

CALIFORNIA COASTAL COMMISSION

45 FREMONT STREET, SUITE 2000
SAN FRANCISCO, CA 94105-2219
VOICE (415) 904-5200
FAX (415) 904-5400
TDD (415) 597-5885



W7a

5-17-0334 (DUBOIS)

JUNE 23, 2017

EXHIBITS

Table of Contents

Exhibit 1 – Project Location

Exhibit 2 – Project Information and Site Plan

Exhibit 1

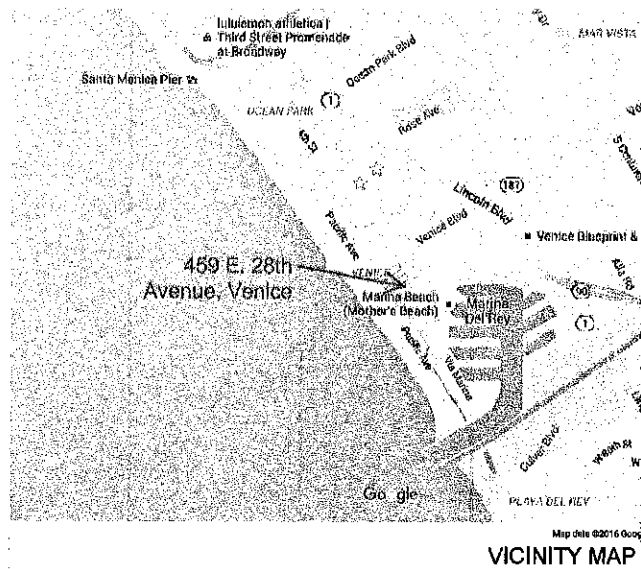
Google Maps 459 28th Ave



RECEIVED
South Coast Region

APR 24 2017

CALIFORNIA
COASTAL COMMISSION



PLANNING DEPT FLOOR AREA
PER LAMC 12.03 DEFINITION FOR RESIDENTIAL FLOOR AREA: MEASURED FROM INSIDE OF EXTERIOR WALLS, STAIRS COUNT ONCE, DO NOT INCLUDE GARAGE.

1ST FLOOR:	1572 S.F.
2ND FLOOR:	1833 S.F.
ROOF ACCESS STRUCTURE:	0 S.F.
TOTAL:	3,405 S.F.

FLOOR-AREA-RATIO (FAR)

FLOOR AREA RATIO (F.A.R.):	.79
F.A.R. AS DEFINED IN LAMC SECTION 12.03:	
FLOOR AREA DIVIDED BY LOT AREA (3,405 / 4,300 = .79)	

GRADING & SOIL
< 60 CY EXCAVATION FOR FOUNDATION FTGS. FLAT LOT - NO CHANGE IN GRADE PROPOSED. 0 CUT, 0 FILL
NOT IN HILLSIDE AREA (PER ZIMAS).
NOT IN SPECIAL GRADING AREA (PER ZIMAS).
IN LIQUIFICATION ZONE (PER ZIMAS).
IN METHANE ZONE (PER ZIMAS)

GENERAL NOTES

- A CERTIFICATE OF CONSTRUCTION COMPLIANCE, SIGNED BY THE GENERAL CONTRACTOR BASED UPON HIS OBSERVATION OF THE CONSTRUCTION WORK SHALL BE SUBMITTED TO THE INSPECTING BUILDING OFFICIAL PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
- A CHEMICAL TOILET IS REQUIRED ON-SITE DURING CONSTRUCTION.
- ALL HOURS OF CONSTRUCTION, USE OF POWER EQUIPMENT AND RESULTANT NOISE, THE STAGING AND STORAGE OF MATERIALS, AND THE PARKING OF WORKER VEHICLES SHALL BE IN COMPLIANCE WITH THE REQUIREMENTS OF THE LOS ANGELES MUNICIPAL CODE AND THE COMMON POLICES AND PRACTICES OF THE DEPARTMENT OF BUILDING AND SAFETY ADDRESSING SAME.
- APPROVED NUMBERS OR ADDRESSES SHALL BE PROVIDED FOR ALL NEW BUILDINGS IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. CONTRACTOR SHALL COORDINATE THE SIZE AND LOCATION WITH THE ARCHITECT AND FIRE DEPARTMENT.
- ALL WOOD IN CONTACT WITH CONCRETE SHALL BE PRESURE TREATED.
- ANY SURVEY MONUMENTS WITHIN THE AREA OF CONSTRUCTION SHALL BE PRESERVED OR RESET BY A REGISTERED CIVIL ENGINEER OR A LICENSED LAND SURVEYOR.
- THE GENERAL CONTRACTOR SHALL REMOVE ALL RUBBISH AND WASTE MATERIALS OF ALL SUBCONTRACTORS AND TRADES ON A REGULAR BASIS, AND SHALL EXERCISE A STRICT CONTROL OVER JOB CLEANING TO PREVENT ANY DIRECT DEBRIS OR DUST FROM AFFECTING, IN ANY WAY, FINISHED AREAS IN OR OUTSIDE JOB SITE.
- ALL ROOF DECK PENETRATIONS AND EXTERIOR WALL OPENINGS SHALL BE GUARANTEED BY THE CONTRACTOR TO BE WATER TIGHT FOR A MINIMUM PERIOD OF FIVE YEARS AFTER SUBSTANTIAL COMPLETION OF ALL WORK UNDER THIS CONTRACT.
- SEALANT, CAULKING AND FLASHING, ETC. LOCATIONS SHOWN ON DRAWINGS ARE NOT INTENDED TO BE INCLUSIVE. FOLLOW MANUFACTURER'S INSTALLATION RECOMMENDATIONS AND STANDARD INDUSTRY AND BUILDING PRACTICES.
- INSTALL ALL FIXTURES, EQUIPMENT AND MATERIALS PER MANUFACTURER'S RECOMMENDATIONS.
- ALL DIMENSIONS SHOWN IN PLAN ARE TO FACE OF STUD OR STRUCTURAL MEMBER, OR CENTERLINE OF COLUMN, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ON REFLECTED CEILING PLANS, EXTERIOR ELEVATIONS, AND INTERIOR ELEVATIONS ARE FROM FACE OF FINISH CENTER LINE OF COLUMN, OR CENTER OF FIXTURE, UNLESS OTHERWISE NOTED.
- ALL 2X6 WOOD STUD WALLS TO BE 24" ON CENTER, UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS.
- ALL 2X4 WOOD STUD WALLS TO BE 16" ON CENTER, UNLESS NOTED OTHERWISE ON STRUCTURAL DRAWINGS.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DRAWINGS. VERIFY ANY SCALED DIMENSIONS WITH ARCHITECT.
- PROVIDE ADEQUATE TEMPORARY SUPPORT AS NECESSARY TO ASSURE THE STRUCTURAL VALUE OR INTEGRITY OF THE BUILDING.
- COORDINATE ALL WORK WITH EXISTING CONDITIONS, INCLUDING BUT NOT LIMITED TO IRRIGATION PIPES, ELECTRICAL CONDUIT, WATER LINES, GAS LINES, DRAINAGE LINES, ETC.
- CONTRACTOR SHALL PROVIDE ALL SEISMIC BRACING AND HOLD-DOWN CLIPS AS REQUIRED BY CODE FOR ALL EXISTING CEILING AND BOFIT FRAMING CONDITIONS.
- THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL VERIFY AND ASSUME RESPONSIBILITY FOR ALL DIMENSIONS AND SITE CONDITIONS. THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS SHALL INSPECT THE EXISTING PREMISES AND TAKE NOTE OF EXISTING CONDITIONS PRIOR TO SUBMITTING PRICES. NO CLAIM SHALL BE ALLOWED FOR DIFFICULTIES ENCOUNTERED WHICH COULD HAVE REASONABLY BEEN INFERRED FROM SUCH AN EXAMINATION.
- THE GENERAL CONTRACTOR SHALL MAINTAIN A CURRENT AND COMPLETE SET OF THE CONSTRUCTION DOCUMENTS ON THE JOB SITE DURING ALL PHASES OF CONSTRUCTION FOR USE OF ALL THE TRADES AND SHALL PROVIDE ALL SUBCONTRACTORS WITH CURRENT CONSTRUCTION DOCUMENTS AS REQUIRED.
- ANY REVISION TO THE APPROVED SET OF PLANS MUST BE SUBMITTED TO AND APPROVED BY THE CITY OF LOS ANGELES PRIOR TO THE REVISION BEING COMPLETED.

L.A. ASSESSOR FLOOR AREA
EVERYTHING MEASURED FROM EXTERIOR SIDE OF EXTERIOR WALL, DO NOT INCLUDE GARAGE.

1ST FLOOR:	1980 S.F.
2ND FLOOR:	2090 S.F.
ROOF ACCESS STRUCTURE:	100 S.F.
TOTAL:	3,850 S.F.

PERVIOUS AREA

BUILDING FOOT PRINT:	2,100 S.F.
PERMEABLE LANDSCAPE:	600 S.F.
PERMEABLE DRIVEWAY:	460 S.F.
IMPERMEABLE PATIO + SIDEYARDS:	1,250 S.F.
TOTAL LOT AREA:	4,300 S.F.

FIRE HYDRANT
XXXX

FIRE SPRINKLERS
THE BUILDING SHALL BE EQUIPPED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM IN ACCORDANCE WITH SECTION R313.3 OR NFPA13D, (R313, 12.21A17(D)).

BUILDING DEPT FLOOR AREA
PER 2013 CBC SECTION 202 DEFINITION OF GROSS FLOOR AREA: INSIDE OF EXTERIOR WALLS, INCLUDE STAIRS EACH FLOOR, DO NOT INCLUDE GARAGE OR MECHANICAL ROOMS.

1ST FLOOR:	1565 S.F.
2ND FLOOR:	1977 S.F.
ROOF ACCESS STRUCTURE:	90 S.F.
TOTAL:	3,622 S.F.

BALCONY, DECK, GARAGE AREA

FRONT BALCONY:	88 S.F.
REAR BALCONY:	137 S.F.
ROOF DECK:	623 S.F.
TOTAL BALCONIES & DECKS	1,048 S.F.
GARAGE:	422 S.F.

PARKING SPACES
PER VENICE SPECIFIC PLAN
THREE SPACES; THE THIRD SPACE MAY BE UNCOVERED AND IN TANDEM. [VSP TABLE 13.D]
DRIVEWAYS AND VEHICULAR ACCESS SHALL BE PROVIDED FROM ALLEYWAYS. [VSP 8.G.4.g]

BUILDING HEIGHT
PER VENICE SPECIFIC PLAN:
• 25'-0" HEIGHT MAX FOR FLAT ROOF, PARAPET, OR ROOF DECK, MEASURED FROM CENTER OF STREET [VSP 10.g.3.a].
• ROOF ACCESS STRUCTURE MAX 10'-0" ABOVE FLAT ROOF HEIGHT [VSP 8.C.a].
• ROOF DECK RAILING OPEN DESIGN 3'-8" ABOVE ROOF DECK [VSP 8.b].
• MECHANICAL EQUIPMENT MAY EXCEED MAX. ROOF HEIGHT BY 5'-0" [VSP 8.C.2].

PROJECT TEAM

OWNER'S REPRESENTATIVE
DORON BENNAIEM
213.422.157
DORON@GREENBUILDCSI.COM
8200 WILSHIRE BLVD.
BEVERLY HILLS, CA 902110

DESIGNER
GREG BLEIER, STUDIO UNLIMITED
323-275-4859
INFO@STUDIOUNLIMITED.COM
1620 VIOLET STREET #201
LOS ANGELES, CA 90021

EXPEDITER/DRAFTSPERSON
DAVID CRIMMINS
415.378.8555
DCRIMMINS@GMAIL.COM

STRUCTURAL ENGINEER
HIROSHI HOSHI, HI ENGINEERS
450 W. HIGHLAND OR.
CAMARILLO, CA
805.482.4982
HIROSHI@VERIZON.NET

GEOTECHNICAL ENGINEER
MARK KRUGER, A.G.I.
GEOTECHNICAL, INC.
16555 SHERMAN WAY, SUITE A
VAN NUYS, CA 91405
(818)786-5244
MARKKRUGER72@GMAIL.COM

PROJECT DESCRIPTION
NEW 2-STORY SINGLE FAMILY RESIDENCE, 4 BEDROOM 4 1/2 BATHROOM, ROOF ACCESS STRUCTURE AND ROOF DECK. ATTACHED 2-CAR GARAGE. UNCOVERED TANDEM PARKING SPACE AT ALLEY.

DEMOLITION
UNDER SEPARATE PERMIT
DEMOLISH (E) OWNER OCCUPIED SINGLE FAMILY DWELLING.

APPLICABLE CODES

- FIRE SPRINKLERS: CRC R313.3 AND NFPA13D
- 2018 CAL RES CODE W/ L.A. AMENDMENTS.
- 2016 CAL GREEN W/ L.A. AMENDMENTS.
- 2013 CAL ELEC CODE (BASED ON 2011 NEC), 2014 L.A. AMENDMENTS.
- 2013 CAL MECH CODE (BASED ON 2012 UNIFORM MECH CODE), 2014 L.A. AMENDMENTS.
- 2013 CAL PLMBG CODE (BASED ON 2012 UNIF. PLMBG CODE), W/ 2014 L.A. AMENDMENTS.
- 2018 CAL BLDG ENERGY EFFICIENCY STANDARD FOR RESIDENTIAL.

OWNER
LOUISE DUBOISE
459 28TH AVE.
VENICE, CA 90281

LEGAL DESCRIPTION & ZONING
ADDRESS: 459 28TH AVENUE
VENICE, CA 90281
LOT AREA: 4,300.00 S.F. 43'-0" x 100'-0"
APN: 4227-014-009
MAP REF.: M B 108-69/69
TRACT: TR 0098, LOT: 21

BUILDING CLASSIFICATION
CONSTRUCTION TYPE V-B
OCCUPANCY GROUP R-3
ZONE: R1-1-O
VENICE SPECIFIC PLAN
COASTAL ZONE (DUAL-JURISDICTION)
METHANE ZONE
LIQUEFACTION ZONE

PROJECT VALUATION

DWELL AVG V	3,822 SF @ \$101	= \$386,000
GARAGE V	422 SF @ \$55	= \$23,200
TOTAL VALUATION		= \$389,000

ABBREVIATIONS

AC	AIR CONDITIONING	AD	AREA DRAIN	ALT	ALTERNATE	AL	ALUMINUM	ARCH	ARCHITECTURAL	BRD	BOARD	BIT	BITUMINOUS	BLDG	BUILDING	BLKG	BLOCKING	BOT	BOTTOM	BP	BUILDING PAPER	CJ	CONTROL JOINT	CLKG	CAULKING	CL	CENTERLINE	CMU	CONCRETE MASONRY UNIT	C/W	COLD WATER	(D)	DEMOLITION	DEM	DEMOLITION	DIM	DIMENSION	DN	DOWN	DS	DOWNSPOUT	D/W	DISHWASHER	(E)	EXISTING	EJ	EXPANSION JOINT	ELEV	ELEVATION	EQ	EQUAL	EXT	EXTERIOR	F.A.U.	FORCED AIR UNIT	FIN	FINISH, FACE OF FINISH	FLR	FLOOR	FLUORFLUOREBOENT	F.O.C.	FACE OF CONCRETE	F.O.F.	FACE OF FRAMING	FRMG	FRAMING	FTG	FOOTING	FURR	FURRING	GA	GAUGE	GALV	GALVANIZED	G/D	GARBAGE DISPOSAL	GEN	GENERAL	GRND	GROUND	GSM	GALVANIZED SHEET	METAL	GYFSUM	GYPSUM	HB	HOSE BIBB	HDR	HEADER	HT	HEIGHT	HWH	HOT WATER HEATER	H/W	HOT WATER	ID	INSIDE DIAMETER	INSUL	INSULATION	INT	INTERIOR	LAM	LAMINATE	LA	CITY OF LOS ANGELES	LABS	CITY OF LA DEPT. OF LABOR AND SAFETY	LT	LIGHT	MFR	MANUFACTURER	(N)	NEW	N.I.C.	NOT IN CONTRACT	NOM	NOMINAL	NTS	NOT TO SCALE	OC	ON CENTER	OD	ON OUTSIDE DIAMETER	PL	PROPERTY LINE	PT	PRESSURE TREATED	PTD	PAINTED	(R)	REMOVE	RA	RETURN AIR	RAD	RADIUS	REF	REFLECTED CEILING PLAN	REQ	REQUIRED	REV	REVISION	RO	ROUGH OPENING	RDWD	REDWOOD	S.C.A.	SEE CIVIL DRAWINGS	SD	STORM DRAIN	SECT	CROSS SECTION	S.E.D.	SEE ELECTRICAL DRAWINGS	SM	SIMILAR	S.L.D.	SEE LANDSCAPE DRAWINGS	S.M.D.	SEE MECHANICAL DRAWINGS	S.P.D.	SEE PLUMBING DRAWINGS	SPEC	SPECIFICATION	SS	STAINLESS STEEL	S.S.D.	SEE STRUCTURAL DRAWINGS	STD	STANDARD	STL	STEEL	TR	TREAD	TEMP.	TEMPERED	T&G	TONGUE & GROOVE	T.O.	TOP OF	T.O.W.	TOP OF WALL	TYP.	TYPICAL	U.N.O.	UNLESS NOTED OTHERWISE	V.I.F.	VERIFY IN FIELD	W/	WITH	WD.	WOOD	W/H	WATER HEATER	W/O	WITHOUT	W.A.	WATER PROOFING	W.R.	WATER RESISTANT	WW	WELDED WIRE
----	------------------	----	------------	-----	-----------	----	----------	------	---------------	-----	-------	-----	------------	------	----------	------	----------	-----	--------	----	----------------	----	---------------	------	----------	----	------------	-----	-----------------------	-----	------------	-----	------------	-----	------------	-----	-----------	----	------	----	-----------	-----	------------	-----	----------	----	-----------------	------	-----------	----	-------	-----	----------	--------	-----------------	-----	------------------------	-----	-------	------------------	--------	------------------	--------	-----------------	------	---------	-----	---------	------	---------	----	-------	------	------------	-----	------------------	-----	---------	------	--------	-----	------------------	-------	--------	--------	----	-----------	-----	--------	----	--------	-----	------------------	-----	-----------	----	-----------------	-------	------------	-----	----------	-----	----------	----	---------------------	------	--------------------------------------	----	-------	-----	--------------	-----	-----	--------	-----------------	-----	---------	-----	--------------	----	-----------	----	---------------------	----	---------------	----	------------------	-----	---------	-----	--------	----	------------	-----	--------	-----	------------------------	-----	----------	-----	----------	----	---------------	------	---------	--------	--------------------	----	-------------	------	---------------	--------	-------------------------	----	---------	--------	------------------------	--------	-------------------------	--------	-----------------------	------	---------------	----	-----------------	--------	-------------------------	-----	----------	-----	-------	----	-------	-------	----------	-----	-----------------	------	--------	--------	-------------	------	---------	--------	------------------------	--------	-----------------	----	------	-----	------	-----	--------------	-----	---------	------	----------------	------	-----------------	----	-------------

L.A. BUILDING CODE NOTES

- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, FULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOD-UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
 - AN APPROVED SEISMIC GAS SHUTOFF VALVE SHALL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
 - PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3)
 - KITCHEN SINKS, LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R308.4).
 - BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
 - PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
 - UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. (RESEARCH REPORT NOT REQUIRED). (R308.6.2)
- WATER HEATER MUST BE STRAPPED TO WALL (607.3, LAPD).
 - N/A
 - N/A
 - AUTOMATIC GARAGE DOOR OPENERS, IF PROVIDED, SHALL BE LISTED IN ACCORDANCE WITH UL 325.
 - SMOKE DETECTORS SHALL BE PROVIDED FOR ALL DWELLING UNITS INTENDED FOR HUMAN OCCUPANCY. UPON THE OWNER'S APPLICATION FOR A PERMIT FOR ALTERATIONS, REPAIRS, OR ADDITIONS, EXCEEDING ONE THOUSAND DOLLARS (\$1,000) (R314.6.2).
 - WHERE A PERMIT IS REQUIRED FOR ALTERATIONS, REPAIRS OR ADDITIONS EXCEEDING ONE THOUSAND DOLLARS, EXISTING DWELLINGS OR SLEEPING UNITS THAT HAVE ATTACHED GARAGES OR FUEL-BURNING APPLIANCES SHALL BE PROVIDED WITH A CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1. CARBON MONOXIDE ALARMS SHALL ONLY BE REQUIRED IN THE SPECIFIC DWELLING UNIT OR SLEEPING UNIT FOR WHICH THE PERMIT WAS OBTAINED. (R315.2).
 - EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 8 FOOT-CANDELS OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE THE FLOOR LEVEL. (R303.1).
 - A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.



1920 VIOLET STREET #201
LOS ANGELES, CA 90021
Greg Bleier
323-275-4859
Info@studiounlimited.com

Owner's Representative
Doron Bennaïem
Greenbuild Constr. Serv.
8200 Wilshire Blvd.
Beverly Hills, CA 902110
213.422.157
doron@greenbuildcsi.com

Drafting/Expediting
David Crimmins
dcrimmins@gmail.com
415.378.8585

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Any discrepancy between field dimensions and dimensions herein shall be reported to the Designer prior to commencing work.

11/28/16	PLANNING RE-SUBMIT	
05/14/18	PLANNING SUBMITTAL	
DATE	REV	ISSUE

PROJECT:
DuBois Residence
459 E 28th Ave.
Venice, CA

OWNER	Louise Duboise 459 28th Ave. Venice, CA 90281
PROJECT #:	181007
DRAWN BY:	DHC
REV'D BY:	GB
DATE:	11/28/2016
SCALE:	

DRAWING TITLE:

PROJECT INFORMATION

SHEET:
A0.0





1920 VIOLET STREET #201
LOS ANGELES, CA 90021
Greg Bleier
323-275-4859
info@studiontd.com

Owner's Representative
Doron Bannaem
Greenbuild Constr. Serv.
8200 Wilshire Blvd.
Beverly Hills, CA 90210
213.422.157
doron@greenbuildcoi.com

Drafting/Expediting
David Crimmins
dcrimmins@gmail.com
415.378.6685

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Any discrepancy between field dimensions and dimensions hereon shall be reported to the Designer prior to commencing work.

11/28/16	PLANNING RE-SUBMIT	
06/14/16	PLANNING SUBMITTAL	
DATE	REV	ISSUE

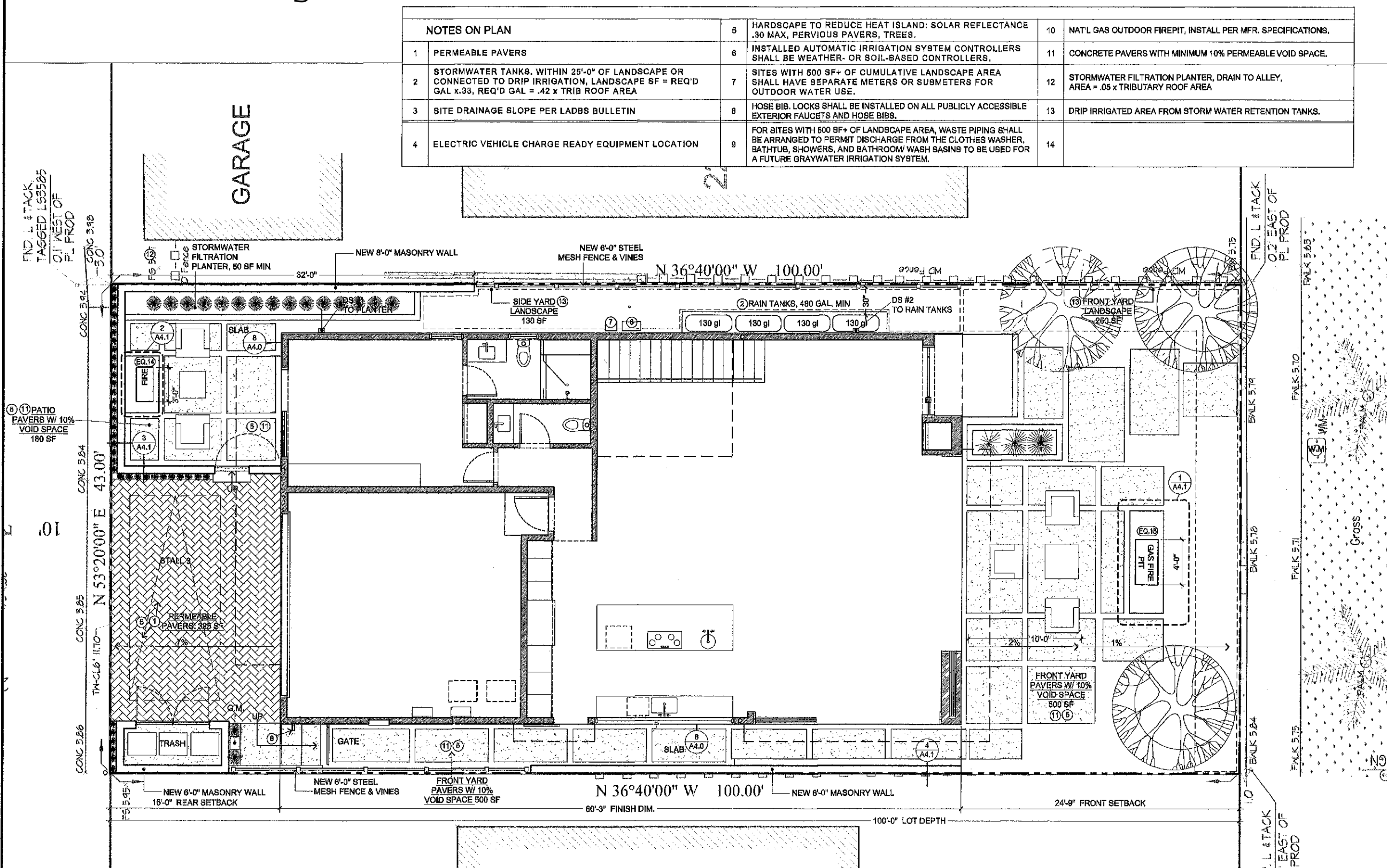
PROJECT:
DuBois Residence
459 E 28th Ave.
Venice, CA

OWNER	Louise Dubois 459 28th Ave, Venice, CA 90291
PROJECT #:	161007
DRAWN BY:	DHC
REV'D BY:	GB
DATE:	11/28/ 2018
SCALE:	1/4" = 1'-0"

DRAWING TITLE:
SITE PLAN

SHEET:
A1.0

NOTES ON PLAN			
1	PERMEABLE PAVERS	5	HARDSCAPE TO REDUCE HEAT ISLAND: SOLAR REFLECTANCE .30 MAX, PERVIOUS PAVERS, TREES.
2	STORMWATER TANKS. WITHIN 25'-0" OF LANDSCAPE OR CONNECTED TO DRIP IRRIGATION, LANDSCAPE SF = REQ'D GAL x.33, REQ'D GAL = .42 x TRIB ROOF AREA	6	INSTALLED AUTOMATIC IRRIGATION SYSTEM CONTROLLERS SHALL BE WEATHER- OR SOIL-BASED CONTROLLERS.
3	SITE DRAINAGE SLOPE PER LADBS BULLETIN	7	SITES WITH 500 SF+ OF CUMULATIVE LANDSCAPE AREA SHALL HAVE SEPARATE METERS OR SUBMETERS FOR OUTDOOR WATER USE.
4	ELECTRIC VEHICLE CHARGE READY EQUIPMENT LOCATION	8	HOSE BIB. LOCKS SHALL BE INSTALLED ON ALL PUBLICLY ACCESSIBLE EXTERIOR FAUCETS AND HOSE BIBS.
		9	FOR SITES WITH 500 SF+ OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHES WASHER, BATHTUB, SHOWERS, AND BATHROOM WASH BASINS TO BE USED FOR A FUTURE GRAYWATER IRRIGATION SYSTEM.
		10	NAT'L GAS OUTDOOR FIREPIT, INSTALL PER MFR. SPECIFICATIONS.
		11	CONCRETE PAVERS WITH MINIMUM 10% PERMEABLE VOID SPACE.
		12	STORMWATER FILTRATION PLANTER, DRAIN TO ALLEY, AREA = .05 x TRIBUTARY ROOF AREA
		13	DRIP IRRIGATED AREA FROM STORM WATER RETENTION TANKS.
		14	



REQUIRED LANDSCAPE WATER-EFFICIENCY (MWEO)					
COMPOST	INCORPORATE COMPOST AT A RATE OF AT LEAST FOUR (4) CUBIC YARDS PER 1,000 SQ. FT. TO A DEPTH OF 6 INCHES INTO LANDSCAPE AREA.	TURF	TOTAL TURF AREA SHALL NOT EXCEED 26% OF THE LANDSCAPE AREA. TURF IS NOT ALLOWED IN NON-RESIDENTIAL PROJECTS.	IRRIGATION CONTROLLERS USE EVAPOTRANSPIRATION OR SOIL MOISTURE DATA AND UTILIZE A RAIN SENSOR.	
PLANT WATER USE	INSTALL CLIMATE ADAPTED PLANTS THAT REQUIRE OCCASIONAL, LITTLE OR NO SUMMER WATER (AVERAGE WUCOLS PLANT FACTOR 0.3) FOR 75% OF THE PLANT AREA EXCLUDING EDIBLES AND AREAS USING RECYCLED WATER.				IRRIGATION CONTROLLER PROGRAMMING DATA WILL NOT BE LOST DUE TO AN INTERRUPTION IN THE PRIMARY POWER SOURCE.
MULCH	A MINIMUM 3-INCH LAYER OF MULCH SHOULD BE APPLIED ON ALL EXPOSED SOIL SURFACES OF PLANTING AREAS, EXCEPT IN AREAS OF TURF OR CREEPING OR ROOTING GROUNDCOVERS.				
			TURF (IF UTILIZED) IS LIMITED TO SLOPES NOT EXCEEDING 25% AND IS NOT USED IN PARKWAYS LESS THAN 10 FEET IN WIDTH.		
			TURF, IF UTILIZED IN PARKWAYS IS IRRIGATED BY SUB-SURFACE IRRIGATION OR OTHER TECHNOLOGY THAT PREVENTS OVERSPRAY OR RUNOFF.		



1920 VIOLET STREET #201
LOS ANGELES, CA 90021
Greg Bleier
323-275-4859
info@studiounltd.com

Owner's Representative
Doron Benaïm
Greenbuild Constr. Serv.
8200 Wilshire Blvd.
Beverly Hills, CA 90210
213.422.167
doron@greenbuildcsi.com

Drafting/Expediting
David Grinnins
dorimins@gmail.com
415.378.6585

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Any discrepancy between field dimensions and dimensions herein shall be reported to the Designer prior to commencing work.

DATE	REV	ISSUE
11/28/16		PLANNING RE-SUBMIT
08/14/16		PLANNING SUBMITTAL

PROJECT:
DuBois Residence
459 E 28th Ave.
Venice, CA

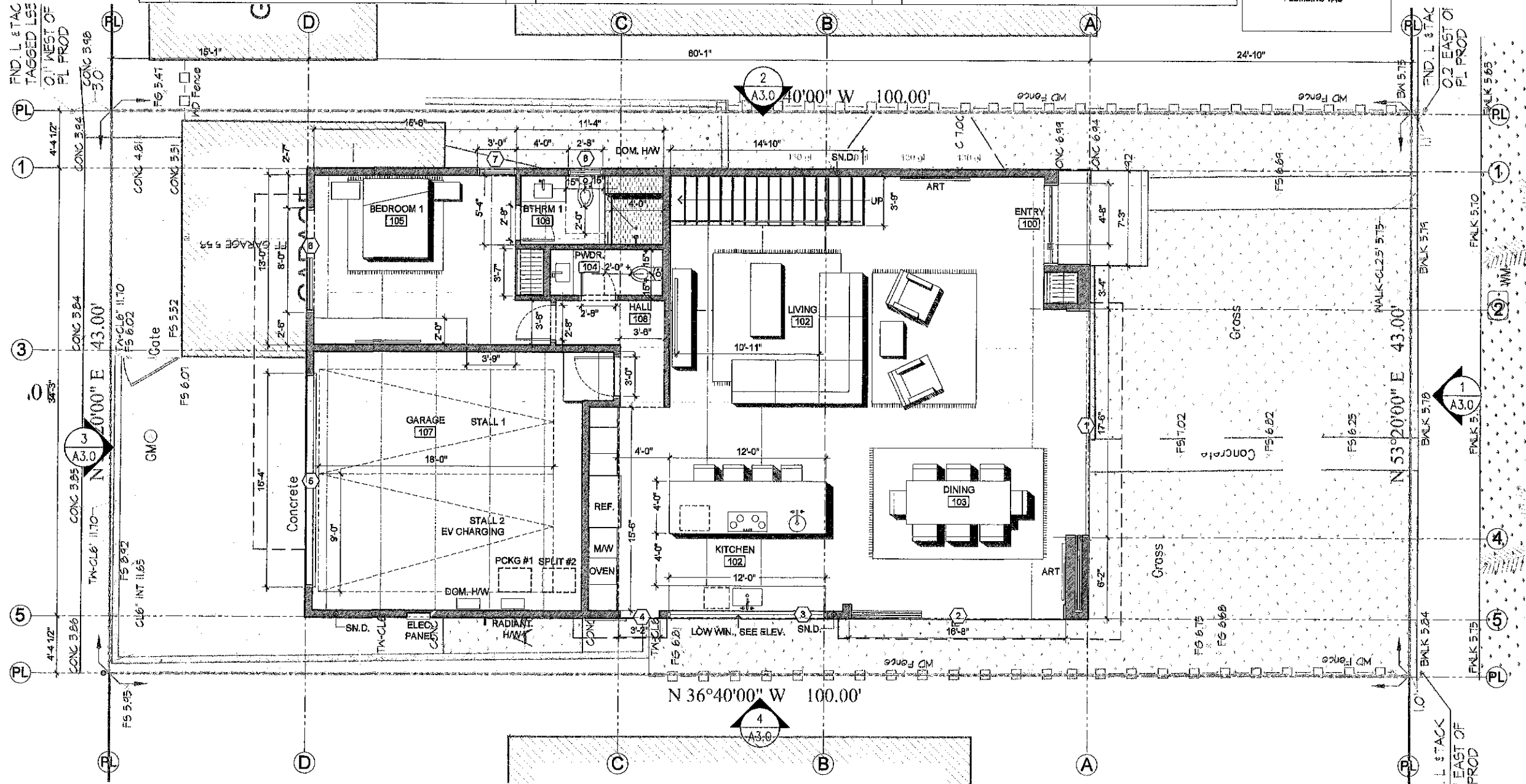
OWNER	Louise Duboise 459 28th Ave, Venice, CA 90281
PROJECT #:	161007
DRAWN BY:	DHC
REV'D BY:	GB
DATE:	11/28/2016
SCALE:	1/4" = 1'-0"

DRAWING TITLE:
1ST FLOOR PLAN

SHEET:
A2.0

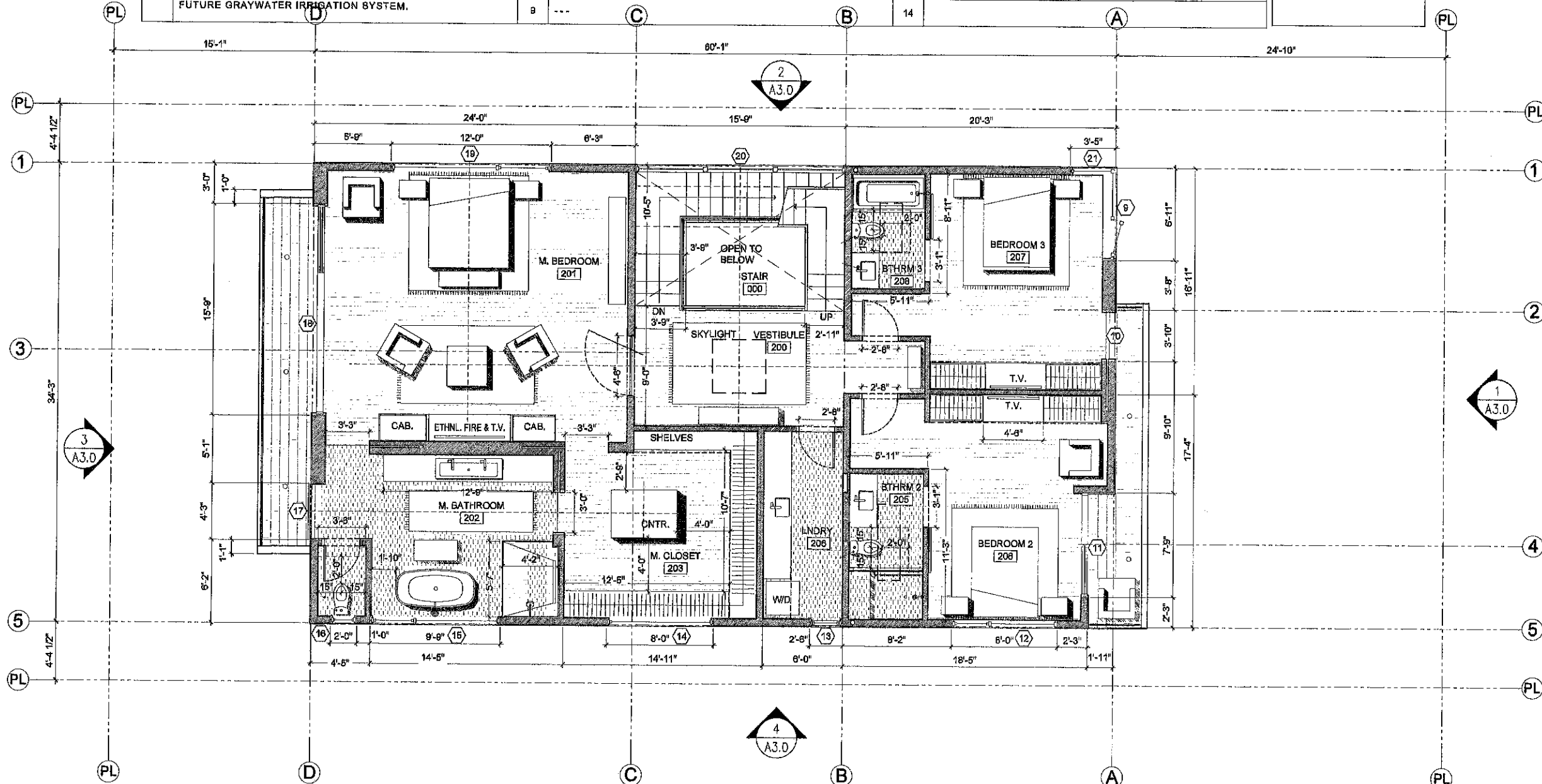
NOTES ON PLAN		
1	INSTALL AIR UNITS AT CEILING	10
2	FOR SITES WITH OVER 500 SF OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHES WASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAYWATER IRRIGATION SYSTEM.	11
3	---	12
4	FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.	13
5	THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2011, ANSI/ACCA 28-D-2014 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 3 MANUAL 8-2014.	14
6	---	

INTERIOR DOOR #
WINDOW #, GLASS DOOR #
WINDOW TYPE
DOOR TYPE
NOTE
APPLIANCE/EQ/MNT TAG
PLUMBING TAG



NOTES ON PLAN				
1	WHEN A SHOWER IS SERVED BY MORE THAN ONE SHOWERHEAD, THE COMBINED FLOW RATE OF ALL SHOWERHEADS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GALLONS PER MINUTE AT 80 PSI, OR THE SHOWER SHALL BE DESIGNED TO ALLOW ONLY ONE SHOWER OUT LET TO BE IN OPERATION AT A TIME. NOTE: A HAND-HELD SHOWER SHALL BE CONSIDERED A SHOWERHEAD.	3	FANS SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING. FANS MUST BE CONTROLLED BY A HUMIDITY CONTROL.	10
		7	---	11
2	FOR SITES WITH OVER 500 SF OF LANDSCAPE AREA, WASTE PIPING SHALL BE ARRANGED TO PERMIT DISCHARGE FROM THE CLOTHES WASHER, BATHTUB, SHOWERS, AND BATHROOM/RESTROOMS WASH BASINS TO BE USED FOR A FUTURE GRAYWATER IRRIGATION SYSTEM.	8	---	12
		9	---	13
				14

(D22)	INTERIOR DOOR #
(7)	WINDOW #, GLASS DOOR #
(W1)	WINDOW TYPE
(D1)	DOOR TYPE
(1)	NOTE
(EQ.07)	APPLIANCE/EQ/MNT TAG
(PL.01)	PLUMBING TAG



1920 VIOLET STREET #201
 LOS ANGELES, CA 90021
 Greg Bleier
 323-275-4059
 info@studounltd.com

Owner's Representative
 Doron Bonnaies
 Greenbuild Constr. Serv.
 8200 Wilshire Blvd.
 Beverly Hills, CA 90210
 213.422.157
 doron@greenbuildsosi.com

Drafting/Expediting
 David Crimmins
 dorimmins@gmail.com
 416.378.6685

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Any discrepancy between field dimensions and dimensions herein shall be reported to the Designer prior to commencing work.

DATE	REV	ISSUE
11/28/16		PLANNING RE-SUBMIT
06/14/16		PLANNING SUBMITTAL

PROJECT:
DuBois Residence
 459 E 28th Ave.
 Venice, CA

OWNER	Louise DuBois 459 28th Ave. Venice, CA 90281
PROJECT #:	161007
DRAWN BY:	DHC
REV'D BY:	GB
DATE:	11/28/2016
SCALE:	1/4" = 1'-0"

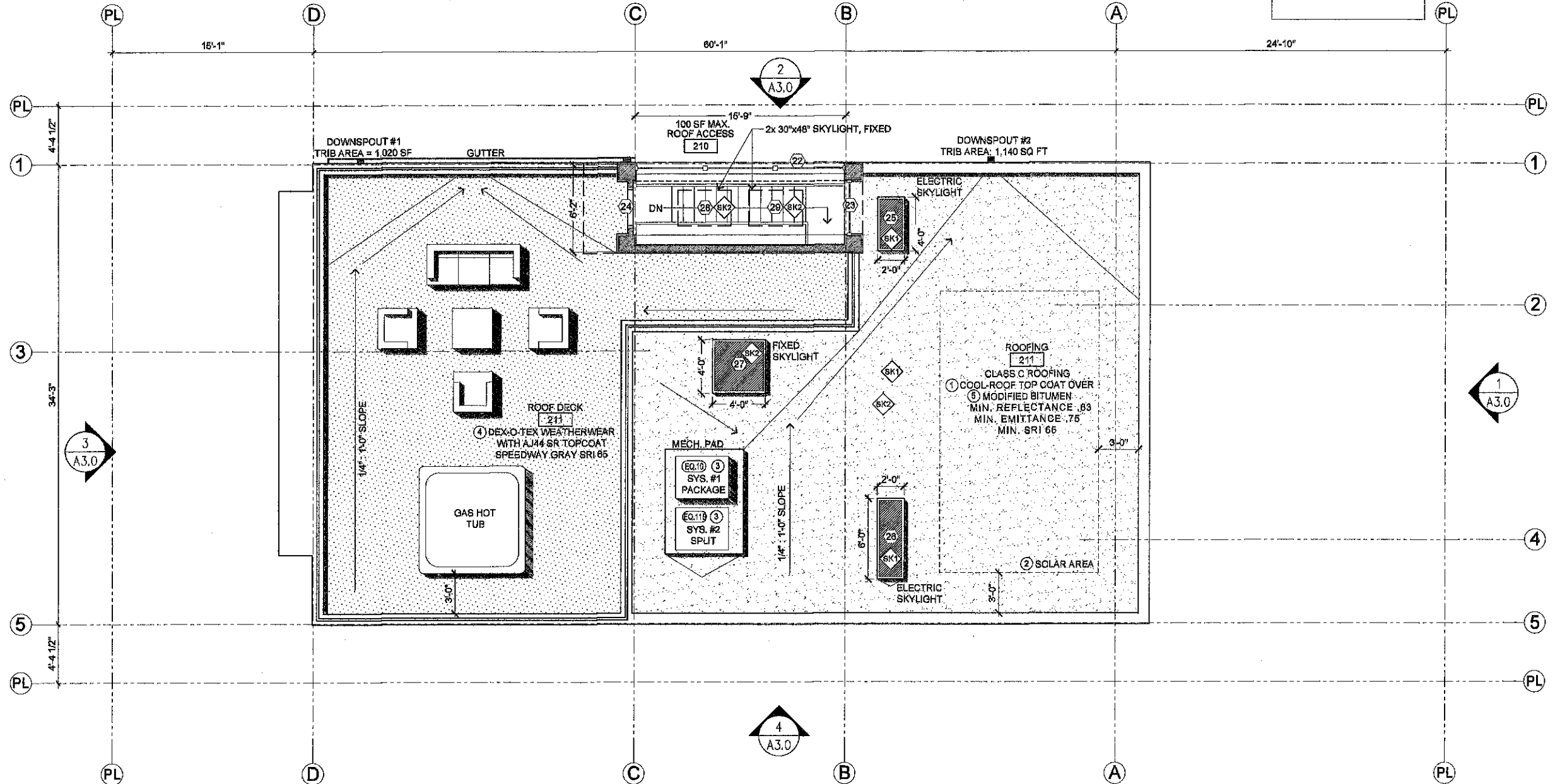
DRAWING TITLE:

2ND FLOOR PLAN

SHEET:
A2.1

NOTES ON PLAN				
1	COOL ROOF MINIMUM: REFLECTANCE .55, TRANSMITTANCE .76, SRI 64 (PER CALGREEN A4.106.5.1)	4	APPLY LIQUID ROOFING PER 2013 CALIFORNIA RESIDENTIAL CODE SECTION R905.16, RE-PRINTED ON THIS SHEET.	10
2	250 SQ FT MIN AREA FOR P.V. PANELS, SOLAR-READY ONLY THIS PERMIT. SEE 'FUTURE ACCESS' SECTION THIS SHEET	5	APPLY MODIFIED BITUMENS PER 2013 CALIFORNIA RESIDENTIAL CODE SECTION R905.11, RE-PRINTED ON THIS SHEET.	11
3	THE HEATING AND AIR-CONDITIONING SYSTEMS SHALL BE SIZED AND DESIGNED USING ANSI/ACCA MANUAL J-2011, ANSI/ACCA 28-D-2014 OR ASHRAE HANDBOOKS AND HAVE THEIR EQUIPMENT SELECTED IN ACCORDANCE WITH ANSI/ACCA 3 MANUAL S-2014.	7	---	12
		8	---	13
		9	---	14

(D22)	INTERIOR DOOR #
(7)	WINDOW #, GLASS DOOR #
(W)	WINDOW TYPE
(D1)	DOOR TYPE
(1)	NOTE
(EQ.07)	APPLIANCE/EQMNT TAG
(PL.01)	PLUMBING TAG



FUTURE ACCESS FOR ELECTRICAL SOLAR SYSTEM
 (LA GREEN CODE 99.04.211.4) AN ELECTRICAL CONDUIT SHALL BE PROVIDED FROM THE ELECTRICAL SERVICE EQUIPMENT TO AN ACCESSIBLE LOCATION IN THE ATTIC OR OTHER LOCATION SUITABLE FOR FUTURE CONNECTION TO A SOLAR SYSTEM. THE CONDUIT SHALL BE ADEQUATELY SIZED BY THE DESIGNER BUT SHALL NOT BE LESS THAN ONE INCH. THE CONDUIT SHALL BE LABELED AS PER THE LOS ANGELES FIRE DEPARTMENT REQUIREMENTS. THE ELECTRICAL PANEL SHALL BE SIZED TO ACCOMMODATE THE INSTALLATION OF A FUTURE ELECTRICAL SOLAR SYSTEM.

ELECTRICAL PANEL
 THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRIC INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED AS 'FOR FUTURE SOLAR ELECTRIC'.

MODIFIED BITUMEN ROOFING
 R905.11 MODIFIED BITUMEN ROOFING. THE INSTALLATION OF MODIFIED BITUMEN ROOFING SHALL COMPLY WITH THE PROVISIONS OF THIS SECTION.
 R905.11.1 SLOPE. MODIFIED BITUMEN MEMBRANE ROOF SHALL HAVE A DESIGN SLOPE OF A MINIMUM OF ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE) FOR DRAINAGE.
 R905.11.2 MATERIAL STANDARDS. MODIFIED BITUMEN ROOF COVERINGS SHALL COMPLY WITH THE STANDARDS IN TABLE R905.11.2.
 R905.11.3 APPLICATION. MODIFIED BITUMEN ROOF SHALL BE INSTALLED ACCORDING TO THIS CHAPTER AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

LIQUID-APPLIED ROOFING
 R905.16.1 SLOPE. LIQUID-APPLIED ROOFING SHALL HAVE A DESIGN SLOPE OF A MINIMUM OF ONE-FOURTH UNIT VERTICAL IN 12 UNITS HORIZONTAL (2-PERCENT SLOPE).
 R905.16.2 MATERIAL STANDARDS. LIQUID-APPLIED ROOFING SHALL COMPLY WITH ASTM C 836, C 867, D 1227, D 3489, D 6083, D 6884 OR D 6847.
 R905.16.3 APPLICATION. LIQUID-APPLIED ROOFING SHALL BE INSTALLED ACCORDING TO THIS CHAPTER AND THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.

ROOF FINISH LEGEND	
[Pattern]	LIQUID-APPLIED ROOF DECK
[Pattern]	MODIFIED BITUMEN ROOFING "COOL ROOF"

TAG	MFG.	SERIES	FRAME TYPE	DIMENSIONS	TYPE	GLASS	U	SHGC	VT
SK1	VELUX	VCE	ALUM. OVER WOOD	SEE ELEVATIONS	SKYLIGHT, ELECTRIC	Lo-E w/ Argon gas	0.53	0.24	0.55
SK2	VELUX	FCM	ALUM. OVER WOOD	SEE ELEVATIONS	SKYLIGHT, FIXED	Lo-E w/ Argon gas	0.45	0.28	0.63



1920 VIOLET STREET #201
 LOS ANGELES, CA 90021
 Greg Bleier
 323-275-4859
 info@studionltd.com

Owner's Representative
 Daron Bennelem
 Greenbuild Constr. Serv.
 8200 Wilshire Blvd.
 Beverly Hills, CA 90210
 213.422.167
 daron@greenbuildcsi.com

Drafting/Expediting
 David Grimmins
 dgrimmis@gmail.com
 416.378.6585

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Any discrepancy between field dimensions and dimensions herein shall be reported to the Designer prior to commencing work.

DATE	REV	ISSUE
11/28/16		PLANNING RE-SUBMIT
06/14/16		PLANNING SUBMITTAL

PROJECT:
DuBois Residence
 459 E 28th Ave.
 Venice, CA

OWNER	Louise DuBoise 459 28th Ave, Venice, CA 90281
PROJECT #:	161007
DRAWN BY:	DHC
REV'D BY:	GB
DATE:	11/28/ 2016
SCALE:	1/4" = 1'-0"

DRAWING TITLE:
ROOF PLAN

SHEET :
A2.2



1920 VIOLET STREET #201
LOS ANGELES, CA 90021
Greg Bleier
323-275-4859
info@studiontld.com

Owner's Representative
Doron Benaïm
Greenbuild Constr. Serv.
8200 Wilshire Blvd.
Beverly Hills, CA 90211
213.422.157
doron@greenbuildopsi.com

Drafting/Expediting
David Grimmine
dcrimmine@gmail.com
415.378.6585

Written dimensions on these drawings shall have precedence over scaled dimensions. Drawings shall not be scaled. Contractors shall verify, and be responsible for, all dimensions and conditions shown by these drawings. Any discrepancy between field dimensions and dimensions herein shall be reported to the Designer prior to commencing work.

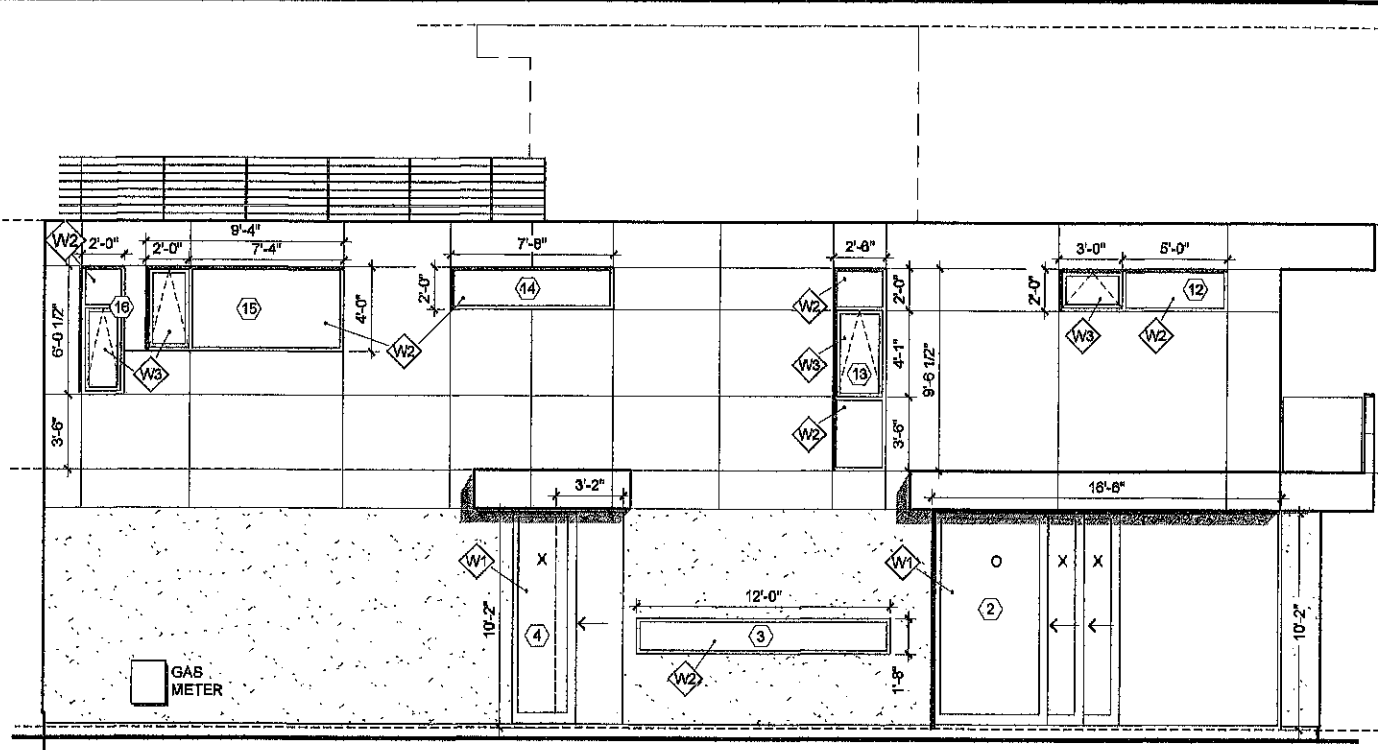
DATE	REV	ISSUE
11/28/16		PLANNING RE-SUBMIT
06/14/16		PLANNING SUBMITTAL

PROJECT:
DuBois Residence
459 E 28th Ave.
Venice, CA

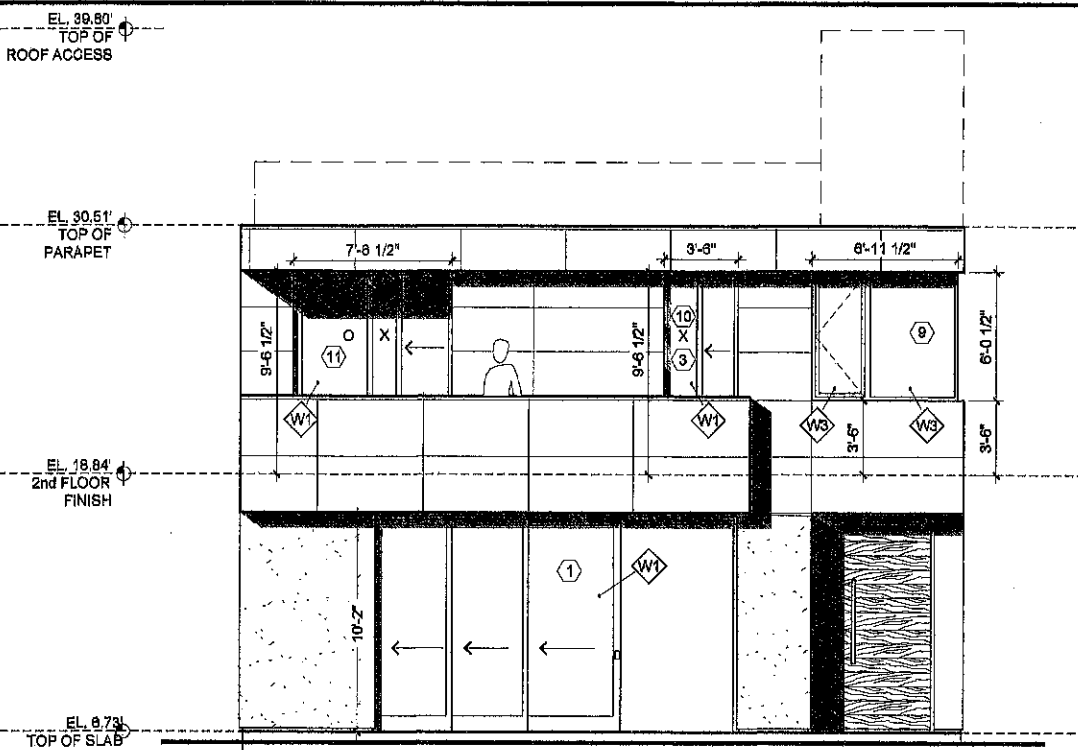
OWNER	Louise Dubois 459 28th Ave, Venice, CA 90291
PROJECT #:	181007
DRAWN BY:	DHC
REV'D BY:	GB
DATE:	11/28/2016
SCALE:	1/4" = 1'-0"

DRAWING TITLE:
ELEVATIONS

SHEET:
A3.0



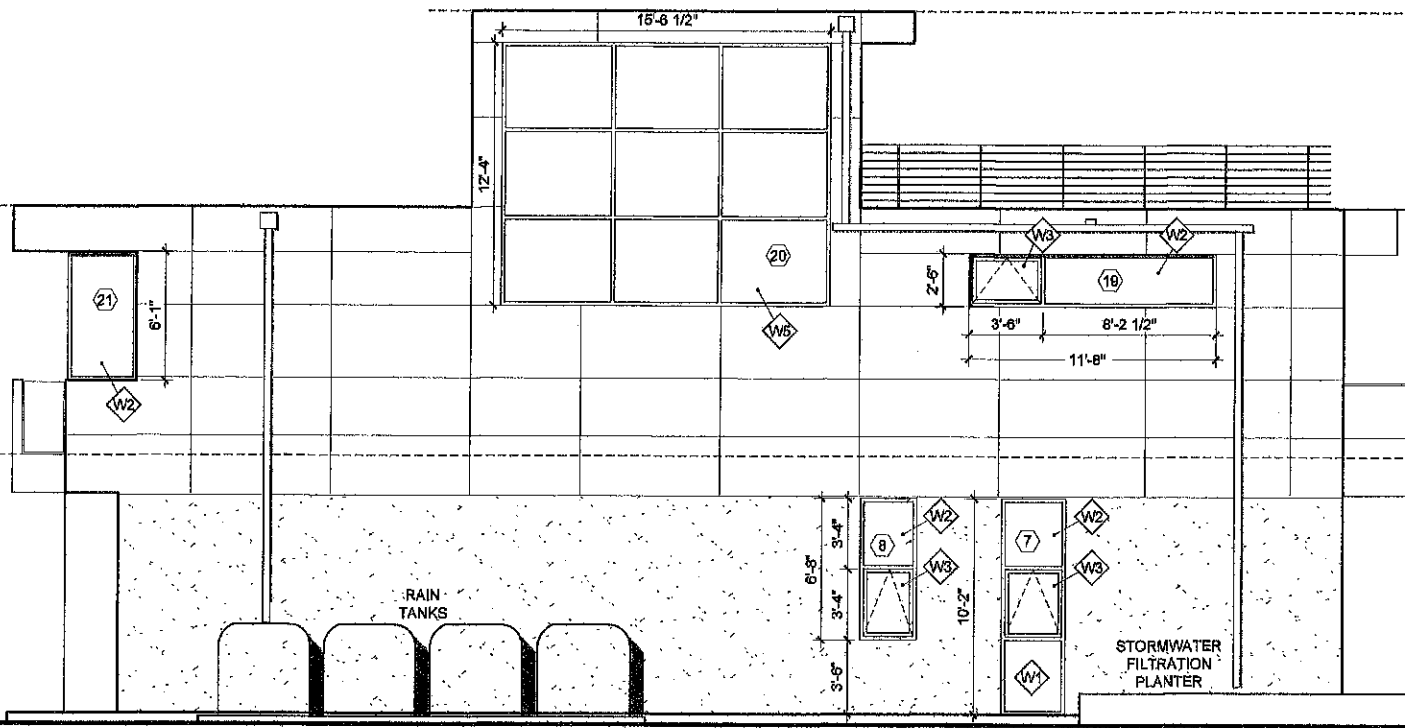
4 West Elevation
1/4" = 1'-0"



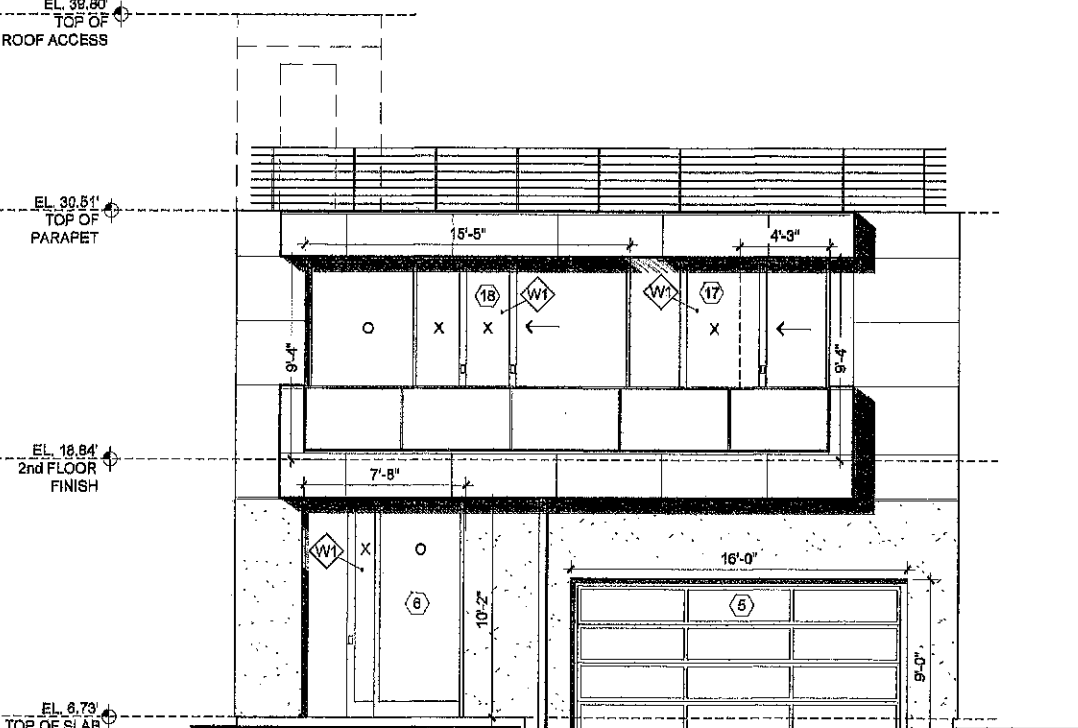
3 South Elevation (front)
1/4" = 1'-0"

TAG	MFG.	SERIES	FRAME TYPE	DIMENSIONS	TYPE	GLASS	U	SHGC	VT
W1	PRL	MAX SLIDER	ALUMINUM	SEE ELEVATIONS	SLIDING DOOR	SUNGUARD SNX 51/23 CLEAR	0.29	0.27	0.51
W2	JELD-WEN	PREMIUM ALUM.	ALUMINUM	SEE ELEVATIONS	FIXED WINDOW	LOW-E 366	0.41	0.25	0.59
W3	JELD-WEN	PREMIUM ALUM.	ALUMINUM	SEE ELEVATIONS	AWNING OR CSMNT WIN.	LOW-E 366	0.58	0.2	0.44
W4	JELD-WEN	PREMIUM ALUM.	ALUMINUM	SEE ELEVATIONS	SLIDING WINDOW	LOW-E 366	0.5	0.24	0.55
W5	PRL	PLCW-600 CURTAINWALL	ALUMINUM	SEE ELEVATIONS	FIXED	SUNGUARD SNX 51/23 CLEAR	0.33	0.37	0.51

ELEVATION SYMBOL LEGEND	
W1	WINDOW+SLIDING DOOR TYPE
W7	WINDOW+SLIDING DOOR NUMBER, SEE SCHEDULE
1	NOTE
D22	WOOD + INTERIOR DOOR NUMBER
D7	WOOD + INTERIOR DOOR TYPE



2 East Elevation
1/4" = 1'-0"



1 North Elevation (rear)
1/4" = 1'-0"