

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
301 E. OCEAN BLVD, SUITE 300
LONG BEACH, CA 90802-4325
VOICE (562) 590-5071
FAX (562) 590-5084



Th13e

5-19-1246 (Maisie Duge)

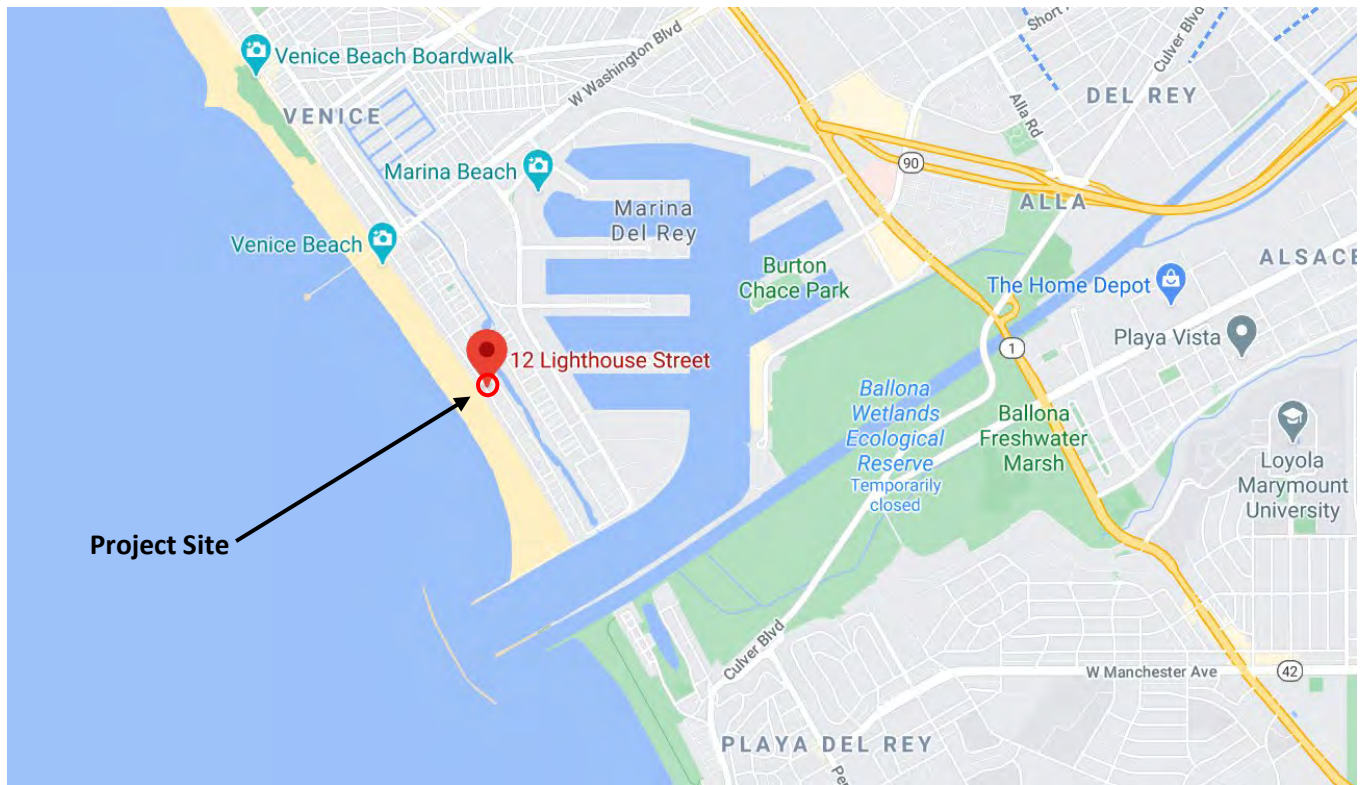
October 8, 2020

EXHIBITS

Exhibit 1 – Project Site and Existing Condition

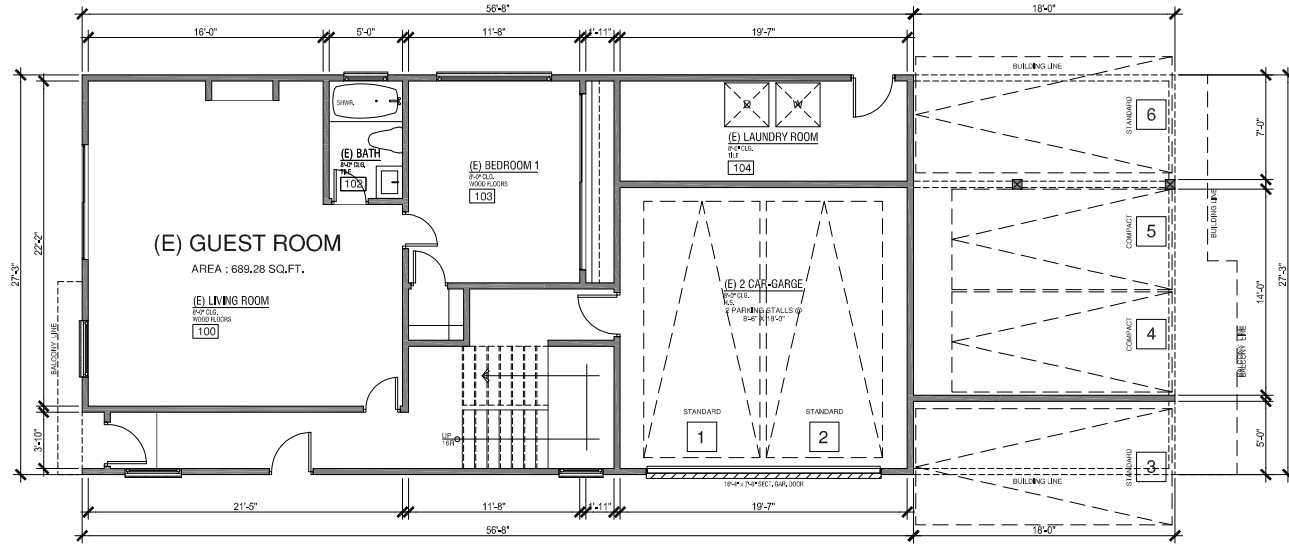
Exhibit 2 – Project Plans

Exhibit 1 – Project Site & Existing Condition

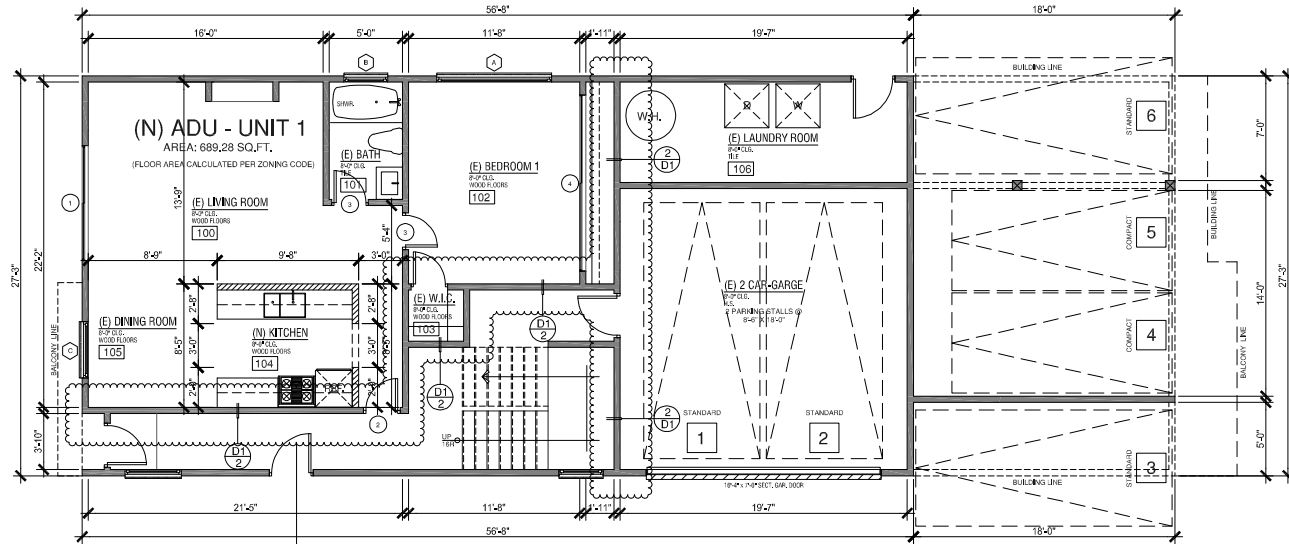


GENERAL REQUIREMENTS NOTES:

- A. THE CONSTRUCTION SHALL NOT RESTRICT A FIVE-FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLE, PULL-BOXES, TRANSFORMERS, VAULTS, PUMPS, VALES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE METER. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MAY CAUSE CONSTRUCTION DELAYS AND/OR ADDITIONAL EXPENSES.
- B. AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWNSTREAM SIDE OF THE UTILITY METER AND BE PROPERLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL AS PIPING. (PER ORDINANCE 170.158) INCLUDES COMMERCIAL ADDITIONS AND TI WORK OVER \$10,000. SEPARATE PLUMBING PERMIT IS REQUIRED.
- C. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW-WATER CONSUMPTION.
- D. SHOWER COMPARTMENTS AND WALLS ABOVE BATHTUBS WITH INSTALLED SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NON-ABSORBENT SURFACE TO HEIGHT NOT LESS THAN 72 INCHES ABOVE THE DRAIN INLET. SECTION 12102.2.3. USE OF WATER-RESISTANT GYPSUM BOARD SHALL BE AS STATED IN SECTION 2508.2.
- E. WATER HEATERS MUST BE STRAPPED TO A WALL (SEC. 507.3, UPC)
- F. UNIT SKYLIGHTS SHALL BE LABELED BY A LA CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING (RESEARCH REPORT NOT REQUIRED). 2405.5.
- G. A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.



(E) FIRST- GARAGE LEVEL
SCALE : 1/4" = 1'-0"



(N) FIRST- GARAGE LEVEL
SCALE : 1/4" = 1'-0"

WINDOW SCHEDULE	EXPRESS	MATERIAL
A 3'-0"x3'-0" OPERABLE TEMP. GL.	EXPRESS	VINYL DUAL TEMP. GL.
B 3'-0"x1'-0" CASEMENT TEMP. GL.		VINYL DUAL TEMP. GL.
C 3'-0"x3'-0" OPERABLE TEMP. GL.		VINYL DUAL TEMP. GL.

DOOR SCHEDULE	EXPRESS	MATERIAL
1 8'-0" SLIDING GLASS DOOR T.G.		
2 2'-0" METAL DOOR - FIRE RATED - SELF CLOSING		
3 2'-0" WOOD HOLLOW CORE		
4 2'-0" SLIDING MIRROR CLOSET DOOR		

PROVIDE 32" WIDE DOORS AT THE INTERIOR ACCESSIBLE ROOMS. (3304.1)

1 HR FIRE RATED WALL
SEE DETAIL ON SHEET D1 - LA CITY BULLETIN
SOUND-RATED PARTITION AND FLOOR-CEILING
CONSTRUCTION, PAGE 4, DETAIL 2

hR
henryRAMIREZ

3790 LAVELLE DR.,
LOS ANGELES, CA
90008
T. 323.401.3792

A.P.N. 4294.002.011

PROJECT INFO:

TO CONVERT AN EXISTING 689.28 SQ.FT. GUEST-ROOM INTO AN ADU (ACCESSORY DWELLING UNIT). THE ADU WILL BE DESIGNATED AS UNIT 1.

THE PROPERTY IS LOCATED AT:
12 AND 14 E. LAKHHOUSE ST.
MARINA DEL REY, CALIFORNIA 90292
BLOCK 1
LOT 16
TRACT: OCEAN STRAND TRACT

FOR:
MRS. MAISIE DUGE
12 AND 14 E. LAKHHOUSE ST.
MARINA DEL REY, CALIFORNIA
90292

REVISIONS:

DATE	OBSERVATION

DATE:
09.14.20

A1

PROJECT INFO:

TO CONVERT AN EXISTING 689.28 SQ.FT. GUEST-ROOM INTO AN ADU (ACCESSORY DWELLING UNIT). THE ADU WILL BE DESIGNATED AS UNIT 1.

THE PROPERTY IS LOCATED AT:
12 AND 14 E. LIGHTHOUSE ST.
MARINA DEL REY, CALIFORNIA 90292
BLOCK : J
LOT : 6
TRACT: OCEAN STRAND TRACT

FOR:

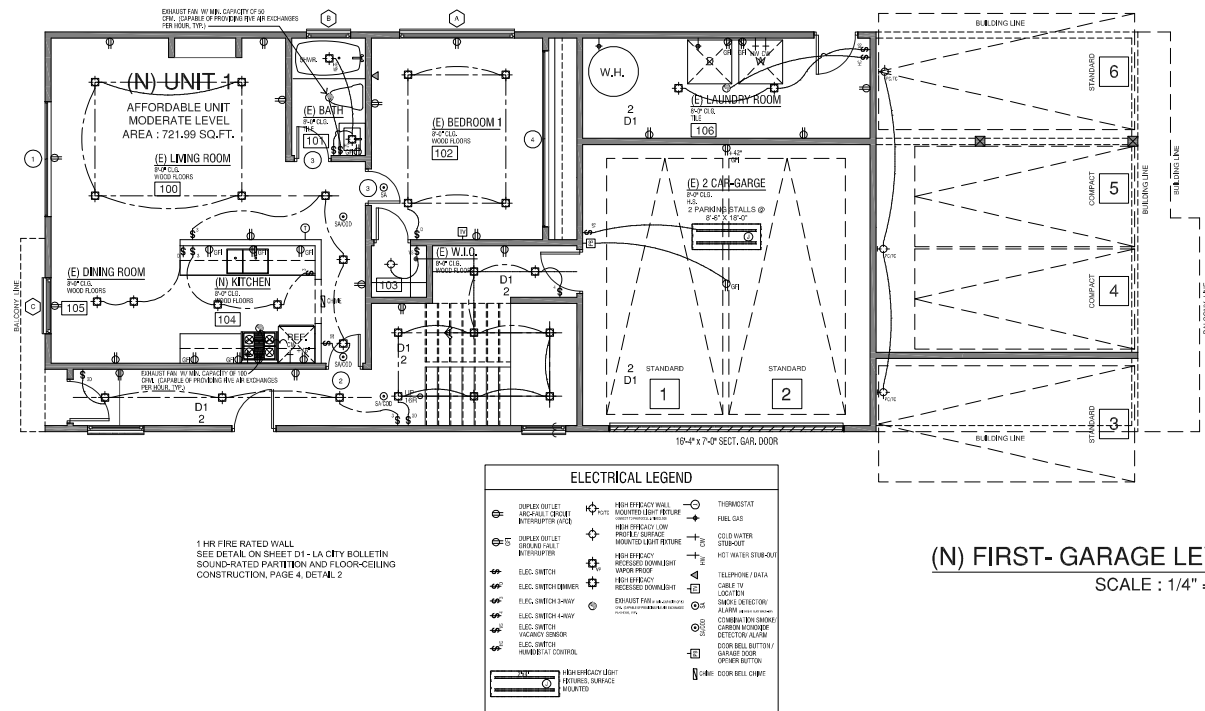
MRS. MAISIE DUGE
12 AND 14 E. LIGHTHOUSE ST.
MARINA DEL REY, CALIFORNIA
90292

REVISIONS:

[illegible]

DATE: 09.14.20

A1.1



PROJECT INFO:

TO CONVERT AN EXISTING 888-28 SQ.FT. GUEST ROOM INTO AN ADU (ACCESSORY DWELLING UNIT). THE ADU WILL BE DESIGNATED AS UNIT 1.

THE PROPERTY IS LOCATED AT:
12 AND 14 E. LIGHTHOUSE ST.
MARINA DEL REY, CALIFORNIA 90292
BLOCK : J
LOT : 6
TRACT: OCEAN STRAND TRACT

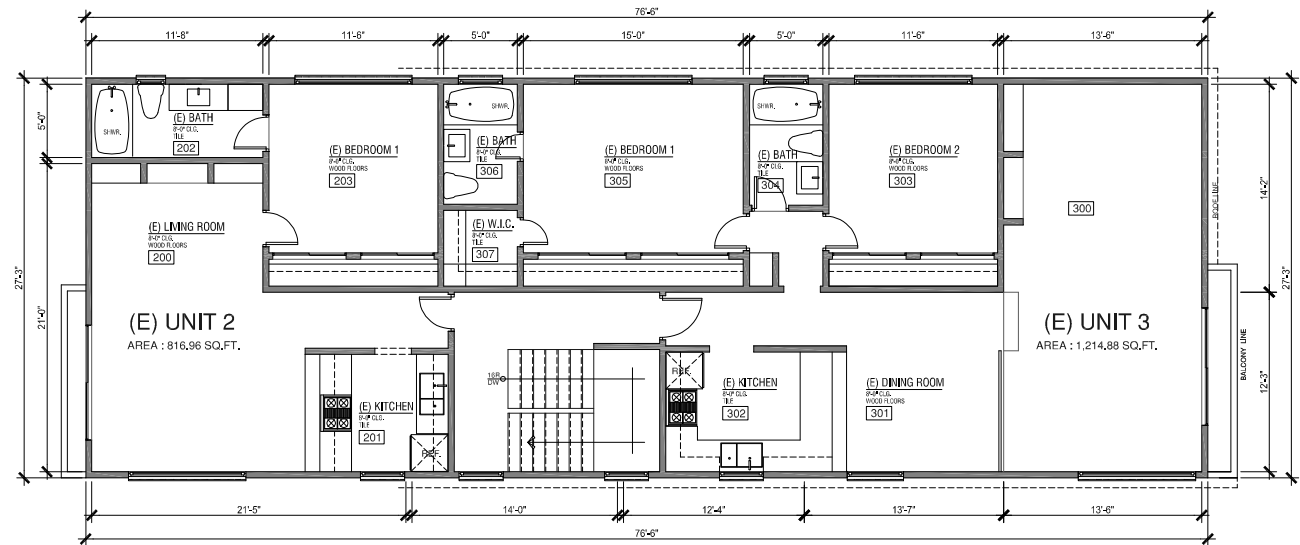
FOR:
MRS. MAISIE DUGE
12 AND 14 E. LIGHTHOUSE ST.
MARINA DEL REY, CALIFORNIA
90292

REVISIONS:

DATE	OBSERVATION

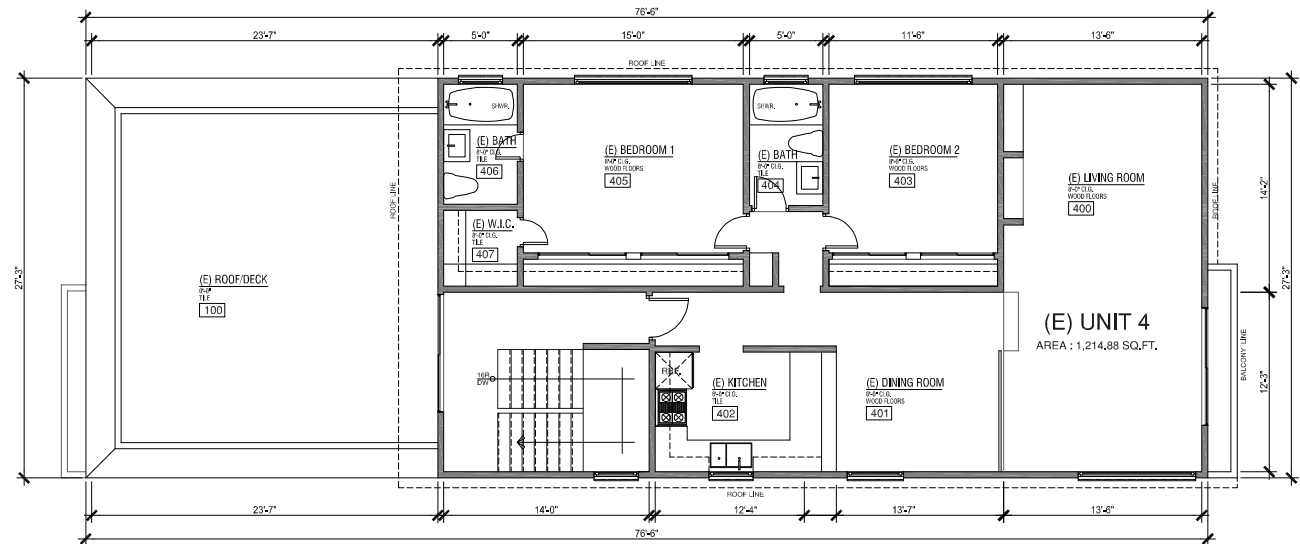
DATE: 09.14.20

A2



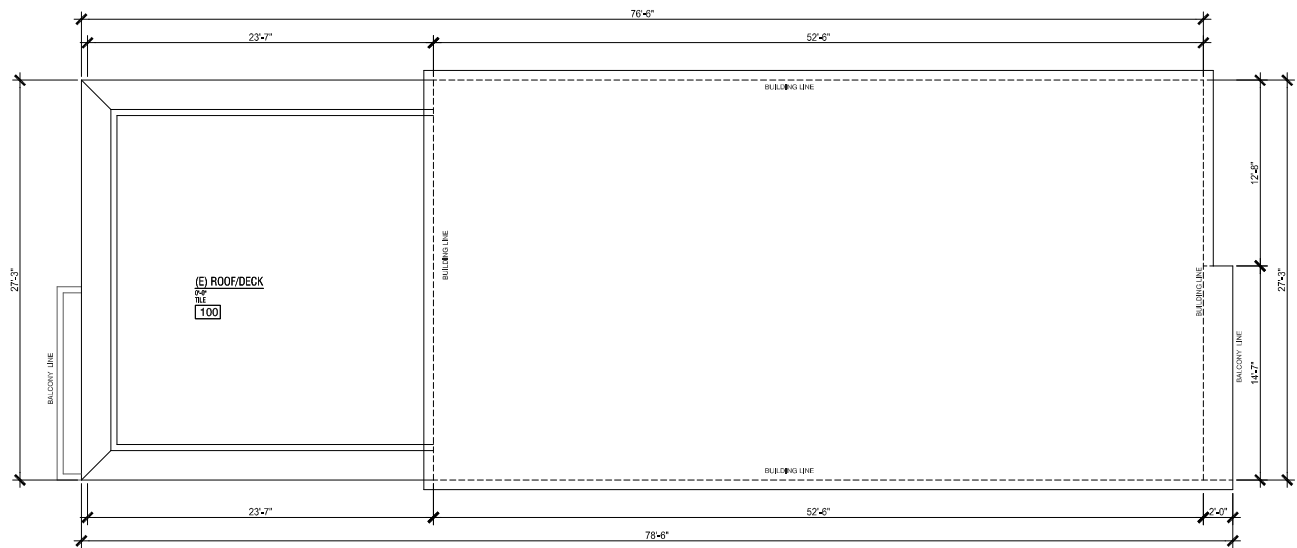
(E) SECOND LEVEL

SCALE : 1/4" = 1'-0"



(E) THIRD LEVEL

SCALE : 1/4" = 1'-0"



(E) ROOF PLAN
SCALE : 1/4" = 1'-0"

hR
henryRAMIREZ

3790 LAVELL DR.
LOS ANGELES, CA
90008
T. 323.401.3792

A.P.N. 4294.002.011

PROJECT INFO:

TO CONVERT AN EXISTING 888.28 SQ.FT. GUEST-ROOM INTO AN ADU ACCESSORY DWELLING UNIT. THE ADU WILL BE DESIGNATED AS UNIT 1.

THE PROPERTY IS LOCATED AT:
12 AND 14 E. LIGHTHOUSE ST.
MARINA DEL REY, CALIFORNIA 90292
BLOCK: J
LOT: 6
TRACT: OCEAN STRAND TRACT

FOR:
MRS. MAISIE DUGE
12 AND 14 E. LIGHTHOUSE ST.
MARINA DEL REY, CALIFORNIA
90292

REVISIONS:

DATE	OBSERVATION

DATE: 09.14.20 **A3**

PROJECT INFO:

TO CONVERT AN EXISTING 688-28 SQ-FT. GUEST-ROOM INTO AN ADU (ACCESSORY DWELLING UNIT). THE ADU WILL BE DESIGNATED AS UNIT 1.

THE PROPERTY IS LOCATED AT:
12 AND 14 E. LIGHTHOUSE ST.
MARINA DEL REY, CALIFORNIA 90292
BLOCK 1 J
LOT 1 B
TRACT: OCEAN STRAND TRACT

FOR:
MRS. MAISIE DUGE
12 AND 14 E. LIGHTHOUSE ST.
MARINA DEL REY, CALIFORNIA
90292

REVISIONS:

DATE	OBSERVATION

DATE: 09.14.20

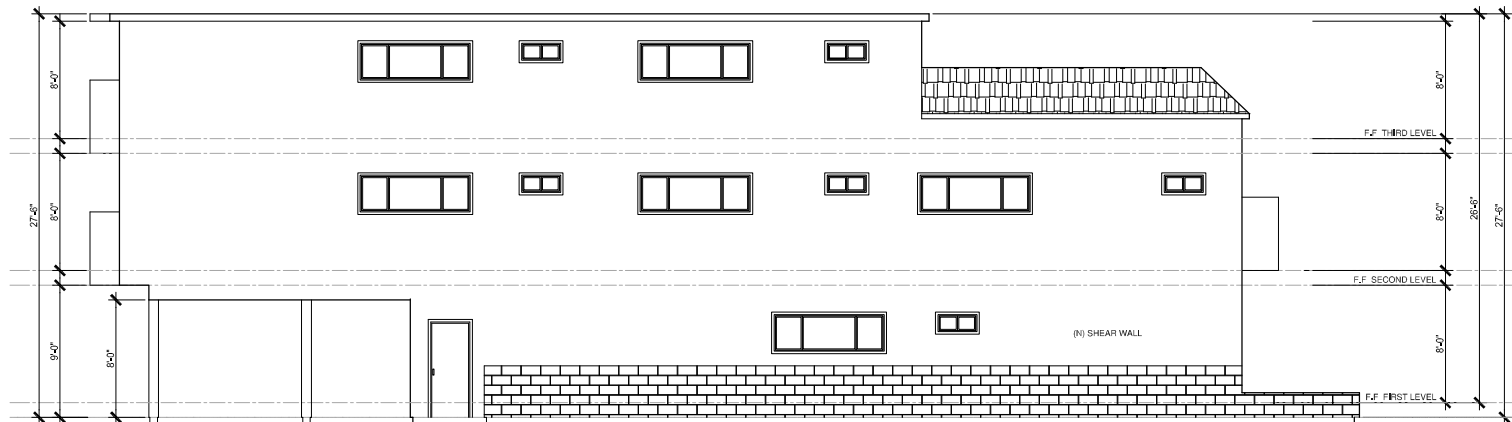
A4



SPEEDWAY ST.

(E) EAST ELEVATION

SCALE : 1/4" = 1'-0"



ELEVATION TO BE RETROFITTED

(E) WEST ELEVATION

SCALE : 1/4" = 1'-0"

PROJECT INFO:

TO CONVERT AN EXISTING 683.28 SQ.FT. GUEST-ROOM INTO AN ADU (ACCESSORY DWELLING UNIT), THE ADU WILL BE DESIGNATED AS UNIT 1.

THE PROPERTY IS LOCATED AT:
12 AND 14 E. LIGHTHOUSE ST.
MARINA DEL REY, CALIFORNIA 90292
BLOCK: J
LOT: 6
TRACT: OCEAN STRAND TRACT

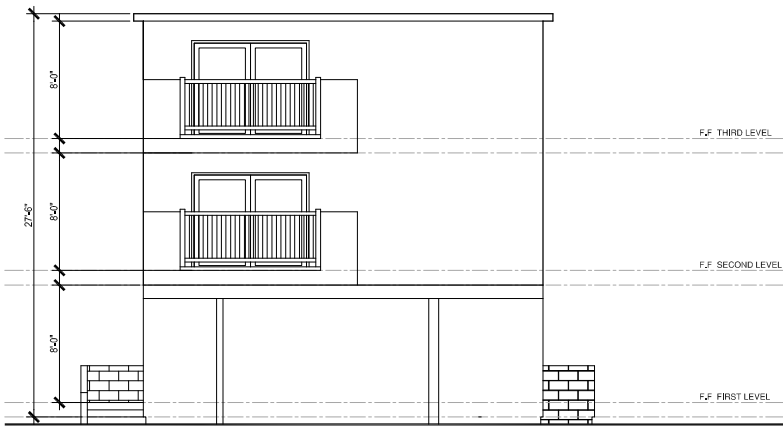
FOR:
MRS. MAISIE DUGE
12 AND 14 E. LIGHTHOUSE ST.
MARINA DEL REY, CALIFORNIA
90292

REVISIONS:

DATE	OBSERVATION

DATE:
09.14.20

A5



(E) SOUTH ELEVATION
SCALE : 1/4" = 1'-0"



LIGHTHOUSE ST. (E) NORTH ELEVATION
SCALE : 1/4" = 1'-0"