles
Current Status Permit Finaled on 10/26/2016

Permit Application Status History

Issued	10/13/2016	LADBS
Permit Finaled	10/25/2016	BOB DUNN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor **Garcia Edwin E; Lic. No.: 870660-B** 1217 N VIRGIL AVE #3 LOS ANGELES, CA 90029

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Gas Test	10/17/2016	Approved	BOB DUNN
Rough	10/17/2016	Corrections Issued	BOB DUNN
Final	10/25/2016	Permit Finaled	BOB DUNN
Rough	10/25/2016	Approved	BOB DUNN

Los Angeles Department of Building and Safety

7

Certificate Information: 605 E WESTMINSTER AVE 90291

Application / Permit 17042-30001-02095
Plan Check / Job No. X17WL00848
Group Mechanical
Type Plumbing
Sub-Type 1 or 2 Family Dwelling
Primary Use ()
Work Description SUPPLEMENTAL PERMIT TO PERMIT NUMBER 17042-20000-02095 TO RELOCATE SINKS, SHOWERS, TOILET - SEWER CONNECTIONS
Permit Issued Issued on 2/9/2017
Issuing Office West Los Angeles
Current Status Issued on 2/9/2017

Permit Application Status History

Issued 2/9/2017

LADBS

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor E M A Plumbing Inc; Lic. No.: 967960-C36

18130 CALVERT STREET TARZANA, CA 91335

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

No Data Available.

Los Angeles Department of Building and Safety

Certificate Information: 605 E WESTMINSTER AVE 90291

(8)

Application / Permit 17042-20000-02095
Plan Check / Job No. X17VN01786
Group Mechanical
Type Plumbing
Sub-Type 1 or 2 Family Dwelling
Primary Use ()
Work Description REPIPE FIXTURES, WATER MAIN, REPLACE SEWER LINE ENGINEERING # V-PER, REPLACE WATER HEATERS WITH TANKLESS
Permit Issued Issued on 1/30/2017
Issuing Office Valley *
Current Status Issued on 1/30/2017

Permit Application Status History

Issued 1/30/2017

LADBS

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor E M A Plumbing Inc; Lic. No.: 967960-C36 18130 CALVERT STREET TARZANA, CA 91335

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Sewer or Sewer Cap	2/9/2017	Corrections Issued	ROBERT INGERSOLL
Sewer or Sewer Cap	2/10/2017	Corrections Issued	JESSE BARBOZA
Underground	2/13/2017	Corrections Issued	JESSE BARBOZA
Underground	2/14/2017	Corrections Issued	JESSE BARBOZA
Final	3/2/2017	Partial Approval	ROMAN MARTINEZ

Plumbing

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE #C 90291

10

Application / Permit 15016-30001-19934
Plan Check / Job No. X16WL05555
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description SUPPLEMENTAL PERMIT TO 15016-10000-19934 FOR (6)WINDOW and (1) DOOR CHANGE-OUT (SAME SIZE & TYPE) FOR RESIDENTIAL BUILDINGS. REPLACE DRYWALL (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEX ONLY.
Permit Issued Issued on 9/27/2016
Issuing Office West Los Angeles
Current Status Permit Finaled on 10/28/2016

Permit Application Status History

Issued	9/27/2016
Permit Finaled	10/27/2016

LADBS

BOB DUNN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Owner-Builder

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Final	9/28/2016	Not Ready for inspection	BOB DUNN
Smoke Detectors	9/28/2016	Not Ready for inspection	BOB DUNN
Interior/Exterior Lathing	10/12/2016	Corrections Issued	BOB DUNN
Interior/Exterior Lathing	10/25/2016	Approved	BOB DUNN
Final	10/27/2016	Permit Finaled	BOB DUNN
Smoke Detectors	10/27/2016	Approved	BOB DUNN

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE #C 90291

11

Application / Permit 15016-10000-19934
Plan Check / Job No. X15LA17403
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description Kitchen / bathroom remodel for residential buildings (no structural changes), Water damage, termite damage/ dry rot repair less than 10% of replacement cost of residential buildings. Replacement of damaged framing members (less than 10% of replacement cost of building) for houses and duplexes (not including decks).
Permit Issued Issued on 9/16/2015
Issuing Office Metro
Current Status Permit Finaled on 10/26/2016

Permit Application Status History

Issued	9/16/2015
Permit Finaled	10/25/2016

LADBS

BOB DUNN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor

Owner-Builder

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

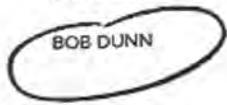
Pending Inspections

No Data Available.

Inspection Request History

Final	9/21/2016	No Access for Inspection	BOB DUNN
Smoke Detectors	9/21/2016	No Access for Inspection	BOB DUNN
Final	10/25/2016	Permit Finaled	BOB DUNN
Smoke Detectors	10/25/2016	Approved	BOB DUNN

Smoke Detectors	9/21/2016	No Access for Inspection	BOB DUNN
Final	9/23/2016	Corrections Issued	BOB DUNN
SGSOV-Seismic Gas S/O Valve	9/23/2016	SGSOV Not Ready	BOB DUNN
Smoke Detectors	9/23/2016	Not Ready for Inspection	BOB DUNN
Wood Frame	10/17/2016	Approved	BOB DUNN
Final	10/25/2016	Not Ready for Inspection	BOB DUNN
SGSOV-Seismic Gas S/O Valve	10/25/2016	SGSOV Approved	BOB DUNN
Smoke Detectors	10/25/2016	Approved	BOB DUNN
Final	10/27/2016	Permit Finaled	BOB DUNN



Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE 90291

13

Application / Permit 17042-90000-03499
Plan Check / Job No. --
Group Mechanical
Type Plumbing
Sub-Type Commercial
Primary Use ()
Work Description mainline and sewer line
Permit Issued Issued on 2/16/2017
Issuing Office _____
Current Status Issued on 2/16/2017

Permit Application Status History

Issued 2/16/2017

INTERNET PERMIT

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor: E M A Plumbing Inc; Lic. No.: 967960-C36 18130 CALVERT STREET TARZANA, CA 91335

Inspector Information

ROMAN MARTINEZ, (310) 914-3947

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Final	2/28/2017	Corrections Issued	ROMAN MARTINEZ
Final	3/2/2017	Partial Approval	CARLOS MATAMOROS
Sewer or Sewer Cap	3/9/2017	Not Ready for Inspection	BOB DUNN
Sewer or Sewer Cap	3/10/2017	No Result Entered	ROMAN MARTINEZ

}

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE 90291

Application / Permit 17042-30001-02096
Plan Check / Job No. X17WL00846
Group Mechanical
Type Plumbing
Sub-Type 1 or 2 Family Dwelling
Primary Use ()
Work Description SUPPLEMENTAL PERMIT TO PERMIT NUMBER 17042-20000-02096 TO RELOCATE SINKS, SHOWERS, TOILET - SEWER CONNECTIONS
Permit Issued Issued on 2/9/2017
Issuing Office West Los Angeles
Current Status Issued on 2/9/2017

Permit Application Status History

Issued 2/9/2017

LADBS

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor E M A Plumbing Inc; Lic. No.: 957960-C36

18130 CALVERT STREET TARZANA, CA 91335

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

No Data Available.

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE 90291

(15)

Application / Permit 17042-20000-02096
Plan Check / Job No. X17VN01789
Group Mechanical
Type Plumbing
Sub-Type 1 or 2 Family Dwelling
Primary Use ()
Work Description REPIPE FIXTURES, WATER MAIN, REPLACE SEWER LINE ENGINEERING # V-PER, REPLACE WATER HEATERS WITH TANKLESS
Permit Issued Issued on 1/30/2017
Issuing Office Valley
Current Status Issued on 1/30/2017

Permit Application Status History

Issued 1/30/2017

LADBS

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor E M A Plumbing Inc; Lic. No.: 967960-C36 18130 CALVERT STREET TARZANA, CA 91335

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

No Data Available.

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE BLDG A 00291

18

Application / Permit 16041-30000-36301
Plan Check / Job No. X16WL05915
Group Electrical
Type Electrical
Sub-Type 1 or 2 Family Dwelling
Primary Use 0
Work Description KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING WIRING
Permit Issued Issued on 10/13/2016
Issuing Office West Los Angeles
Current Status Permit Finaled on 10/26/2016

Permit Application Status History

Issued	10/13/2016	LADBS
Permit Finaled	10/25/2016	<u>BOB DUNN</u>

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Garcia Edwin E, Lic. No.: 870660-B 1217 N VIRGIL AVE #3 LOS ANGELES, CA 90029

Inspector Information

BOB DUNN, (310) 914-3981 Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Rough	10/17/2016	Approved	BOB DUNN
Final	10/25/2016	Permit Finaled	<u>BOB DUNN</u>

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE BLDG A 90029

19

Application / Permit 16042-30000-22258
Plan Check / Job No. X16WL05914
Group Mechanical
Type Plumbing
Sub-Type 1 or 2 Family Dwelling
Primary Use ()
Work Description KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING PLUMBING
Permit Issued Issued on 10/13/2016
Issuing Office West Los Angeles
Current Status Permit Finaled on 10/26/2016

Permit Application Status History

Issued	10/13/2016
Permit Finaled	10/25/2016

LADBS

BOB DUNN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor **Garcia Edwin E; Lic. No.: 870660-B**

1217 N VIRGIL AVE #3 LOS ANGELES, CA 90029

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Gas Test	10/17/2016	Approved	BOB DUNN
Rough	10/17/2016	Approved	BOB DUNN
Shower Pan	10/17/2016	Approved	BOB DUNN
Final	10/25/2016	Permit Finaled	BOB DUNN

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE BLDG C 90291

20

Application / Permit 16041-30000-36303
Plan Check / Job No. X16WL05917
Group Electrical
Type Electrical
Sub-Type 1 or 2 Family Dwelling
Primary Use ()
Work Description KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING WIRING
Permit Issued Issued on 10/13/2016
Issuing Office West Los Angeles
Current Status Permit Finaled on 10/26/2016

Permit Application Status History

Issued	10/13/2016	LADBS
Permit Finaled	10/25/2016	BOB DUNN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Garcia Edwin E; Lic. No.: 870660-B 1217 N VIRGIL AVE #3 LOS ANGELES, CA 90029

Inspector Information

BOB DUNN, (310) 914-3981 Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Rough	10/17/2016	Corrections Issued	BOB DUNN
Final	10/25/2016	Permit Finaled	BOB DUNN
Rough	10/25/2016	Approved	BOB DUNN

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE BLDG C 90291

(21)

Application / Permit 16042-30000-22259
Plan Check / Job No. X16WL05916
Group Mechanical
Type Plumbing
Sub-Type 1 or 2 Family Dwelling
Primary Use ()
Work Description KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING PLUMBING
Permit Issued Issued on 10/13/2016
Issuing Office West Los Angeles
Current Status Permit Finaled on 10/26/2016

Permit Application Status History

Issued	10/13/2016	LADBS
Permit Finaled	10/25/2016	<u>BOB DUNN</u>

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor **Garcia Edwin E. Lic. No.: 870660-B** 1217 N VIRGIL AVE #3 LOS ANGELES, CA 90029

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Gas Test	10/17/2016	Approved	BOB DUNN
Rough	10/17/2016	Approved	BOB DUNN
Shower Pan	10/17/2016	Approved	BOB DUNN
Final	10/25/2016	Permit Finaled	<u>BOB DUNN</u>

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE BLDG D 90291

22

Application / Permit 16016-30000-23253
Plan Check / Job No. X16WL05610
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description 6 WINDOW and 2 DOOR CHANGE-OUT (SAME SIZE & TYPE) FOR RESIDENTIAL BUILDINGS, KITCHEN AND BATHROOM REMODEL FOR RESIDENTIAL BUILDINGS (NO STRUCTURAL CHANGES), REPLACE DRYWALL (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEX ONLY, REPLACEMENT OF DAMAGED FRAMING MEMBERS (LESS THAN 10% OF REPLACEMENT COST OF BUILDING) FOR HOUSES AND DUPLEXES (NOT INCLUDING DECKS), WATER DAMAGE, TERMITE DAMAGE, OR DRY ROT REPAIR LESS THAN 10% OF REPLACEMENT COST OF RESIDENTIAL BUILDINGS.
Permit Issued Issued on 9/28/2016
Issuing Office West Los Angeles
Current Status Permit Finaled on 11/1/2016

Permit Application Status History

Issued	9/28/2016	LADBS
Permit Finaled	10/31/2016	BOB DUNN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor _____ Owner-BUILDER _____

Inspector Information

BOB DUNN, (310) 914-3982

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Smoke Detectors	9/30/2016	Corrections Issued	BOB DUNN
Wood Frame	9/30/2016	Corrections Issued	BOB DUNN
Interior/Exterior Lathing	10/12/2016	Partial Approval	BOB DUNN
Interior/Exterior Lathing	10/17/2016	Not Ready for Inspection	BOB DUNN
Interior/Exterior Lathing	10/25/2016	Approved	BOB DUNN
Final	10/27/2016	Not Ready for Inspection	BOB DUNN
SGSOV-Seismic Gas S/O Valve	10/27/2016	SGSOV Approved	BOB DUNN
Smoke Detectors	10/27/2016	Approved	BOB DUNN
Final	10/31/2016	Permit Finaled	BOB DUNN

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE BLDG D 90291

23

Application / Permit 16041-30000-36305
Plan Check / Job No. X16WL05919
Group Electrical
Type Electrical
Sub-Type 1 or 2 Family Dwelling
Primary Use ()
Work Description KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING WIRING
Permit Issued Issued on 10/13/2016
Issuing Office West Los Angeles
Current Status Permit Finaled on 10/26/2016

Permit Application Status History

Issued 10/13/2016
Permit Finaled 10/25/2016

LADBS

BOB DUNN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Garcia Edwin E; Lic. No.: 870660-B 1217 N VIRGIL AVE #3 LOS ANGELES, CA 90029

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Rough 10/17/2016 Approved
Final 10/25/2016 Permit Finaled

BOB DUNN

BOB DUNN

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE BLDG D 90291

24

Application / Permit 16042-30000-22261
Plan Check / Job No. X16WL05918
Group Mechanical
Type Plumbing
Sub-Type 1 or 2 Family Dwelling
Primary Use ()
Work Description KITCHEN AND BATHROOM REMODEL - REPAIR/REPLACE EXISTING PLUMBING
Permit Issued Issued on 10/13/2016
Issuing Office West Los Angeles
Current Status Permit Finaled on 10/29/2016

Permit Application Status History

Issued	10/13/2016	LADBS
Permit Finaled	10/28/2016	<u>BOB DUNN</u>

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Garcia Edwin E; Lic. No.: 870660-B 1217 N VIRGIL AVE #3 LOS ANGELES, CA 90029

Inspector Information

BOB DUNN, (310) 914-3981 Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Gas Test	10/17/2016	Not Ready for Inspection	BOB DUNN
Rough	10/17/2016	Approved	BOB DUNN
Final	10/26/2016	Corrections Issued	BOB DUNN
Final	10/28/2016	Permit Finaled	<u>BOB DUNN</u>

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE BLDG E 90291

25

Application / Permit 16016-30000-23042
Plan Check / Job No. X16WL05556
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description (2) DOOR CHANGE-OUT (SAME SIZE & TYPE) FOR RESIDENTIAL BUILDINGS. RE-STUCCO (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEXES ONLY. REPLACE DRYWALL (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEX ONLY. REPLACEMENT OF DAMAGED FRAMING MEMBERS (LESS THAN 10% OF REPLACEMENT COST OF BUILDING) FOR HOUSES AND DUPLEXES (NOT INCLUDING DECKS).
Permit Issued Issued on 9/27/2016
Issuing Office West Los Angeles
Current Status Permit Finaled on 11/1/2016

Permit Application Status History

Issued	9/27/2016
Permit Finaled	10/31/2016

LADBS

BOB DUNN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Owner-Builder

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Final	9/28/2016	Not Ready for Inspection	BOB DUNN
Smoke Detectors	9/28/2016	Not Ready for Inspection	BOB DUNN
Wood Frame	9/30/2016	Corrections Issued	BOB DUNN
Interior/Exterior Lathing	10/12/2016	Corrections Issued	BOB DUNN
Interior/Exterior Lathing	10/17/2016	Approved	BOB DUNN
Smoke Detectors	10/25/2016	Not Ready for Inspection	BOB DUNN
Final	10/27/2016	Not Ready for Inspection	BOB DUNN
Smoke Detectors	10/27/2016	Approved	BOB DUNN
Final	10/31/2016	Permit Finaled	BOB DUNN

BOB DUNN

BOB DUNN

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE BLDG. A 90291

26

Application / Permit 15016-30001-16626
Plan Check / Job No. X16WL05553
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description SUPPLEMENTAL PERMIT TO 15016-10000-16626 FOR (5) WINDOW and (4) DOOR CHANGE-OUT (SAME SIZE & TYPE) FOR RESIDENTIAL BUILDINGS. REPLACE DRYWALL (NO NEW WALLS ADDED) FOR SINGLE FAMILY DWELLINGS AND DUPLEX ONLY.
Permit Issued issued on 9/27/2016
Issuing Office West Los Angeles
Current Status Permit Finaled on 11/1/2016

Permit Application Status History

Issued	9/27/2016	LADBS
Permit Finaled	10/31/2016	BOB DUNN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Owner-Builder

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Final	9/28/2016	Not Ready for Inspection	BOB DUNN
Smoke Detectors	9/28/2016	Not Ready for Inspection	BOB DUNN
Piling/Pile/Caisson	9/30/2016	Approved	BOB DUNN
Smoke Detectors	9/30/2016	Approved	BOB DUNN
Interior/Exterior Lathing	10/12/2016	Partial Approval	BOB DUNN
Interior/Exterior Lathing	10/17/2016	Approved	BOB DUNN
Final	10/31/2016	Permit Finaled	BOB DUNN

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE BLDG. A 90291

27

Application / Permit 15016-10000-16626
Plan Check / Job No. X15LA14696
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description Kitchen/bathroom remodel for residential buildings (no structural changes). Water damage, termite damage/ dry rot repair less than 10% of replacement cost of residential buildings.
Permit Issued Issued on 8/7/2015
Issuing Office Metro
Current Status Permit Finaled on 11/1/2016

Permit Application Status History

Issued	8/7/2015	LADBS
Permit Finaled	10/31/2016	BOB DUNN

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Owner-Builder

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Final	9/21/2016	No Access for Inspection	BOB DUNN
Smoke Detectors	9/21/2016	No Access for Inspection	BOB DUNN
Final	9/23/2016	Corrections Issued	BOB DUNN
Smoke Detectors	9/23/2016	Not Ready for Inspection	BOB DUNN
Final	10/25/2016	Not Ready for Inspection	BOB DUNN
Smoke Detectors	10/25/2016	Approved	BOB DUNN
Final	10/27/2016	Not Ready for Inspection	BOB DUNN
Final	10/31/2016	Permit Finaled	BOB DUNN

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE C 90291

28

Application / Permit 17016-20000-04397
Plan Check / Job No. X17VN03431
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (f) Dwelling - Single Family
Work Description Re-roof with Class A or B material weighing less than 6 pounds per sq. ft. over new solid sheathing. 8 Squares. For residential roof replacement > 50% of the total roof area, apply Cool Roof Product labeled and certified by Cool Roofing Rating Council (CRRC). Cool Roof may be required for non-residential buildings per Title 24, Part 6, Section 149(b).
Permit Issued Issued on 2/27/2017
Issuing Office Valley
Current Status Issued on 2/27/2017

Permit Application Status History

Issued 2/27/2017

LADBS

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Bartech; Lic. No.: 857082-C39 6153 TONY AVENUE WOODLAND HILLS, CA 91367

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

Floor/Roof Diaphragm/Shear Wall 3/2/2017 Approved

CARLOS MATAMOROS

Look for

Los Angeles Department of Building and Safety

Certificate Information: 607 E WESTMINSTER AVE D 90291

(30)

Correction or change?

Application / Permit 17016-10001-01556
Plan Check / Job No. X17LA03705
Group Building-
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (1) Dwelling - Single Family
Work Description SUPPLEMENTAL PERMIT FOR PERMIT #17016-90000-01556 TO CHANGE ADDRESS FROM 607 E. WESTMINSTER AVE D & E TO 607 E. WESTMINSTER AVE D., CORRECTING THE USE CODE TO SINGLE FAM. DWLG. AND TO DECREASE # OF WINDOW CHANGE OUT FROM (8) TO (4)
Permit Issued Issued on 3/6/2017
Issuing Office Metro
Current Status Issued on 3/6/2017

Permit Application Status History

Issued 3/6/2017

LADBS

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Omni Valley Construction Corporation; Lic. No.: 868360-B
 20555 DEVONSHIRE STREET #150 CHATSWORTH, CA 91311

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

No Data Available.

Los Angeles Department of Building and Safety

Certificate Information: 605 E WESTMINSTER AVE A & B 90291

Application / Permit 17016-10001-01555
Plan Check / Job No. X17LA03702
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (2) Duplex
Work Description SUPPLEMENTAL PERMIT FOR PERMIT #17016-90000-01555 TO INCREASE VALUE BY \$23,700.00 TO TOTAL \$47,400.
Permit Issued Issued on 3/6/2017
Issuing Office Metro
Current Status Issued on 3/6/2017

32

90291

Permit Application Status History

Issued 3/6/2017

LADBS

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Omni Valley Construction Corporation; Lic. No.: 858360-B 20555 DEVONSHIRE STREET #150 CHATSWORTH, CA 91311

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

No Data Available.

Los Angeles Department of Building and Safety

Certificate Information: 605 E WESTMINSTER AVE A-B 90291

(K)

Application / Permit 17016-10000-06974
Plan Check / Job No. X17LA04783
Group Building
Type Bldg-Alter/Repair
Sub-Type 1 or 2 Family Dwelling
Primary Use (2) Duplex
Work Description Add sill plate anchor bolts, add plywood to cripple walls (if existing) and replace foundation per L.A. City Standard Plan #1 (Earthquake hazard reduction per Chapter 92 of the Los Angeles Building Code), (Houses, residential buildings up to 3 stories and up to 4 units).
Permit Issued Issued on 3/23/2017
Issuing Office Metro
Current Status Issued on 3/23/2017

Permit Application Status History

Issued 3/23/2017 LADBS

Permit Application Clearance Information

Coastal Zone Not Cleared 3/23/2017 JASON HEALEY

Contact Information

Contractor Sinal Construction Inc; Lic. No.: 457238-B 4489 W PICO BOULEVARD LOS ANGELES, CA 90019

Inspector Information

BOB DUNN, (310) 914-3981 Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

No Data Available.



**CITY OF LOS ANGELES
PLANNING DEPARTMENT**

City Hall • 200 N. Spring Street, Room 621 • Los Angeles, CA 90012



**NEIGHBORHOOD PLAN IMPLEMENTATION DIVISION
DIRECTOR OF PLANNING SIGN-OFF**

Venice Coastal Specific Plan (Ordinance 175,693)

Case Number:	DIR 2014-0126-VSO	Date:	01/14/2014
Applicant Name:	Fabian Bever (c) / Robert Thibodeau (a); (310) 452-8161		
	529 California Avenue		
	City Venice	State CA	Zip 90291
Project Location:	607 E Westminster Avenue		
	Zoning: RD1 5-1	Subarea: Oakwood-Milwood-S/E Venice	
Existing Use:	4 detached 1-story SFDs + NC 0 pkg sp	Proposed Use: same	
Project Description:	interior & exterior remodel of an (E) 1-story SFD. Subj lot is developed w/ 4 detached 1-story SFDs w/ no pkg sp (PCIS 14016-30000-00195)		

Non
Conf.

A Specific Plan Project Permit Compliance is not required for the reasons below:

In the Dual Jurisdiction	
<input type="checkbox"/>	An improvement to an existing single- or multiple-family structure that is not located on a Walk Street
In the Single Jurisdiction	
<input checked="" type="checkbox"/>	An improvement to an existing single- or multiple-family structure that is not on a Walk Street
<input type="checkbox"/>	New construction of one single-family unit, and not more than two condominium units, not Walk Street
<input type="checkbox"/>	New construction of four or fewer rental units, not located on a Walk Street
<input type="checkbox"/>	Demolition of four or fewer units
Anywhere in the Coastal Zone	
<input type="checkbox"/>	Any improvement to an existing commercial or industrial structure that increases the total occupant load, required parking or customer area by less than 10 percent (10%).
<input type="checkbox"/>	Any Venice Coastal Development project that has been Categorically Excluded pursuant to a Categorical Exclusion order issued by the Coastal Commission

RECEIVED
South Coast Region

MAY 9 2017

CALIFORNIA
COASTAL COMMISSION

This application has been reviewed by the staff of the Community Planning Bureau, and the proposed project complies with the provisions of the Venice Coastal Specific Plan and all development requirements contained in Section 8 A, 10 G, and 13.

Oakwood-Milwood-Southeast Venice Subarea Development Regulations			
SECTION	STANDARDS	REQUIRED	PROPOSED PROJECT
10 G 2	Density	max 2 dwelling units	(E) NC 4 SFDs. No new unit.
10 G 3	Height	Flat Roof - 25 feet Varied Roofline - 30 feet	(E) 127' varied
10 G 4	Access	Driveways/vehicular access shall be provided from alleyways	NA (E) NC 0 pkg space
13	Parking	SF - 2-3 spaces per unit pending width MF - 2 spaces plus 1 guest pending width <i>When 50% or more of (E) exterior walls are removed/replaced (cumulative) VSP Section 13 D shall apply. Access shall be from the alley, Broadway Court. Subj proj affects about 38% (E) exterior walls.</i>	(E) NC 0 pkg space, Section 13.B Exemption.

The proposed project shall comply with all other regulations of its subject zone and all other provisions of the L.A.M.C. This Director of Planning Sign-Off is based on the information provided by the applicant. If, at a later date, this information is found to be incorrect or incomplete, this sign-off will become invalid, and any development occurring at that time must cease until appropriate entitlements are obtained.

Socorro Smith-Yumui
Venice Unit, 213-978-1208

607D
WESTMINSTER

DU

Design: [unclear]
[unclear]
[unclear]
[unclear]
[unclear]

PROFESSIONAL ENGINEER
[unclear]
[unclear]
[unclear]

PLANNING DEPARTMENT

APPROVED

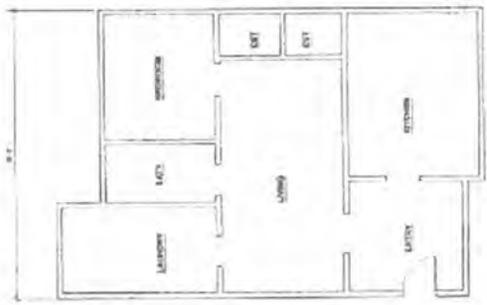
DATE

NO. 1	NO. 2	NO. 3	NO. 4	NO. 5	NO. 6	NO. 7	NO. 8	NO. 9	NO. 10

DATE: [unclear]
BY: [unclear]

A-1.0

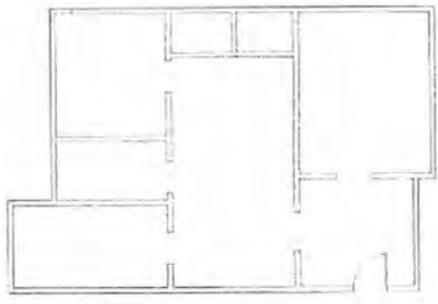
ALLEY



APPROVED
[Signature]

PLANS APPROVED
AS REQUIRED BY
CASE NO. [unclear]
PLANNING DEPARTMENT
City of Los Angeles Planning Dept
Date: [unclear]

ALLEY



APPROVED
[Signature]

PLANNING DEPARTMENT
City of Los Angeles Planning Dept

Los Angeles Department of Building and Safety

RECEIVED
South Coast Region

MAY 9 2017

CALIFORNIA
COASTAL COMMISSION

Certificate Information: 607 E WESTMINSTER AVE D 90291

Application / Permit 17016-10001-01556

Plan Check / Job No. X17LA03705

Group Building-

Type Bldg-Alter/Repair

Sub-Type 1 or 2 Family Dwelling

Primary Use (1) Dwelling - Single Family

Work Description SUPPLEMENTAL PERMIT FOR PERMIT #17016-90000-01556 TO CHANGE ADDRESS FROM 607 E. WESTMINSTER AVE D & E TO 607 E. WESTMINSTER AVE D., CORRECTING THE USE CODE TO SINGLE FAM. DWLG. AND TO DECREASE # OF WINDOW CHANGE OUT FROM (8) TO (4)

Permit Issued Issued on 3/6/2017

Issuing Office Metro

Current Status Issued on 3/6/2017

30

Permit Application Status History

Issued 3/6/2017

LADBS

Permit Application Clearance Information

No Data Available.

Contact Information

Contractor Omni Valley Construction Corporation; Llc. No.: 868360-B

20555 DEVONSHIRE STREET #150 CHATSWORTH, CA 91311

Inspector Information

BOB DUNN, (310) 914-3981

Office Hours: 7:00-8:00 AM MON-FRI

Pending Inspections

No Data Available.

Inspection Request History

No Data Available.

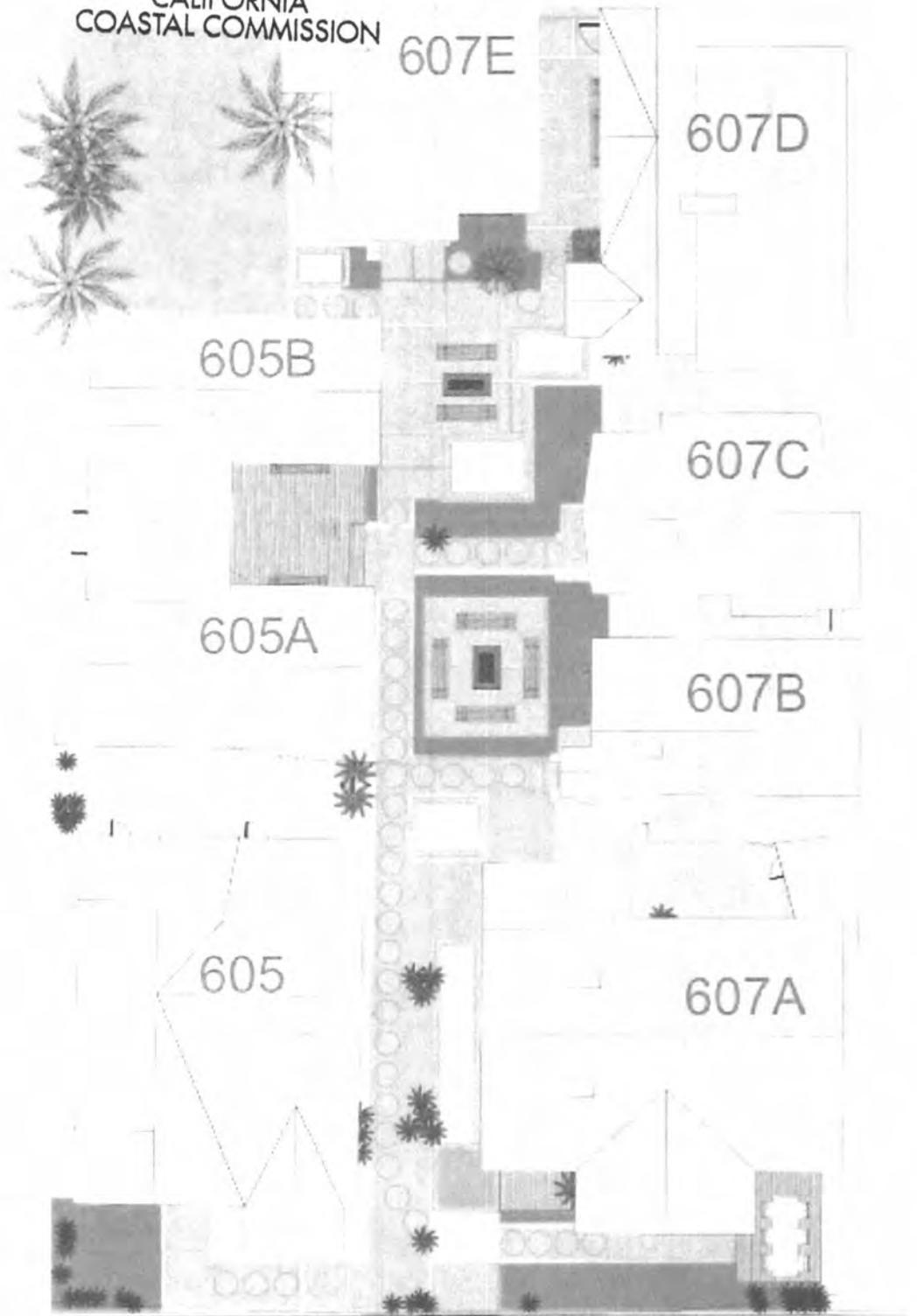
RECEIVED
South Coast Region

Exhibit J

MAY 9 2017

CALIFORNIA
COASTAL COMMISSION

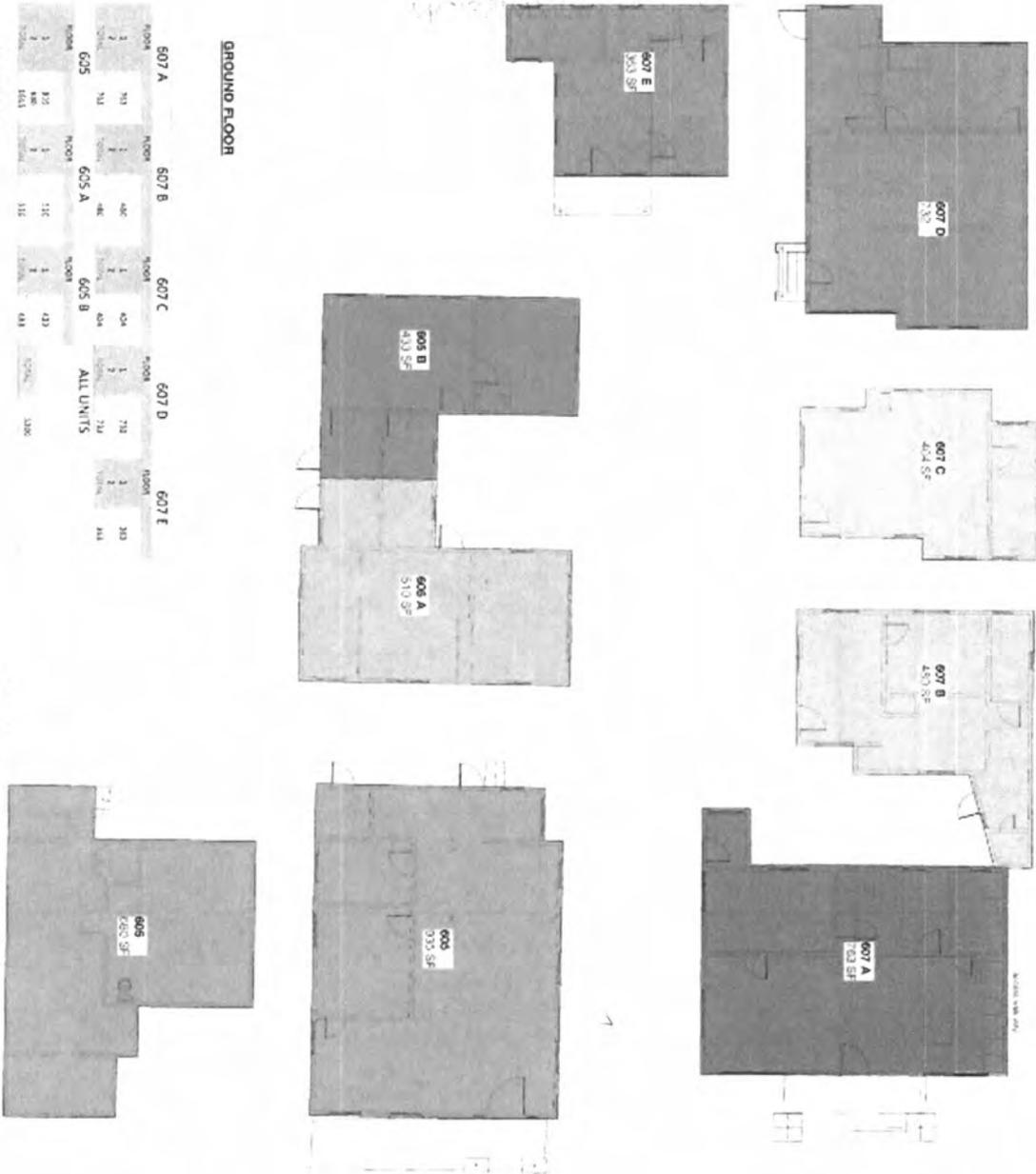
Restoration Spotlight: The New Westminster Place



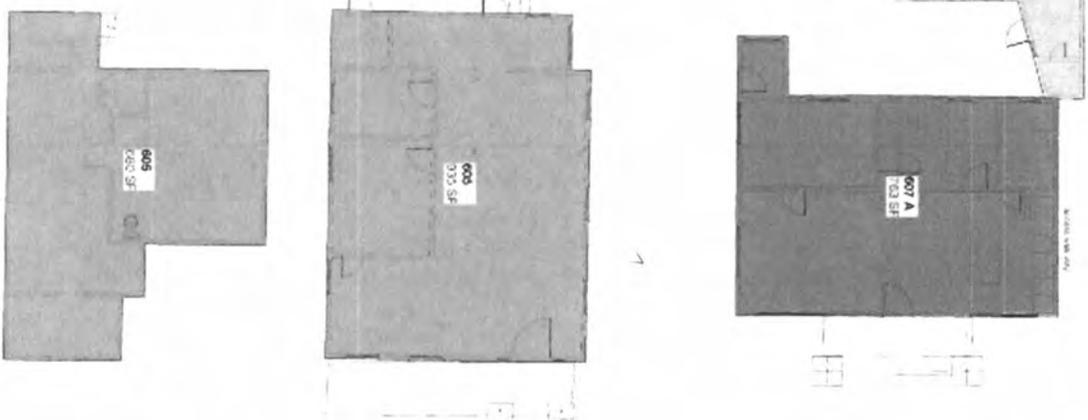
AREA CALC

FLOOR	NO. OF UNITS	TOTAL AREA (SF)
605	1st	712
	2nd	1643
607 A	1st	436
	2nd	115
607 B	1st	404
	2nd	433
607 C	1st	712
	2nd	712
607 D	1st	320
	2nd	320
607 E	1st	320
	2nd	320
ALL UNITS		3380

GROUND FLOOR



2ND FLOOR

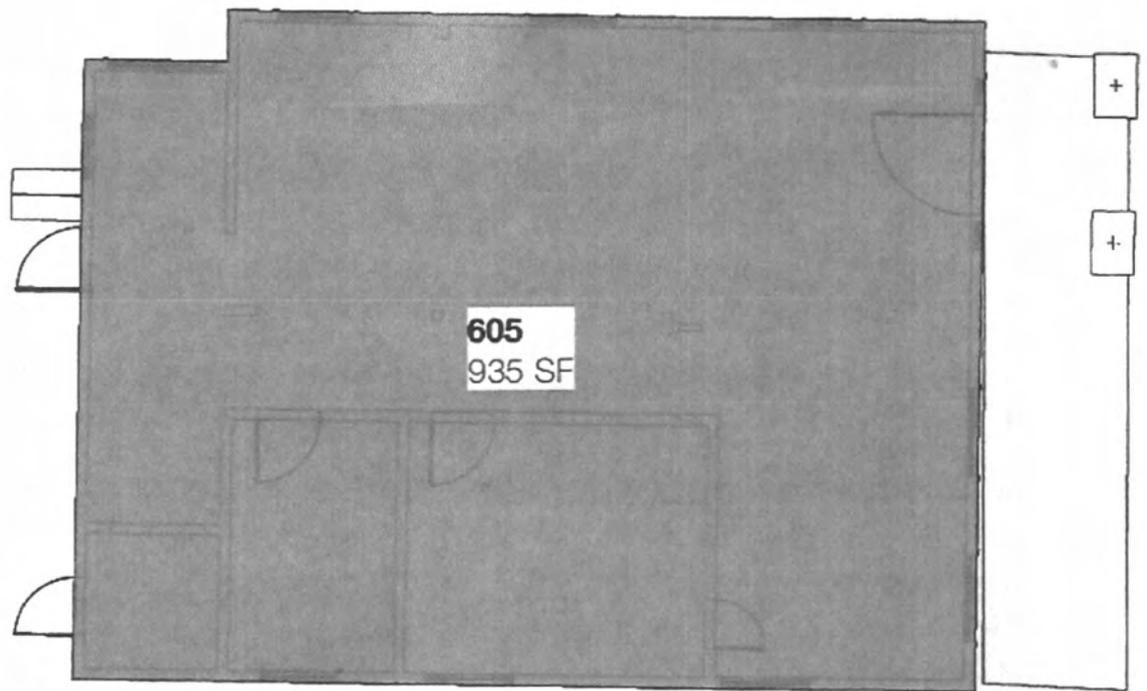


WESTMINSTER AVENUE

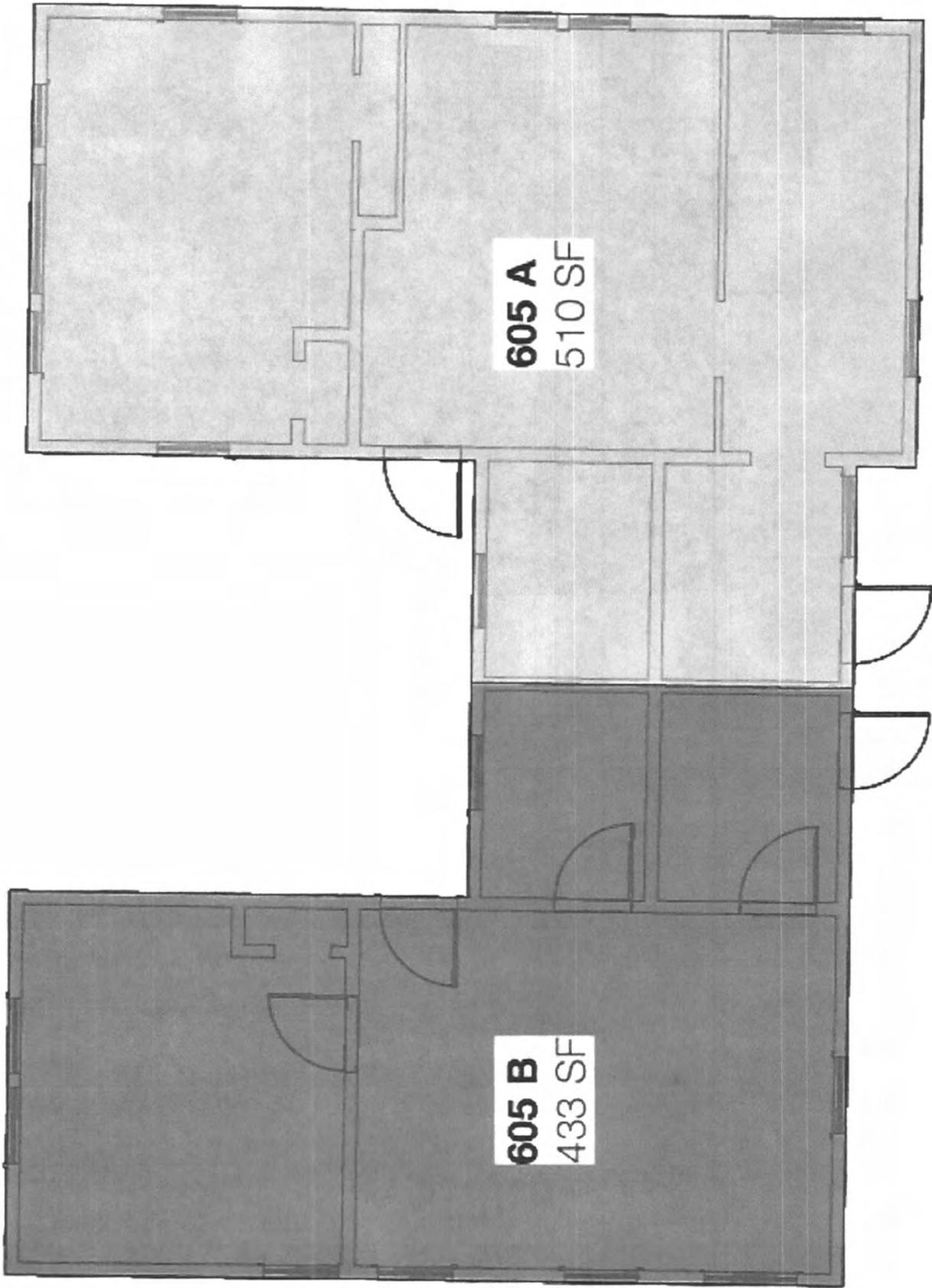
605 - 607 WESTMINSTER AVE

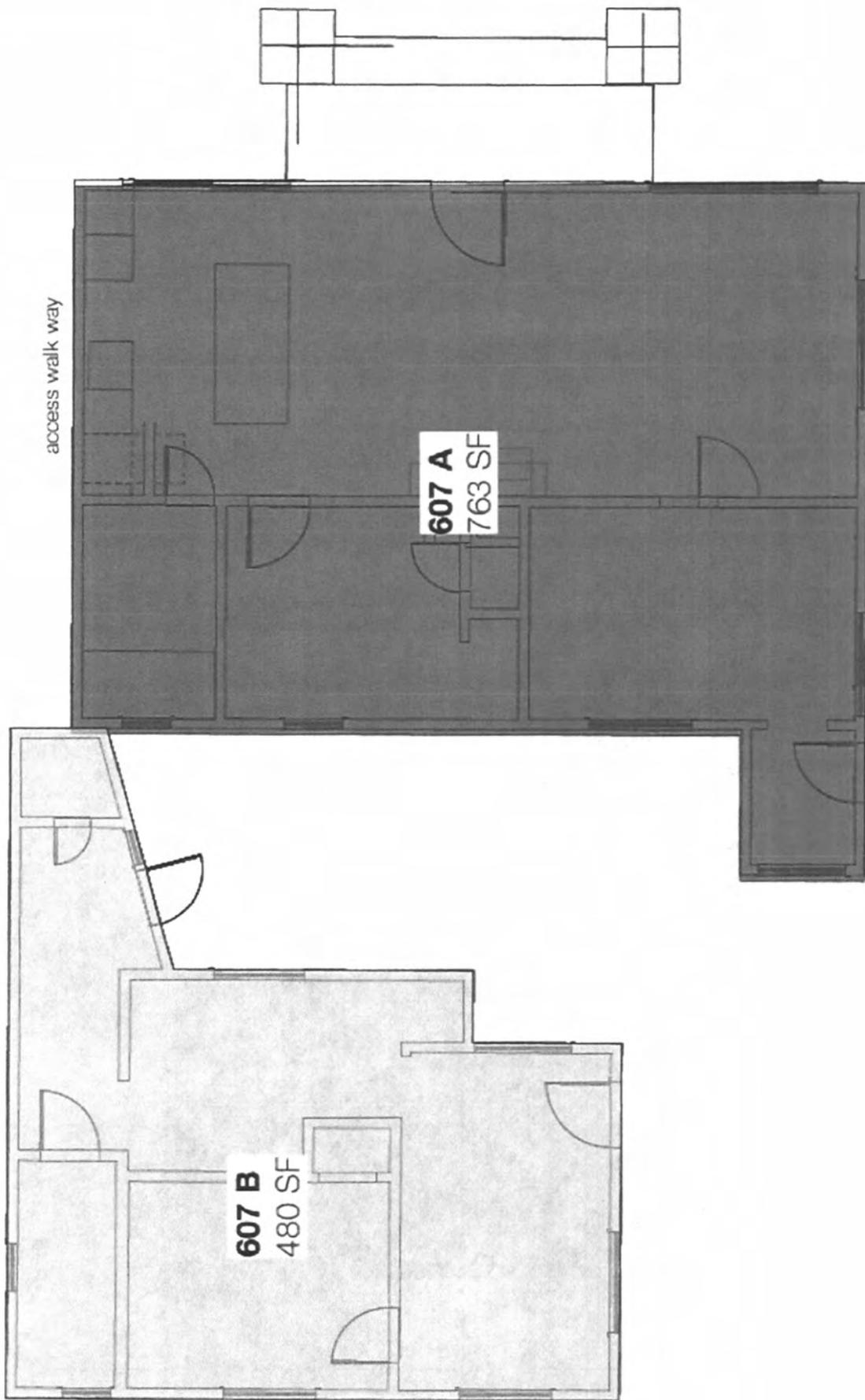
hert10
 REAL ESTATE DIVISION
 1114 GARDEN ST. SUITE 100
 LOS ANGELES, CA 90012
 (213) 475-1010
 WWW.HERT10.COM

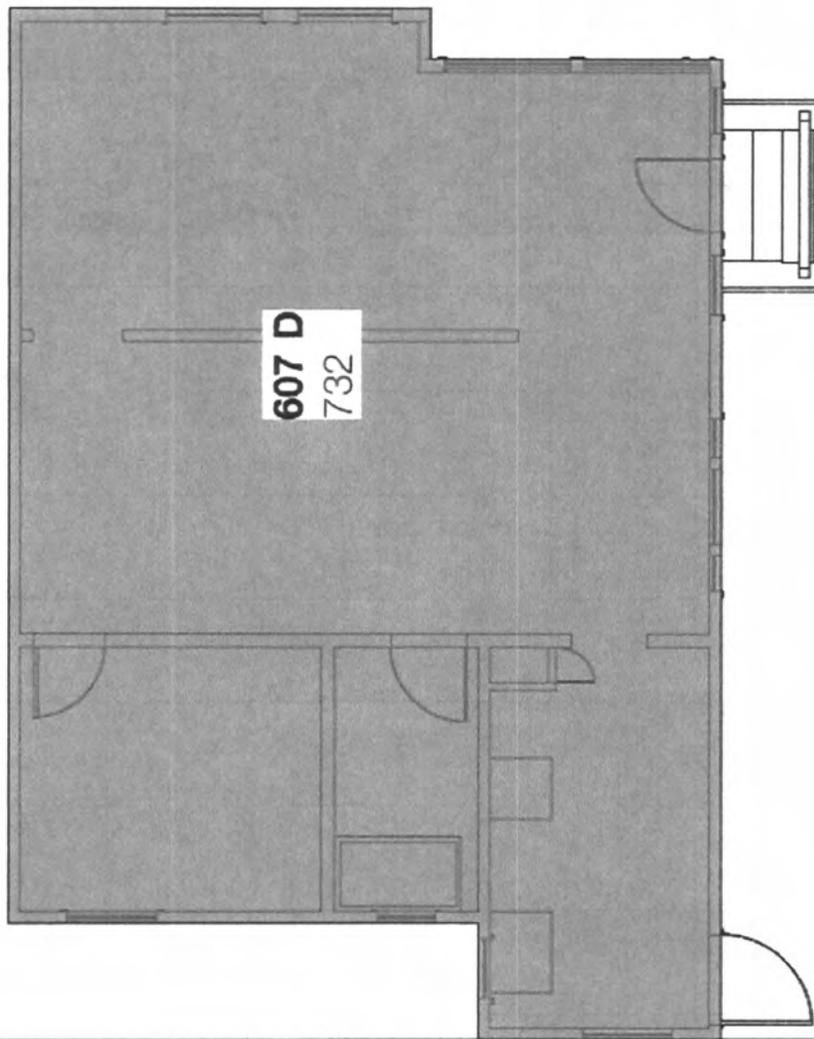
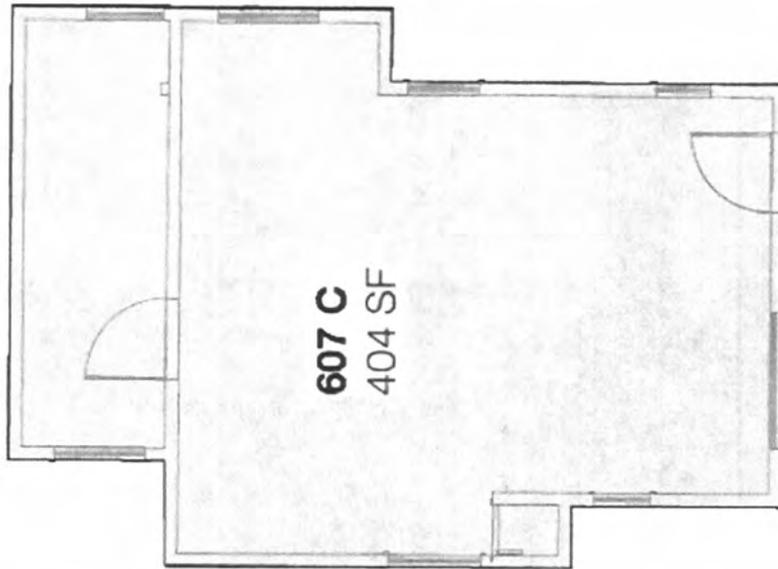
1
 2014-2015
 11/11/15



2ND FLOOR









GROUND FLOOR

607 A			607 B			607 C			607 D			607 E		
FLOOR			FLOOR			FLOOR			FLOOR			FLOOR		
1	763		1	480		1	404		1	732		1	363	
2			2			2			2			2		
TOTAL	763		TOTAL	480		TOTAL	404		TOTAL	732		TOTAL	363	
605			605 A			605 B			ALL UNITS					
FLOOR			FLOOR			FLOOR			TOTAL					
1	935		1	510		1	433		5300					
2	680		2			2								
TOTAL	1615		TOTAL	510		TOTAL	433							

AREA CALC

Added



When real estate and hospitality company Modern Life Homes came across a small compound of cottages in Venice, they saw more than a few run-down 1920s-era houses.

When real estate and hospitality company Modern Life Homes came across a small compound of cottages in Venice, they saw more than a few run-down 1920s-era houses. This micro-community had a story to tell.



An industrious, African American teenager began working for housing developer Abbot Kinney in 1910, but he never planned on becoming the older man's chauffeur and confidante. Within a few years, Louisiana native Irving Tabor was Kinney's right hand man and personal assistant, and Kinney helped Tabor gather the necessary resources to build a compound of homes for his large family in 1912. Tabor slowly constructed the eight homes over the next decade, where his family continued to live for decades after.

Now, the community has been meticulously restored by Modern Life Homes and is currently up for sale. If you have a big family or plans to start your own commune, this may be the perfect find! Check it out over here.

605 607 Westminster
Venice, CA 90291

Overview

Photos



Residential Home ◊ \$5,800,000

A historic trophy compound offering eight eclectic homes on huge 10,410 sqft double lot with 5,300 square feet floor area. Live lavishly with your family across all bungalows, start a commune or simply enjoy top market rents. Each home uniquely updated to masterfully sustain the original Venetian charm while incorporating contemporary fit and finishes. A perfect balance of rustic and contemporary lifestyles, each room awash with natural light. Delight in the relaxing blend and balance of old and new. This trophy property is located just steps from the vibrancy of Abbot Kinney in the heart of Venice, aka Silicon Beach, truly one of a kind. All homes are vacant and to be sold together. The projected total gross scheduled income is approximately \$325,200 from all 8 units.

See attached documents at bottom of page for additional information on property.

Historical property link

<http://thewestminsterplace.com/history> (<http://thewestminsterplace.com/history>)

Name: 605-607 Westminster Avenue



RECEIVED
South Coast Region

MAY 9 2017

CALIFORNIA
COASTAL COMMISSION

Description:

Located at 605-607 Westminster Avenue, this property spans two parcels, and contains a one-story main residence and four smaller guest houses behind, forming a residential courtyard. The property is not fully visible from the public right of way.

Significance:

May be a rare example of a property associated with Venice founder Abbot Kinney, and/or Kinney's chauffeur Irving Tabor, an important early black resident of Venice. Sources suggest this property was developed in 1915 by Abbot Kinney, with a main house and four smaller guest houses behind, forming a residential courtyard. Other sources indicate the Tabor family may have resided in one of the guest houses around 1917-1923. However, more research is needed to confirm these associations; therefore, the evaluation could not be completed.



Context 1:

Context:	Other Context, 1850-1980
Sub context:	No Sub-context
Theme:	Important Persons/Individuals, 1850-1980
Sub theme:	No SubTheme
Property type:	Residential
Property sub type:	Multi-Family Residence
Criteria:	B/2/2
Status code:	QQQ
Reason:	May be a rare example of a property associated with Venice founder Abbot Kinney, and/or Kinney's chauffeur Irving Tabor, an important early black resident of Venice.

Name: Oakwood Planning District**Description:**

The Oakwood Planning District is a residential neighborhood located in the northwestern portion of Venice. The district contains approximately 1,800 parcels. It is bounded by Dewey Street to the northwest, Lincoln Boulevard to the northeast, California Avenue to the southeast, Electric Avenue to the southwest, and Hampton Drive to the west.

The district occupies flat terrain less than a mile from the Pacific Ocean. Streets throughout the district exhibit a rectilinear pattern and are arranged in an orthogonal grid. Lots in the district are modest in size, with most parcels less than 0.15 acres. Development in the district is primarily residential, with some institutional properties, primarily churches, scattered throughout. Additionally, there are some commercial manufacturing uses located in the northwestern portion of the district, as well as neighborhood commercial developments along Rose Avenue and Hampton Drive. Original buildings were constructed primarily from 1905 through the 1920s, with a secondary wave of development during the 1940s and 1950s. Today, these early buildings share the block with more recent construction. District features include uniform setbacks, concrete curbs and sidewalks, and landscaped parkways.

Significance:

The Oakwood Planning District is significant as a rare example of an early-20th century African-American enclave in Venice. While the area does not retain sufficient integrity or cohesion to qualify as a historic district, it may warrant special consideration for local planning purposes.

In 1891, tobacco magnate and real estate developer Abbot Kinney and his business partner, Francis G. Ryan, purchased a 1.5 mile-long strip of beachfront land located to the south of Santa Monica. The 275-acre parcel, which extended from Strand Street south to Mildred Avenue, had originally comprised a portion of the Rancho La Ballona and was initially settled by the Machado and Talamantes families in the early 1800s. Kinney and Ryan turned their attention to the northern portion of the tract, where they developed the resort community of Ocean Park. In 1898, Francis Ryan died suddenly at the age of 47. Kinney attempted to carry on and eventually acquired three new business partners in 1902: Alexander Fraser, Henry Gage, and George Merritt Jones.

Over time Kinney has become known for his development of the Venice of America tract, which occurred in 1904 following his professional split from the three men and the subsequent dissolution of their business operations. However, in the intervening years Kinney, Fraser, Gage, and Jones invested in expanding and improving the community of Ocean Park under the auspices of the Ocean Park Development Company. Their success, as well as Kinney's later achievements in Venice, spurred development by other investors in the surrounding area, and much of the land comprising the district represents early efforts by individual developers to capitalize on the success of Ocean Park and Venice. The first subdivisions for residential development occurred within the district around 1903; many subsequent tracts were recorded after Venice was officially opened in 1905, and development activity continued through the mid-1920s.

While the district exemplifies trends in residential development during the early 1900s, it is perhaps more notable as an important example of African-American life in Southern California during the 20th century. There were three phases of African-American population expansion in Venice; the first two phases were a direct result of migration from the South as blacks sought improved living conditions, greater financial opportunities, and increased freedom from racially hostile communities. The first of these phases took place in the early 1900s. The population of African-Americans in Venice tripled

between 1910 and 1920 as blacks arrived to work as manual laborers, service workers, and servants to wealthy white residents. Some of the earliest black residents of Venice settled in the area because they were hired as employees of Abbot Kinney; among these were cousins Arthur Reese and Irving Tabor.

Reese arrived with his family from Louisiana around 1905, intending to establish a janitorial service, and soon invited his cousin Irving Tabor and family to join them in Oakwood. Reese, an artist and sculptor, began making suggestions to Kinney and eventually was hired as the town decorator. He is best known for decorating parade floats simulating Mardi Gras, which became emblematic of Reese's sterling career. Tabor was eventually hired as Abbot Kinney's chauffeur, and the two men forged a special bond. When Abbot Kinney died, he willed his house to Tabor. However, due to racist sentiments elsewhere in Venice, Tabor was compelled to move the house to its present-day location in Oakwood. Both the Reese and Tabor residences remain extant in Oakwood today; the Irving Tabor Residence is designated as a Los Angeles Historic-Cultural Monument.

At the time, housing was sporadically scattered throughout Oakwood, and as much of the land remained undeveloped, it became an early site for black homeownership. It is unclear whether or not racially restrictive housing covenants – already enacted in nearby communities like Santa Monica – were enforced in Ocean Park and Venice. However, de facto segregation in hiring practices and real estate sales restricted the mobility of black residents and led to the development of Oakwood as a predominantly African-American neighborhood. As one black resident later recalled, when asked why her family had chosen to settle in Oakwood, "This was the only place that they would sell to you. We knew."

Early on, Oakwood was also home to a number of neighborhood churches: "By 1912, although there were only thirty-some black residents, there were already two African American churches in Oakwood. Fifty years later, the congregation of the First Baptist Church had grown to include over six hundred members." Several of these early congregations are still present in Oakwood today, serving as important gathering places for the African-American community, including First Baptist Church, Bethel Tabernacle Church of God in Christ, Friendship Baptist Church, and The Nazarene Church (now New Bethel Baptist Church).

The second phase of migration from the Southern states occurred during World War II, when the need for defense workers at nearby manufacturing facilities, such as Hughes Aircraft in Culver City and McDonnell Douglas in Santa Monica. The population of blacks in Oakwood tripled again between 1940 and 1950. The third and final phase of migration came during the postwar population boom and subsequent construction of the Santa Monica Freeway. Black and Latino residents who had been evicted from their homes in Santa Monica under eminent domain relocated to Venice. It was not until 1970 that the black population in Oakwood began to decline. By that time, however, many descendants of the neighborhood's earliest African-American families had settled in Oakwood, creating a tradition of third-, fourth-, and fifth-generation residents. Families frequently constructed additional houses on the same parcel of land, which provided an opportunity for children and grandchildren to become homeowners in Venice.

As the economic environment began to shift during the highly politicized 1960s and 1970s, many African-Americans found it difficult to secure housing and employment; community organizers collaborated with the U.S. Department of Housing and Urban Development (HUD) to construct fourteen low-income housing projects in Oakwood during the early 1970s. These buildings were scattered throughout the entire district and provided assistance to many African American residents, allowing them to maintain a strong association with the neighborhood.

Despite its significance, the Oakwood Planning District does not possess sufficient integrity to qualify as a historic district. Many of the district's original buildings have undergone some degree of alteration or have been replaced with newer construction, which has compromised the cohesion and integrity of the district as a whole. However, the district continues to convey the feeling of an early-20th century residential neighborhood and retains a strong association as an African-

American enclave, with many third-, fourth-, and fifth generation residents. For these reasons, this area may warrant special consideration for local planning purposes.



Context 1:

Context:	Residential Development and Suburbanization, 1850-1980
Sub context:	No Sub-context
Theme:	Ethnic Enclaves, 1880-1980
Sub theme:	No SubTheme
Property type:	Residential Neighborhood
Property sub type:	No Sub-Type
Criteria:	A/1/1
Status code:	6LQ
Reason:	The Oakwood Planning District is significant as a rare example of an early-20th century African-American enclave in Venice. While the area does not retain sufficient integrity or cohesion to qualify as a historic district, it may warrant special consideration for local planning purposes.

Context: Residential Development & Suburbanization, 1850-1980

Theme: Ethnic Enclaves, 1880-1980

This Context/Theme was used to evaluate the Oakwood Planning District as a rare example of an early-20th century African-American enclave in Venice. Oakwood first established itself as an African-American neighborhood in the early 1900s, as blacks migrating from the South settled in Venice to work as manual laborers, service workers, and servants to wealthy white residents. During World War II, the black population of Oakwood increased dramatically due to the need for defense workers at nearby manufacturing facilities, such as Hughes Aircraft in Culver City and McDonnell Douglas in Santa Monica. By the 1970s, many descendants of the neighborhood's earliest African-American families had settled in Oakwood, creating a tradition of third-, fourth-, and fifth-generation residents, and thereby providing a unique opportunity for homeownership in Venice. Predominantly single-family residential in its development, Oakwood is also home to several early religious congregations that continue to serve as important gathering places for the African-American community, including First Baptist Church, Bethel Tabernacle Church of God in Christ, Friendship Baptist Church, and The Nazarene Church (now New Bethel Baptist Church). While the area does not retain sufficient integrity or cohesion to qualify as a historic district, it may warrant special consideration for local planning purposes.



Name: Oakwood Planning District
Description: Street view



Name: Oakwood Planning District
Description: Street view

Field Surveys do not include:

- Individual resources and historic districts (including HPOZs) that are already designated (listed in the National, California or local registers).
- Community Redevelopment Area (CRA) surveys conducted within the last five years
- Potential Historic Preservation Overlay Zone (HPOZ) areas which have been surveyed in the last five years and are in the process of being designated.

SurveyLA Resources Types

SurveyLA identifies individual resources, non-parcel resources, historic districts and district contributors and non-contributors. Each of these is described below. Appendices A, B, and C are organized by resource type.

- **Individual Resources** are generally resources located within a single assessor parcel, such as a residence. However, a parcel may include more than one individual resource, if each appears to be significant.
- **Non-Parcel Resources** are not associated with Assessor Parcel Numbers (APNs) and generally do not have addresses. Examples include street trees, streetlights, landscaped medians, bridges, and signs.
- **Historic Districts** are areas that are related geographically and by theme. Districts may include single or multiple parcels, depending on the resource. Examples of resources that may be recorded as historic districts include residential neighborhoods, garden apartments, commercial areas, large estates, school and hospital campuses, and industrial complexes.
- **District Contributors and Non-Contributors** are buildings, structures, sites, objects, and other features located within historic districts. Generally, non-contributing resources are those that are extensively altered, built outside the period of significance, or that do not relate to historic contexts and themes defined for the district.
- **Planning Districts** are areas that are related geographically and by theme, but do not meet eligibility standards for designation. This is generally because the majority of the contributing features have been altered, resulting in a cumulative impact on the overall integrity of the area that makes it ineligible as a Historic District. The Planning District determination, therefore, is used as a tool to inform new Community Plans being developed by the Department of City Planning. These areas have consistent planning features – such as height, massing, setbacks, and street trees – which warrant consideration in the local planning process.

Oakwood [edit]

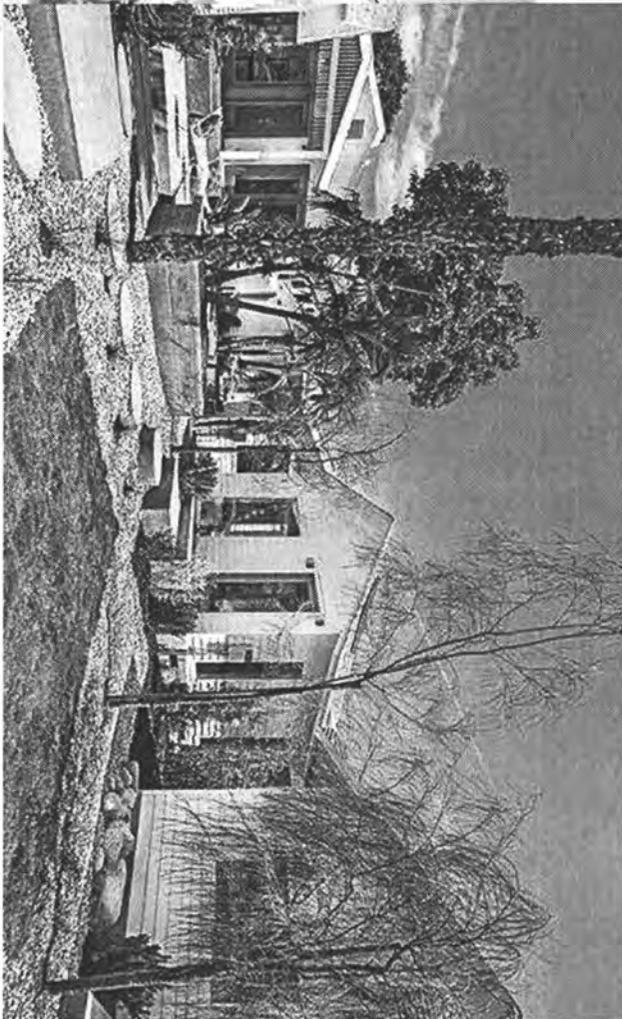
The Oakwood portion of Venice, also known as "Ghost Town" and the "Oakwood Pentagon," lies inland from the tourist areas and is one of the few historically African American areas in West Los Angeles; Latinos now constitute the overwhelming majority of the residents. During the age of restrictive covenants that enforced racial segregation, Oakwood was set aside as a settlement area for Black-Americans, who came by the hundreds to Venice to work in the oil fields during the 1930s and 1940s. After the construction of the San Diego Freeway, which passed through predominantly Mexican American and immigrant communities, those groups moved further west and into Oakwood where black residents were already established. White-Americans moved into Oakwood during the 1980s and 1990s and Latinos moved out.^[37]

By the end of the 20th century, gentrification had altered Oakwood. Although still a primarily Latino and African-American neighborhood, the neighborhood is in flux. According to *Los Angeles City Beat*,^[38] "In Venice, the transformation is... obvious. Homes are fetching sometimes more than \$1 million, and homies are being displaced every day." In 2012, an article in the *Los Angeles Times* predicted that the wine shops, cafes, restaurants and other businesses opening on Rose Avenue—adjacent to Oakwood—would soon lead to the other streets of Venice being transformed into upmarket areas.^[37] Xinachtli, a Latino student group from Venice High School and subset of MEChA, refers to Oakwood as one of last beachside communities of color in California. Chicanos, Hispanics, and Latinos of any race or ethnicity make up over 50% of Venice High School's student body.^[39]

605-607 Westminster Ave

BUNGALOW REPAIR AND REPLACE





BACKGROUND:

When we first discovered the Westminster bungalow complex in 2016, we fell in love with the classic Venice style as well as the tasteful renovation of the property. We were impressed with the unique history of the place, which was stated on a plaque at the front door as well as in sales materials available online. It seemed exciting that the legacy of Irving Tabor could be celebrated by the existence of these bungalows. We thought it would be a wonderful privilege to own and maintain this special oasis in the middle of an attractive and culturally interesting neighborhood.

Our intention for buying the property is to eventually turn it into a compound for family and friends to live communally, in a simple and friendly manner. We think it's particularly attractive for our retirement, so we hope to make some improvements for handicap accessibility in the future. In the meantime, we will lease out those bungalows that our extended family does not need. We are not real estate speculators or developers, and the investment we've made in the property was not priced for a quick resale.

The Henson family owns several properties of historical interest, all of which have been tastefully renovated and maintained for private use, without any cause for neighborhood or civic concern. We own a 1927 home in the Beverly Hills flats, an Edwardian home in London, and most importantly we own the historic Charlie Chapin studio at Sunset and La Brea. We understand and value interesting buildings and properties. In short, we believe we are the perfect owners for the property at 605-607 Westminster Ave.

CONDITION OF THE PROPERTY AT PURCHASE:

We greatly admire the style of renovation undertaken by the previous owners. We think it is attractive and in keeping with the original style, which is archetypally "Venice." The modern interior style is simple and breezy, while the exterior style is an homage to the past. The previous owners renovated four of the eight bungalows, and left the other four unfinished. We purchased the property with the plan in mind to continue their renovation in the same style.

Upon further inspection, we learned that the "finished" bungalows lacked foundations and were unsafe due to their sitting directly on the ground or being propped up on rotting timbers. We added foundation work to the scope of our plans because we hope to keep the property long-term and we were concerned about the flimsiness of the structures.

The other four bungalows (the un-renovated ones) were dangerously derelict, and we would not have considered renting them to tenants nor moving into them. Renovation of those buildings was never in question. They needed to be repaired, made safe, and brought up to code.

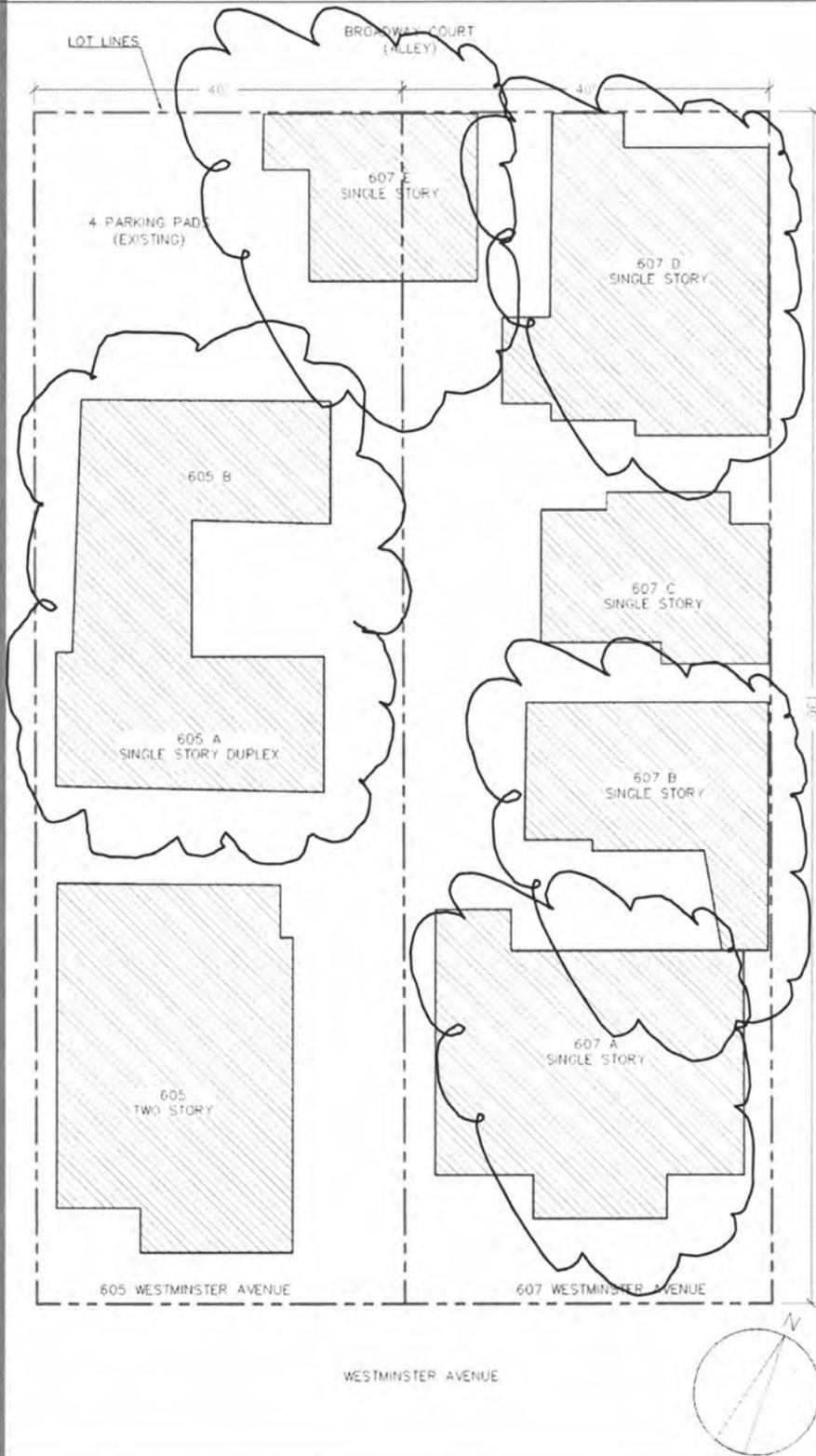
OUR RENOVATION PLAN:

The current project is to repair and maintain the existing buildings on the site. As mentioned above, each building will have a foundation, and each building will be made safe and brought up to code.

The renovation does not change any square footage, height, or roof line. We are not changing the existing footprint of the bungalows. There will be no additions and all dimensions will be the same. The character of the buildings will be maintained.

We are delivering detailed plans for the four buildings that have not yet been renovated; they will look very similar (when finished) to the currently renovated bungalows. In fact, when the project is finished, the overall property will look almost the same as when it was on the market last year. We believe that the property looked appropriate and appealing at that time, and that the neighbors had a long time to live with the renovations through the availability of real estate sales materials and open house traffic at that time. We are confused as to why a complaint is being made about our current continuation of the project.

Plot Plan



Renovation Overview

Foundation Upgrades— the foundation repair process was as follows; all walls and roofs are supported by temporary shoring with 2x4's.

Once the structure is supported, manual hydraulic jacks are used to lift the structure slightly. The cracked foundations are excavated and removed. New re-bar is run, wooded forms are placed and new concrete is poured.

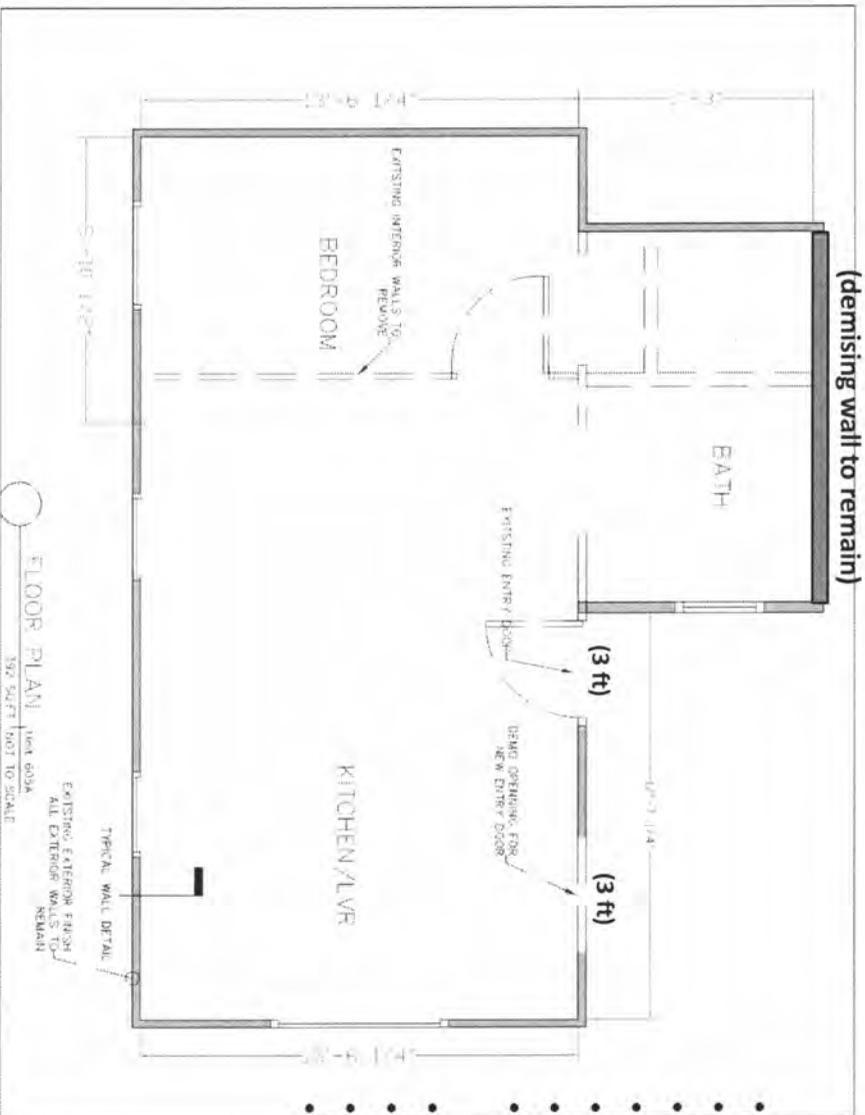
Additional plywood "cripple walls" are added to the new foundation area to meet earthquake retrofit codes.

Once concrete has cured, anchor bolts are added to tie down the sill plates on all new foundation areas. This process is the current building standard.

Demo & Voluntary Structural Upgrades to Existing Structures – all work performed is to repair and retain the existing character and the buildings on the site. We are maintaining the same rooflines and existing building footprints.

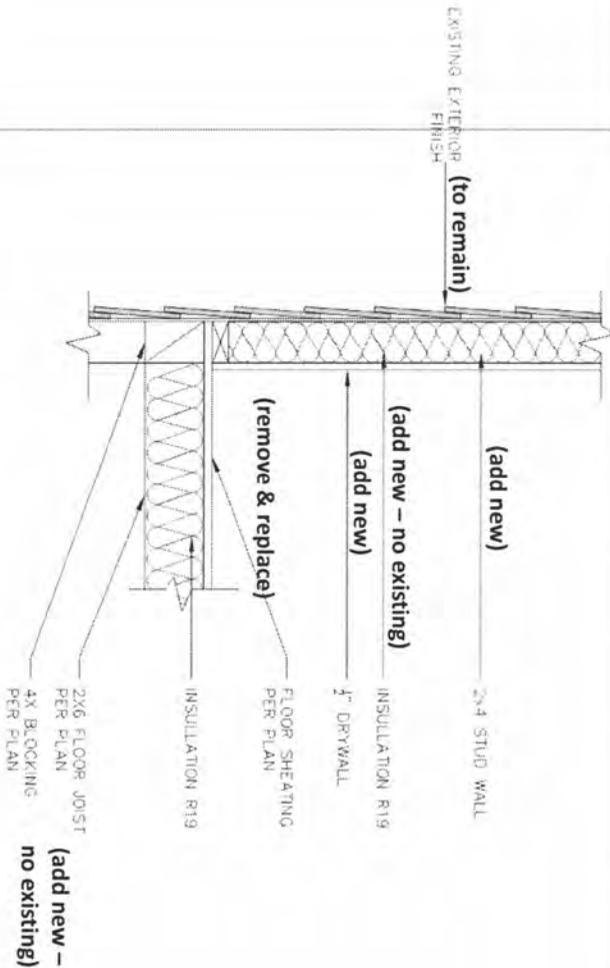
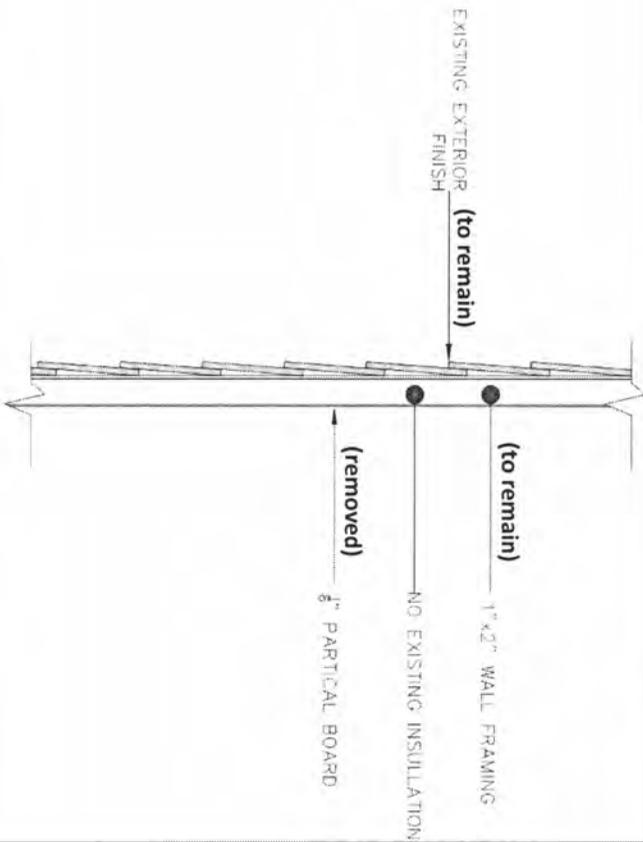
There are no additions, added square footage and all outside dimensions remain the same.

Bungalow 605 A – Demo Plan

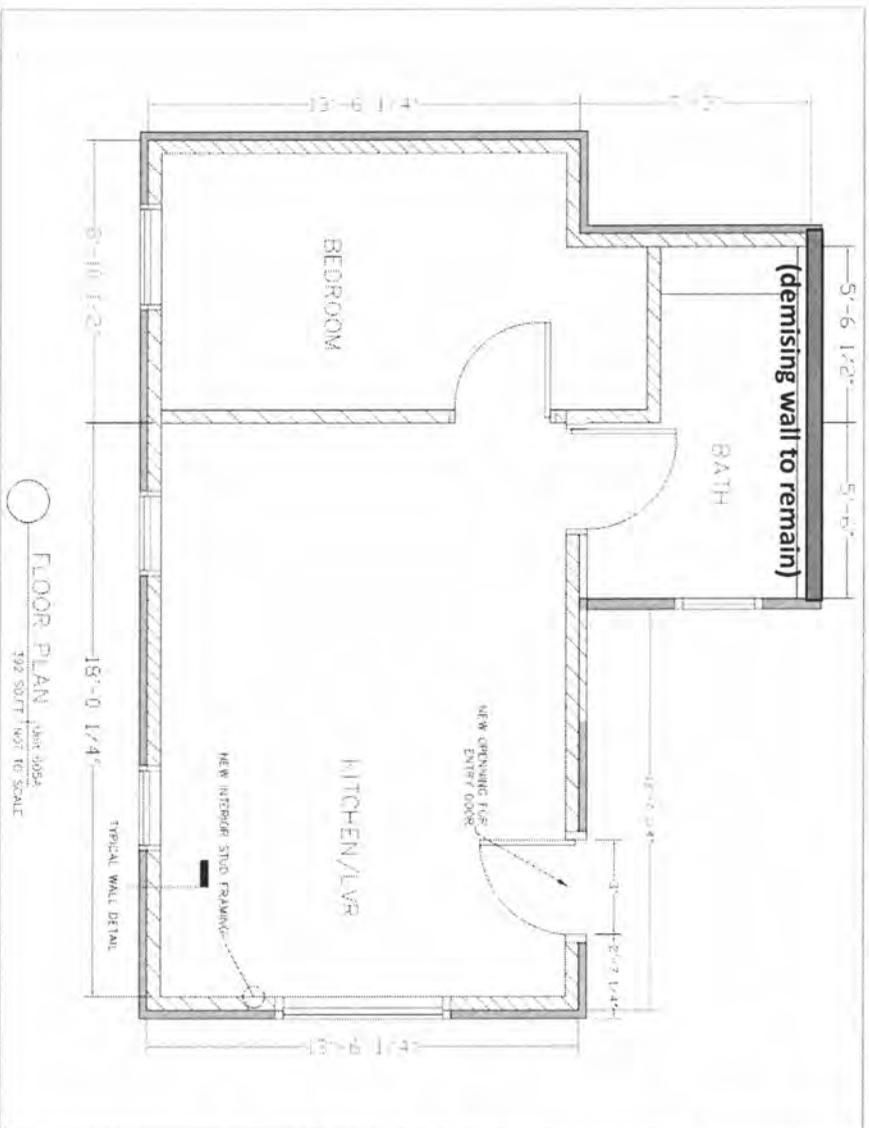


- 52 LF of 1/8 " fiber board on walls removed in LR and BR.
- No insulation found in walls.
- 1x2 studs to on perimeter walls to remain.
- 2x4 studs in bathroom perimeter walls to remain.
- Interior bedroom wall removed and moved 12".
- Demising wall between 605 A & B to remain.
- Interior bathroom wall removed to create shower enclosure and closet.
- 3' entry door location moved.
- Old door location closed with 3' of new siding to match.
- 100% of exterior siding to remain.
- All walls were supported during work.

Existing Exterior & New Wall and Floor Detail

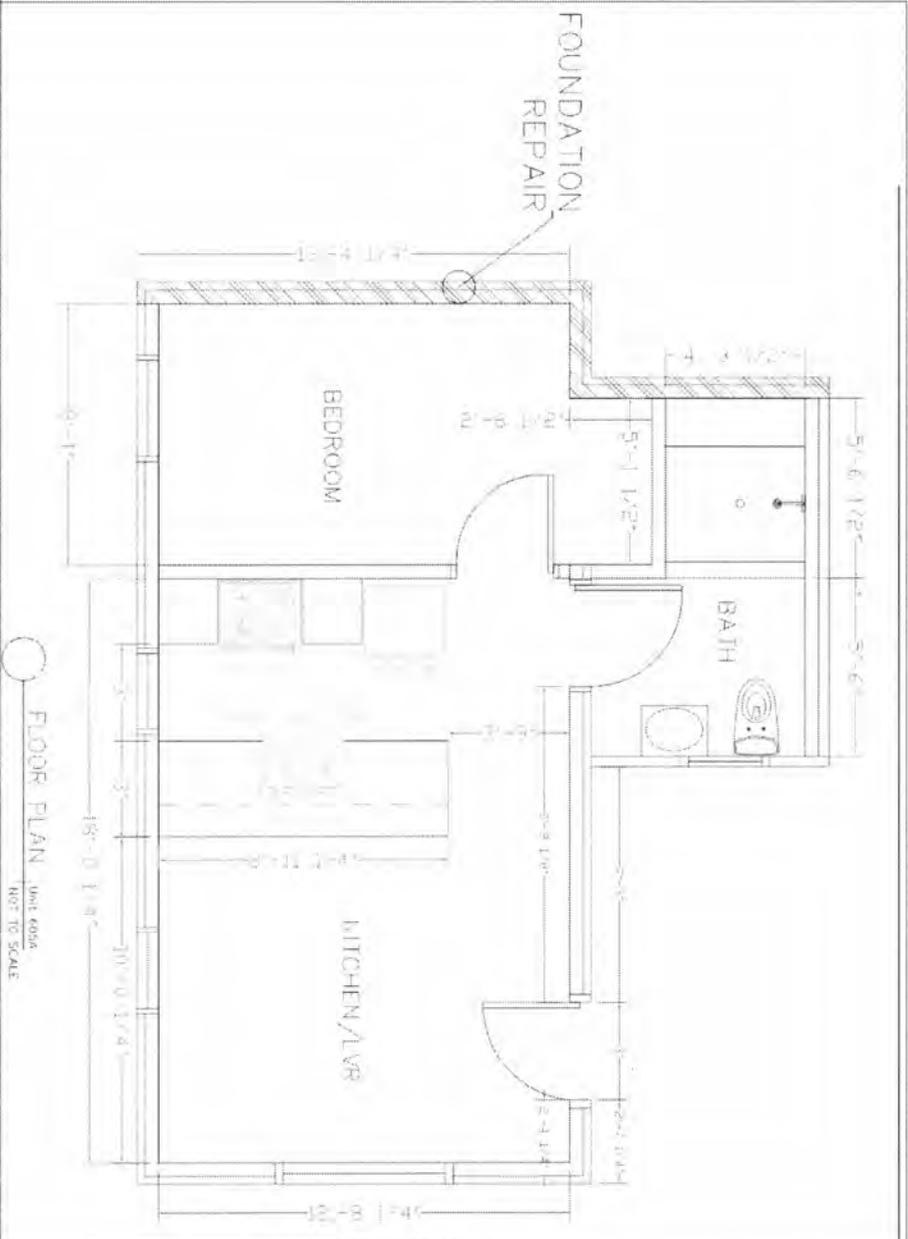


Bungalow 605 A – Voluntary Structural Upgrades to Existing Exterior Walls



- 3.8% of exterior walls changed by moving 3" door.
- 96.2% of exterior walls to remain.
- Add new interior 2x4 stud framing along the inside walls to strengthen structure and to meet current building codes.
- Add insulation (none existed).
- Add drywall (removed 1/8" fiber board).
- Interior bedroom wall moved but same length as before, just new location.
- Portion of closet changed added to bathroom shower.
- Add new 4x blocking per code. (no original blocking)

Bungalow 605 A – Voluntary Structural Upgrades to Existing Foundation & Flooring

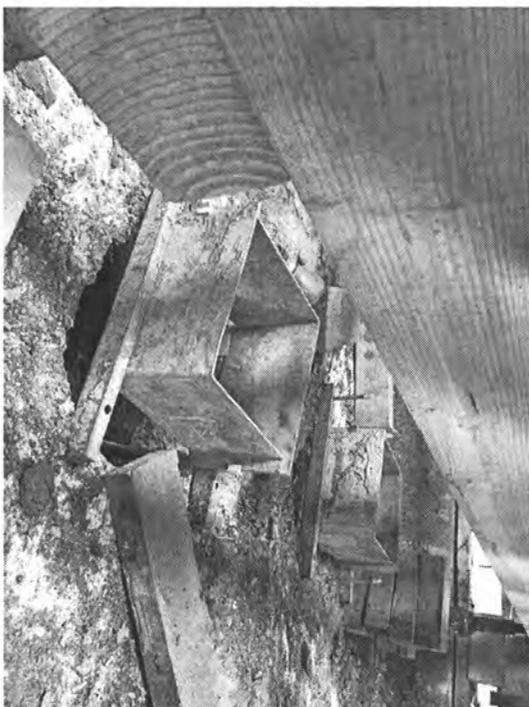


- 24% of foundation (17 LF) replaced with new cripple wall, anchor bolts, rebar and concrete.
- Work meets current LADBS retrofit standards.
- 8 out of 12 concrete piers replaced by 12"x12" reinforced concrete piers meeting current building codes.
- Replaced 100% of old non-conforming floor joists with new 2x6 floor joists, meeting current building code.
- No changes to footprint.
- No added square footage.
- All outside dimensions the same.

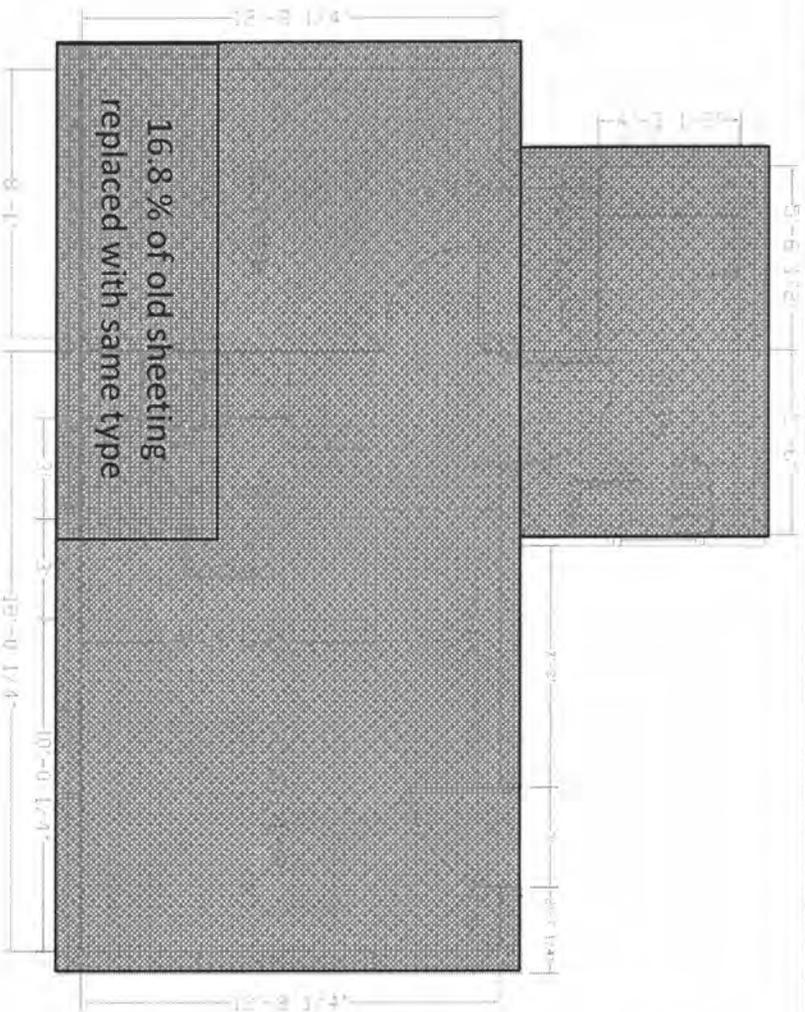
Bungalow 605 A – Foundation Repair



Bungalow 605 A – Foundation Upgrades



Bungalow 605 A – Resurfacing of Roof



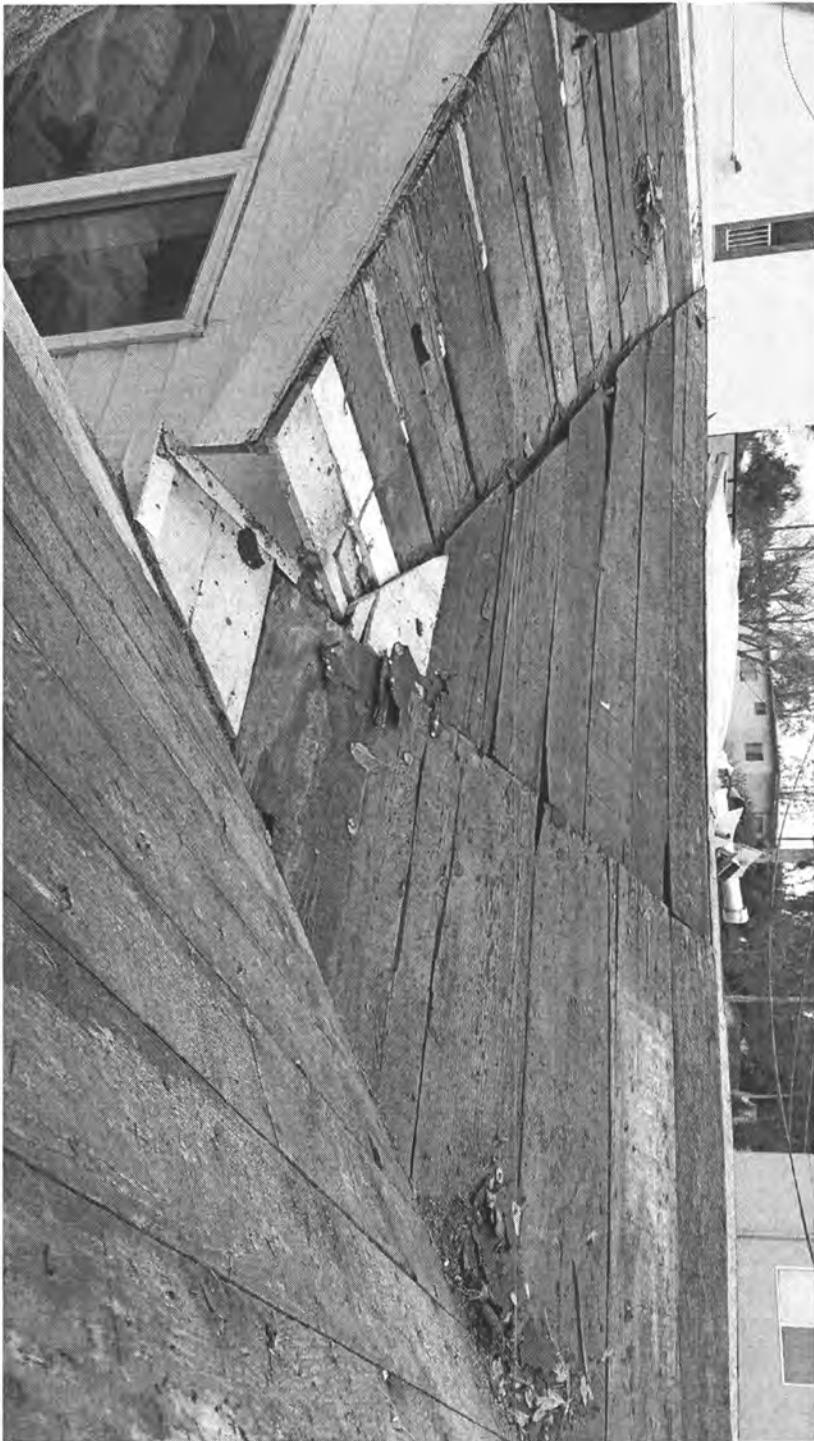
1. Remove existing roof shingles
2. Replace 60 sf of rotted 1x6 roof sheeting (16.8%)
3. 100% new OSB added on top of old sheeting.
4. New 1" rigid roof insulation added which wasn't there before.
5. New roof 50 year shingles installed.
6. Same color used to match old ones.
7. Roof line remains the same.
8. Building height remains the same.

FLOOR PLAN Unit 605A
NOT TO SCALE

Resurfacing of Roof



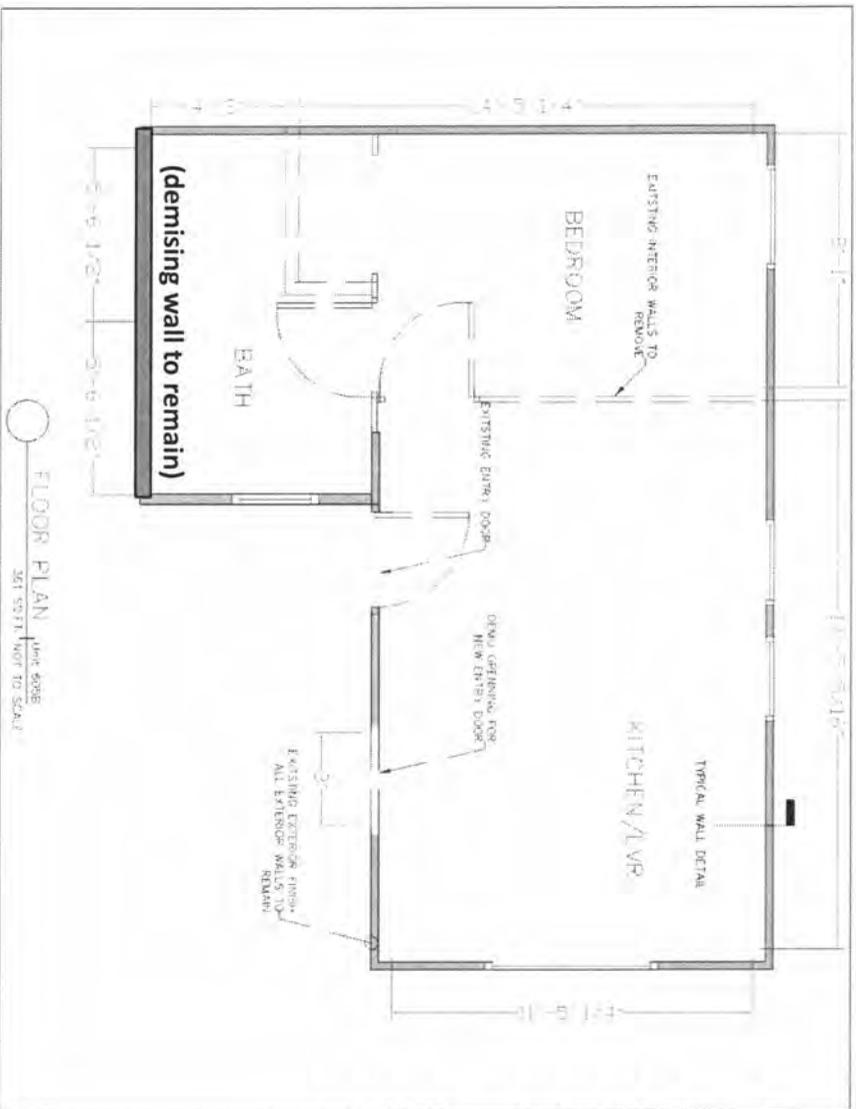
Resurfacing of Roof – Typical Condition



Bungalow 605 A – Existing Conditions

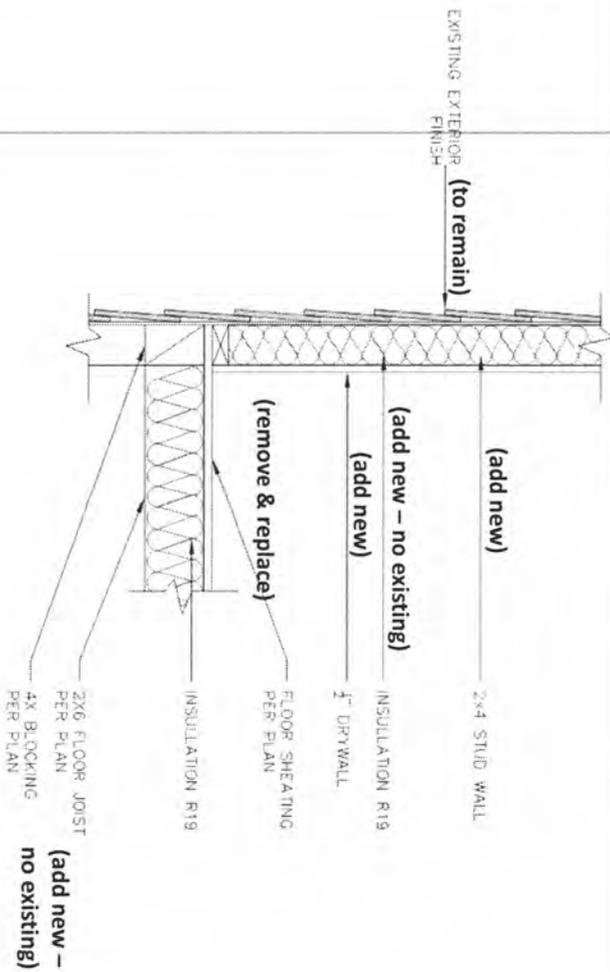
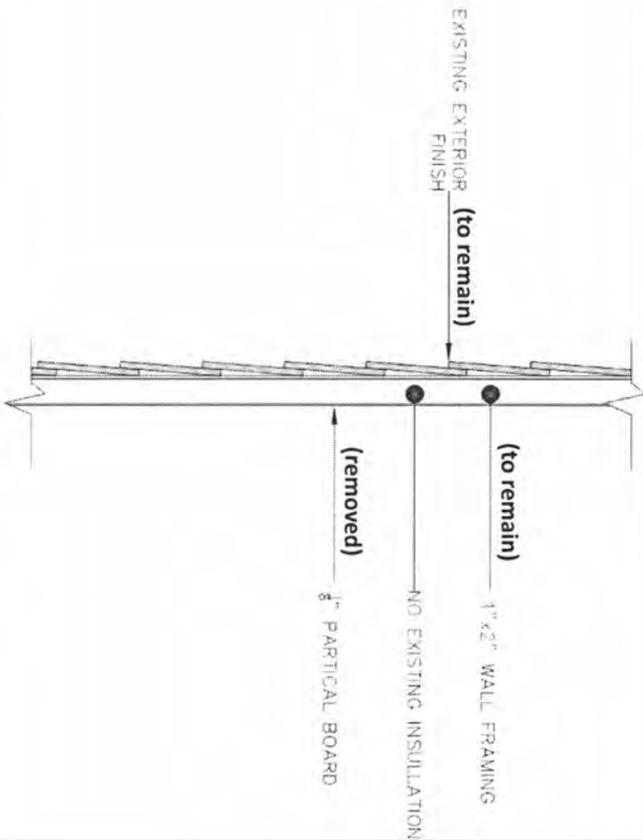


Bungalow 605 B – Demo Plan

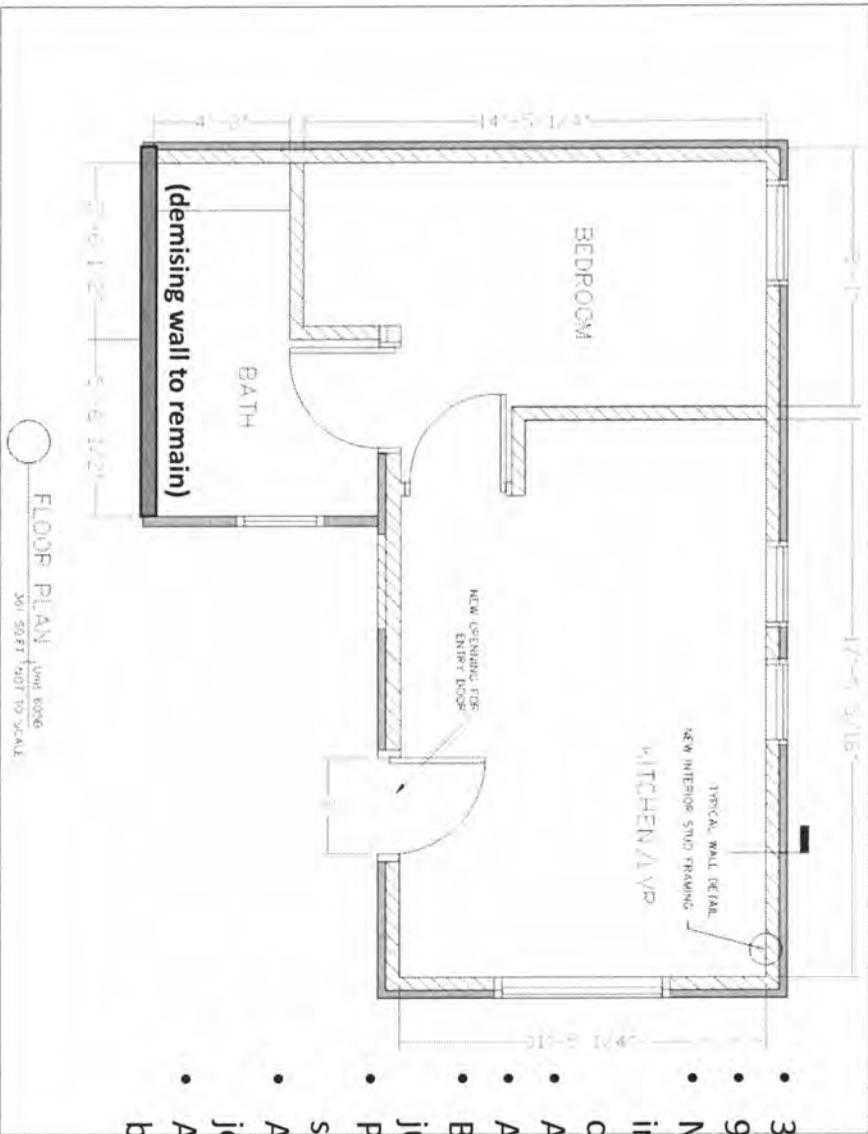


- 20 LF of 1/8 " fiber board on walls removed in LR and BR.
- No insulation found in walls
- 1"x2" studs to remain
- 2"x4" studs in bathroom perimeter walls to remain
- Interior bedroom wall removed and moved 12".
- Interior bathroom wall removed to create shower enclosure and closet.
- Entry door location moved
- Old door location closed with new siding to match.
- 100% of exterior siding to remain
- All walls were supported during work.

Existing Exterior & New Wall and Floor Detail

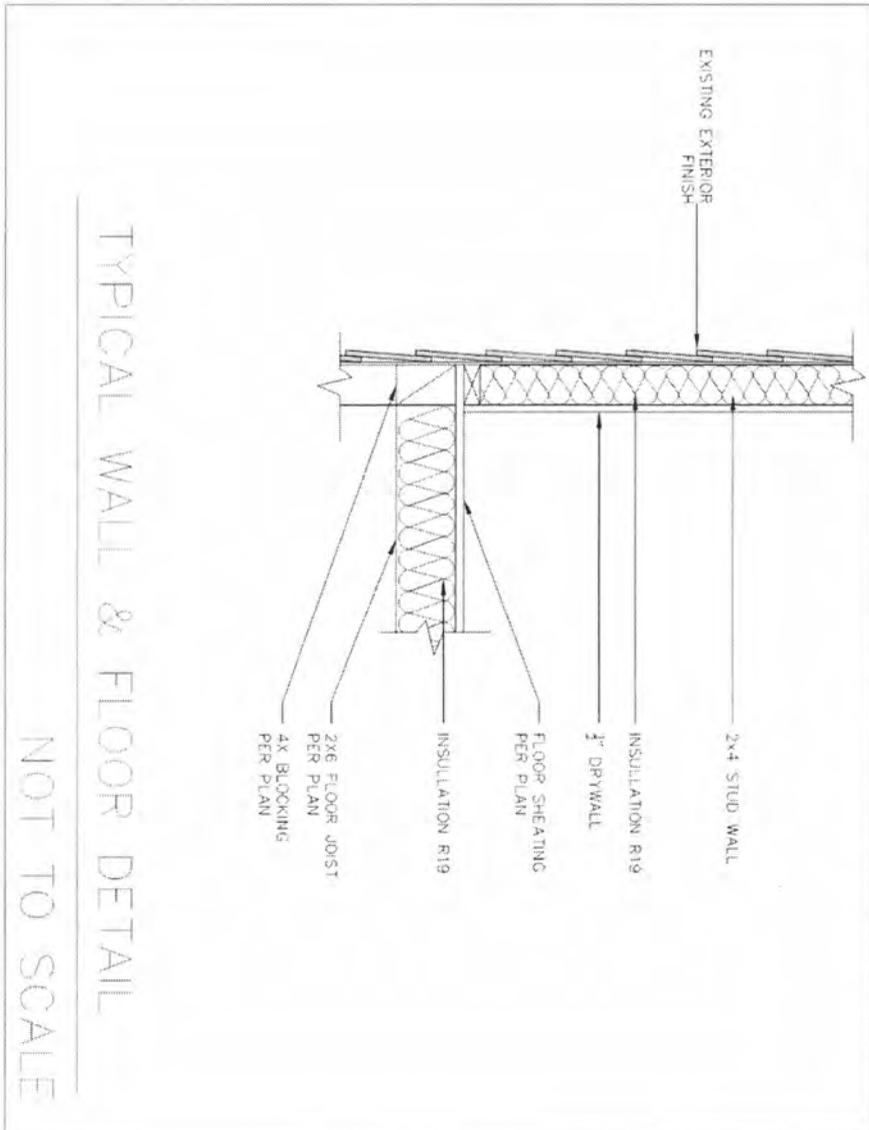


Bungalow 605 B – Voluntary Structural Upgrades to Existing Exterior Walls

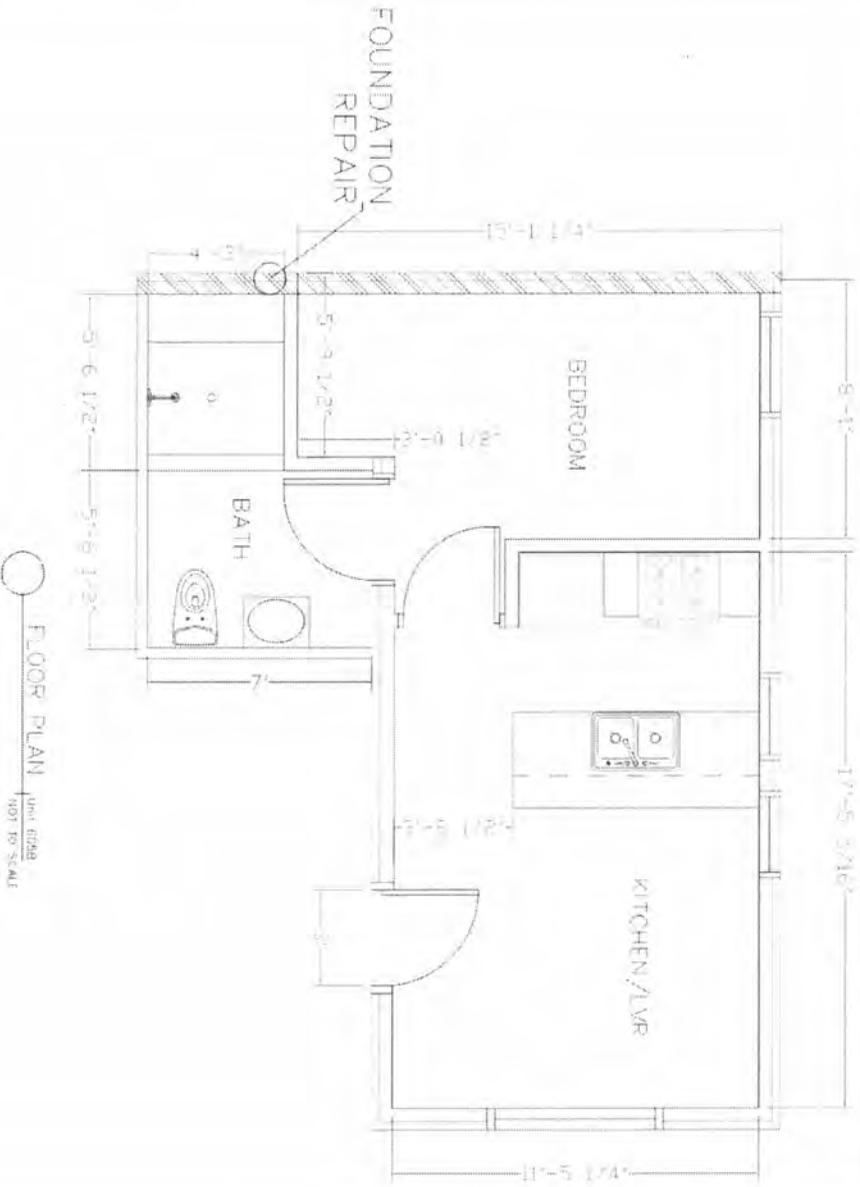


- 3.8% of exterior walls changed by moving door.
- 96.2% to remain.
- New interior 2x4 stud framing added along the inside walls to strengthen structure and to meet current building codes.
- Add insulation (none existed).
- Add drywall (removed 1/8" fiber board).
- Bedroom wall moved but same length as before, just new location.
- Portion of closet changed added to bathroom shower.
- Added new 2x6 floor joists "sistered" on old joists to meeting current building code.
- Add new 4x blocking per code. (no original blocking)

Bungalow 605 B – Typical New Framing



Bungalow 605 B – Voluntary Structural Upgrades to Existing Foundation & Flooring

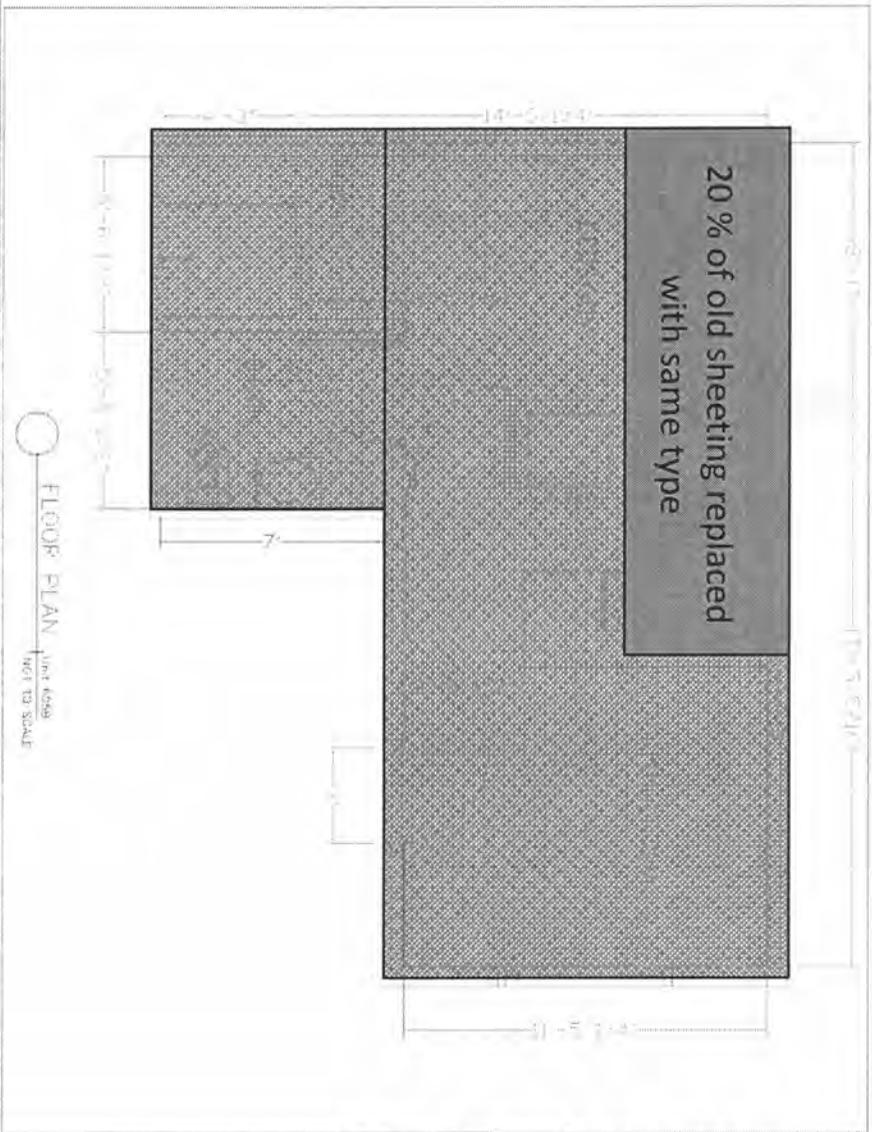


- 22% of foundation (18 LF) replaced with new cripple wall, anchor bolts, rebar and concrete.
- Work meets current LADBS retrofit standards.
- 8 out of 12 concrete piers replaced by 12"x12" reinforced concrete piers meeting current building codes.
- No changes to footprint.
- No added square footage.
- All outside dimensions the same.

Bungalow 605 B – Voluntary Structural Upgrades to Existing Foundation & Flooring



Bungalow 605 B – Resurfacing of Roof

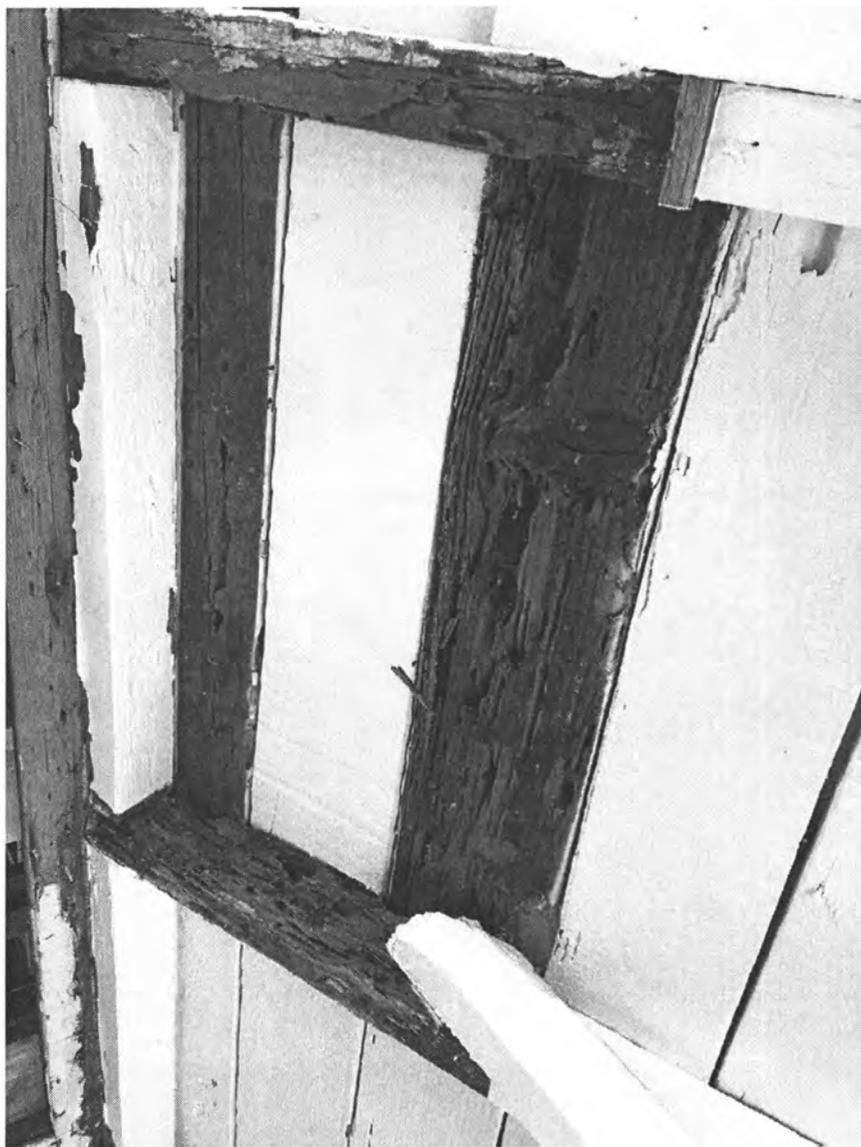


1. Remove existing roof shingles
2. Replace 70 sf of rotted 1x6 roof sheeting (20%)
3. 100% new OSB added on top of old sheeting.
4. New 1" rigid roof insulation added which wasn't there before.
5. New roof 50 year shingles installed.
6. Same color used to match old ones.
7. Roof line remains the same.
8. Building height remains the same.

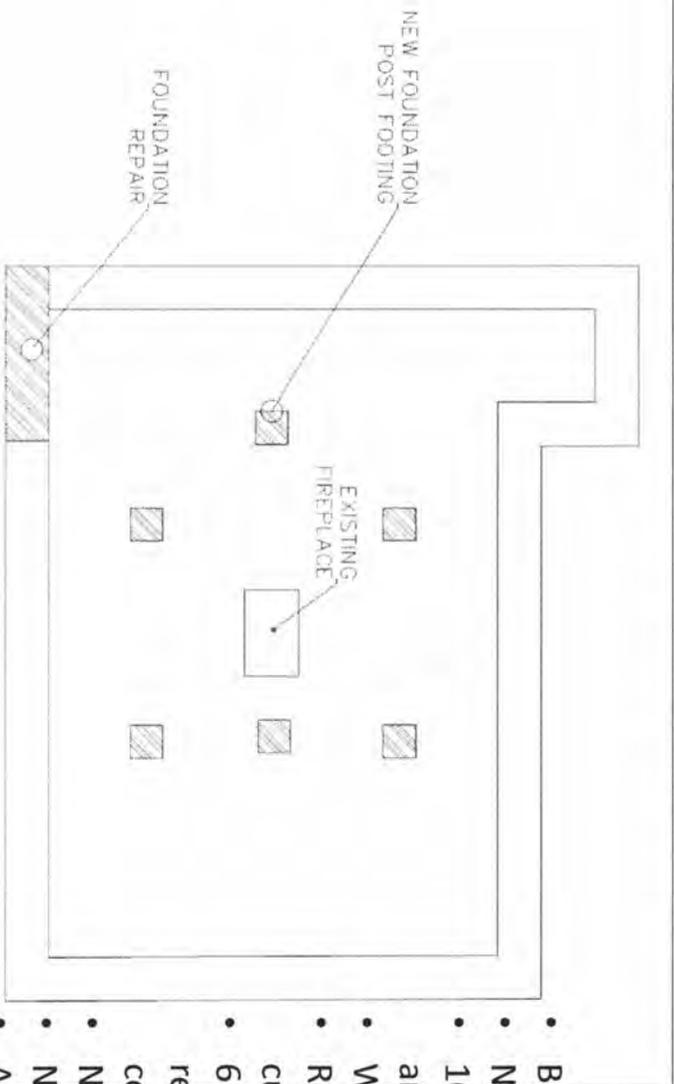
Resurfacing of Roof



Bungalow 605 B – Existing Conditions

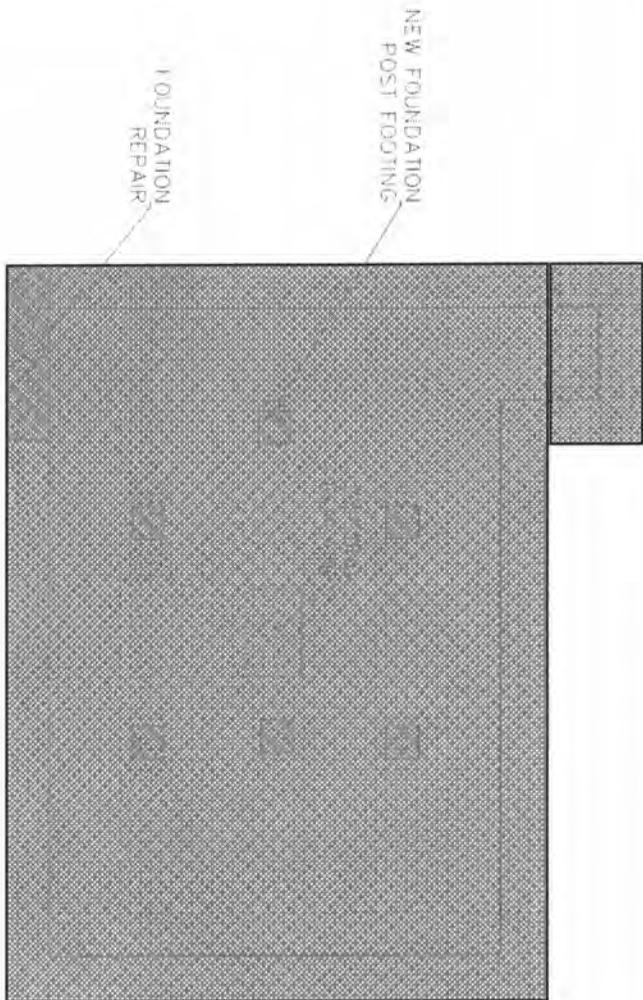


Bungalow 607 A – Voluntary Structural Upgrades to Existing Foundation & Flooring



- Bungalow already renovated.
- No changes to exterior or interior walls.
- 10% of foundation (7 LF) replaced with new cripple wall, anchor bolts, rebar and concrete.
- Work meets current LADBS retrofit standards.
- Remove soil under unit to create crawlspace and meet current building codes.
- 6 out of 12 concrete piers replaced by 12"x12" reinforced concrete piers meeting current building codes.
- No changes to footprint.
- No added square footage.
- All outside dimensions the same.

Bungalow 605 A – Resurfacing of Roof

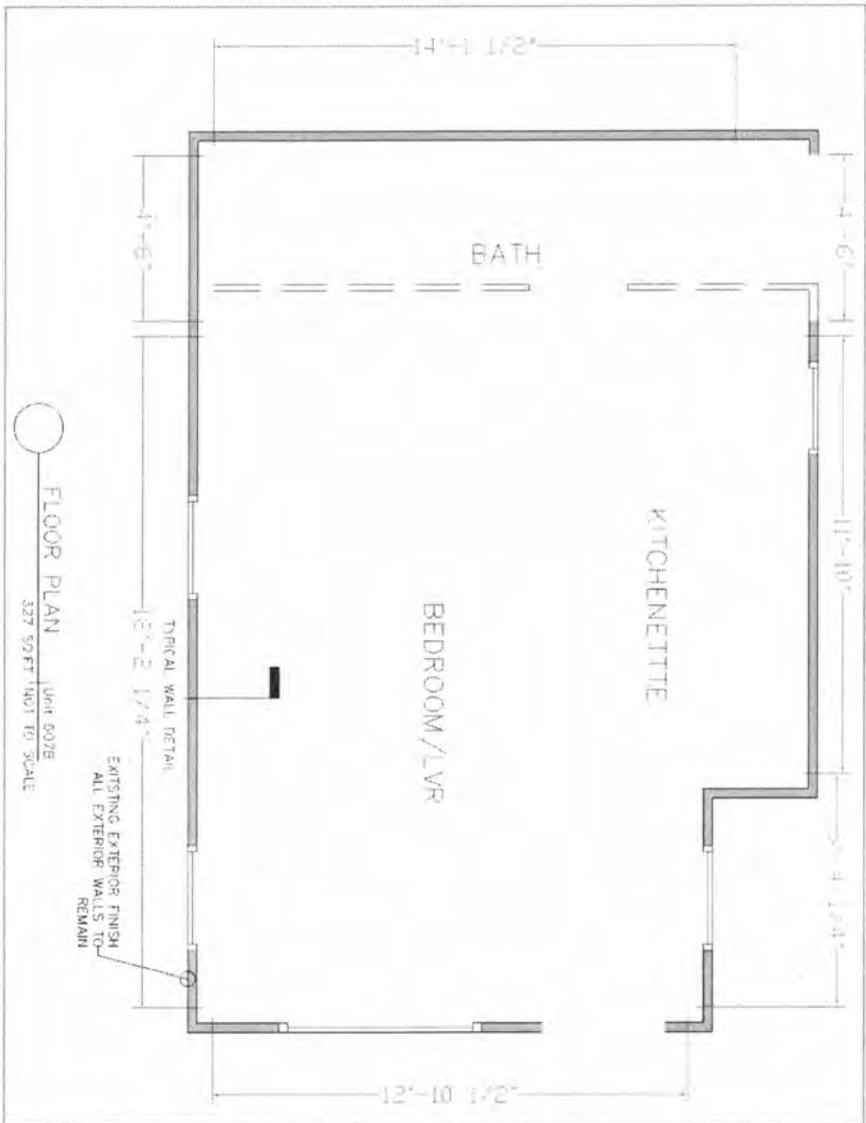


1. Remove existing roof shingles
2. 100% new OSB added on top of old sheathing.
3. New 1" rigid roof insulation added which wasn't there before.
4. New roof 50 year shingles installed.
5. Same color used to match old ones.
6. Roof line remains the same.
7. Building height remains the same.

Bungalow 607 A – Voluntary Structural Upgrades to Existing Foundation & Flooring

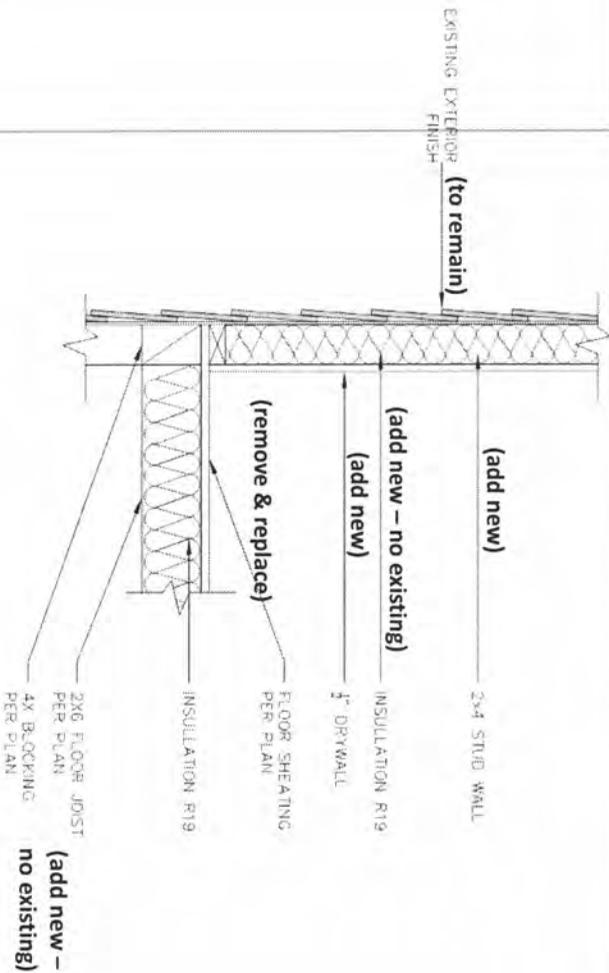
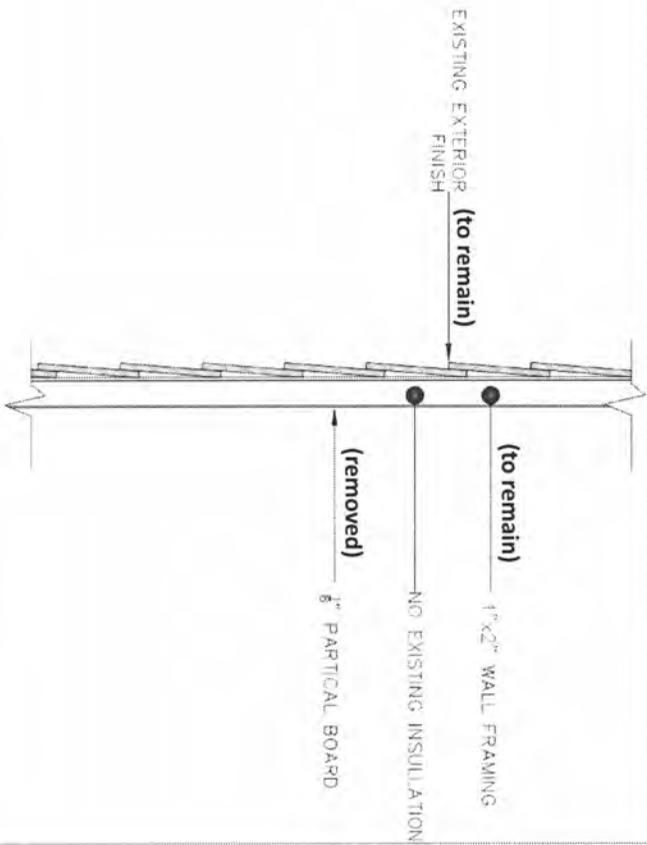


Bungalow 607 B – Demo Plan



- 100% of Exterior Wall to Remain
- No insulation found in walls
- 1"x2" studs to remain
- Interior bathroom wall removed to create shower enclosure and closet.
- Old door location closed with new siding to match.
- 100% of exterior siding to remain
- All walls were supported during work.

Existing Exterior & New Wall and Floor Detail



Bungalow 607 B – Voluntary Structural Upgrades to Existing Exterior Walls



- 100% of exterior walls to remain.
- New interior 2x4 stud framing added along the inside walls to strengthen structure and to meet current building codes.
- New bathroom wall moved 12" but same length as before, just new location.
- Added new 2x6 floor joists to meeting current building code.
- Add new 4x blocking per code. (no original blocking)
- Add insulation (none existed).
- Add drywall (removed 1/8" fiber board).

FLOOR PLAN (Per 607B)
327 SPT NOT TO SCALE

Bungalow 607 B – Existing Conditions



Bungalow 607 B – Voluntary Structural Upgrades to Existing Foundation & Flooring

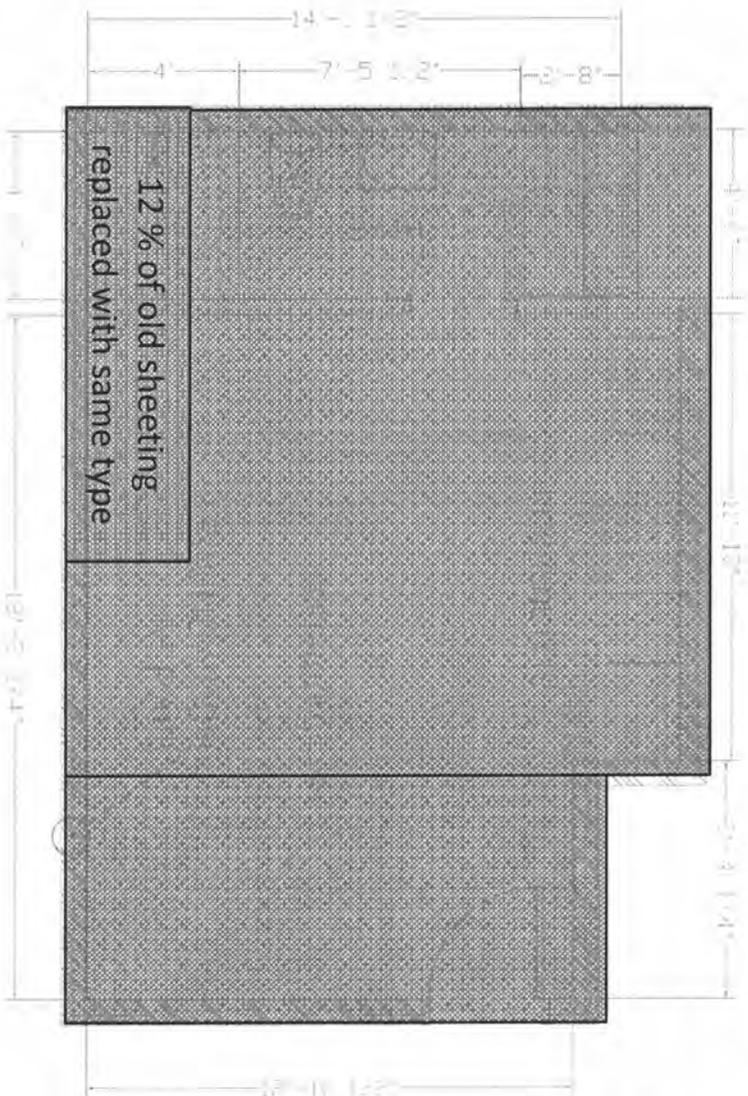


- 100% of foundation replaced with new cripple wall, anchor bolts, rebar and concrete.
- Work meets current LADBS retrofit standards.
- 5 out of 6 concrete piers replaced by 12"x12" reinforced concrete piers meeting current building codes.
- No changes to footprint.
- No added square footage.
- All outside dimensions the same.

Bungalow 607 B – Voluntary Structural Upgrades to Existing Foundation & Flooring



Bungalow 607 B – Resurfacing of Roof



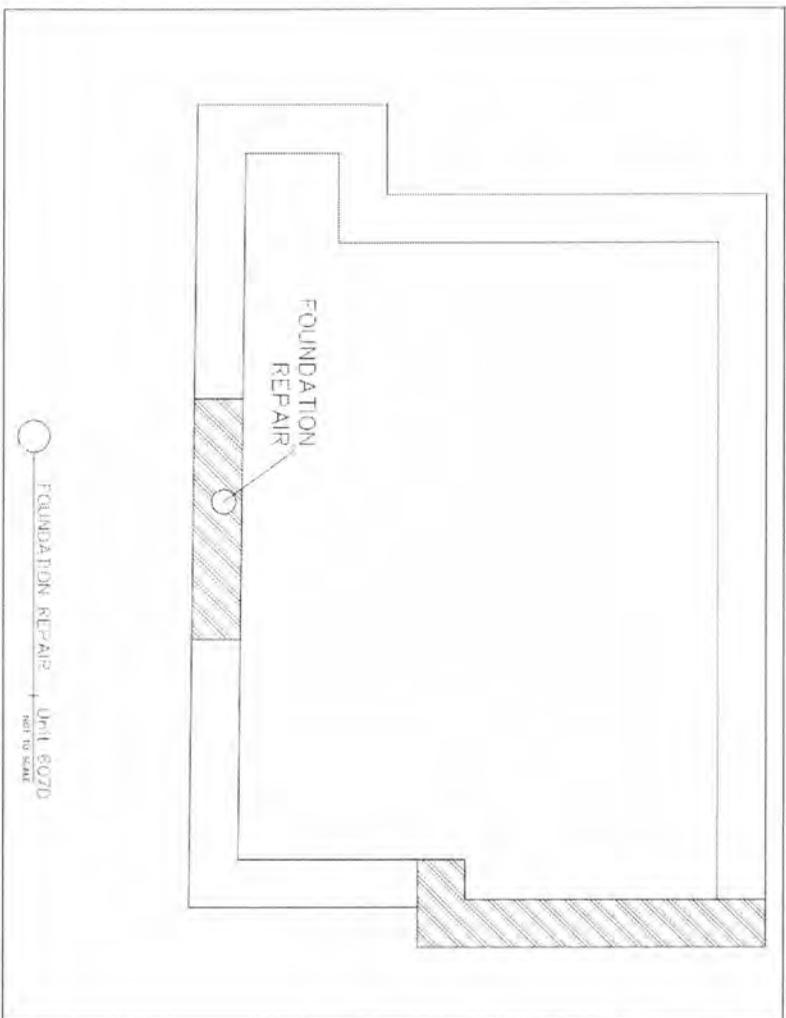
FLOOR PLAN Unit 607B NOT TO SCALE

1. Remove existing roof shingles
2. Replace 41 sf of rotted 1x6 roof sheeting (12%)
3. 100% new OSB added on top of old sheeting.
4. New 1" rigid roof insulation added which wasn't there before.
5. New roof 50 year shingles installed.
6. Same color used to match old ones.
7. Roof line remains the same.
8. Building height remains the same.

Resurfacing of Roof

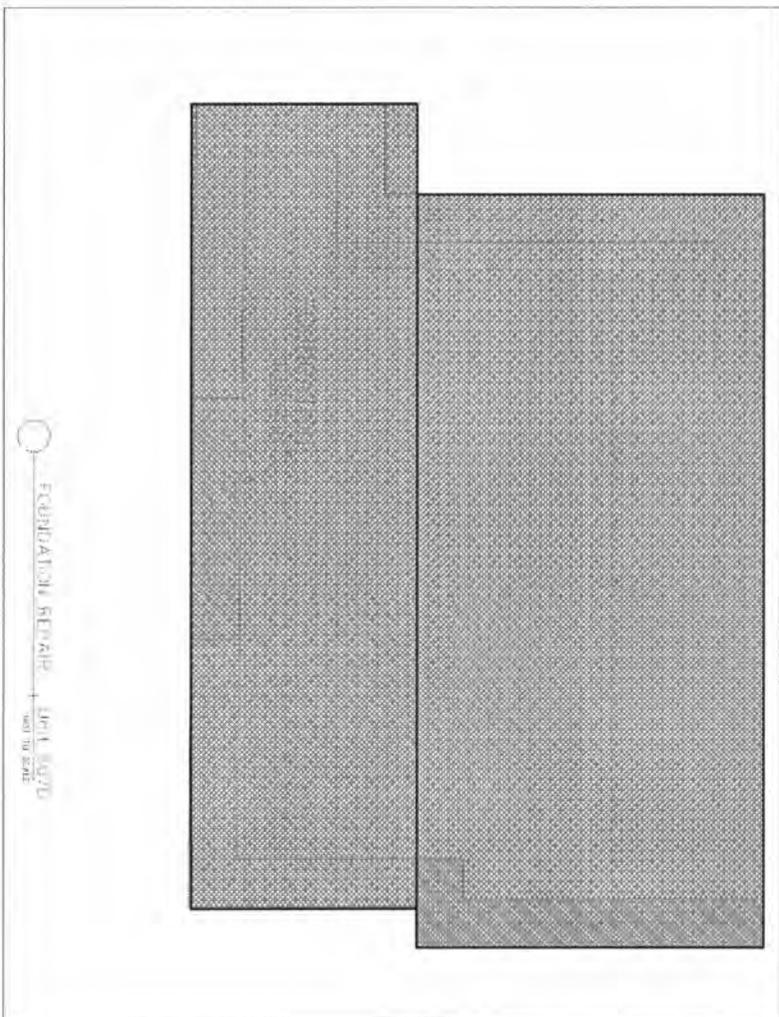


Bungalow 607 D – Voluntary Structural Upgrades to Existing Foundation & Flooring



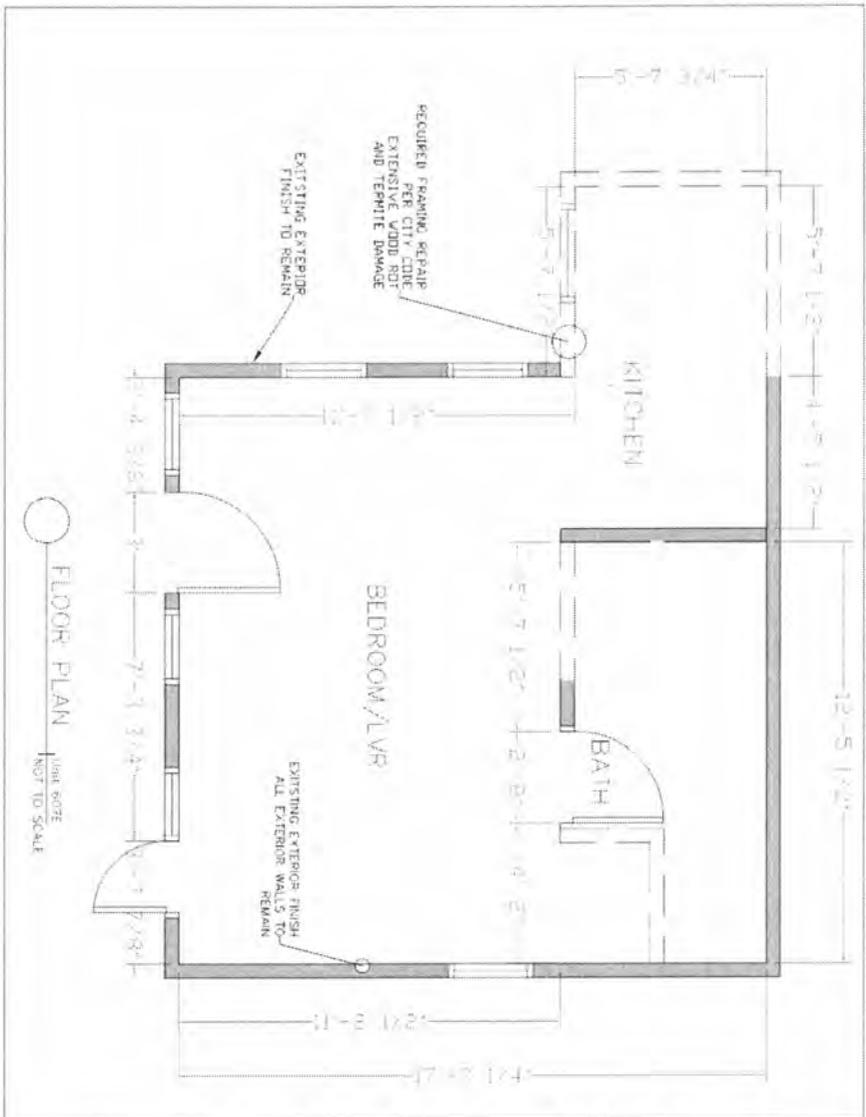
- Bungalow already renovated.
- No changes to exterior or interior walls.
- 20% of foundation (30 LF) replaced with new cripple wall, anchor bolts, rebar and concrete.
- Work meets current LADBS retrofit standards.
- Remove soil under unit to create crawlspace and meet current building codes.
- No changes to footprint.
- No added square footage.
- All outside dimensions the same.

Bungalow 607 D – Resurfacing of Roof



1. Remove existing roof shingles
2. 100% new OSB added on top of old sheathing.
3. New 1” rigid roof insulation added which wasn’t there before.
4. New roof 50 year shingles installed.
5. Same color used to match old ones.
6. Roof line remains the same.
7. Building height remains the same.

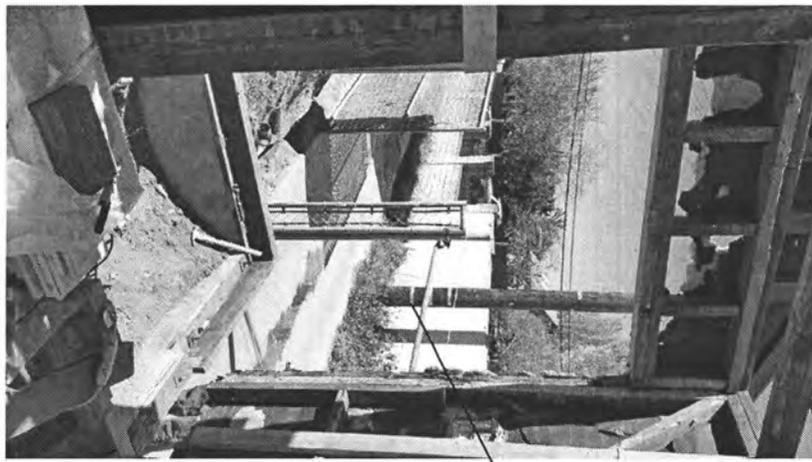
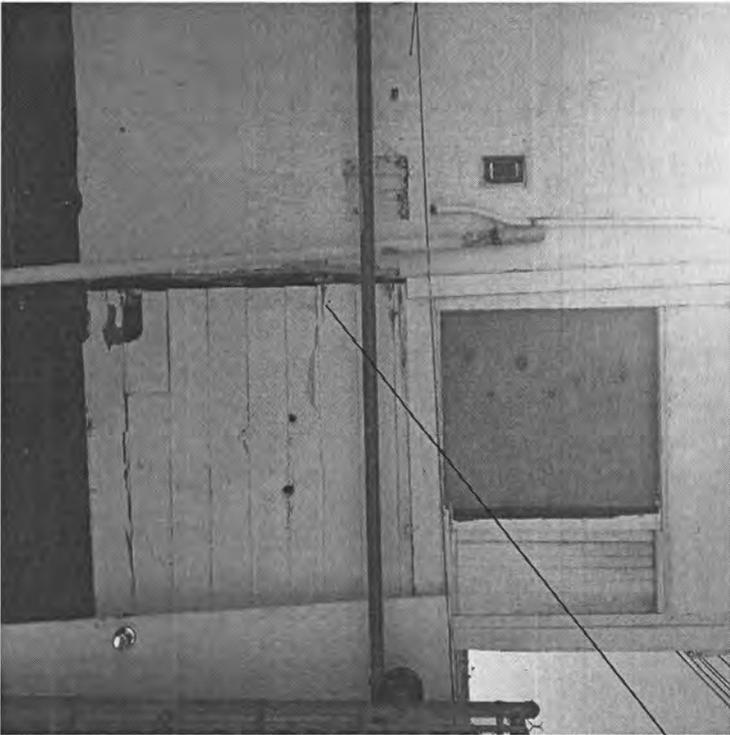
Bungalow 607 E – Demo Plan



- 100% of fiber board on walls removed in LR/BR, bath and kitchen.
- No insulation found in walls
- 2"x4" studs to remain
- Repair rotten studs by adding a second stud
- Interior bathroom wall removed to create shower enclosure and closet.
- 17 LF of exterior wall failed because of inadequate previous construction.
- LADBS requested we reframe portion of failed wall to repair dangerous condition.
- 100% of roof sheathing was rotten and was removed.
- All walls were supported during work.

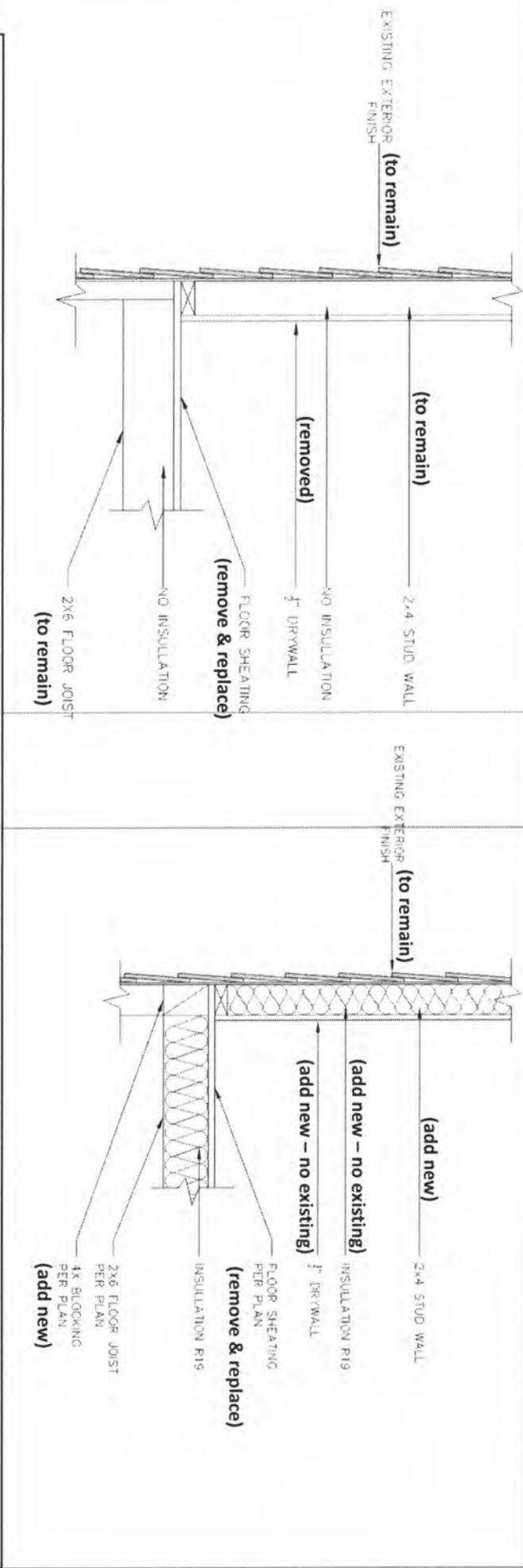
Bungalow 607 E

Area of framing failed, to be replaced at inspectors request

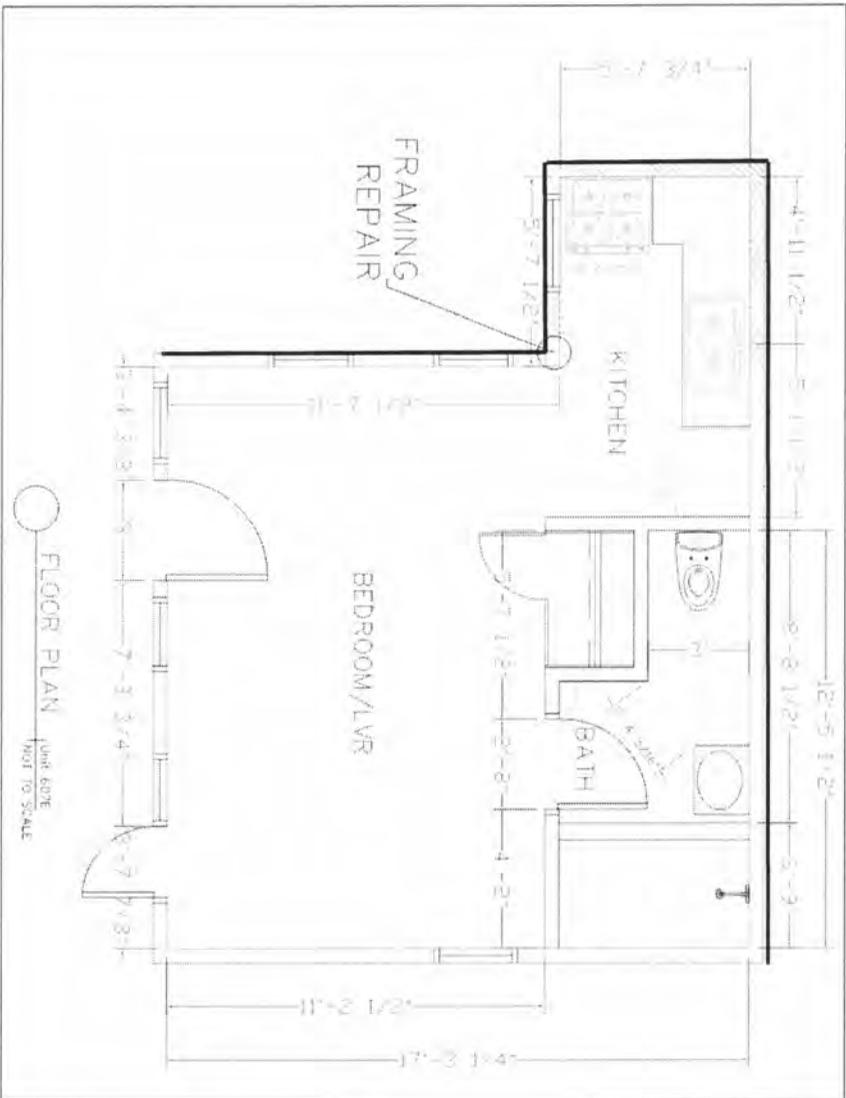


Area re-framed

Existing Exterior & New Wall and Floor Detail



Bungalow 607 E – Voluntary Structural Upgrades to Existing Foundation & Flooring

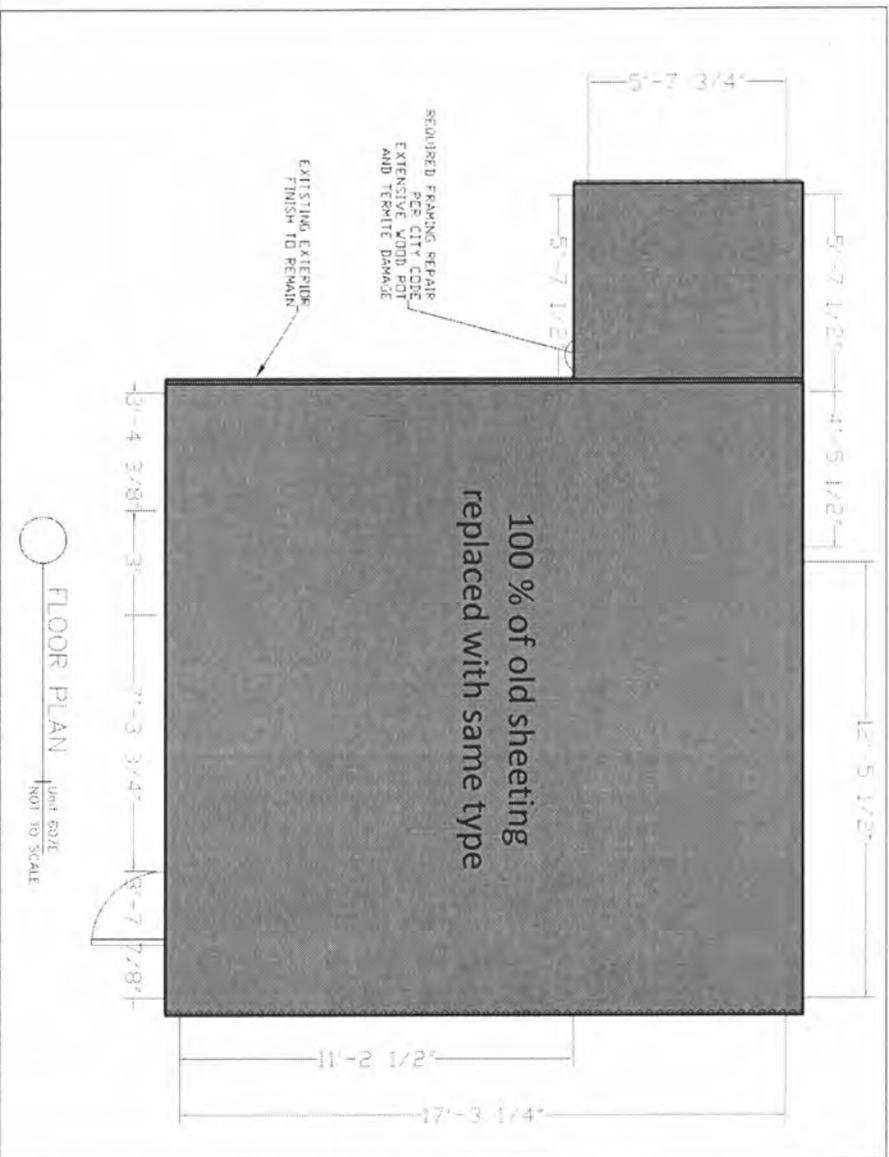


- 57% of foundation (44 LF) replaced with new cripple wall, anchor bolts, rebar and concrete.
- Added new 2x6 floor joists to meeting current building code.
- Add new 4x blocking per code. (no original blocking)
- Work meets current LADBS retrofit standards.
- No changes to footprint.
- No added square footage.
- All outside dimensions the same.

Bungalow 607 E – Existing Conditions



Bungalow 607 E – Roof Repairs



1. Remove existing roof shingles
2. Removed 100% rotted 1x6 roof sheeting
3. New 1x6 roof sheeting added to match previous design
4. 100% new OSB added on top of new sheeting.
5. New 1" rigid roof insulation added which wasn't there before.
6. New roof 50 year shingles installed.
7. Same color used to match old ones.
8. Roof line remains the same.
9. Building height remains the same.

Re-roof



Bungalow 607 E

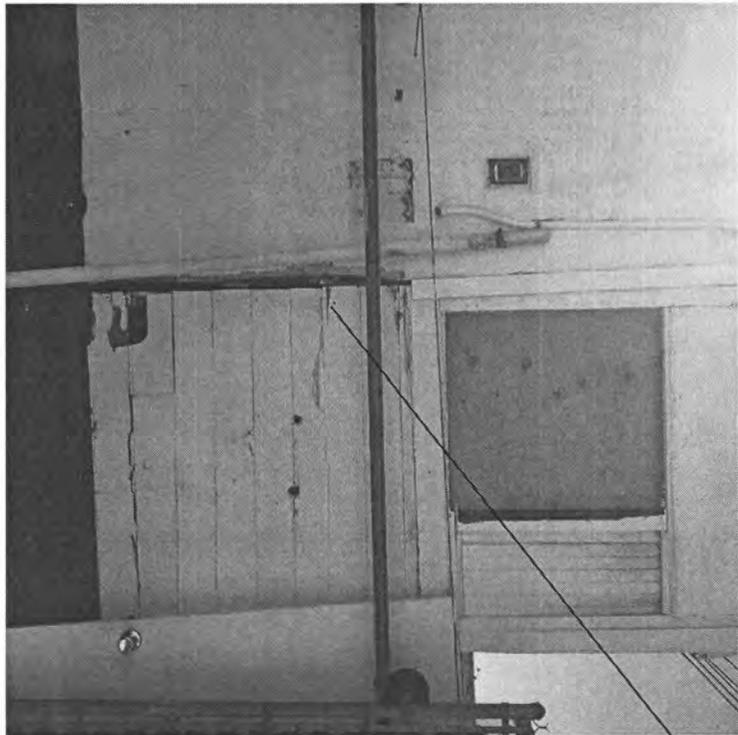


Failed foundation



Bungalow 607 E

Area of framing failed, to be replaced at inspectors request



Area re-framed