

CALIFORNIA COASTAL COMMISSION

NORTH CENTRAL COAST DISTRICT OFFICE
45 FREMONT STREET, SUITE 2000
SAN FRANCISCO, CA 94105
PHONE: (415) 904-5260
FAX: (415) 904-5400
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Th8a

2-16-0784 (MIRADA SEAWALL)

JULY 11, 2019

EXHIBITS

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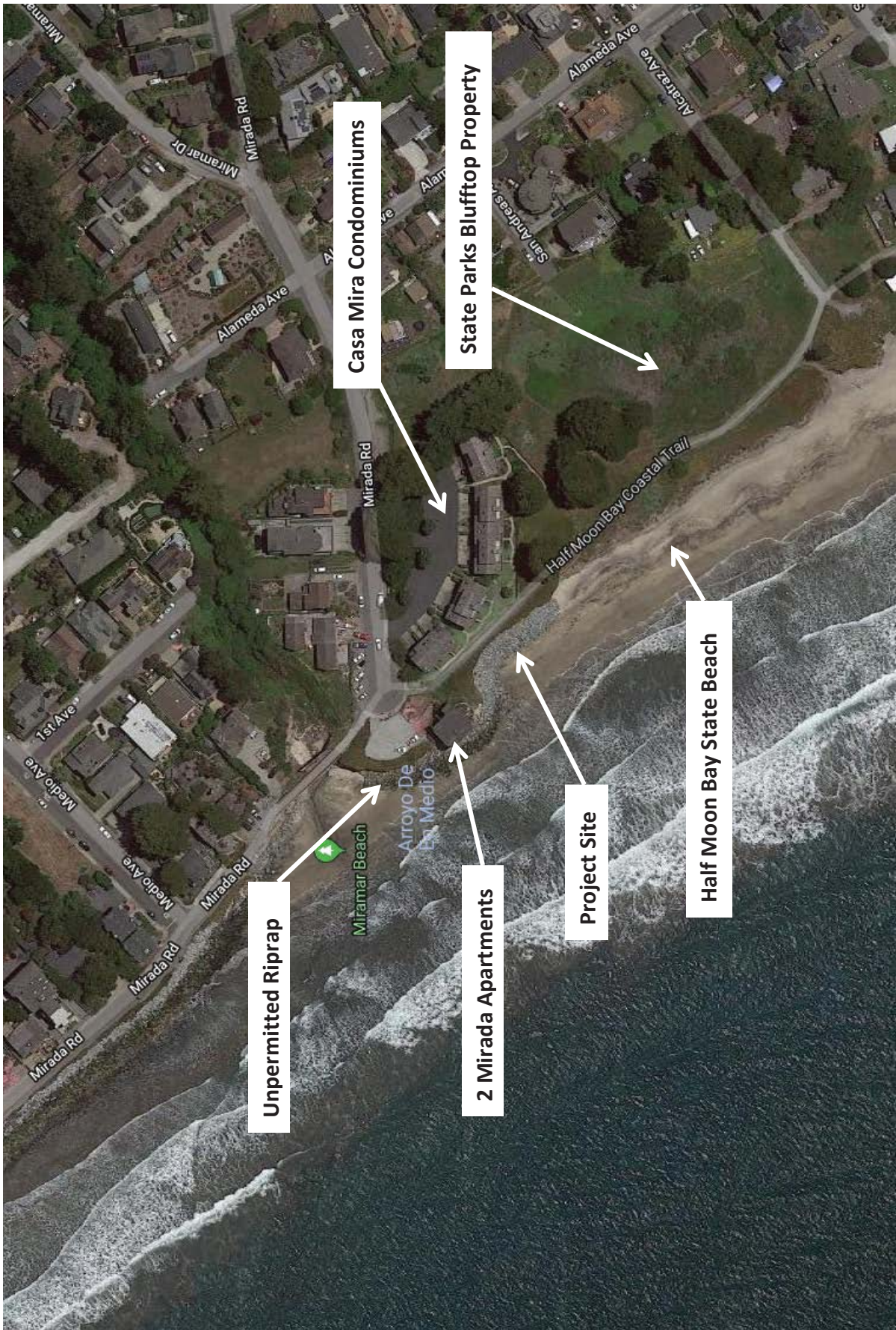
Exhibit 7: Sand Bids

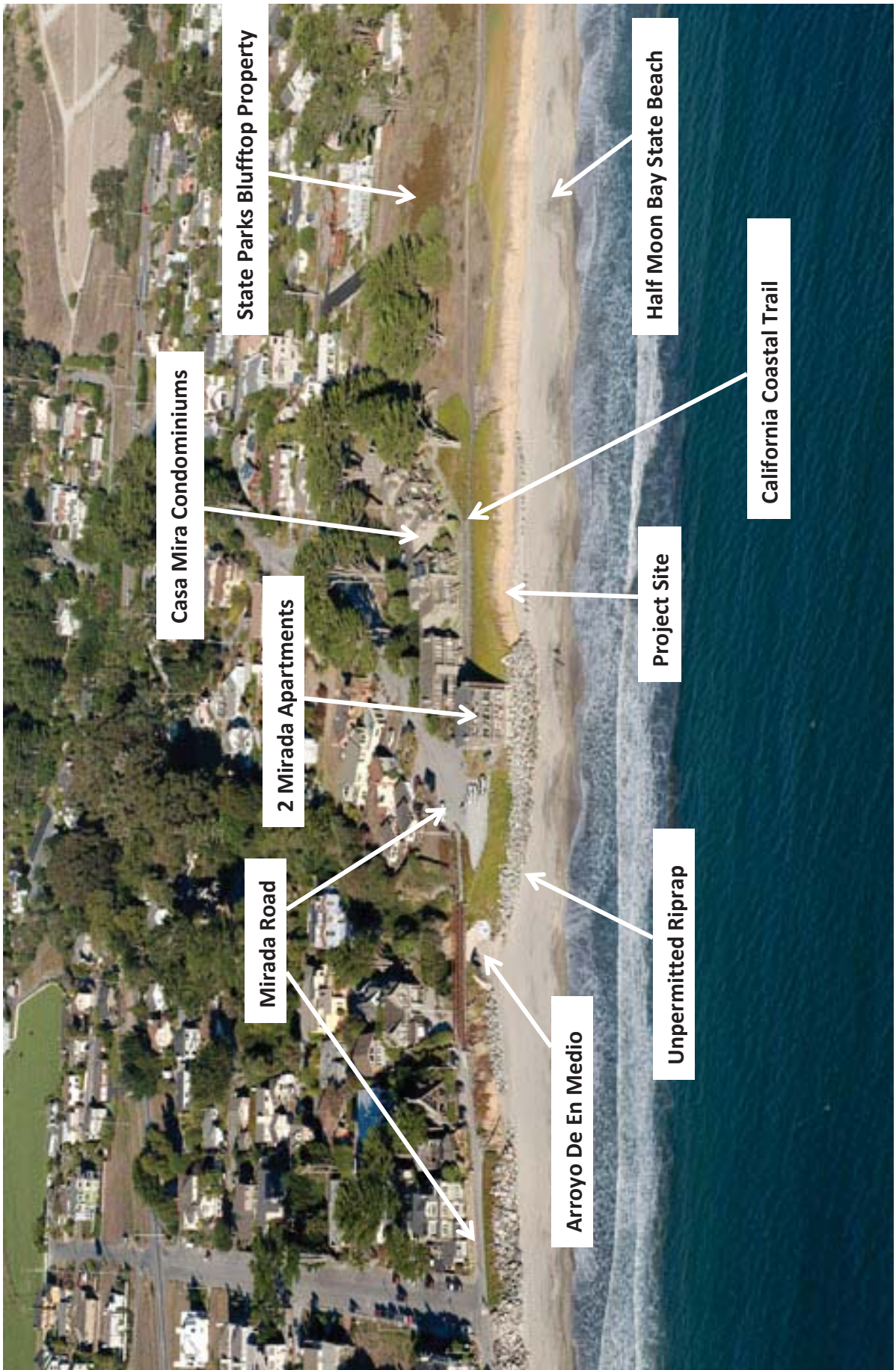
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* Note: This California Coastal Records photo is from 2013 prior to placement of the 2016 & 2017 emergency riprap.

View Looking Northeast



View Looking North



View Looking East

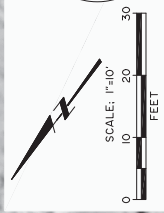


California Coastal Trail

Unpermitted Riprap

2 Mirada Apartments

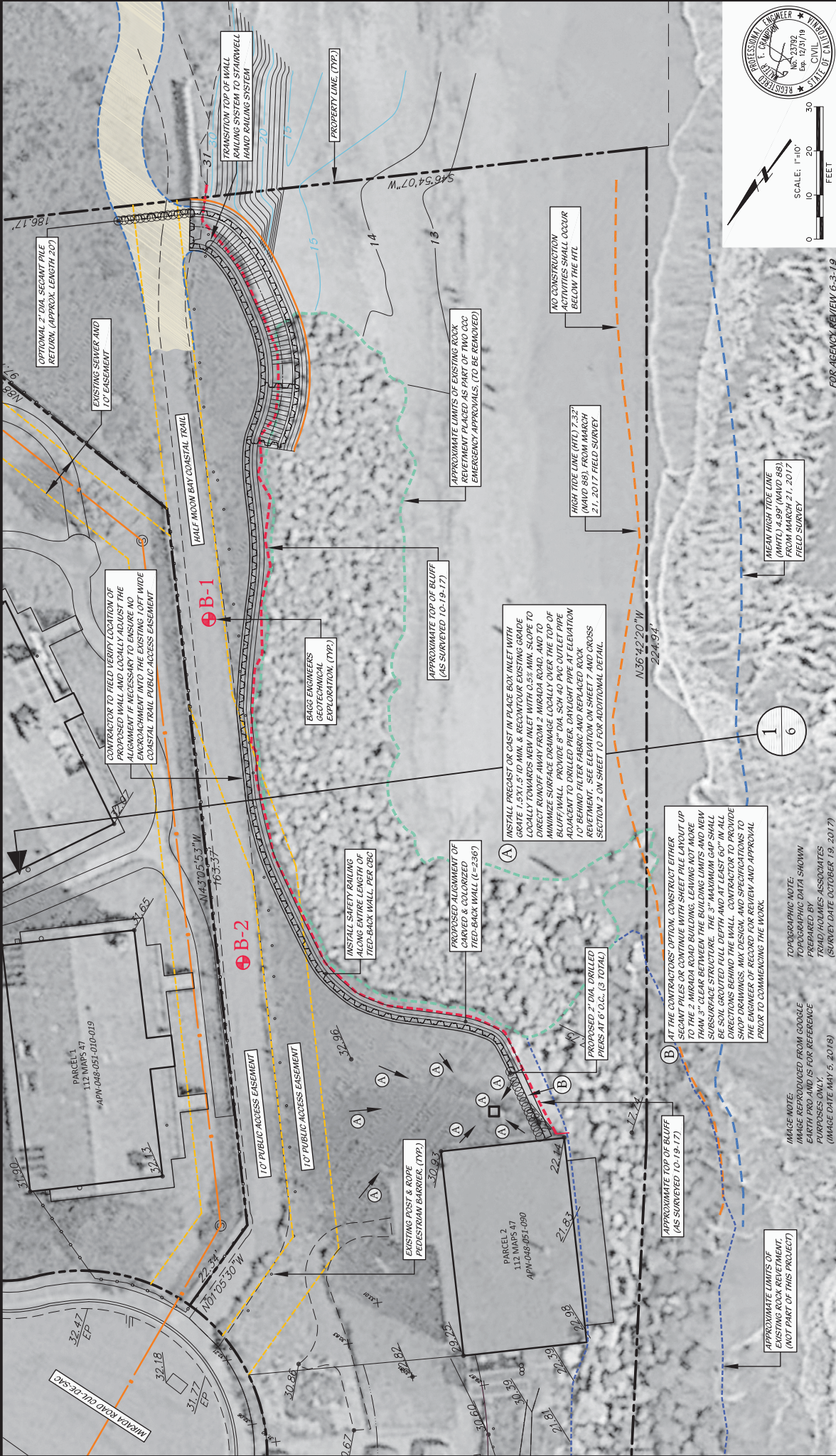
Project Site



FOR AGENCY REVIEW 6-3-19

BLUFF STABILIZATION - 2 MIRADA RD & CASA MIRA HOA

PROPOSED SITE PLAN



BLUFF STABILIZATION - 2 MIRADA RD & CASA MIRA HOA

SHEET TITLE:

DATE	REVISION

FULL SIZE: 24x36 (1"=10')

HALF SIZE: 11x17 (1"=50')

DATE: 6-3-19

NOTE: THIS DRAWING IS SCALE IF SHEET SIZE IS SMALLER THAN 24" x 36"



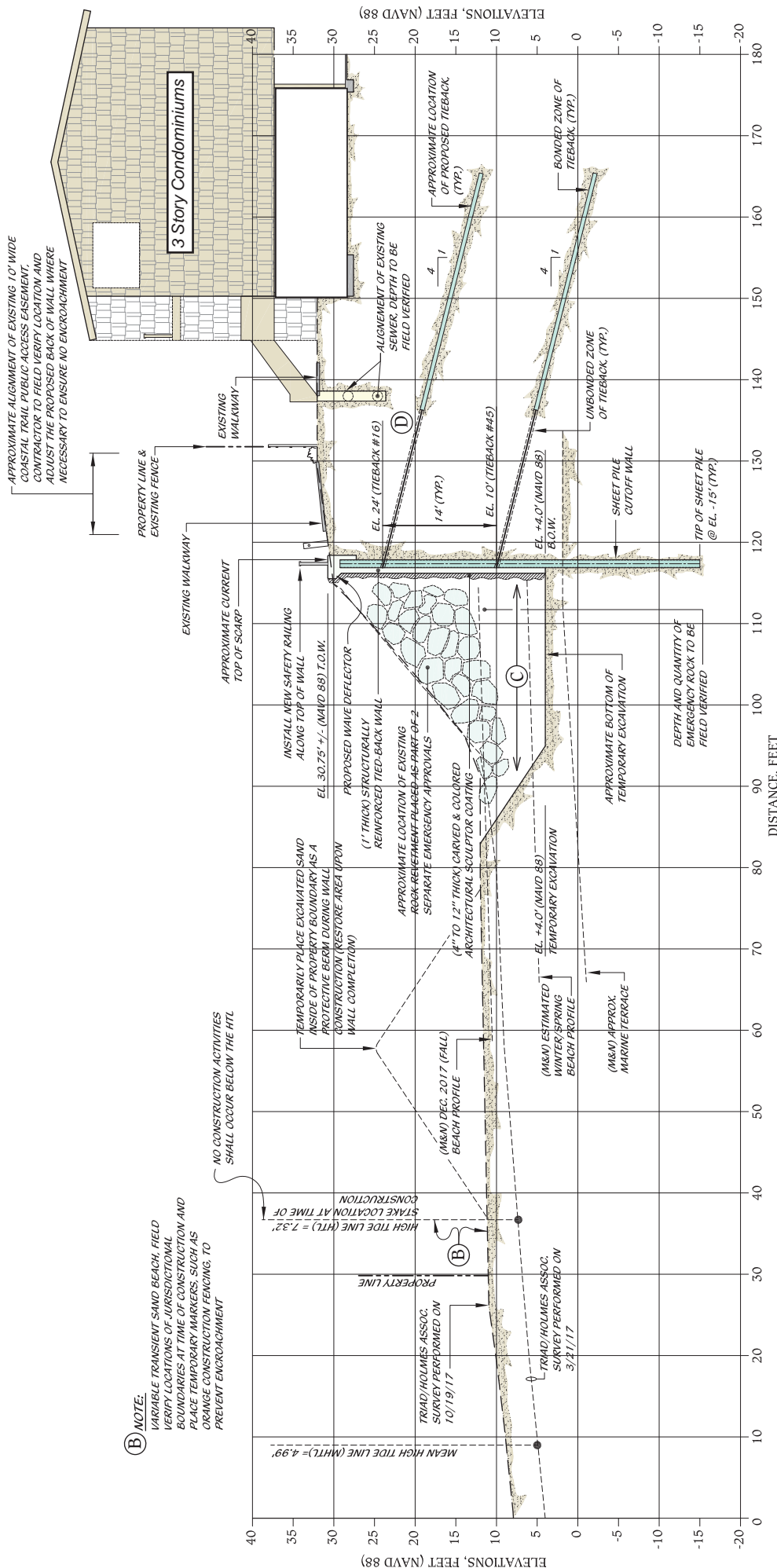
TERRACOSTA CONSULTING GROUP

ENGINEERS AND GEOLOGISTS

3800 BURBANK BLVD., SUITE 200

SAN DIEGO, CA 92108 (619) 576-8800

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(D) NOTE:
 VERIFY INVERTS AND LOCATIONS OF ALL UTILITIES PRIOR TO DRILLING TIEBACKS. AND NOTIFY ENGINEER OF RECORD OF ANY POTENTIAL CONFLICTS

(C) NOTE:
 ALL EXISTING ROCK PLACED AS PART OF CALIFORNIA COASTAL COMMISSION APPROVED EMERGENCY BLUFF STABILIZATION WORK TO BE COMPLETELY REMOVED FROM BEACH

(B) NOTE:
 VARIABLE TRANSIENT SAND BEACH FIELD BOUNDARIES OF UNIDIRECTIONAL CONSTRUCTION AND PLACE TEMPORARY MARKERS, SUCH AS ORANGE CONSTRUCTION FENCING, TO PREVENT ENCROACHMENT

(A) NOTE:
 APPROXIMATE ALIGNMENT OF EXISTING 10' WIDE COASTAL TRAIL PUBLIC ACCESS EASEMENT. CONTRACTOR TO FIELD VERIFY LOCATION AND ADJUST THE PROPOSED BACK OF WALL WHERE NECESSARY TO ENSURE NO ENCROACHMENT

SHEET NO. **6** OF **16**

FOR AGENCY REVIEW 6-3-19

GENERALIZED CROSS SECTION 1
SCALE: 1"=6'

CROSS SECTION 1

BLUFF STABILIZATION - 2 MIRADA RD & CASA MIRA HOA

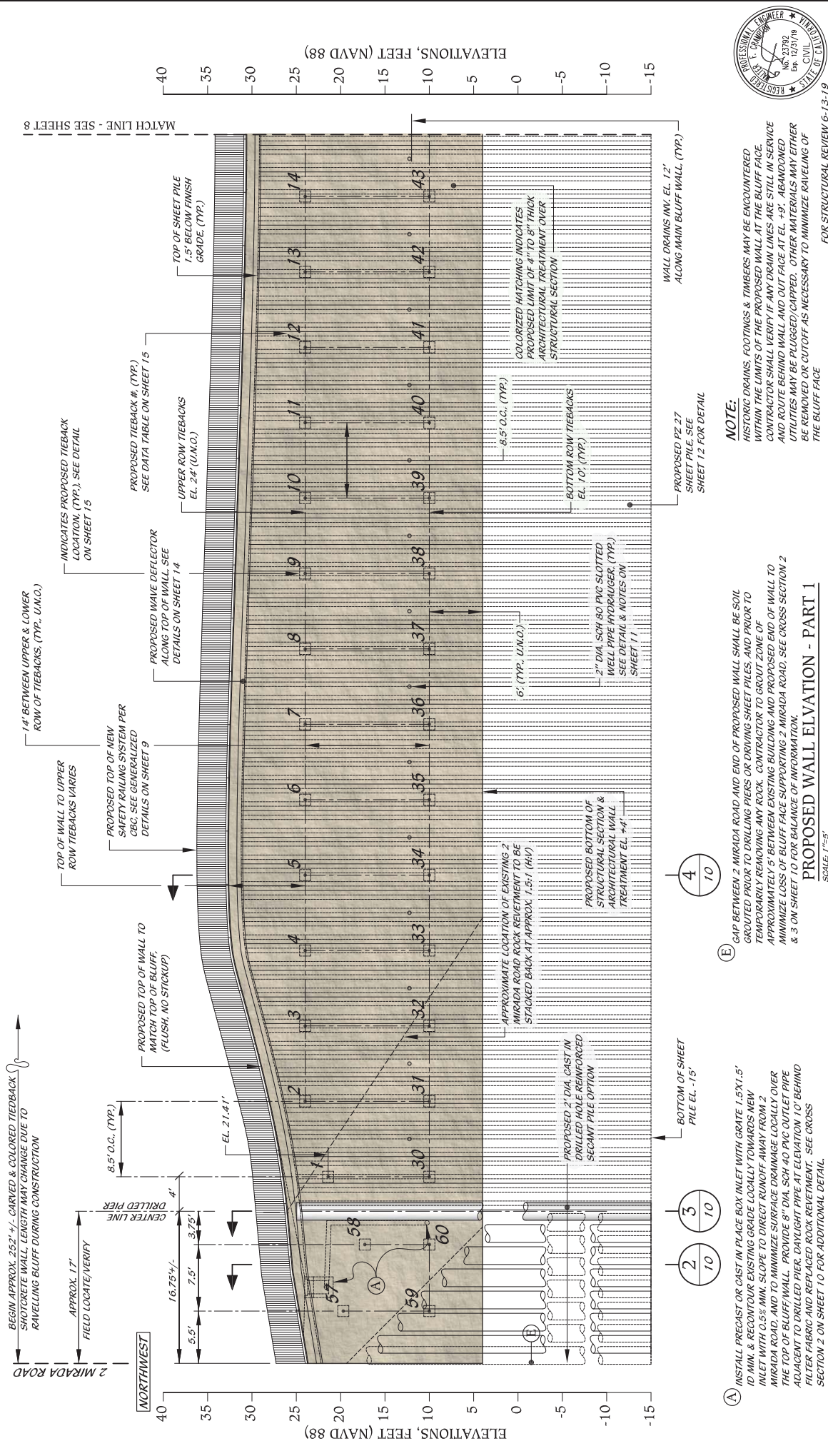
SHEET TITLE:

DATE	REVISION

FULL SIZE: 24x36 (1"=6')
 HALF SIZE: 11x17 (1"=12')
 DATE: 6-3-19
 NOTE: THIS DRAWING IS SCALE IF SHEET SIZE IS SMALLER THAN 24" x 36"

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PROPOSED WALL ELEVATION - PART 1

FOR STRUCTURAL REVIEW 6-13-19

SHEET NO. 7 OF 16

REGISTERED PROFESSIONAL ENGINEER
 CIVIL
 No. 33392
 Exp. 12/31/19
 STATE OF CALIFORNIA

BLUFF STABILIZATION - 2 MIRADA RD & CASA MIRA HOA

SHEET TITLE: PROPOSED WALL ELEVATION - PART 1

PROPOSED WALL ELEVATION - PART 1

SCALE: 1/4" = 1'-0"

DATE: 6-13-19

REVISION:

NO.	REVISION

FULL SIZE: 24x36 (N/S)

HALF SIZE: 11x17 (N/S)

DATE: 6-13-19

NOTE: THIS DRAWING IS SCALE 1/4" = 1'-0". SCALE IF SHEET SIZE IS SMALLER THAN 24" x 36"

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SHEET NO. 8 OF 16
FOR AGENCY REVIEW 6-3-19

BLUFF STABILIZATION - 2 MIRADA RD & CASA MIRA HOA
PROPOSED WALL ELEVATION - PART 2

SCALE: 1"=4'-0"
DATE: 6-3-19
REVISION: 11147 (N/S)
2408 (N/S)
FULL SIZE:

NOTE: THIS DRAWING IS SCALE IF SHEET SIZE IS SMALLER THAN 24" x 36"

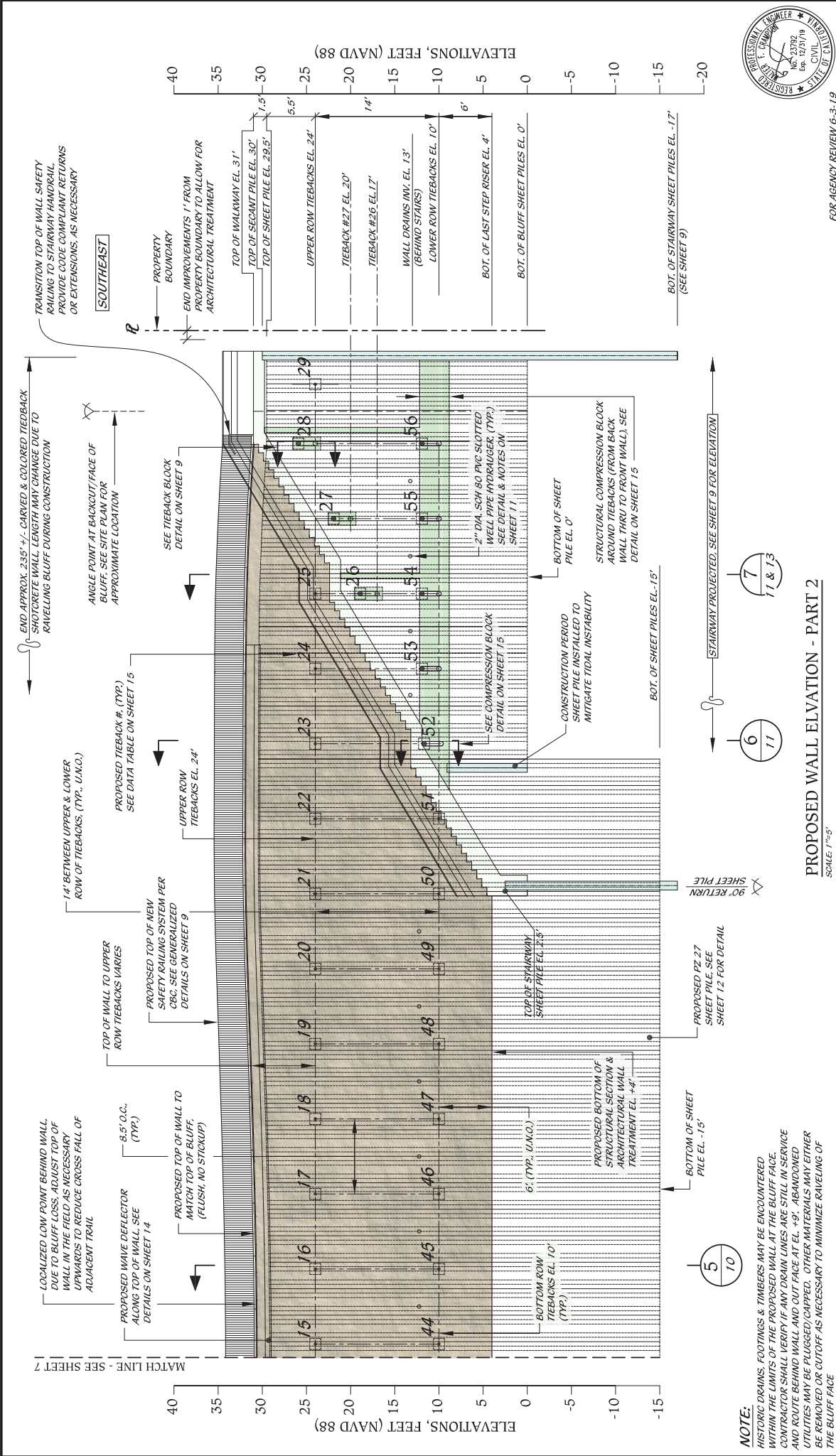
DATE: 6-3-19
REVISION: 11147 (N/S)
2408 (N/S)
FULL SIZE:

DATE: 6-3-19
REVISION: 11147 (N/S)
2408 (N/S)
FULL SIZE:



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EXHIBIT 3
2-16-0784
PART 2 OF 7



ELEVATIONS, FEET (NAVD 88)
40 35 30 25 20 15 10 5 0 -5 -10 -15 -20

TRANSITION TOP OF WALL SAFETY RAILING TO STAIRWAY HANDRAIL. PROVIDE CODE COMPLIANT RETURNS OR EXTENSIONS, AS NECESSARY.
PROPERTY BOUNDARY
END IMPROVEMENTS 1' FROM PROPERTY BOUNDARY TO ALLOW FOR ARCHITECTURAL TREATMENT
TOP OF WALKWAY EL. 31'
TOP OF SECAINT PILE EL. 30'
TOP OF SHEET PILE EL. 29.5'
UPPER ROW TIEBACKS EL. 24'
TIEBACK #27 EL. 20'
TIEBACK #26 EL. 17'
WALL DRAINS INV. EL. 13'
LOWER ROW TIEBACKS EL. 10'
BOT. OF LAST STEP RISER EL. 4'
BOT. OF BLUFF SHEET PILES EL. 0'
BOT. OF STAIRWAY SHEET PILES EL. -17' (SEE SHEET 9)

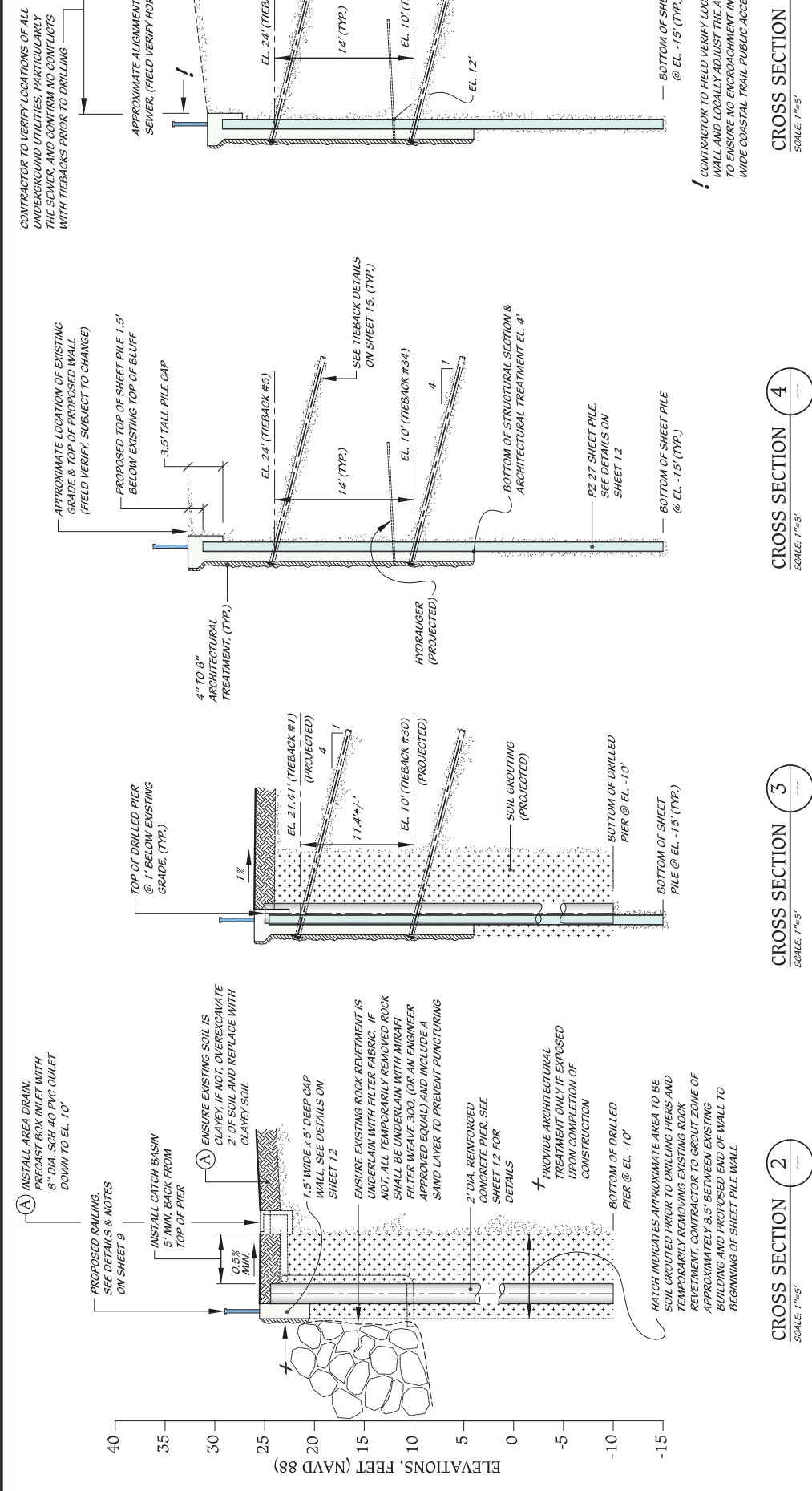
END APPROX. 235° +/-, CARVED & COLORED TIEBACK SHOTCRETE WALL LENGTH MAY CHANGE DUE TO RAVELLING BLUFF DURING CONSTRUCTION
ANGLE POINT AT BACKCUT/FACE OF BLUFF. SEE SITE PLAN FOR APPROXIMATE LOCATION
SEE TIEBACK BLOCK DETAIL ON SHEET 9
PROPOSED TIEBACK # (TYP.) SEE DATA TABLE ON SHEET 15
UPPER ROW TIEBACKS EL. 24'
ROW OF TIEBACKS (TYP. U.N.C.D.)
1.4' BETWEEN UPPER & LOWER ROW OF TIEBACKS
TOP OF WALL TO UPPER ROW TIEBACKS VARIES
PROPOSED TOP OF NEW SAFETY RAILING SYSTEM PER CBC. SEE GENERALIZED DETAILS ON SHEET 9
LOCALIZED LOW POINT BEHIND WALL DUE TO BLUFF LOSS. ADJUST TOP OF WALL IN THE FIELD AS NECESSARY UPWARDS TO REDUCE CROSS FALL OF ADJACENT TRAIL
PROPOSED WAVE DEFLECTOR ALONG TOP OF WALL. SEE DETAILS ON SHEET 14
PROPOSED TOP OF WALL TO MATCH TOP OF BLUFF (FLUSH, NO STICKUP)
8.5' O.C. (TYP.)
MATCH LINE - SEE SHEET 7

2" DIA. SCH 80 PVC-SLOTTED WELL PIPE HYDRAUGER (TYP.) SEE DETAIL & NOTES ON SHEET 11
BOTTOM OF SHEET PILE EL. 0'
STRUCTURAL COMPRESSION BLOCK AROUND TIEBACKS (FROM BACK WALL THRU TO FRONT WALL). SEE DETAIL ON SHEET 15
CONSTRUCTION PERIOD SHEET PILE INSTALLED TO MITIGATE TIDAL INSTABILITY
SEE COMPRESSION BLOCK DETAIL ON SHEET 15
BOT. OF SHEET PILES EL. -15'
STAIRWAY PROJECTED. SEE SHEET 9 FOR ELEVATION
90° RETURN SHEET PILE
PROPOSED PZ 27 SHEET PILE. SEE SHEET 12 FOR DETAIL
6' (TYP. U.N.C.D.)
PROPOSED BOTTOM OF STRUCTURAL SECTION & ARCHITECTURAL WALL TREATMENT EL. +4'
BOTTOM OF SHEET PILE EL. -15'

29 28 27 26 25 24 23 22 21 20 19 18 17 16 15
56 55 54 53 52 51 50 49 48 47 46 45 44
ELEVATIONS, FEET (NAVD 88)
40 35 30 25 20 15 10 5 0 -5 -10 -15 -20

5 10
6 11
7 11 & 13

NOTE:
HISTORIC DRAINS, FOOTINGS & TIMBERS MAY BE ENCOUNTERED WITHIN THE LIMITS OF THE PROPOSED WALL AT THE BLUFF FACE. CONTRACTOR SHALL VERIFY IF ANY DRAIN LINES ARE STILL IN SERVICE AND ROUTE BEHIND WALL AND OUT FACE AT EL. +5'. ABANDONED UTILITIES MAY BE PLOTTED/CAPPED. OTHER MATERIALS MAY EITHER BE REMOVED OR CUTOFF AS NECESSARY TO MINIMIZE RAVELLING OF THE BLUFF FACE



CONTRACTOR TO VERIFY LOCATIONS OF ALL UNDERGROUND UTILITIES, PARTICULARLY THE SEWER, AND COMPROMISE CONFLICTS WITH TIEBACKS PRIOR TO DRILLING

APPROXIMATE ALIGNMENT OF EXISTING SEWER, (FIELD VERIFY HORIZ. & VERT.)

APPROXIMATE LOCATION OF EXISTING GRADE & TOP OF PROPOSED WALL (FIELD VERIFY, SUBJECT TO CHANGE)

PROPOSED RAILING, SEE DETAILS & NOTES ON SHEET 9

INSTALL AREA DRAIN, PRECAST BOX INLET WITH 8" DIA. SCH 40 PVC OUTLET DOWN TO EL. 10'

INSTALL CATCH BASIN 5" MIN. BACK FROM TOP OF PIER

ENSURE EXISTING SOIL IS CLAYEY, IF NOT, OVEREXCAVATE 2" OF SOIL AND REPLACE WITH CLAYEY SOIL

1.5" WIDE x 5" DEEP CAP WALL, SEE DETAILS ON SHEET 12

ENSURE EXISTING ROCK RETIEMENT IS UNDERLAIN WITH FILTER FABRIC. IF NOT, ALL TEMPORARILY REMOVED ROCK SHALL BE UNDERLAIN WITH MIGHT FILTER WERVE SOG. (OR AN ENGINEER APPROVED EQUIV.) AND INCLUDE A SAND LAYER TO PREVENT PUNCTURING

2" DIA. REINFORCED CONCRETE PIER, SEE SHEET 12 FOR DETAILS

PROVIDE ARCHITECTURAL TREATMENT ONLY IF EXPOSED UPON COMPLETION OF CONSTRUCTION

HATCH INDICATES APPROXIMATE AREA TO BE SOIL GROUTED PRIOR TO DRILLING PIERS AND TEMPORARILY REMOVING EXISTING ROCK RETIEMENT, CONTRACTOR TO GROUT ZONE OF REVETMENT, APPROXIMATELY 8.5' BETWEEN EXISTING BUILDING AND PROPOSED END OF WALL TO BEGINNING OF SHEET PILE WALL

4" TO 8" ARCHITECTURAL TREATMENT, (TYP.)

3.5" TALL PILE CAP

EL. 24' (TIEBACK #5)

14' (TYP.)

EL. 10' (TIEBACK #34)

SEE TIEBACK DETAILS ON SHEET 15, (TYP.)

HYDRAUGER (PROJECTED)

BOTTOM OF STRUCTURAL SECTION & ARCHITECTURAL TREATMENT EL. 4'

PZ 27 SHEET PILE, SEE DETAILS ON SHEET 12

BOTTOM OF SHEET PILE @ EL. -15' (TYP.)

TOP OF DRILLED PIER @ 1' BELOW EXISTING GRADE, (TYP.)

EL. 21.41' (TIEBACK #1) (PROJECTED)

11.4' (TYP.)

EL. 10' (TIEBACK #30) (PROJECTED)

SOIL GROUTING (PROJECTED)

BOTTOM OF DRILLED PIER @ EL. -10'

BOTTOM OF SHEET PILE @ EL. -15' (TYP.)

EL. 24' (TIEBACK #16)

14' (TYP.)

EL. 10' (TIEBACK #45)

EL. 12'

BOTTOM OF SHEET PILE @ EL. -15' (TYP.)

CONTRACTOR TO FIELD VERIFY LOCATION OF PROPOSED WALL AND LOCALLY ADJUST THE ALIGNMENT IF NECESSARY TO ENSURE NO ENCROACHMENT INTO THE EXISTING 10' WIDE COASTAL TRAIL PUBLIC ACCESS EASEMENT

CROSS SECTION 2 SCALE: 1"=5'

CROSS SECTION 3 SCALE: 1"=5'

CROSS SECTION 4 SCALE: 1"=5'

CROSS SECTION 5 SCALE: 1"=5'

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SAN DIEGO, CA 92103 (619) 576-6800
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DATE: _____

REVISION: _____

NO.: _____

TERRACOSTA CONSULTING GROUP

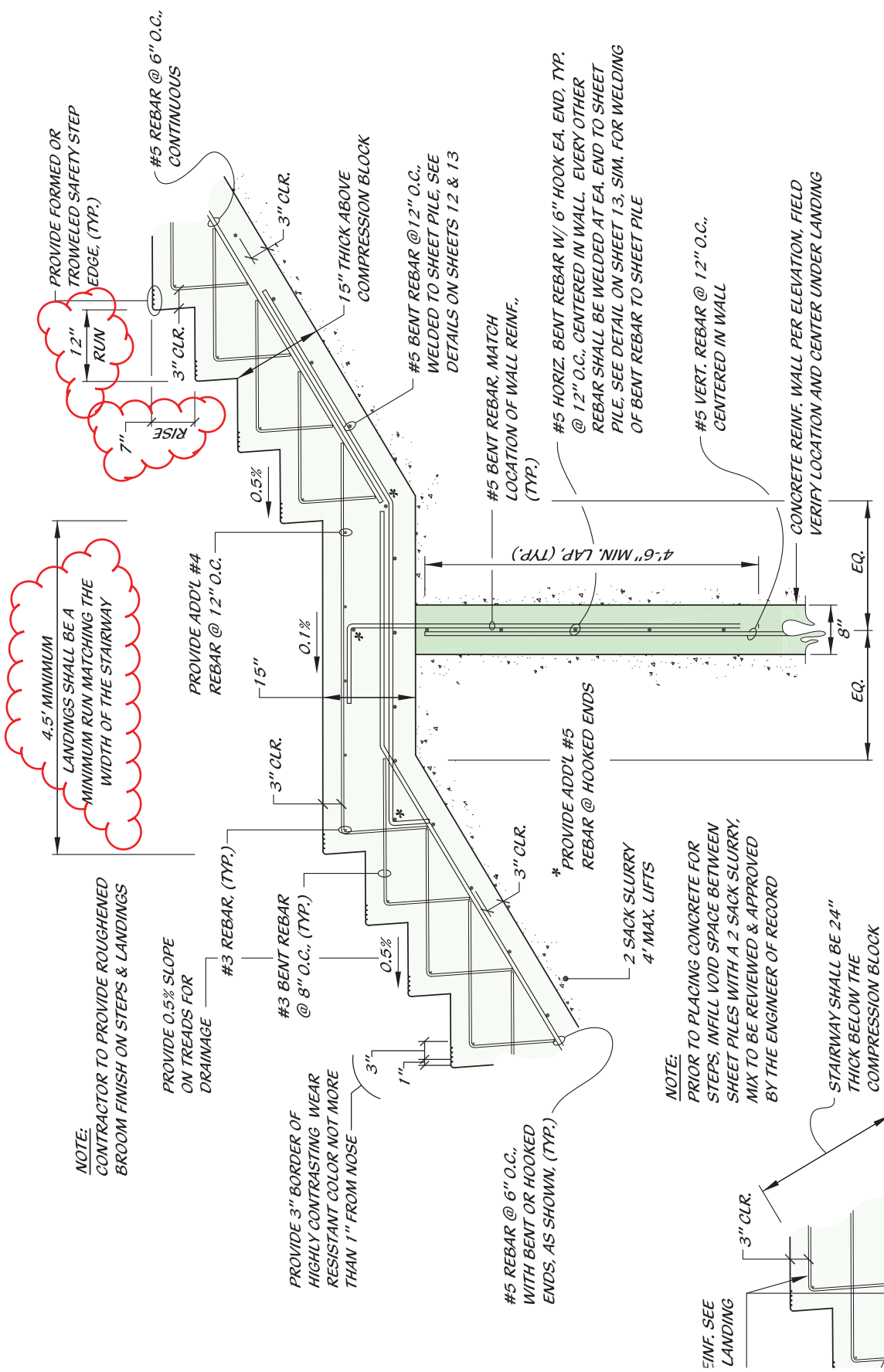
FOR AGENCY REVIEW 6-3-19

BLUFF STABILIZATION - 2 MIRADA RD & CASA MIRA HOA

CROSS SECTIONS 2 THROUGH 5

SHEET NO. **10** OF **16**

10 OF 16



4.5' MINIMUM
LANDINGS SHALL BE A
MINIMUM RUN MATCHING THE
WIDTH OF THE STAIRWAY

PROVIDE FORMED OR
TROWELED SAFETY STEP
EDGE, (TYP.)

NOTE:
CONTRACTOR TO PROVIDE ROUGHENED
BROOM FINISH ON STEPS & LANDINGS

PROVIDE 0.5% SLOPE
ON TREADS FOR
DRAINAGE

PROVIDE 3" BORDER OF
HIGHLY CONTRASTING WEAR
RESISTANT COLOR NOT MORE
THAN 1" FROM NOSE

#5 REBAR @ 6" O.C.,
WITH BENT OR HOOKED
ENDS, AS SHOWN, (TYP.)

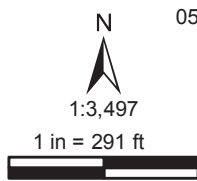
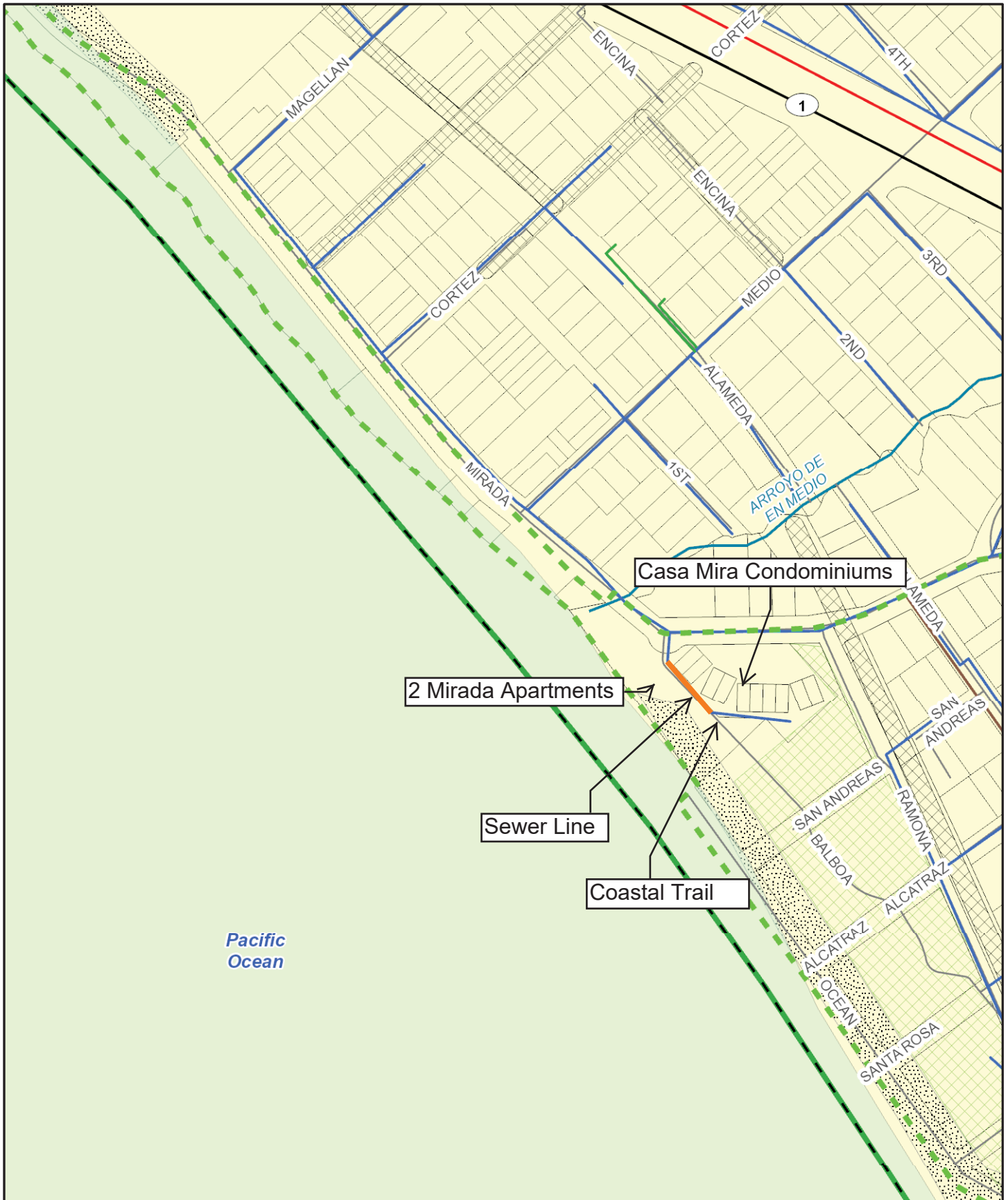
NOTE:
PRIOR TO PLACING CONCRETE FOR
STEPS, INFILL VOID SPACE BETWEEN
SHEET PILES WITH A 2 SACK SLURRY,
MIX TO BE REVIEWED & APPROVED
BY THE ENGINEER OF RECORD

STAIRWAY SHALL BE 24"
THICK BELOW THE
COMPRESSION BLOCK

EXTEND BOTTOM OF
STAIRWAY #5 REBAR TO

STAIR & LANDING DETAIL

SCALE: 1/4"=1'



05/22/2018

CALIFORNIA COASTAL COMMISSION

NORTH CENTRAL COAST DISTRICT OFFICE
45 FREMONT STREET, SUITE 2000
SAN FRANCISCO, CALIFORNIA 94105-2219
PH (415) 904-5260 OR (415) 904-5200 FAX (415) 904-5400
WWW.COASTAL.CA.GOV

**EMERGENCY PERMIT**

Issue Date: May 13, 2016
Emergency Permit No. G-2-16-0045

APPLICANTS:

Casa Mira Homeowners Association
Robert D. Glynn Jr., Anthony Varni, William Regan
Common Interest Management Services
1720 S. Amphlett Blvd., Ste. 130
San Mateo, CA 94402

Irina Place, Gail La Mar, Jennifer Thomas
2 Mirada Road
Half Moon Bay, CA 94019

LOCATION OF EMERGENCY:

2 MIRADA ROAD, HALF MOON BAY (SAN MATEO COUNTY)
APN(s): 048051090

EMERGENCY WORK:

Install and place approximately 2,500 tons of 3-8 ton rip rap at the toe of the bluff at a 1.5:1 to 2:1 slope, for a distance of approximately 200 feet, fronting the site, starting from the end of existing rip rap near the southwestern corner of the existing building at 2 Mirada Road, extending towards the southern property line. The work will be completed over a three week time period, and is requested to protect the coastal trail and sewer line on site.

This letter constitutes approval of the emergency work you or your representative has requested to be done at the location listed above. I understand from your information that an unexpected occurrence in the form of abnormally high tides and wave action due to increased storms and an El Nino year requires immediate action to prevent or mitigate loss or damage to life, health, property or essential public services pursuant to 14 Cal. Admin. Code Section 13009. The Executive Director of the California Coastal Commission hereby finds that:

(a) An emergency exists that requires action more quickly than permitted by the procedures for administrative or ordinary coastal development permits (CDPs), and that the development can and will be completed within 30 days unless otherwise specified by the terms of this Emergency Permit; and

(b) Public comment on the proposed emergency development has been reviewed if time allows.

The emergency work is hereby approved, subject to the conditions listed on the attached pages.

Sincerely,

Exhibit 5
2-16-0784
Page 1 of 15

May 13, 2016

Emergency Permit No.: G-2-16-0045

John Ainsworth
Acting Executive Director



By: Nancy Cave, District Manager

cc: Local Planning Department

Enclosures: 1) Acceptance Form;
2) Regular Permit Application Form

CONDITIONS OF APPROVAL:

1. The enclosed Emergency Permit Acceptance form must be signed by the PROPERTY OWNERS/APPLICANTS and returned to our office within 15 days of the date of this permit (by May 28, 2016).
2. Copies of this ECDP shall be maintained in a conspicuous location at the construction job site at all times, and such copies shall be available for public review on request. All persons involved with the construction shall be briefed on the content and meaning of this ECDP, and the public review requirements applicable to it, prior to commencement of construction.
3. A construction coordinator shall be designated to be contacted during construction should questions arise regarding the construction (in case of both regular inquiries and emergencies), and their contact information (i.e., address, email, phone numbers, etc.) including, at a minimum, a telephone number and email address that will be made available 24 hours a day for the duration of construction, shall be conspicuously posted at the job site where such contact information is readily visible from public viewing areas, along with indication that the construction coordinator should be contacted in the case of questions regarding the construction (in case of both regular inquiries and emergencies). The construction coordinator shall record the contact information (e.g., name, address, email, phone number, etc.) and nature of all complaints received regarding the construction, and shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry. Within 30 days of completion of construction authorized by this ECDP, the Permittee shall submit the record (of complaints/inquiries and actions taken in response) to the Executive Director.
4. Only that work specifically described in this permit and as more specifically described in the Commission's file for the Emergency CDP for the specific property listed above is authorized. The work permitted under this permit is the minimum necessary to address the emergency situation at hand and therefore, minimizing the extent of rock placed is strongly encouraged. Any additional work or maintenance to the rock rip rap placed pursuant to this permit requires separate authorization from the Executive Director. All emergency development shall be limited in scale and scope to that specifically identified in this permit, except as follows: the southern end of the placed rock shall be designed to minimize scour and end effects by tapering into the bluff face rather than abruptly ending the rock slope in a 90 degree angle.
5. All work shall take place in a time and manner to minimize any potential damages to any resources, including intertidal species, and to minimize impacts to public access. Construction materials, equipment or debris shall not be stored where it will or could potentially be subject to wave erosion and dispersion. Construction shall be conducted pursuant to typical best management practices such as:

- a. All construction areas shall be minimized and allow public recreational access along the beach and shall protect public safety to the maximum extent feasible. Construction (including but not limited to construction activities, and materials and/or equipment storage) is prohibited outside of the defined construction, staging, and storage areas.
 - b. Construction work and equipment operations shall not be conducted seaward of the mean high water line unless tidal waters have receded from the authorized work areas.
 - c. Grading of intertidal areas is prohibited.
 - d. Any construction materials and equipment delivered to the beach area shall be delivered by rubber-tired construction vehicles. When transiting on the beach, all such vehicles shall remain as high on the upper beach as possible and avoid contact with ocean waters and intertidal areas.
 - e. Any construction materials and equipment placed on the beach during daylight construction hours shall be stored beyond the reach of tidal waters. All construction materials and equipment shall be removed in their entirety from the beach area by sunset each day that work occurs.
 - f. All construction activities that result in discharge of materials, polluted runoff, or wastes to the beach or the adjacent marine environment are prohibited. Equipment washing, refueling, and/or servicing shall not take place on the beach. Any erosion and sediment controls used shall be in place prior to the commencement of construction as well as at the end of each work day.
 - g. The construction site shall maintain good construction site housekeeping controls and procedure (e.g., clean up all leaks, drips, and other spills immediately; keep equipment covered and out of the rain (including covering exposed piles of soil and wastes); dispose of all wastes properly, place trash receptacles on site for that purpose, and cover open trash receptacles during wet weather; remove all construction debris from the beach; etc.).
 - h. All accessways impacted by construction activities shall be restored to their pre-construction condition or better within three days of completion of construction. Any beach sand in the area that is impacted by construction shall be filtered as necessary to remove any construction debris.
 - i. Permittees shall notify planning staff of the Coastal Commission's North Central Coast District Office immediately upon completion of construction and required restoration activities. If planning staff should identify additional reasonable restoration measures, such measures shall be implemented immediately.
6. The work authorized by this permit must be completed within 60 of the date of this permit, which shall become null and void unless extended by the Executive Director for good cause.

7. The Permittees recognize that the emergency work is considered temporary and subject to removal unless and until a regular coastal development permit permanently authorizing the work is approved. A regular permit would be subject to all of the provisions of the California Coastal Act and may be conditioned accordingly. These conditions may include provisions for public access (such as offers to dedicate, easements, in-lieu fees, etc.) and/or a requirement that a deed restriction be placed on the property assuming liability for damages incurred from storm waves. In addition, any follow-up permit would account for and analyze the impacts of long-term sea level rise.
8. In exercising this permit, the Permittees agree to hold the California Coastal Commission harmless from any liabilities for damage to public or private properties or personal injury that may result from the project.
9. Within 30 days of completion of construction authorized by this ECDP, the Permittees shall provide, for review and approval of the Executive Director, a drainage and erosion management plan to monitor changes to the bluff face along the full length of the property and mitigate for additional runoff over the bluff and potential exposure of storm and sewer related infrastructure. The management plan, at a minimum, shall identify drainage control methods for implementation to minimize erosion on site, and shall identify through markings on the upper bluff pavement, or by other appropriate means established by the applicant, the location and depth of the storm drain and sanitary sewer lines, provide for regular monitoring of the bluff position relative to the identified lines, identify options to temporarily or permanently reroute the lines to remove risks to coastal resources from possible line exposure and identify bluff retreat triggers that would necessitate the rerouting or abandonment of identified storm drains or sewer lines.
10. Within 30 days of completion of construction authorized by this ECDP, the Permittees shall submit site plans clearly identifying all development completed under this emergency authorization (comparing any previously permitted condition to both the emergency condition and to the post-work condition), and a narrative description of all emergency development activities undertaken pursuant to this emergency authorization. Photos showing the project site before the emergency (if available), during emergency project construction activities, and after the work authorized by this ECDP is complete, shall be provided with the site plans and cross sections.
11. This ECDP shall not constitute a waiver of any public rights which may exist on the property. The Permittees shall not use this ECDP as evidence of a waiver of any public rights which may exist on the property
12. This permit does not obviate the need to obtain necessary authorizations and/or permits from other agencies, including but not limited to the California Department of Fish & Wildlife,

U.S. Fish & Wildlife, U.S. Army Corps of Engineers, and the California State Lands Commission.

13. This ECDP only authorizes the temporary emergency development identified herein, although the Executive Director may modify and/or extend the authorization to additional and closely related temporary emergency development for good cause provided that: such modification/extension is also necessary to temporarily abate the identified emergency; such modification/extension is sited and designed in such a way as to protect coastal resources as much as possible, including through imposition of additional ECDP conditions if necessary; and such modification/extension is subject to all of the terms and conditions of this ECDP, including any additional ECDP conditions added by the Executive Director in modifying/extending the authorization.
14. Within ninety 90 days of issuance of this Emergency Permit, or as extended by the Executive Director through correspondence, for good cause, the Permittees shall either: (a) remove all of the materials placed or installed in connection with the emergency development authorized in this Permit and restore all affected areas to their prior condition after consultation with California Coastal Commission staff, and consistent with the Coastal Act. In some instances, a permit may be needed for removal; or (b) submit a complete follow-up Coastal Development Permit (CDP) that satisfies the requirements of Section 13056 of Title 14 of the California Code of Regulations. If the Executive Director determines that the follow-up CDP application is incomplete and requests additional information, the Permittees shall submit this additional information by a certain date, as established by the Executive Director. If such a follow-up CDP application is withdrawn by the Permittees or is denied by the Commission, or if the follow-up CDP application remains incomplete for a period of 120 days after the Executive Director informs the applicant that the application is incomplete, the emergency-permitted development shall be removed and all affected areas restored to their prior condition, after consultation with CCC staff and consistent with the Coastal Act, within 30 days, subject to any regulatory approvals necessary for such removal. In some instances, a permit may be needed for removal.
15. Failure to a) submit a complete follow-up CDP Application that complies with Condition 14 above, or b) remove the emergency development and restore all affected areas to their prior condition after consultation with CCC staff, and consistent with the Coastal Act (if required by this Emergency Permit) by the date specified in this Emergency Permit¹, or c) comply with all terms and conditions of the required follow-up CDP, including any deadlines identified therein, or d) remove the emergency-permitted development and restore all affected areas to their prior condition after consultation with CCC staff and consistent with

¹ In some instances, a permit may also be required for removal.

May 13, 2016

Emergency Permit No.: G-2-16-0045

the Coastal Act immediately upon denial of the required follow-up CDP² will constitute a knowing and intentional violation of the Coastal Act³ and may result in formal enforcement action by the Commission or the Executive Director. This formal action could include a recordation of a Notice of Violation on the Permittees' property; the issuance of a Cease and Desist Order and/or a Restoration Order; imposition of administrative penalties for violations involving public access; and/or a civil lawsuit, which may result in the imposition of monetary penalties, including daily penalties of up to \$15,000 per violation per day, and other applicable penalties and other relief pursuant to Chapter 9 of the Coastal Act. Further, failure to follow all the terms and conditions of this Emergency Permit will constitute a knowing and intentional Coastal Act violation.

As noted in Conditions 7 and 8 above, the emergency development carried out under this ECDP is at the Permittees' risk and is considered to be temporary work done in an emergency situation to abate an emergency. If the Permittees wish to have the emergency development become permanent development or to propose a different development project to protect property, a regular CDP must be obtained. A regular CDP is subject to all of the provisions of the California Coastal Act and may be conditioned or denied accordingly.

If you have any questions about the provisions of this ECDP, please contact the Commission's North Central Coast District Office at 45 Fremont Street, Suite 2000, San Francisco, CA 94105, (415) 904-5260.

² As noted above, in some instances, a permit may also be required for removal.

³ The Coastal Act is codified in sections 30000 to 30900 of the California Public Resources Code. All further section references are to that code, and thus, to the Coastal Act, unless otherwise indicated.

CALIFORNIA COASTAL COMMISSION

NORTH CENTRAL COAST DISTRICT OFFICE
45 FREMONT STREET, SUITE 2000
SAN FRANCISCO, CALIFORNIA 94105-2219
PH (415) 904-5260 OR (415) 904-5200 FAX (415) 904-5400
WWW.COASTAL.CA.GOV

**EMERGENCY PERMIT**

Issue Date: September 22, 2017
Emergency Permit No. G-2-17-0046

APPLICANTS:

Casa Mira Homeowners Association
Robert D. Glynn Jr., Anthony Varni, William Regan
Common Interest Management Services
1720 S. Amphlett Blvd., Ste. 130
San Mateo, CA 94402

Irina Place, Gail La Mar, Jennifer Thomas
2 Mirada Road
Half Moon Bay, CA 94019

LOCATION OF EMERGENCY:

2 MIRADA ROAD, HALF MOON BAY (SAN MATEO COUNTY)
APN(s): 048051090

EMERGENCY WORK:

Install and place 1,500 tons of 3-8 ton rip rap on top of and above existing rip rap to a height of approximately $\frac{3}{4}$ of the bluff above the beach in order to restore a 1.5:1 to 2:1 slope fronting the bluff for a distance of approximately 200 feet, starting from the southwestern corner of the existing building at 2 Mirada Road and extending towards the southern property line. The project is requested to repair the slumping rip rap installed pursuant to Emergency CDP # G-2-16-0045 (issued May 13, 2016) for temporary protection of the coastal trail and sewer line on site. The additional 1,500 tons of rip rap will be placed entirely within the same footprint as the footprint permitted for the earlier emergency work. The new emergency work will be completed over a four week time period, estimated to commence on September 25, 2017.

This letter constitutes approval of the emergency work you or your representative has requested to be done at the location listed above. I understand from your information that an unexpected occurrence in the form of abnormally high tides and wave action resulting in slumping of existing rip rap requires immediate action to prevent or mitigate loss or damage to life, health, property or essential public services pursuant to 14 Cal. Admin. Code Section 13009. The Executive Director of the California Coastal Commission hereby finds that:

- (a) An emergency exists that requires action more quickly than permitted by the procedures for administrative or ordinary coastal development permits (CDPs), and that the development can and will be completed within 30 days unless otherwise specified by the terms of this Emergency Permit; and

September 22, 2017

Emergency Permit No.: G-2-17-0046

(b) Public comment on the proposed emergency development has been reviewed if time allows.

The emergency work is hereby approved, subject to the conditions listed on the attached pages.

Sincerely,

A handwritten signature in black ink, appearing to read "John Ainsworth".

John Ainsworth
Executive Director

By: Nancy Cave, District Manager

cc: Local Planning Department

Enclosures: 1) Acceptance Form;
2) Regular Permit Application Form

CONDITIONS OF APPROVAL:

1. The enclosed Emergency Permit Acceptance form must be signed by the PROPERTY OWNERS/APPLICANTS and returned to our office within 15 days of the date of this permit (by October 7, 2017).
2. Copies of this ECDP shall be maintained in a conspicuous location at the construction job site at all times, and such copies shall be available for public review on request. All persons involved with the construction shall be briefed on the content and meaning of this ECDP, and the public review requirements applicable to it, prior to commencement of construction.
3. A construction coordinator shall be designated to be contacted during construction should questions arise regarding the construction (in case of both regular inquiries and emergencies), and their contact information (i.e., address, email, phone numbers, etc.) including, at a minimum, a telephone number and email address that will be made available 24 hours a day for the duration of construction, shall be conspicuously posted at the job site where such contact information is readily visible from public viewing areas, along with indication that the construction coordinator should be contacted in the case of questions regarding the construction (in case of both regular inquiries and emergencies). The construction coordinator shall record the contact information (e.g., name, address, email, phone number, etc.) and nature of all complaints received regarding the construction, and shall investigate complaints and take remedial action, if necessary, within 24 hours of receipt of the complaint or inquiry. Within 30 days of completion of construction authorized by this ECDP, the Permittee shall submit the record (of complaints/inquiries and actions taken in response) to the Executive Director.
4. Only that work specifically described in this permit and as more specifically described in the Commission's file for the Emergency CDP for the specific property listed above is authorized. The work permitted under this permit is the minimum necessary to address the emergency situation at hand and therefore, minimizing the extent of rock placed is strongly encouraged. Any additional work or maintenance to the rock rip rap placed pursuant to this permit requires separate authorization from the Executive Director. All emergency development shall be limited in scale and scope to that specifically identified in this permit, except as follows: the southern end of the placed rock shall be designed to minimize scour and end effects by tapering into the bluff face rather than abruptly ending the rock slope in a 90 degree angle.
5. All work shall take place in a time and manner to minimize any potential damages to any resources, including intertidal species, and to minimize impacts to public access. Construction materials, equipment or debris shall not be stored where it will or could potentially be subject to wave erosion and dispersion. Construction shall be conducted pursuant to typical best management practices such as:

- a. All construction areas shall be minimized and allow public recreational access along the beach and shall protect public safety to the maximum extent feasible. Construction (including but not limited to construction activities, and materials and/or equipment storage) is prohibited outside of the defined construction, staging, and storage areas.
 - b. Construction work and equipment operations shall not be conducted seaward of the mean high water line unless tidal waters have receded from the authorized work areas.
 - c. Grading of intertidal areas is prohibited.
 - d. Any construction materials and equipment delivered to the beach area shall be delivered by rubber-tired construction vehicles. When transiting on the beach, all such vehicles shall remain as high on the upper beach as possible and avoid contact with ocean waters and intertidal areas.
 - e. Any construction materials and equipment placed on the beach during daylight construction hours shall be stored beyond the reach of tidal waters. All construction materials and equipment shall be removed in their entirety from the beach area by sunset each day that work occurs.
 - f. All construction activities that result in discharge of materials, polluted runoff, or wastes to the beach or the adjacent marine environment are prohibited. Equipment washing, refueling, and/or servicing shall not take place on the beach. Any erosion and sediment controls used shall be in place prior to the commencement of construction as well as at the end of each work day.
 - g. The construction site shall maintain good construction site housekeeping controls and procedure (e.g., clean up all leaks, drips, and other spills immediately; keep equipment covered and out of the rain (including covering exposed piles of soil and wastes); dispose of all wastes properly, place trash receptacles on site for that purpose, and cover open trash receptacles during wet weather; remove all construction debris from the beach; etc.).
 - h. All accessways impacted by construction activities shall be restored to their pre-construction condition or better within three days of completion of construction. Any beach sand in the area that is impacted by construction shall be filtered as necessary to remove any construction debris.
 - i. Permittees shall notify planning staff of the Coastal Commission's North Central Coast District Office immediately upon completion of construction and required restoration activities. If planning staff should identify additional reasonable restoration measures, such measures shall be implemented immediately.
6. The work authorized by this permit must be completed within 60 days of the date of this permit, which shall become null and void unless extended by the Executive Director for good cause.

7. The Permittees recognize that the emergency work is considered temporary and subject to removal unless and until a regular coastal development permit permanently authorizing the work is approved. A regular permit would be subject to all of the provisions of the California Coastal Act and may be conditioned accordingly. These conditions may include provisions for public access (such as offers to dedicate, easements, in-lieu fees, etc.) and/or a requirement that a deed restriction be placed on the property assuming liability for damages incurred from storm waves. In addition, any follow-up permit would account for and analyze the impacts of long-term sea level rise.
8. In exercising this permit, the Permittees agree to hold the California Coastal Commission harmless from any liabilities for damage to public or private properties or personal injury that may result from the project.
9. Within 30 days of completion of construction authorized by this ECDP, the Permittees shall provide, for review and approval of the Executive Director, a drainage and erosion management plan to monitor changes to the bluff face along the full length of the property and mitigate for additional runoff over the bluff and potential exposure of storm and sewer related infrastructure. The management plan, at a minimum, shall identify drainage control methods for implementation to minimize erosion on site, and shall identify through markings on the upper bluff pavement, or by other appropriate means established by the applicant, the location and depth of the storm drain and sanitary sewer lines, provide for regular monitoring of the bluff position relative to the identified lines, identify options to temporarily or permanently reroute the lines to remove risks to coastal resources from possible line exposure and identify bluff retreat triggers that would necessitate the rerouting or abandonment of identified storm drains or sewer lines.
10. Within 30 days of completion of construction authorized by this ECDP, the Permittees shall submit site plans clearly identifying all development completed under this emergency authorization (comparing any previously permitted condition to both the emergency condition and to the post-work condition), and a narrative description of all emergency development activities undertaken pursuant to this emergency authorization. Photos showing the project site before the emergency (if available), during emergency project construction activities, and after the work authorized by this ECDP is complete, shall be provided with the site plans and cross sections.
11. This ECDP shall not constitute a waiver of any public rights which may exist on the property. The Permittees shall not use this ECDP as evidence of a waiver of any public rights which may exist on the property

12. This permit does not obviate the need to obtain necessary authorizations and/or permits from other agencies, including but not limited to the California Department of Fish & Wildlife, U.S. Fish & Wildlife, U.S. Army Corps of Engineers, and the California State Lands Commission.
13. This ECDP only authorizes the temporary emergency development identified herein, although the Executive Director may modify and/or extend the authorization to additional and closely related temporary emergency development for good cause provided that: such modification/extension is also necessary to temporarily abate the identified emergency; such modification/extension is sited and designed in such a way as to protect coastal resources as much as possible, including through imposition of additional ECDP conditions if necessary; and such modification/extension is subject to all of the terms and conditions of this ECDP, including any additional ECDP conditions added by the Executive Director in modifying/extending the authorization.
14. Within 90 days of issuance of this Emergency Permit, or as extended by the Executive Director through correspondence, for good cause, the Permittees shall either: (a) remove all of the materials placed or installed in connection with the emergency development authorized in this Permit and restore all affected areas to their prior condition after consultation with California Coastal Commission staff, and consistent with the Coastal Act. In some instances, a permit may be needed for removal; or (b) submit a complete follow-up Coastal Development Permit (CDP) that satisfies the requirements of Section 13056 of Title 14 of the California Code of Regulations. If the Executive Director determines that the follow-up CDP application is incomplete and requests additional information, the Permittees shall submit this additional information by a certain date, as established by the Executive Director. If such a follow-up CDP application is withdrawn by the Permittees or is denied by the Commission, or if the follow-up CDP application remains incomplete for a period of 120 days after the Executive Director informs the applicant that the application is incomplete, the emergency-permitted development shall be removed and all affected areas restored to their prior condition, after consultation with CCC staff and consistent with the Coastal Act, within 30 days, subject to any regulatory approvals necessary for such removal. In some instances, a permit may be needed for removal.
15. Failure to a) submit a complete follow-up CDP Application that complies with Condition 14 above, or b) remove the emergency development and restore all affected areas to their prior condition after consultation with CCC staff, and consistent with the Coastal Act (if required by this Emergency Permit) by the date specified in this Emergency Permit¹, or c) comply with all terms and conditions of the required follow-up CDP, including any deadlines identified therein, or d) remove the emergency-permitted development and restore all

¹ In some instances, a permit may also be required for removal.

September 22, 2017

Emergency Permit No.: G-2-17-0046

affected areas to their prior condition after consultation with CCC staff and consistent with the Coastal Act immediately upon denial of the required follow-up CDP² will constitute a knowing and intentional violation of the Coastal Act³ and may result in formal enforcement action by the Commission or the Executive Director. This formal action could include a recordation of a Notice of Violation on the Permittees' property; the issuance of a Cease and Desist Order and/or a Restoration Order; imposition of administrative penalties for violations involving public access; and/or a civil lawsuit, which may result in the imposition of monetary penalties, including daily penalties of up to \$15,000 per violation per day, and other applicable penalties and other relief pursuant to Chapter 9 of the Coastal Act. Further, failure to follow all the terms and conditions of this Emergency Permit will constitute a knowing and intentional Coastal Act violation.

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Address	Lot Size (Square Feet)	Sale Price	Sale Date	Price/Square Foot
65 San Pablo Ave	8,276	\$1,695,000	8/26/2016	\$204.81
207 Washington Blvd	4,791	\$1,199,000	12/1/2017	\$250.26
420 1st Ave	5,619	\$1,600,000	3/22/2017	\$284.75
331 Mirada Road	6,534	\$1,365,000	6/20/2016	\$208.91
440 2nd Ave	5,000	\$1,028,000	5/23/2017	\$205.60
349 1st Ave	5,750	\$1,595,000	6/30/2017	\$277.39

Average Cost/Square Foot: \$238.62

Attachment 2- Sand Cost bids for in-lieu fee calculation

Bidder *	cost for 150 tons	cost per ton
Andreini Bros.	\$6,076	\$40.50
POMS Landscaping, Inc.	\$7,200	\$48.00
A-1 Materials, Inc.	\$5,175	<u>\$34.50</u>
		123 123/3= \$41.00 per ton

- Copies of sand bids are attached

Robert Glynn

From: Daniel Ramos [a1materials@att.net]
Sent: Wednesday, May 10, 2017 3:09 PM
To: rdg5@astound.net
Subject: Price Quote - 2 Mirada Rd, Half Moon Bay Project

Hi Bob,

Thank you for your interest in our company quoting your project.

For the 200 tons of concrete sand delivered to 2 Mirada Rd, Half Moon Bay it is \$34.50 per ton.

Based on the tonnage of material I spoke with the owner to get you a better price then I told you over the phone earlier.

Let me know if you have any other questions

Thanks,
Treena Kowal
A-1 Materials, Inc
L.C. Frey Company, Inc.
650-298-0900
650-366-9182
650-298-0901 Fax



ANDREINI BROS. INC.

Andreini Bros. Inc
151 Main St.
Half Moon Bay, Ca. 94019
PH. (650) 726-2065
FAX. (650) 726-7929

PROPOSAL

PROPOSAL SUBMITTED TO Casa Mira Homeowners Association C/O Robert Glynn		PHONE (925) 933-9360	DATE 03/05/16\7
STREET 784 Woodwind Place		JOB NAME Units 1-4 Relocation Budget site work	
CITY, STATE AND ZIP CODE Walnut Creek, CA 94598		JOB LOCATAION Mirada Road, HMB	
REFRENECE: Import Beach Quality Sand	DATE OF PLANS	FAX	

We hereby submit specifications and estimates for:

As per request for budget price of purchasing of beach quality (concrete sand, Pilarcitos Quarry- see attached) and transporting to the project vicinity, to be priced per cubic yard. Pricing as follows:

- | | |
|------------------------------------------------------------------|---------------------------------------|
| 1. Purchase Pilarcitos sand 150 CY @ \$ 34.00/CY. | Subtotal \$ 5,100.00 |
| 2. Hualing of material to project vicinity 150 CY @ \$ 6.50/ CY. | Subtotal \$ 975.00. |
| | Total Budget Price \$ 6,075.00 |

- Total price per cubic yard is \$ 6,075.00/ 150 cyd's = \$ 40.50/ cubic yard

We Propose hereby to furnish material and labor – complete in accordance with above specifications, for the sum of:
Budget Price \$ 40.50/ CY

Payment to be made as follows:

100% UPON COMPLETION; 1 ½% ADDED TO BILLS PAST 30 DAYS

All material is guaranteed to be as specified. All work to be completed in a substantial workmanlike Manner according to specifications submitted per standard practices. Any alteration or deviation from Above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements contingent upon strikes, accidents or delays beyond our control. Owner will carry fire, tornado and other necessary insurance. Our workers are fully covered by Workman's Compensation Insurance. All work relies on expertise of engineers and designers, Andreini Bros. is not responsible for subsidence when work is completed as designed.

Authorized
Signature _____

JOHN KOTTMEIER

Note: this proposal may be
withdrawn by us if not accepted within 30 days

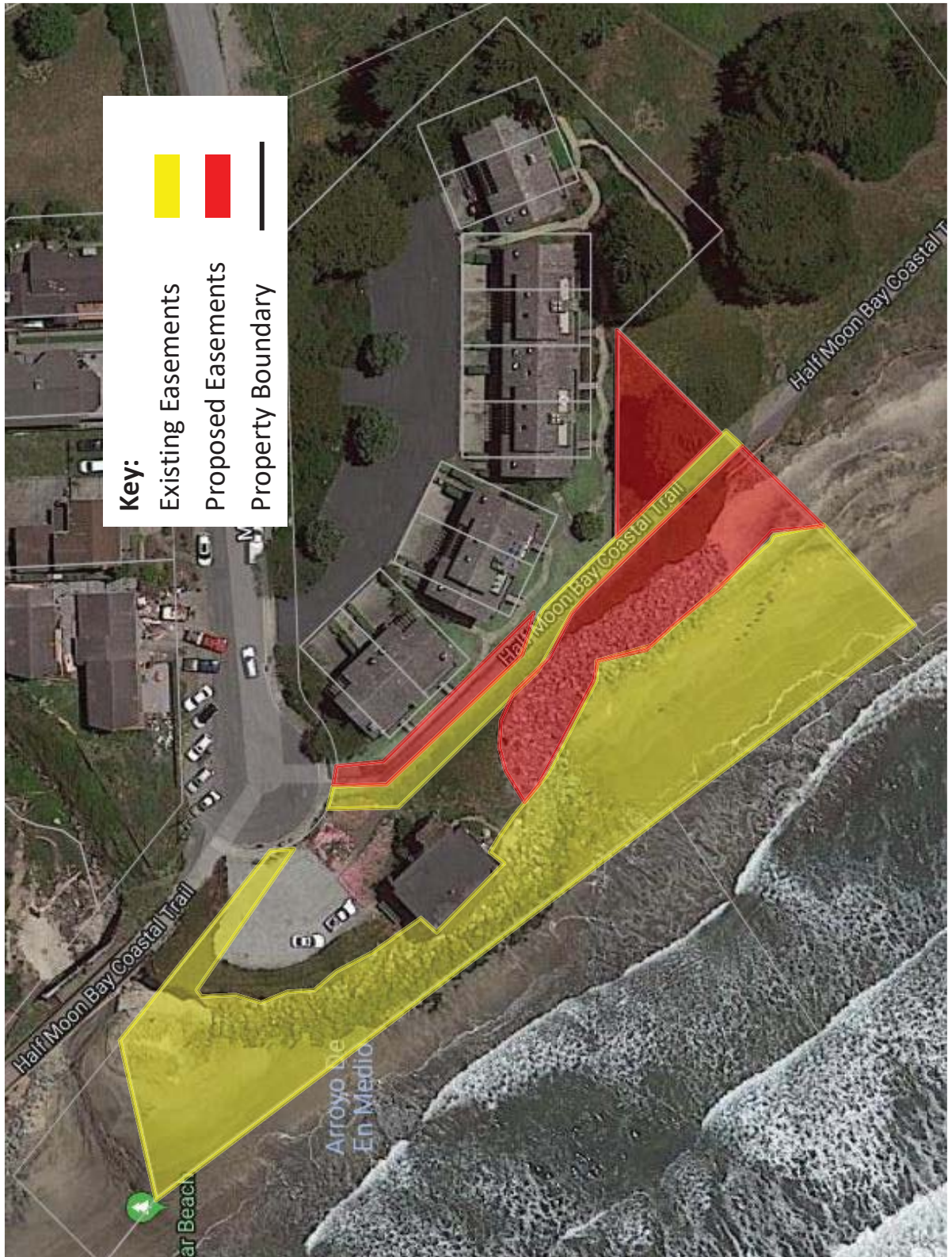
Acceptance of Proposal The above prices, specifications

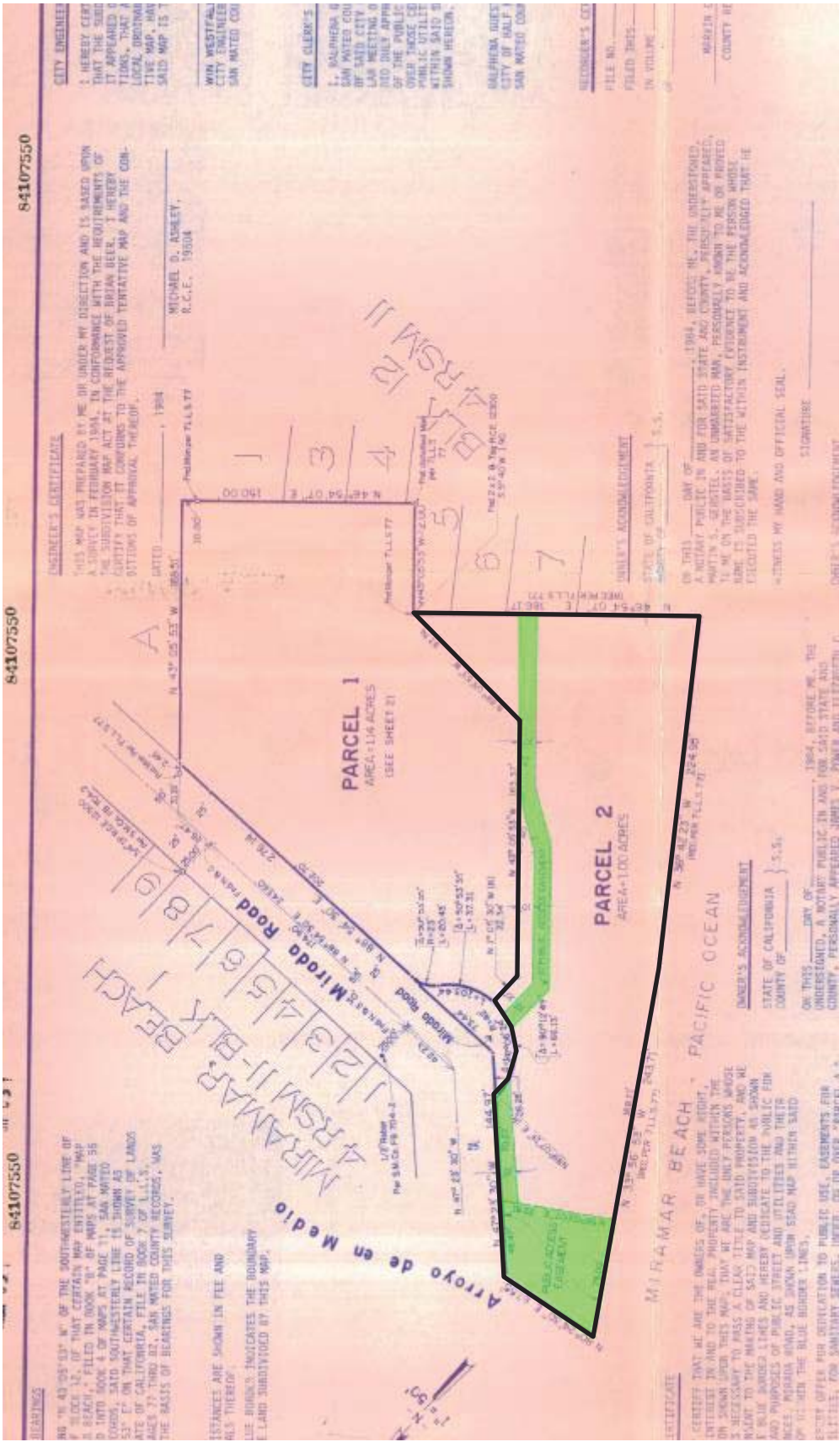
and conditions are satisfactory and are hereby accepted. You are Authorized to do the work as specified. Payment will be made as outlined above.

Signature _____

Date of Acceptance: _____

Approximate Boundaries of Public Access Easements





84107550

84107550

84107550

CITY ENGINEER
 I, HERBERT C. ...
 CITY ENGINEER
 SAN MATEO COUNTY

ENGINEER'S CERTIFICATE
 THIS MAP WAS PREPARED BY ME OR UNDER MY SUPERVISION AND IS BASED UPON A SURVEY IN FEBRUARY 1964, IN CONFORMANCE WITH THE REQUIREMENTS OF THE SUBDIVISION MAP ACT AS THE REQUEST OF ...

CITY CLERK'S
 I, RALPHENA ...
 CITY CLERK

RECORDER'S OFFICE
 FILE NO. ...
 FILED THIS ...
 IN VOLUME ...

NOTARY PUBLIC
 ON THIS ... DAY OF ... 1964, BEFORE ME, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR THE STATE OF CALIFORNIA, PERSONALLY APPEARED ...

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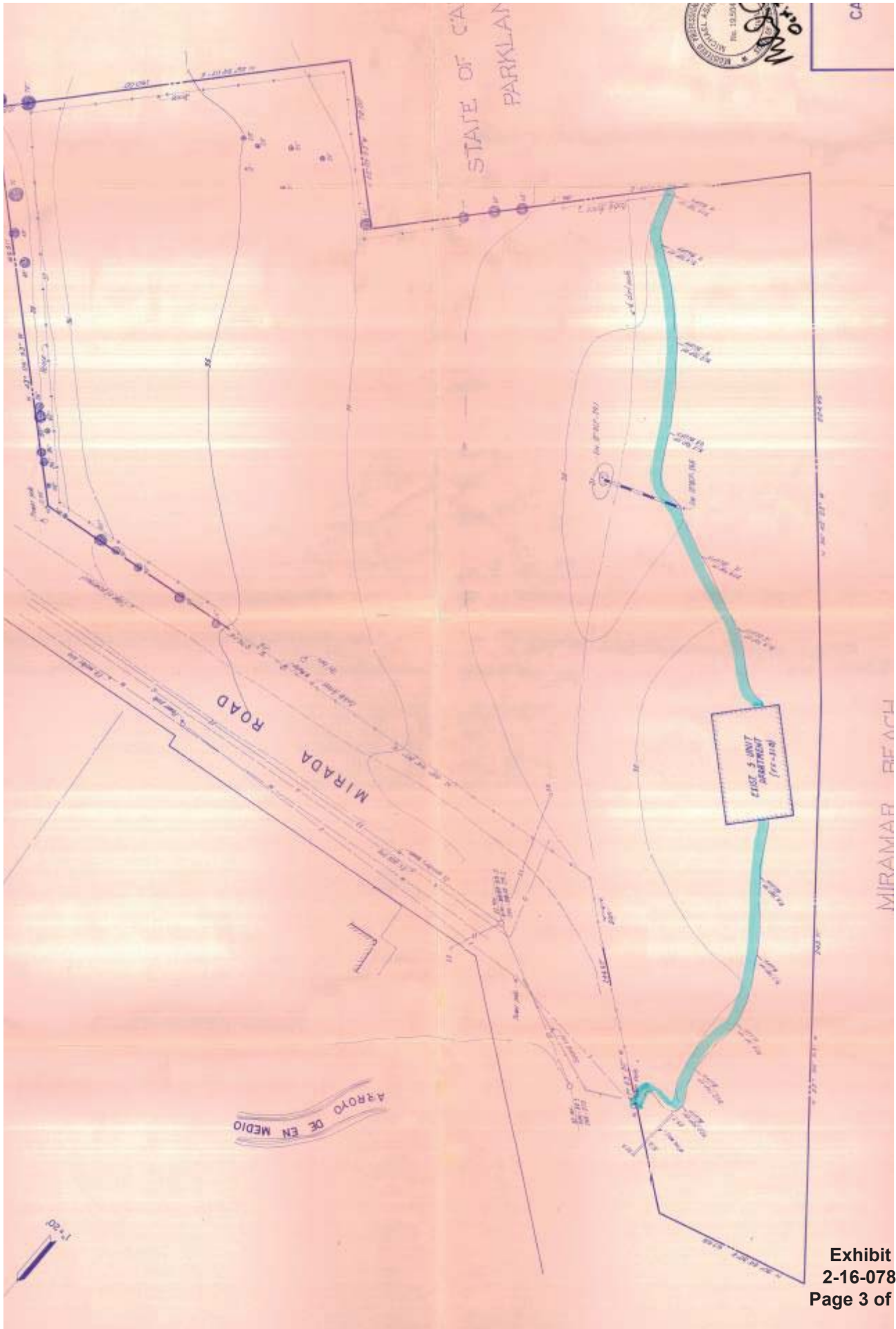
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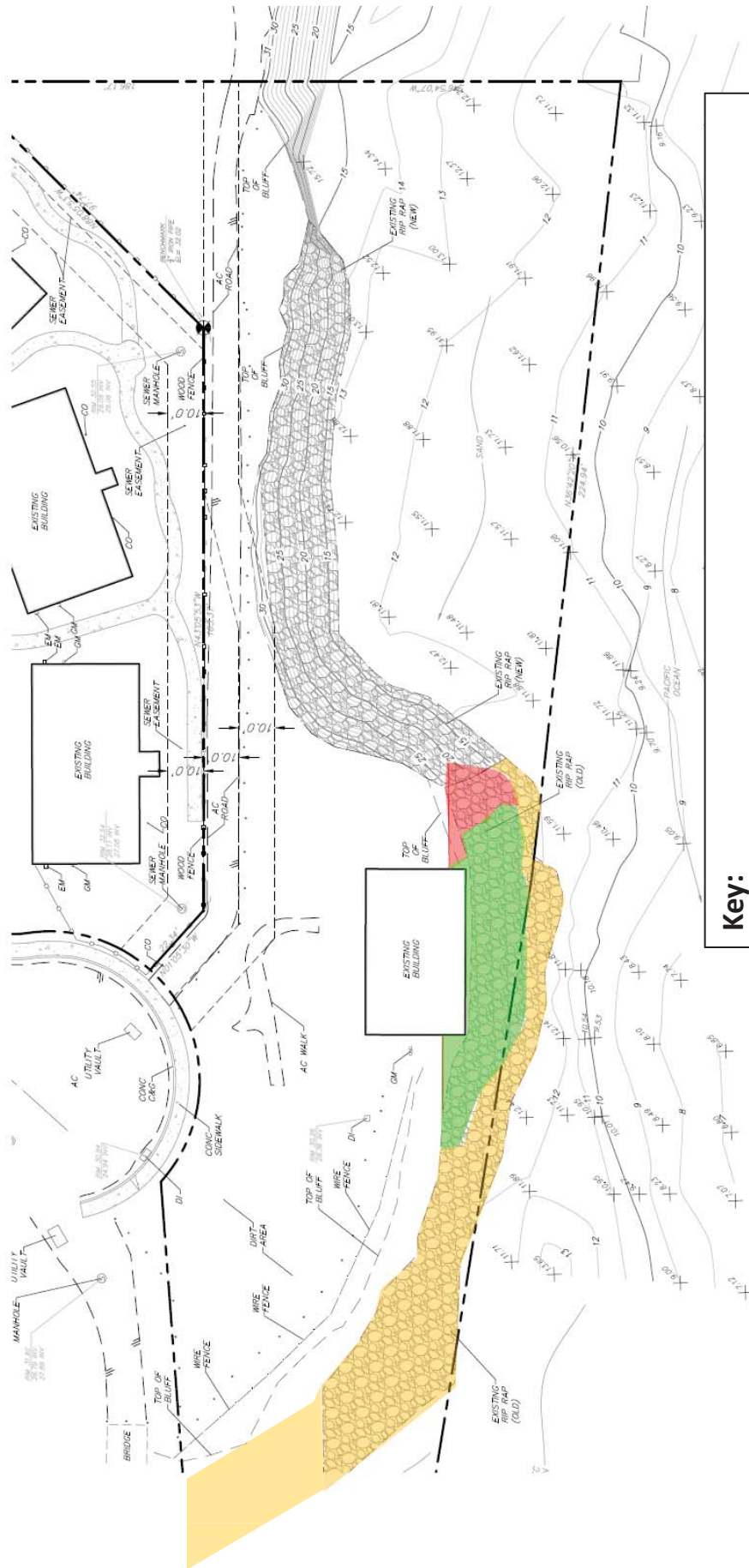
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Approximate Boundaries of Riprap On-Site as of 12/15/17



Key:

- Unpermitted Riprap Installed in 1977/1978
- Unpermitted Riprap Added between 1983 and 1990
- Riprap Present before CDP Requirements Commenced