CALIFORNIA COASTAL COMMISSION
South Coast District Office
301 Ocean Blvd., Suite 300
Long Beach, CA 90802
(562) 590-5071

W12c

(CDP 5-20-0006, Marquita LLC and City of San Clemente)

OCTOBER 7, 2020

REVISED EXHIBITS

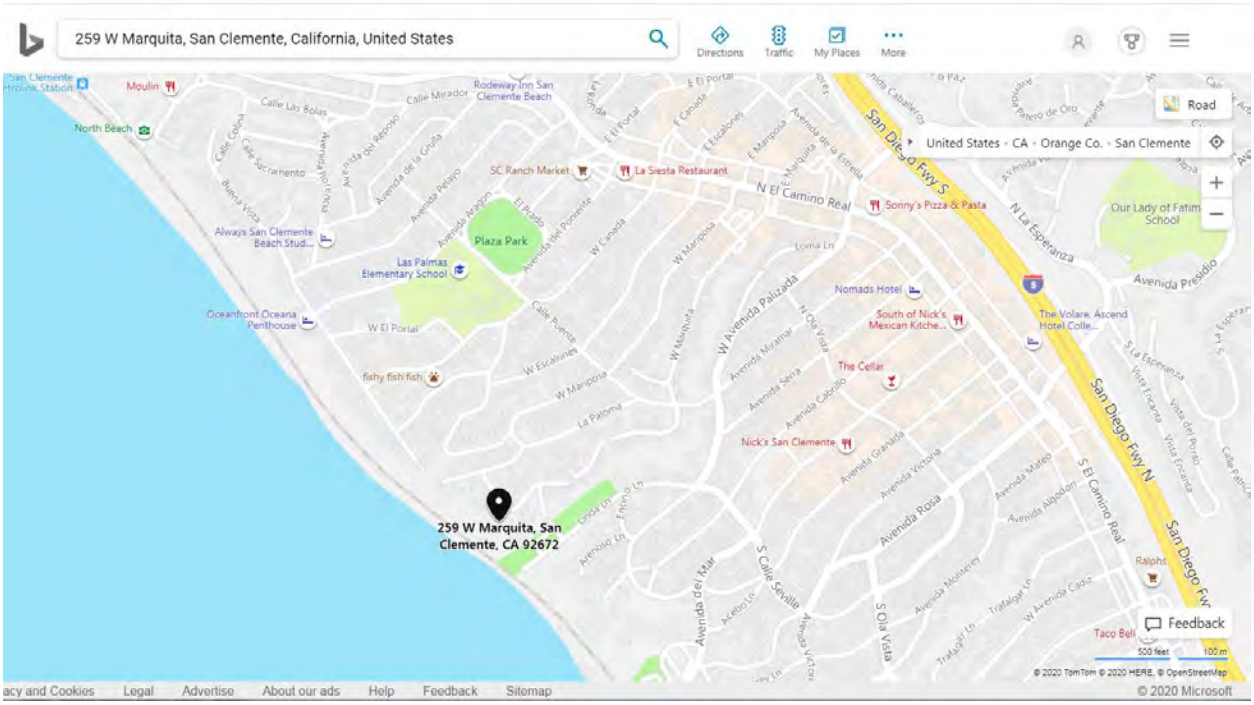
Exhibits 4, 5, 7,8, and 9 added on 9/30/20,

no change to Exhibits 1, 2, 3, 6, 10, 11, or 12

Table of Contents

VICINITY MAP

259 W. MARQUITA, SAN CLEMENTE, ORANGE COUNTY



City of San Clemente Community Map

9/24/2020, 3:24:16 PM

City Boundary

Outside City Mask

Green: Band_2

Blue: Band_3

Eagle 1ft Tiled 2019

Red: Band_1

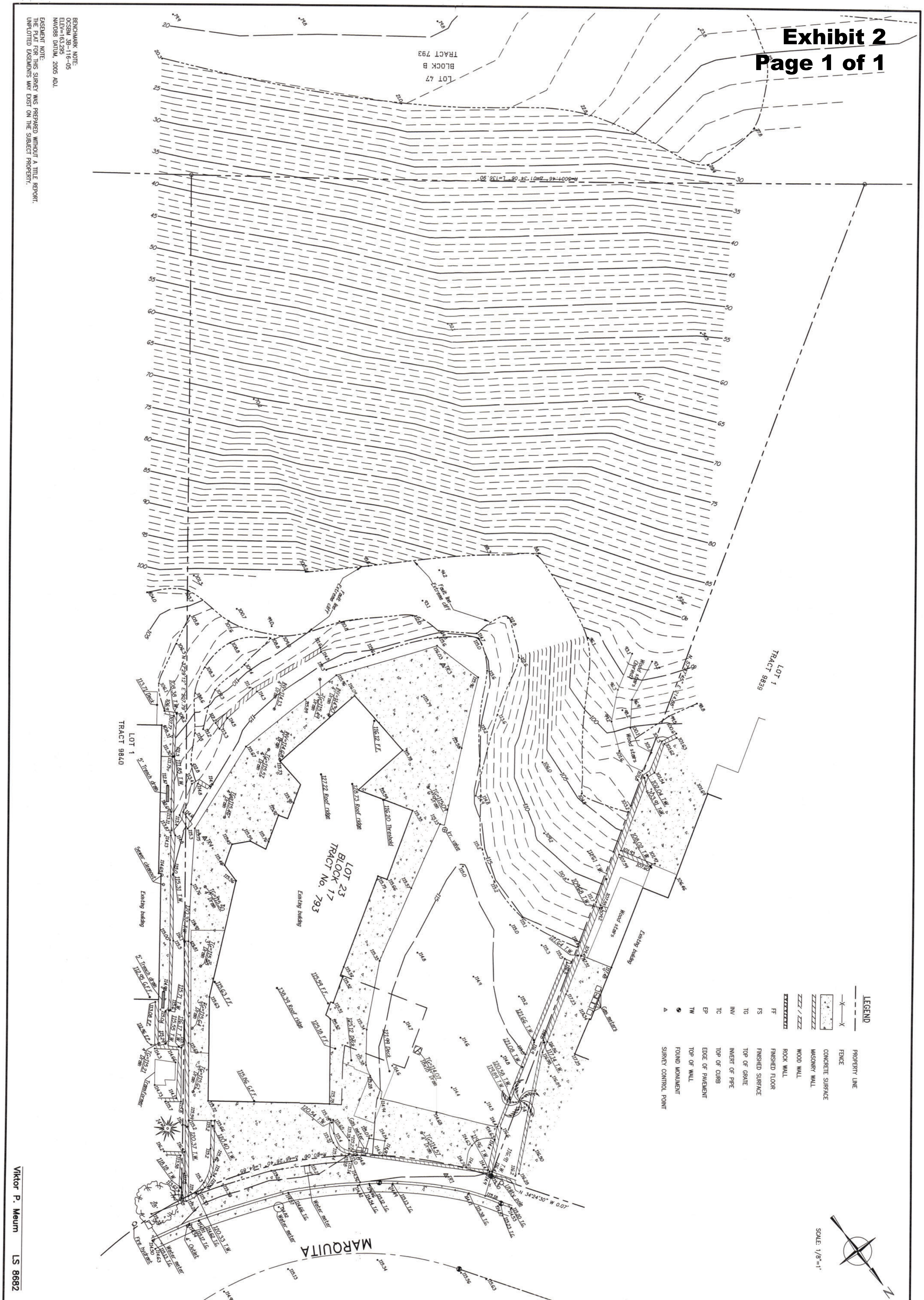
1:1,128

0 0.01 0.01 0.03 mi

0 0.01 0.03 0.05 km

Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, Eagle Aerial

Web AppBuilder for ArcGIS
Earthstar Geographics | Eagle Aerial | STLU | Esri | Esri, HERE, Garmin |



JOB NO. 15523	SHEET 1 OF 1	**TOAL ENGINEERING, INC.** Civil Engineers and Land Surveyors, 139 Avenida Navarro, San Clemente, Calif. 92672, Ph: 949-492-8586 Fax: 949-498-8625	REVISIONS / BY / DATE / APVD. / DATE

H. SCALE: 1/8"=1'	DATE: 5-22-15	**TOPOGRAPHIC & BOUNDARY SURVEY**
V. SCALE: N/A	DRN.: MSF & MCH	LOT 23, BLOCK 17, TRACT 793
DATE OF SURVEY: 5-9-15	CHD.: –	259 WEST MARQUITA, SAN CLEMENTE, CALIFORNIA
DR. FILE: –	APVD.: –	PREPARED FOR CALPAC PROPERTIES, LLC

Exhibit 3
Page 1 of 5

Exhibit 3
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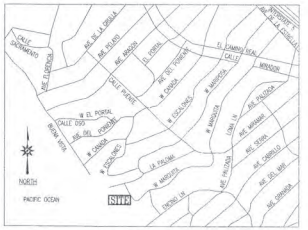


VICINITY MAP
N.T.S.

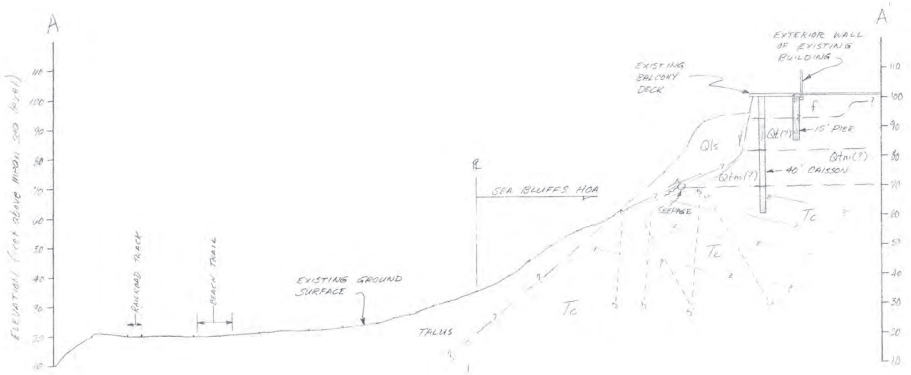
EXPLANATION

GEOLOGIC UNITS

- Qls — LANDSLIDE DEBRIS
- Talus — BLUFF TALUS DEBRIS
- Qt — NON-MARINE TERRACE DEPOSITS
- Qtm — MARINE TERRACE DEPOSITS
- Tc — CAPISTRANO FORMATION, siltstone & sandstone

GEOLOGIC SYMBOLS

- GEOLOGIC CONTACT, approximate location. Queried where location is uncertain or inferred
- APPARENT DIP OF BEDDING PLANE, projected or inferred from surface mapping
- APPARENT DIP OF JOINT PLANE, projected or inferred from surface mapping



SCALE: 1" = 20'

CROSS-SECTION A-A'
259-261 WEST MARQUITA
SAN CLEMENTE, CALIFORNIA
7/1/2015 - CEC

SITE ADDRESS:
261 WEST MARQUITA,
SAN CLEMENTE, CALIFORNIA 92672

LEGAL DESCRIPTION:

261 WEST MARQUITA: LOT 24, BLOCK 17, TRACT 793

GRAPHIC SCALE: 1" = 20'

REVISION	DESCRIPTION	APPROVED	DATE

SCALE: N/A
ACAD FILE NO. 15S15116
PROJECT NO. 15S15116
DESIGNED: DRAWN: CHECKED:
DATE

BENCHMARK
OCSBM 3SS-2-82
ELEVATION = 95.558
NAVD 88/DATUM

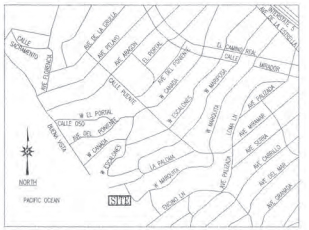
PLANS PREPARED BY:
PETER and ASSOCIATES ENGINEERS GEOLOGISTS & SURVEYORS, INC.
WWW.PETERASSOC.COM
1519 CALLE VALLE, SAN CLEMENTE, CA. 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

FIGURE 2-SECTION A-A'
261 WEST MARQUITA
SAN CLEMENTE, CA 92672
PREPARED FOR: TIM RACICH (259 WEST MARQUITA) & SEA BLUFF HOA (261 WEST MARQUITA)

1 OF 1 SHEETS

PLOT DATE: 10/12/2015

Exhibit 3
Page 3 of 5



VICINITY MAP
N.T.S.

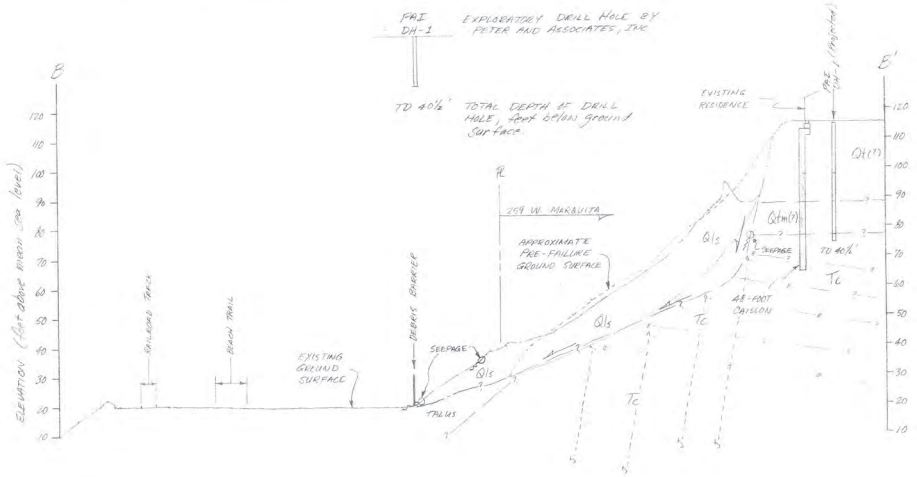
EXPLANATION

GEOLOGIC UNITS

- Qls — LANDSLIDE DEBRIS
- Talus — BLUFF TALUS DEBRIS
- Qt — NON-MARINE TERRACE DEPOSITS
- Qtm — MARINE TERRACE DEPOSITS
- Tc — CAPISTRANO FORMATION, siltstone & sandstone

GEOLOGIC SYMBOLS

- GEOLOGIC CONTACT, approximate location. Queried where location is uncertain or inferred.
- APPARENT DIP OF BEDDING PLANE, projected or inferred from surface mapping
- APPARENT DIP OF JOINT PLANE, projected or inferred from surface mapping
- PAI DH-1 — EXPLORATORY DRILL HOLE BY PETER AND ASSOCIATES, INC.
- TD 40½' — TOTAL DEPTH OF DRILL HOLE, feet below ground surface.



NOTE: The landslide configurations shown hereon are based on inference from surface mapping of topographic ground expressions and ground surface profiles plotted from that topography. Verification of the landslide limits and slide plane would require subsurface exploration.

SITE ADDRESS:
259 WEST MARQUITA,
SAN CLEMENTE, CALIFORNIA 92672

LEGAL DESCRIPTION:

259 WEST MARQUITA: LOT 23, BLOCK 17, TRACT 793

20' 10' 0 20' 40'
GRAPHIC SCALE : 1" = 20'

REVISION	DESCRIPTION	APPROVED	DATE

SCALE: N/A
ACAD FILE NO. 15S15116
PROJECT NO. 15S15116

DESIGNED: | DRAWN: | CHECKED:
DATE

BENCHMARK
OCSBM 3SS-2-82
ELEVATION = 95.558
NAVD 88/DATUM

PLANS PREPARED BY:
PETER and ASSOCIATES ENGINEERS GEOLOGISTS & SURVEYORS, INC.
WWW.PETERASSOC.COM
1519 CALLE VALLE, SAN CLEMENTE, CA 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

FIGURE 3–SECTION B–B'
261 WEST MARQUITA
SAN CLEMENTE, CA 92672
PREPARED FOR: TIM RACICH (259 WEST MARQUITA) & SEA BLUFF HOA (261 WEST MARQUITA)

1 OF 1 SHEETS

PLOT DATE: 10/12/2015

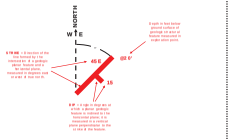
Exhibit 3
Page 4 of 5

EXPLANATION

- Qls — LANDSLIDE DEBRIS
- Qal — ALLUVIUS DEPOSITS
- Qtm — UNDIFFERENTIATED MARINE AND NONMARINE TERRACE DEPOSITS
- Tc — CAPISTRANO FORMATION BEDROCK

GEOLOGIC CONTACT, queried where uncertain or inferred.

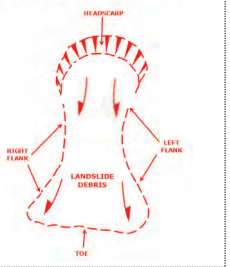
EXPLANATION OF STRUCTURAL GEOLOGY SYMBOLS



N 45E / 15 — STRIKE & DIP OF BEDDING PLANE

N45E / 15 — STRIKE & DIP OF JOINT OR FRACTURE

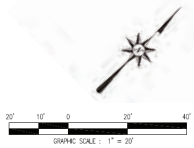
LANDSLIDE NOMENCLATURE

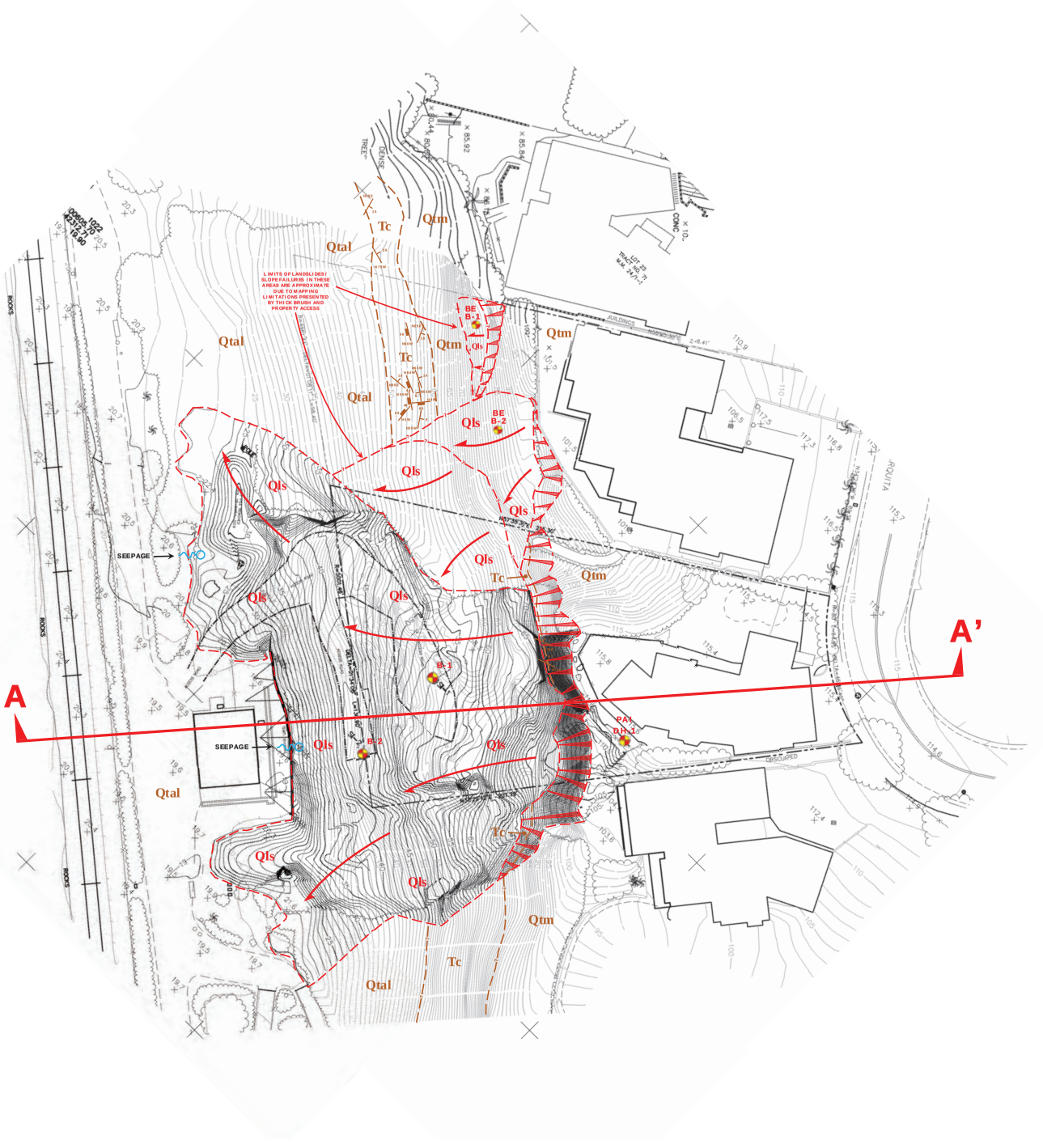


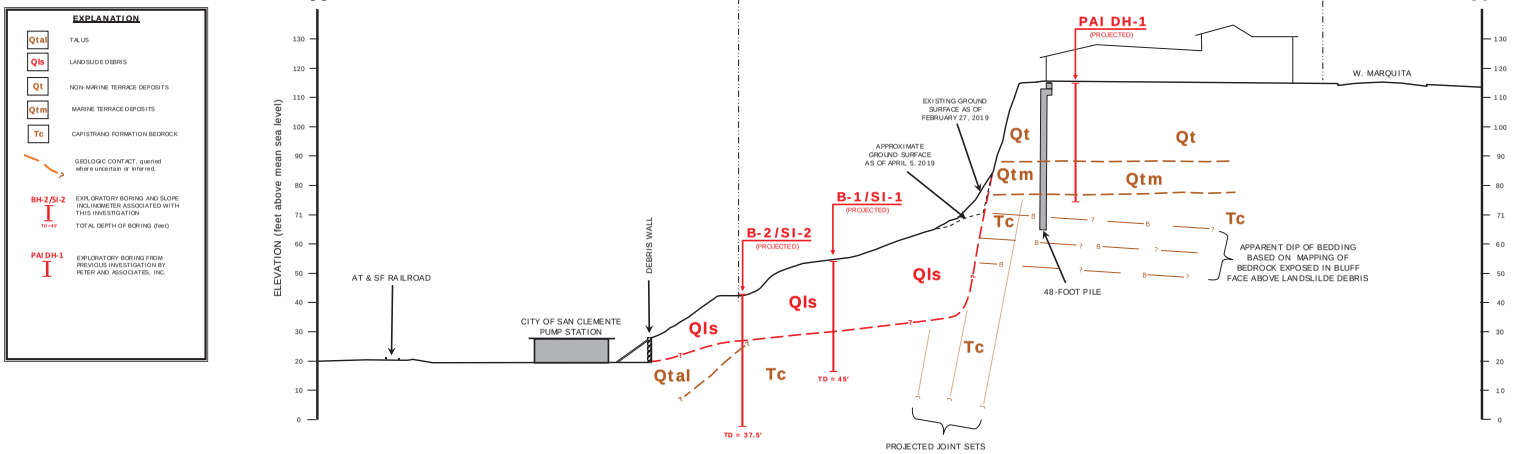
SI-2 B-2 — EXPLORATORY BORING AND SLOPE INCLINOMETER ASSOCIATED WITH THIS INVESTIGATION

B-2 / DH-1 — EXPLORATORY BORING FROM PREVIOUS INVESTIGATION, BE = Bagahi Engineering, PAI = Peter and Associates, Inc.

A — A' — GEOTECHNICAL SECTION LINE






EXPLANATION
Qtal TALUS
Qls LANDSLIDE DEBRIS
Qt NON-MARINE TERRACE DEPOSITS
Qtm MARINE TERRACE DEPOSITS
Tc CAPISTRANO FORMATION BEDROCK
GEOLOGIC CONTACT, queried where uncertain or inferred.
BH-2/SI-2 EXPLORATORY BORING AND SLOPE INCLINOMETER ASSOCIATED WITH THIS INVESTIGATION
10+49' TOTAL DEPTH OF BORING (feet)
PAI DH-1 EXPLORATORY BORING FROM PREVIOUS INVESTIGATION BY PETER AND ASSOCIATES, INC.
A
A'
259 W. Marquita
W. MARQUITA
PAI DH-1
(PROJECTED)
B-2/SI-2
(PROJECTED)
B-1/SI-1
(PROJECTED)
EXISTING GROUND SURFACE AS OF FEBRUARY 27, 2019
APPROXIMATE GROUND SURFACE AS OF APRIL 5, 2019
DEBRIS WALL
AT & SF RAILROAD
CITY OF SAN CLEMENTE PUMP STATION
Qt
Qtm
Tc
Qls
Qtal
48-FOOT PILE
APPARENT DIP OF BEDDING BASED ON MAPPING OF BEDROCK EXPOSED IN BLUFF FACE ABOVE LANDSLILDE DEBRIS
TD = 45'
TD = 37.5'
PROJECTED JOINT SETS
ELEVATION (feet above mean sea level)

SCALE: 1" = 20'

2016

2017

2016

2017

2016

2017

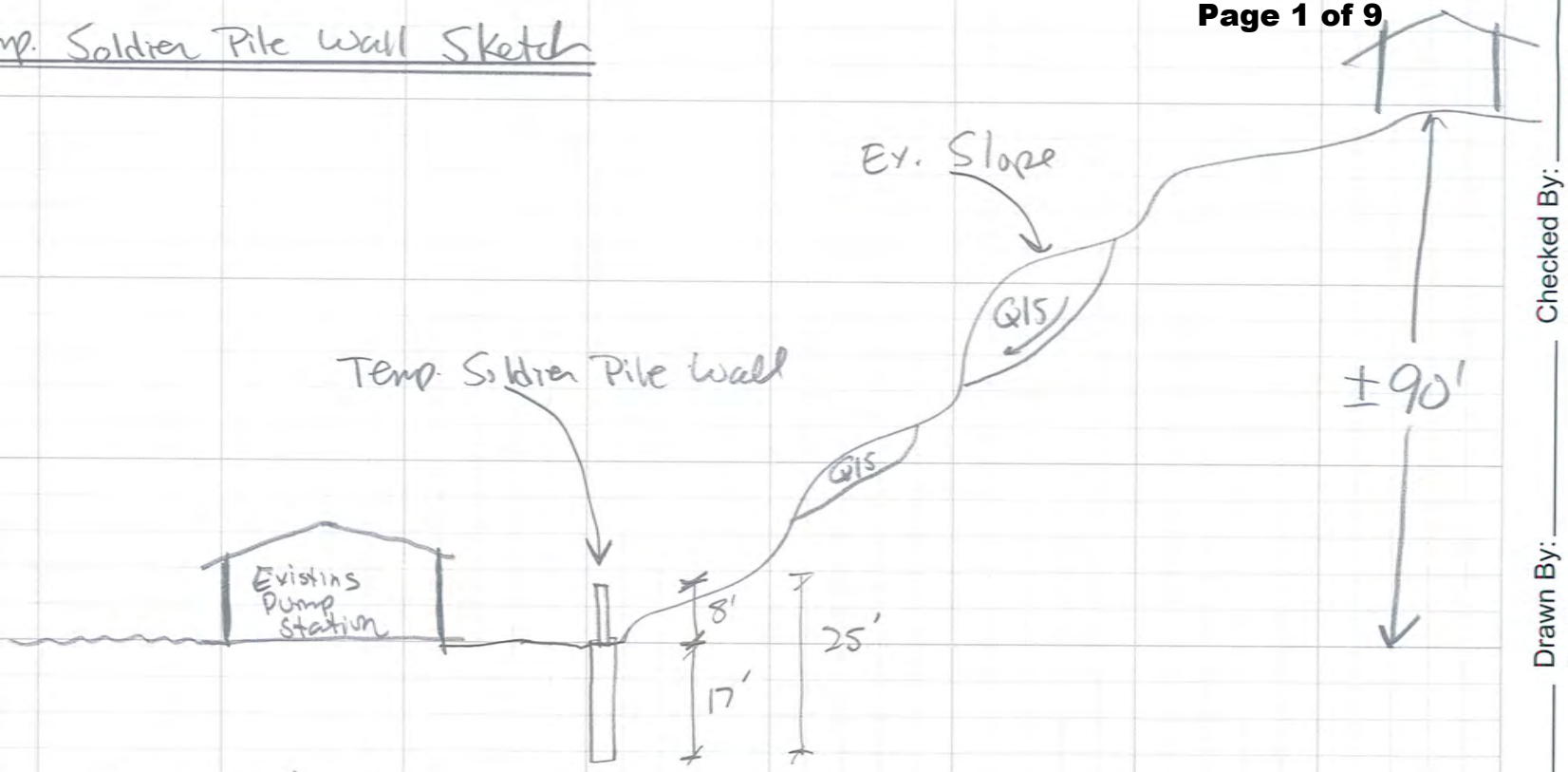
2016

2017

2016

2017

Temp. Soldier Pile Wall Sketch



Reasonable Sol'n (not calculated or analyzed)

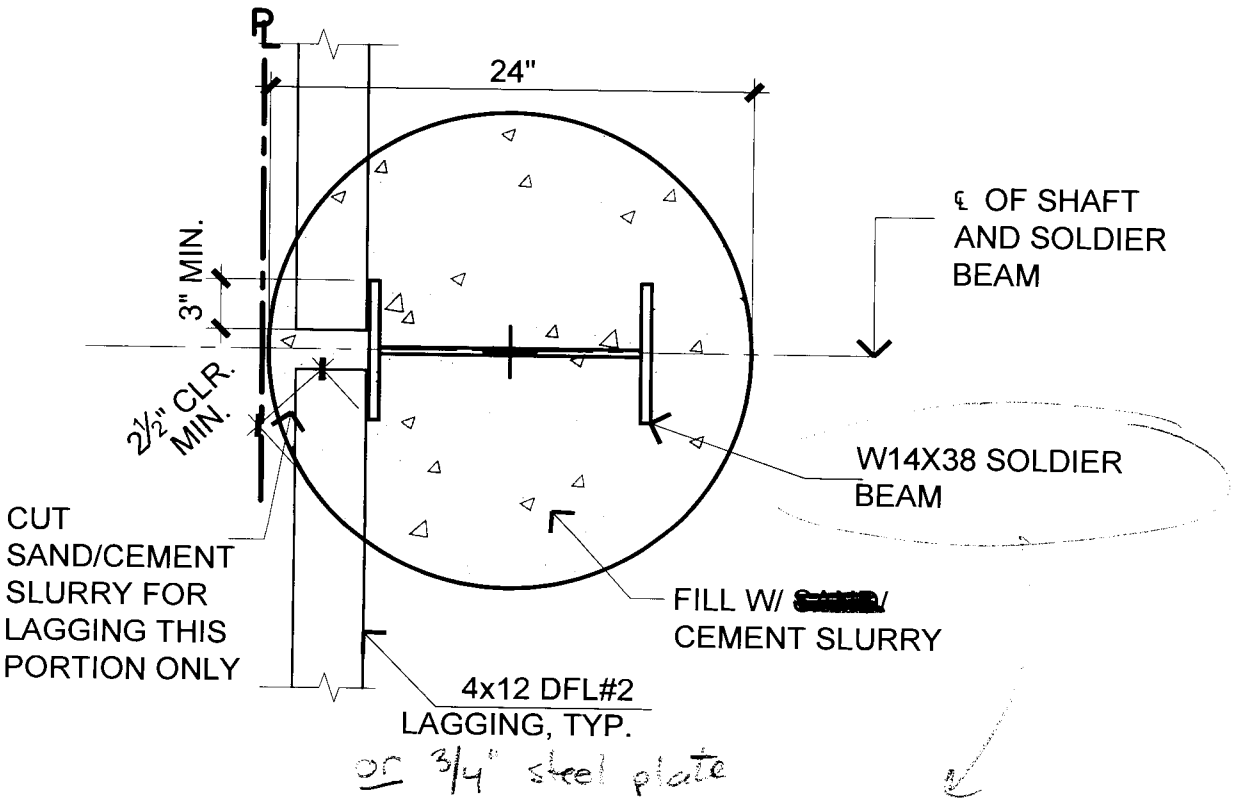
1. 8' of "I" beam above existing grade
2. 17' of "I" beam drilled (not driven) below existing grade
3. 24" drilled caisson, backfilled w/ concrete.
4. Either use wood lagging or steel plates.

not to Scale

3 of 4

Project Name: _____ Drawn By: _____ Checked By: _____
Project Number: _____ Date: _____ Scale: _____ Page: _____ of _____

LGC Geotechnical, Inc.



typical beam used for temp shoring on other projects

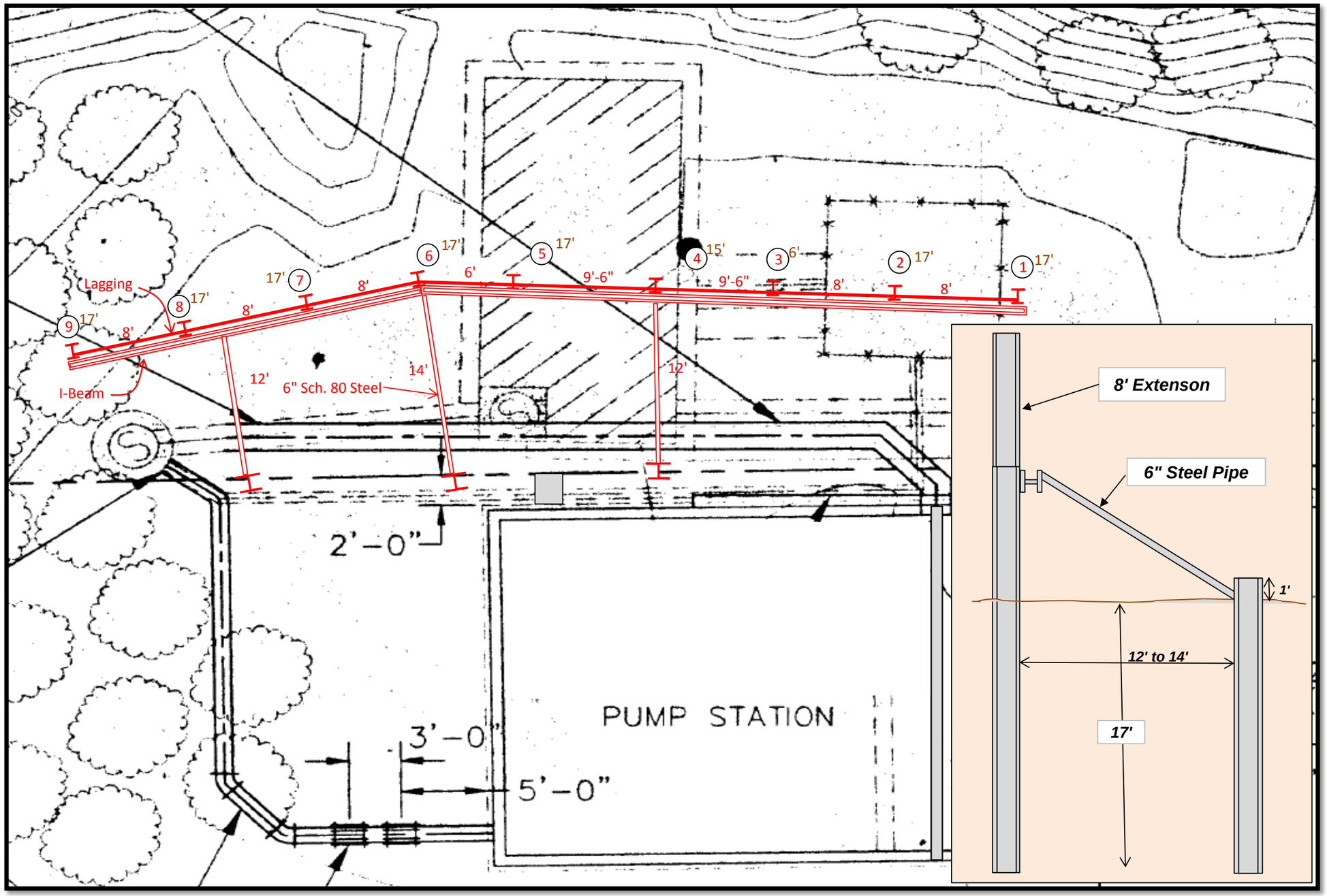

Lagging
I-Beam
6" Sch. 80 Steel
17'
8'
12'
14'
6'
9'-6"
15'
2'-0"
3'-0"
5'-0"
PUMP STATION
8' Extenson
6" Steel Pipe
1'
12' to 14'
17'


Photo from
8/3/2015

2/19/19

⊗ Approx. Location of Slope Inclinometer

City constructed temporary wood lagging wall beginning to be overtopped

Photo from May 2018


Exhibit 5
Page 7 of 9
Photo from
January 2019


Exhibit 5
Page 8 of 9
Photo from January


NO TRESPASSING
ACCESSIBLE ENTRANCE
Photo from January 2019

GRADING GENERAL NOTES

1. All work shall be in accordance with the grading ordinance and manual of the City of San Clemente and any special requirements of the permit.
2. No grading shall be started without first notifying the city engineer. A pre-grade meeting at the site is required before start of grading with the following people present: owner, grading contractors, design civil engineer, soils engineer, geologist, city grading inspector or their representatives, and when required, the archaeologist, paleontologist and/or other utility representatives.
3. The permittee or his agent shall notify the engineering division when the grading operation is ready for each of the following inspections.

   A. INITIAL INSPECTION. When the permittee is ready to begin work, but not less than two days before any grading or brushing is started.

   B. TOE INSPECTION. After the natural ground or bedrock is exposed and prepared to receive fill, but not before the fill is placed.

   C. EXCAVATION INSPECTION. After the excavation is started, but before the vertical depth of the excavation exceeds ten feet.

   D. FILL INSPECTION. After the fill placement is started, but before the vertical height of the fill exceeds ten feet.

   E. DRAINAGE DEVICE INSPECTION. After forming of terrace drains, downdrains, or after placement of pipe in subdrains, but before any concrete or filter material is placed.

   F. ROUGH GRADING. When all rough grading has been completed. This inspection may be called for at the completion of rough grading.

   G. FINAL. When all work including installation of all drainage structures and other protective devices has been completed and the as-graded plan, professional certifications and the required reports have been submitted.
4. Cut slopes shall be no steeper than 2 horizontal to 1 vertical.
5. Fill slopes shall be no steeper than 2 horizontal to 1 vertical and shall have not less than 90% compaction out to the finished surface.
6. Fills shall be compacted throughout to a minimum of 90% relative density. Maximum density to be determined by ASTM-D1557 (five(5) layer test) or approved equivalent, and field density by Uniform Building Code Standard No. 70-2, or approved equivalent.
7. Areas to receive fill shall be properly prepared and approved by the soils engineer and/or engineering geologist prior to placing of fill
8. Fills shall be benched into competent material as per detail on plan.
9. All existing fills shall be approved by the soils engineer or removed before any additional fills are added.
10. The existing irrigation lines, subgrade structures, septic tanks, and cisterns shall be removed, or crushed in place and backfilled, and approved by the city inspector and soils engineer.
11. The stockpiling of excess material shall be approved by the city engineer prior to excavation.
12. The design civil engineer, prior to rough grade approval, shall provide the minimum of one blue top per lot, set at the highest point in the finished drainage swale.
13. All trench backfills shall be tested and approved by the site soils engineer per the grading code.
14. The engineering geologist and soils engineer shall, after clearing and prior to the placement of fill in canyons, observe and review each canyon for areas of adverse stability and to determine the presence or absence of subsurface water or spring flow. If needed, drains (in addition to those depicted on this plan) will be designed and constructed prior to the placement of fill in each respective canyon. Any additions shall be noted on the "as-built" plans.
15. Subdrain outlets shall be completed at the beginning of the subdrain construction
16. The exact location of the subdrains shall be surveyed in the field for line and grade and noted and shown on the "as-built" plans.
17. All cut slopes shall be investigated both during and after grading by an engineering geologist to evaluate the stability of each slope should excavation disclose any geological hazards or potential geological hazards, the engineering geologist shall recommend necessary treatment to the city engineer for approval. All approval to be granted on the basis of detailed geological mapping and written field memo.
18. Where support or buttressing of cut and natural slopes is determined to be necessary by the engineering geologist and soils engineer, the soils engineer will submit design, locations and calculations to the city engineer prior to construction. The engineering geologist and soils engineer will observe the construction of the buttressing and comment on the stability of the slope and adjacent structures upon completion. All changes shall be addressed in the final soils report.
19. When cut pads are brought to near grade, the engineering geologist shall determine if the bedrock is extensively fractured or faulted and will readily transmit water. If considered necessary by the engineering geologist and soils engineer, a compacted fill blanket will be place.
20. The engineering geologist or his representative shall be on site for observation and testing, as necessary, and submit a complete report and map upon completion of the rough grading.
21. The final compaction report and approval from the soils engineer shall contain the type of field testing performed. Each test shall be identified with the method of obtaining the in-place density, whether sand cone or drive ring, and shall be so noted for each test. Sufficient maximum density determinations shall be performed to verify the accuracy of the maximum density curves used by the field technician.
22. The soils engineer and engineering geologist shall provide observation and testing services, as necessary, and be available during grading to verify compliance with the plans, specifications, and code within their purview.
23. The design civil engineer shall exercise sufficient control during grading and construction to insure compliance with the plans, specifications, and code within his purview.
24. Dust shall be controlled by watering.
25. Sanitary facilities shall be maintained on the site.
26. The location and protection of all utilities are the responsibility of the grading contractor.
27. Approved protective measures and temporary drainage provisions must be used to protect adjoining properties during the grading project.
28. Prior to final approval, the design civil engineer shall certify to the engineering division the number of yards to cut, fill and import moved during the grading operations.
29. All concrete structures that come in contact with the on-site soils shall be constructed with Type 5 cement unless otherwise approved by the city engineer.
30. Export soil must go to a legal dump or to a permitted site approved by the city engineer.
31. Slopes exceeding five feet in height must be planted with a plant material designed by a registered landscape architect and approved by the city and must be provided with an approved irrigation system.
32. Prior to final approval, the grading contractor shall submit a statement of compliance for the approved grading plan.
33. For grading permits issued before August 15, erosion control plans, if necessary, shall be required and shall be submitted to and approved by the city engineer by September 15. For grading permits which are issued after August 15, and where grading is not expected to be completed by October 15, erosion control provisions shall be required
34. The approved soil engineering report prepared by PETER AND ASSOCIATES, INC. Entitled "Limited Geotechnical Evaluation for Provision of Preliminary Recommendations Regarding Recent Failure of Portions of Rear Bluff, 259 and 261 W. Marquita, San Clemente, CA 92672.

    and all revisions are to be considered part of the plans, and the recommendations contained therein are to be adhered to.
35. Concrete for sidewalk, curb & gutter, access ramps, and drive aapproaches shall have a minumum ultimate compressive strength at 28 days of 3250 PSI. Concrete may be pneumatically placed and shall conform to Section 201 of the Standard Specifications for Public Works Construction(Greenbook).
36. Concrete for exterior retaining walls and structural foundations shall have a minimum ultimate compressive strength at 28 days of 4500 PSI with a water-cement ratio of 0.45.
37. Concrete reinforcing shall be 6" x 6" – w 1.4 welded wire mesh (W.W.M.) or approved equal.
38. Ground shall be prewetted to the satisfaction of the city inspector o the soils engineer prior to placement of concrete. Moisture loss retardant shall be used when required by the soils engineer.
39. For compacted fill:
    A. A minimum foundation bearing value of 1500 P.S.F. is required unless modified by the soils report.

    B. Number of tests to be made shall be:
    1 test for each 2 feet of fill or
    1 test for each 1,000 cubic yards (whichever is greater)
40. The undersigned civil engineers will be responsible for the minimum professional inspections in accordance with subarticle 14 of the City of San Clemente's Grading and ordinance & grading manual.
41. Detrimental amounts of organic material shall not be permitted in fills. Except as outlined below, no rock or similar irreducible material with a maximum dimension greater than twelve (12) inches shall be buried or laced in fills.

    A. The soils engineer may permit placement of larger rock when the soils engineer properly devised a method of placement, continuously inspects placement, and approves the fill stability and competency. The following conditions shall also apply.

    B. Prior to issuance of the grading permit, potential rock disposal area(s) shall be delineated on the grading plan.

    C. Rock sizes greater than twelve (12) inches in maximum dimension shall be ten (10) feet or more below grade, measured vertically. This depth may be reduced upon recommendation of the soils engineer and approval of the building official providing that the permitted use of the property will not be impaired.

    D. Rocks greater than twelve (12) inches shall be placed so as to be completely surrounded by soils; no nesting of rocks will be permitted.

    E. All recommendations shall be reviewed and approved by the city.
42. Grading operations and maintenance of equipment within one half mile of human occupancy shall not be conducted between the hours of 5:30 p.m. and 7:30 a.m. or any time on a Saturday, Sunday or a city holiday.
43. The design engineer shall certify all horizontal lines and vertical grades prior to release of grading.
44. Construction sites shall be maintained in such a condition that an anticipated storm does not carry wastes or pollutants off the site.

    A. All erosion protection devices must be in place each day the rain probability forecast is equal to or greater than 40%. After a rain event (or during an extended event if necessary), all erosion protection devices shall be inspected and repaired/cleaned as needed to ensure proper function.

    B. Discharges of material other than stormwater ("non-stormwater" discharges) are allowed only when necessary for performance and completion of construction practices and where they do not: cause or contribute to a violation of any water qualitiy standard; cause or threaten to cause pollution, contamination, or nuisance; or contain a hazardous substance in a quantity reportable under federal regulations 40 CFR Parts 117 and 302. Site shall include best management practices (BMPS) to reduce the quantity (amount and number of incidences) of non-stormwater discharges and to improve the quality of any non-stormwater discharges.

    C. Stormwater and non-stormwater discharges shall not carry wastes or pollutants off the site. Potential pollutants include but are not limited to: solid or liquid chemical spills; wastes from paints, stains, sealants, glues, limes, pesticides, herbicides, wood preservatives and solvents; asbestos fibers, paint flakes or stucco fragments; fuels, oils, lubricants, and hydraulic, radiator or battery fluids; fertilizers, vehicle/equipment wash water and concrete wash water; concrete, detergent or floatable wastes; wastes from any engine/equipment steam cleaning or chemical degreasing; and superchlorinated potable water line flushings.

    D. During construction, disposal of such materials should occur in a specified and controlled temporary area on-site, physically separated from potential storm water and non-stormwater run-off, with ultimate disposal in accordance with local, state and federal requirements.

    E. The permitte shall notify all general contractors, subcontractors, material suppliers, lessees and property owners that the discharge of pollutants into the storm drain system or other watershed drainage features is prohibited.
45. Dewatering on contaminated groundwater, or discharging contaminated soils via surface erosion is prohibited. Dewatering of non-contaminated groundwater requires a National Pollutant Discharge Elimination System Permit from the respective State Regional Water Quality Control Board.

ROUGH GRADING PLAN

259 WEST MARQUITA

LOT 23. BLOCK17, TRACT 793

SAN CLEMENTE, CA 92672

46. Prior to construction, all survey monuments & centerline ties are to be located in the field. Upon completion of construction, all damaged or destroyed centerline ties and survey monuments are to be reset and "Corner Records" prepared for Survey monuments for submission to the city's engineering division and filing with the County Surveyor in compliance with AB1414. This must be completed prior to certifying completion of the project. All restorations of survey monuments shall be certified by the design registered engineer in accordance with Section 8771 of the Business and Professions Code.
47. Prior to grading, hydro augers are to be installed at the toe of slope face (if applicable). Actual locations will be determined by soils engineer in the field. (Maximum spacing 50 feet).
48. A City of San Clemente encroachment permit will be required prior to any grading or work in City's public right-of-way.

EROSION CONTROL

(FROM OCTOBER 15 TO APRIL 15)

1. IN CASE OF EMERGENCY CALL: _____ AT CELL TEL No. _____ Work telephone no.:_____, EMAIL:_____
2. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
3. EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL OR CITY ENGINEER.
4. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.
5. AFTER A RAINSTORM ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS, CHECK BERMS AND BASINS.
6. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE TO BE DIRECTED TOWARD DESILTING FACILITIES.
7. THE PERMITTEE SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.
8. ALL TEMPORARY GRADING HAUL ROADS WITHIN AREAS WHICH ARE TO REMAIN UNDEVELOPED AND NATURAL SHALL BE RESTORED TO NATURAL CONDITIONS AND REVEGETATED WITH NATIVE GRASSES UPON COMPLETION OF GRADING OPERATIONS.
9. ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE OPERATED WITHIN 1000' OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AN MAINTAINED MUFFLERS.
10. ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE CONTROL).
11. STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS.
12. EROSION CONTROL DEVICES WILL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES, AND PLANS OF THESE CHANGES SUBMITTED FOR PLAN CHECK AS REQUIRED.
13. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER.
14. THE DESIGNED CIVIL ENGINEER WILL OBSERVE EROSION CONTROL WORK AND WILL INFORM THE CITY AND THE DEVELOPER IF THE WORK IS NOT IN ACCORDANCE WITH THE APPROVED PLANS.

ADDITIONAL NOTES

1. ALL WORK SHALL CONFORM TO APPLICABLE CITY OF SAN CLEMENTE STANDARDS
2. A PERMIT IS REQUIRED FROM THE CITY OF SAN CLEMENTE. FOR ANY ENCROACHMENT IN THE PUBLIC RIGHT-OF-WAY, PRIOR TO ISSUANCE OF GRADING PLAN.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS (CONSTRUCTION AND ENCROACHMENT PERMITS) FOR WORK IN THE RIGHT-OF-WAY AND A GRADING PERMIT.
4. ALL GRADING AND RIGHT-OF-WAY WORK SHALL BE SUBJECT TO INSPECTION BY THE CITY ENGINEERING DIVISION.
5. CONTRACTOR SHALL MEET WITH ENGINEERING INSPECTOR BEFORE ANY WORK COMMENCE.
6. MINIMUM ACCEPTANCE GRADIENT ON EARTH 2% AND 5% FROM EDGE OF BUILDING FOUNDATON.
7. ALL PERTINENT EXIST. ELEVATIONS TO BE FIELD VERIFIED WITH ANY DISCREPANCIES TO BE REPORTED TO THE DESIGN ENGINEER; PETER & ASSOCIATES.
8. CONTRACTOR TO VERIFY ALL STRUCTURE DIMENSIONS TO WITHIN SETBACKS.
9. DRAINAGE SHALL BE CONDUCTED TO A STREET, NATURAL WATERCOURSE, OR OTHER APPROVED LOCATION.
10. ALL SIDEWALKS SHALL CONFORM TO CITY OF SAN CLEMENTE STD. NO. ST-3.
11. ALL RESIDENTIAL DRIVEWAY APPROACHES SHALL CONFORM TO CITY OF SAN CLEMENTE STD. NO. ST-9.
12. OCPW STD. PLANS DATED 2013 AND ALL ADDENDUMS, SHALL BE USED, WHERE INDICATED.
13. CURRENT CITY SEWER & WATER STANDARDS SHALL BE USED FOR THIS PROJECT.
14. CURRENT CITY STANDARD PLANS SHALL BE USED.

SOIL ENGINEER REVIEW

SOILS AND GEOLOGIST CERTIFICATION

THIS GRADING PLAN HAS BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AS OUTLINED IN THE FOLLOWING GEOTECHNICAL REPORT FOR THIS PROJECT AND ALL ADDENDUM REPORTS.

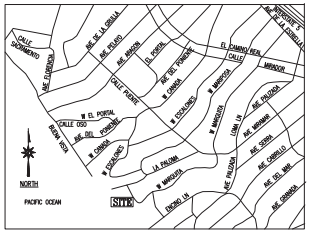
"Limited Geotechnical Evaluation for Provision of Preliminary Recommendations Regarding Recent Failure of Portions of Rear Bluff, 259 and 261 W. Marquita, San Clemente, CA 92672"

REGISTERED PROFESSIONAL ENGINEER — LAN N. PHAM — No. 686 — Exp. 3/31/17 — GEOTECHNICAL — STATE OF CALIFORNIA

DATED: October 12, 2015 ***JOB NUMBER:*** 15G15118

FIRM NAME: PETER AND ASSOCIATES, INC.

GEOTECHNICAL ENGINEER: LAN N. PHAM ***DATE:*** _____



VICINITY MAP
N.T.S.

ESTIMATED EARTH QUANTITIES

(CONTRACTOR OF RECORD TO VERIFY EARTH QUANTITIES)

	CUT		FILL
CUT:	15420 CY	FILL:	14240 CY
SHRINKAGE(10%):			1424 CY
IMPORT:	244 CY		1424 CY
TOTAL:	15,664 CY	TOTAL:	15,664 CY

OWNER STATEMENT:

I HAVE VERIFIED THE SUBJECT PROPERTY'S GRANT DEED AND TITLE REPORT AND HAVE FOUND EASEMENTS IN THE AREA OF CONSTRUCTION. I ACKNOWLEDGE THAT I AM RESPONSIBLE AND ACCOUNTABLE FOR NOT CONSTRUCTING IN ANY EASEMENTS.

_____ _____
OWNER DATE

PROJECT INFORMATION

PROJECT DESCRIPTION: ***PROPOSED BLUFF STABILATION AND LOWERING PAD AT 259 WEST MARQUITA.***

OWNER: ***MR. TIM RACICH***
259 WEST MARQUITA
SAN CLEMENTE, California 92072
(949) 874-2045(CELL)

CIVIL ENGINEER: ***PETER AND ASSOCIATES, INC.***
GEOTECHNICAL ENGINEER: ***1519 CALLE VALLE***
Land Surveyor: ***SAN CLEMENTE, CALIFORNIA 92672***
949-492-3735 OFFICE 949-492-1891 FAX
GEOTECHNICAL ENGINEER:
CONTACT PERSON: MR. LAN PHAM, RGE
EMAIL: LAN@PETERASSOC.COM
CIVIL ENGINEER:
CONTACT PERSON: MR. STEPHEN PETER, PE
EMAIL: STEVE@PETERASSOC.COM

TABLE OF CONTENTS

OFF SITE PROPERTY OWNERS:
A. APPROVAL FROM ADJACENT PROPERTY OWNERS WILL BE REQUIRED PRIOR TO INCEPTION OF GRADING.
B. CITY APPROVAL AND COASTAL COMMISSION APPROVAL REQUIRED PRIOR TO I INCEPTION OF GRADING.

CITY ID
ENG 18-____

PREPARED BY OR UNDER DIRECTION OF:

STEPHEN B. PETER DATE

REGISTERED PROFESSIONAL ENGINEER — STEPHEN B. PETER — No. 38623 — Exp. 3/31/17 — CIVIL — STATE OF CALIFORNIA

REVISION	BY	DESCRIPTION	APPROVED	DATE
1	SP	REVISED BLUFF SLOPE TO PRE-SLIDE BLUFF SLOPE		3/10/16

SCALE: N/A
ACAD FILE NO. 15E15195
PROJECT NO. 15E15195

DESIGNED: DRAWN: CHECKED: DATE

LEGAL DESCRIPTION: LOT 23, BLOCK 17 TRACT 793

BENCHMARK: OCSBM 3SS-2-82 ELEVATION = 95.558 NAVD 88/DATUM

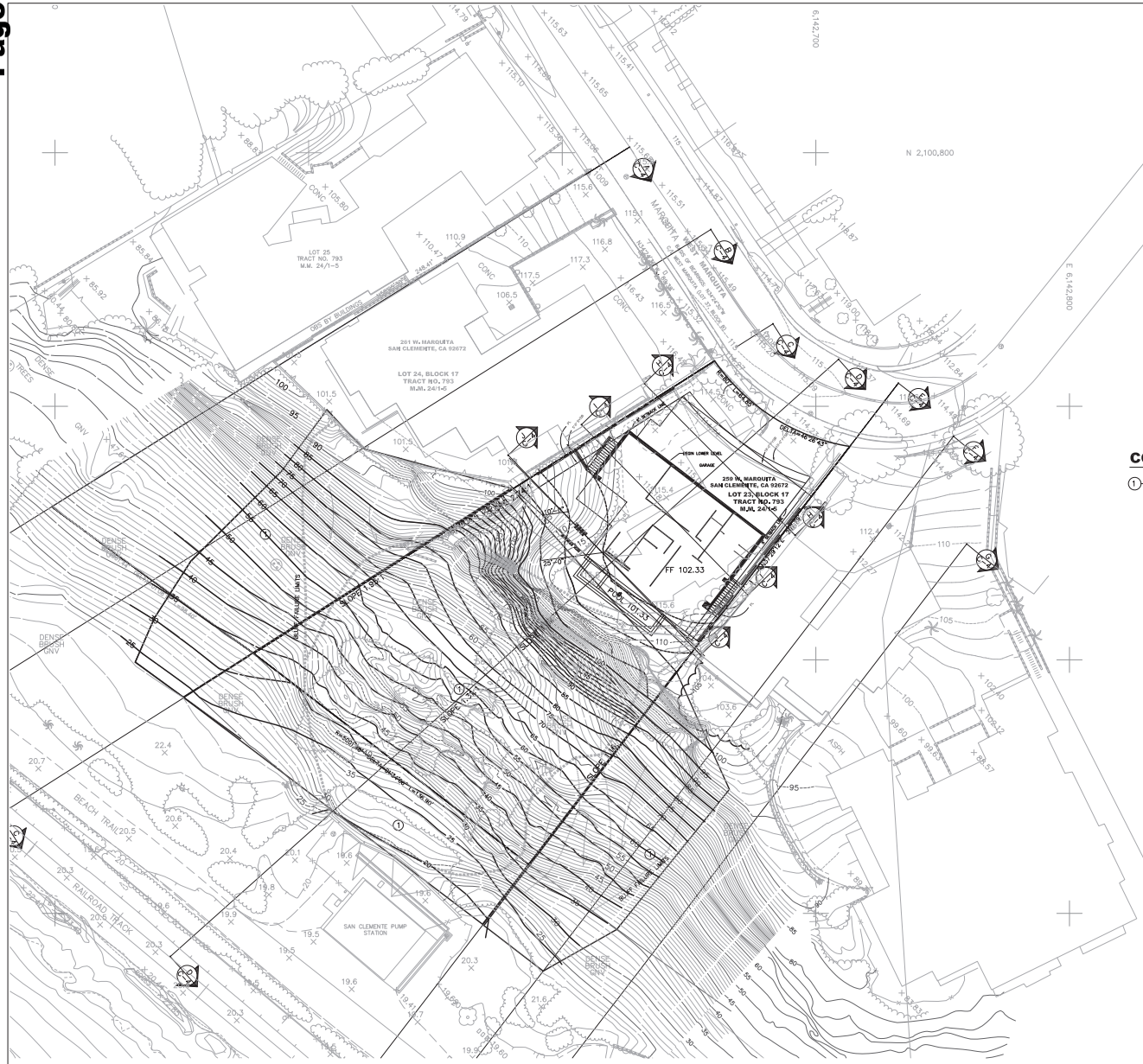
A.P. NUMBER: 692-095-07

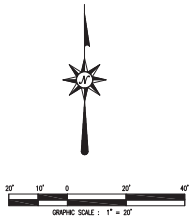
PLANS PREPARED BY:
PETER and ASSOCIATES ENGINEERS GEOLOGISTS & SURVEYORS, INC.
WWW.PETERASSOC.COM
1519 CALLE VALLE, SAN CLEMENTE, CA. 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

OPTION 1
259 WEST MARQUITA
SAN CLEMENTE, CA 92672
PREPARED FOR: TIM RACICH
SEA BLUFF HOA (261 WEST MARQUITA)

C-1

PLOT DATE: 10/09/2018





1018
2100710.46
6142949.21
80.31

CONSTRUCTION NOTES:

(1) RECONSTRUCT BLUFF PER OCPWD STANDARD PLAN 1322 AND PER SOIL ENGINEER OF RECORD RECOMMENDATIONS

BLUFF AREA PERCENTAGES:

	PERCENT:
261 WEST MARQUITA:	23.3%
259 WEST MARQUITA:	59.7%
257 WEST MARQUITA:	17%
	100%

CITY ID
ENG 18-____

PREPARED BY OR UNDER DIRECTION OF:

STEPHEN B. PETER DATE

REGISTERED PROFESSIONAL ENGINEER
STEPHEN B. PETER
No. 38623
Exp. 3/31/19
CIVIL
STATE OF CALIFORNIA

REVISION	BY	DESCRIPTION	APPROVED	DATE
1	SP	REVISED BLUFF SLOPE TO PRE-SLIDE BLUFF SLOPE		3/10/16

SCALE: N/A
ACAD FILE NO. 15E15195
PROJECT NO. 15E15195

DESIGNED: DRAWN: CHECKED:

DATE

LEGAL DESCRIPTION
LOT 23, BLOCK 17
TRACT 793

BENCHMARK
OCSBM 3SS-2-82
ELEVATION = 95.558
NAVD 88/DATUM

A.P. NUMBER:
692-095-07

PLANS PREPARED BY:
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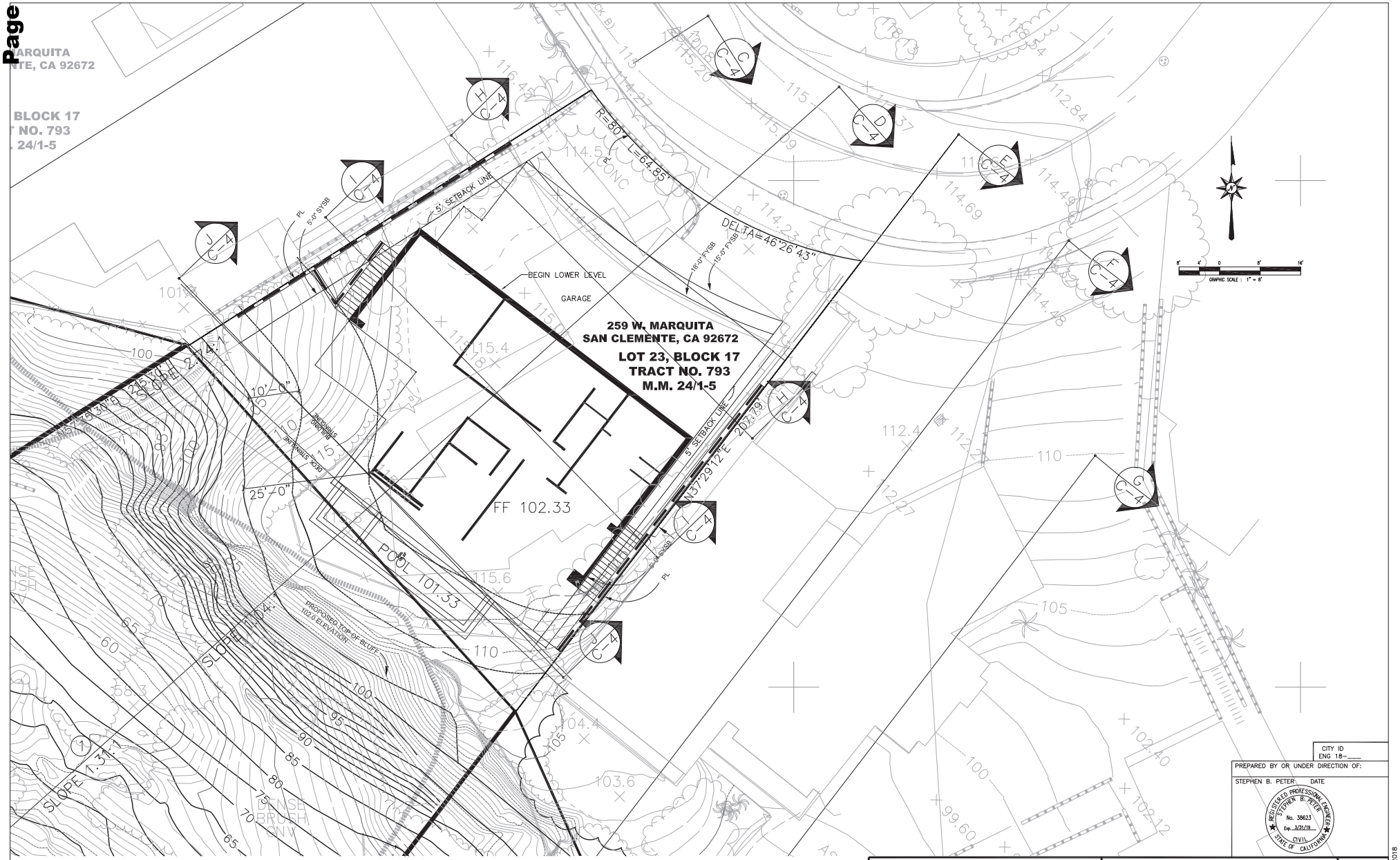
Tel: (949) 492-3735 Fax: (949) 492-1891

ROUGH GRADING PLAN 20 SCALE
259 WEST MARQUITA
SAN CLEMENTE, CA 92672
PREPARED FOR: TIM RACICH
SEA BLUFF HOA (261 WEST MARQUITA)

C-3A

PLOT DATE: 10/09/2018



REVISION	BY	DESCRIPTION	APPROVED	DATE
1	SP	REVISED BLUFF SLOPE TO PRE-SLIDE BLUFF SLOPE		3/10/16

SCALE: N/A
ACAD FILE NO. 15E15195
PROJECT NO. 15E15195
DESIGNED: DRAWN: CHECKED:
DATE

LEGAL DESCRIPTION
LOT 23, BLOCK 17
TRACT 793

BENCHMARK
OCSBM 3SS-2-82
ELEVATION = 95.558
NAVD 88/DATUM

A.P. NUMBER:
692-095-07

PLANS PREPARED BY:
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WWW.PETERASSOC.COM
1519 CALLE VALLE, SAN CLEMENTE, CA. 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

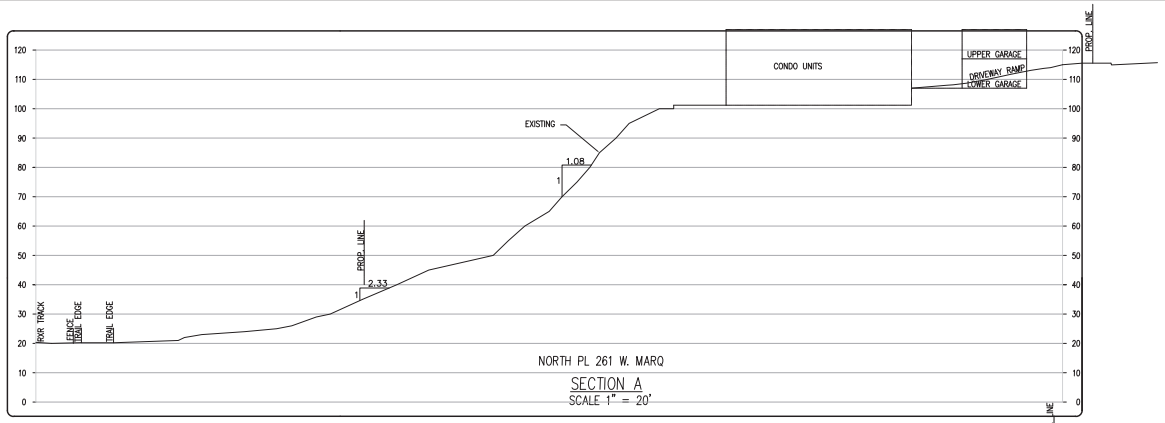
ROUGH GRADING PLAN 8 SCALE
259 WEST MARQUITA
SAN CLEMENTE, CA 92672
PREPARED FOR: TIM RACICH
SEA BLUFF HOA (261 WEST MARQUITA)

C-3B

CITY ID
ENG 18-___

PREPARED BY OR UNDER DIRECTION OF:
STEPHEN B. PETER DATE
REGISTERED PROFESSIONAL ENGINEER STEPHEN B. PETER No. 38623 Exp. 3/31/19 CIVIL STATE OF CALIFORNIA

PLOT DATE: 10/09/2018



NORTH PL 261 W. MARQ

SECTION A

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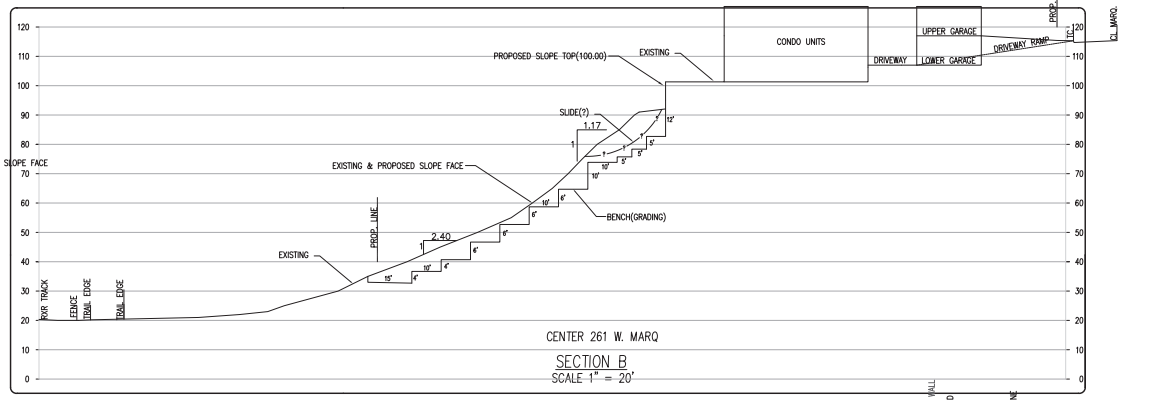

CENTER 261 W. MARQ

SECTION B

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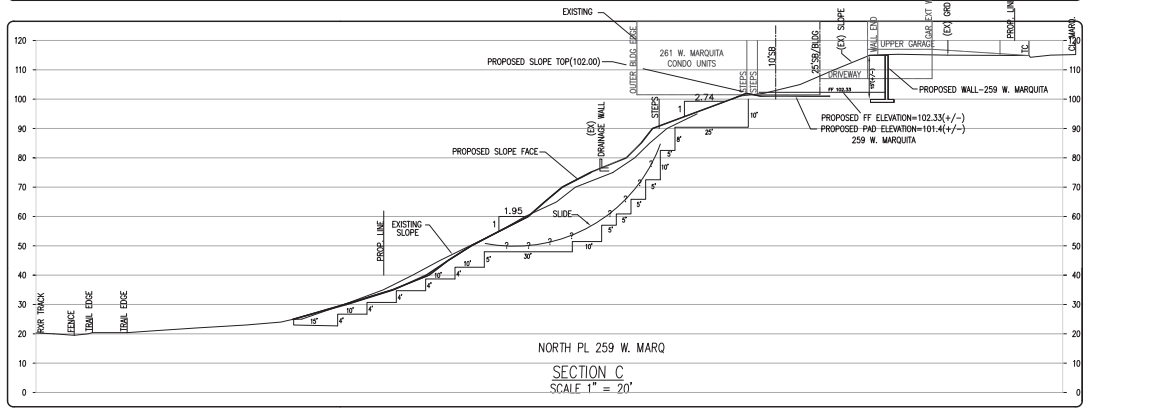


NORTH PL 259 W. MARQ

SECTION C

SCALE 1" = 20'

CITY ID
ENG 18-___

PREPARED BY OR UNDER DIRECTION OF:

STEPHEN B. PETER DATE

REGISTERED PROFESSIONAL ENGINEER
STEPHEN B. PETER
No. 38623
Exp. 3/31/19
CIVIL
STATE OF CALIFORNIA

REVISION	BY	DESCRIPTION	APPROVED	DATE
1	SP	REVISED BLUFF SLOPE TO PRE-SLIDE BLUFF SLOPE		3/10/16

SCALE: N/A

ACAD FILE NO. 15E15195

PROJECT NO. 15E15195

DESIGNED: | DRAWN: | CHECKED:

DATE

LEGAL DESCRIPTION
LOT 23, BLOCK 17
TRACT 793

BENCHMARK
OCSBM 3SS-2-82
ELEVATION = 95.558
NAVD 88/DATUM

A.P. NUMBER:
692-095-07

PETER and ASSOCIATES ENGINEERS GEOLOGISTS & SURVEYORS, INC.
WWW.PETERASSOC.COM
1519 CALLE VALLE, SAN CLEMENTE, CA 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

SECTIONS A,B,C

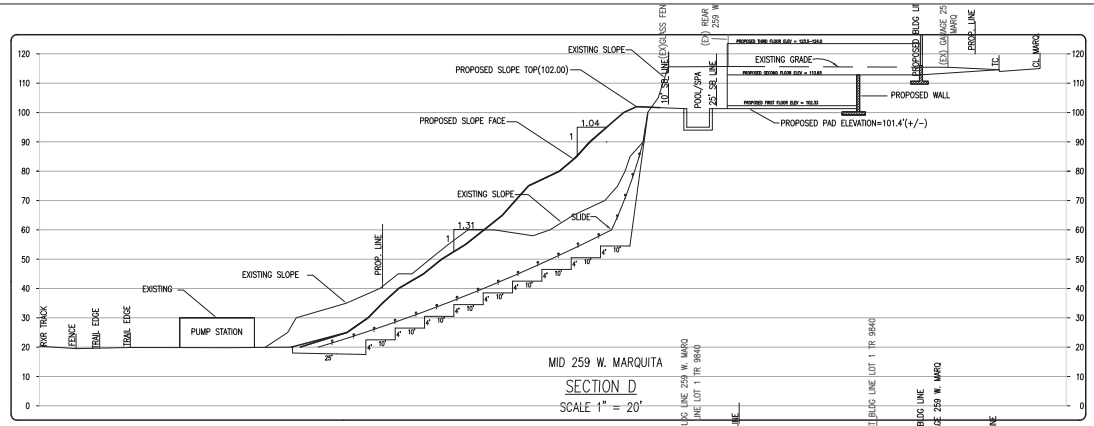
259 WEST MARQUITA

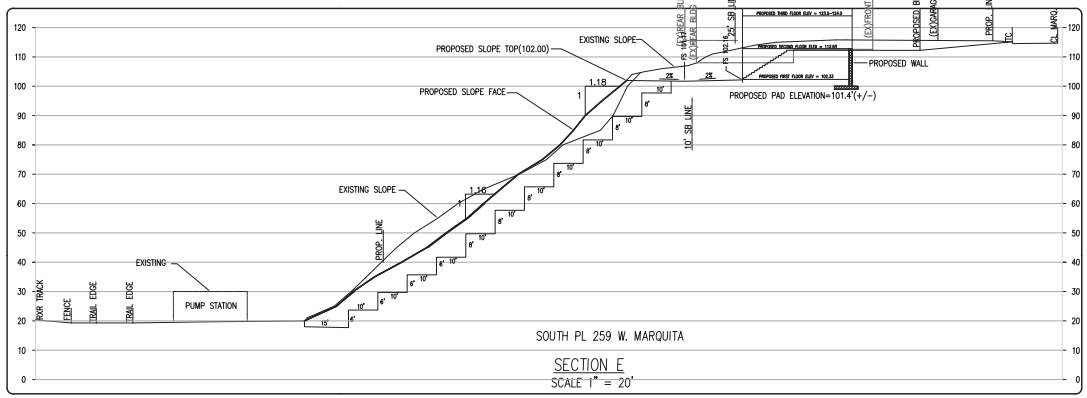
SAN CLEMENTE, CA 92672

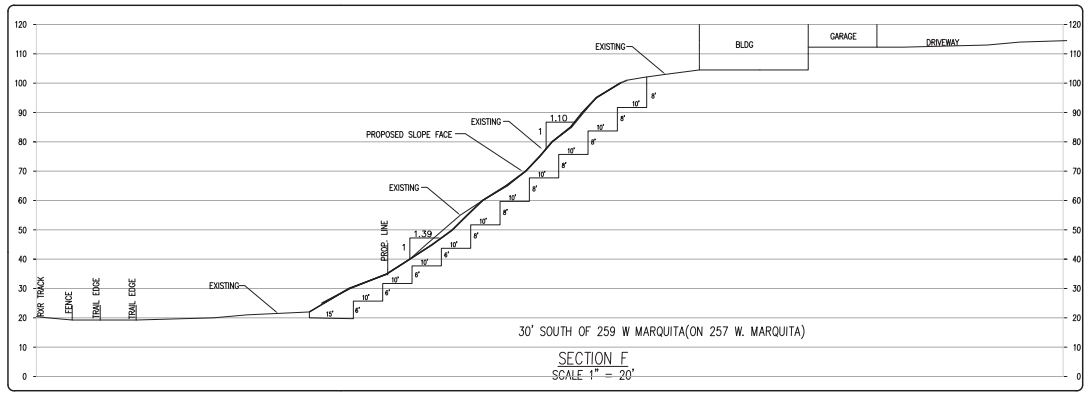
PREPARED FOR: TIM RACICH
SEA BLUFF HOA (261 WEST MARQUITA)

C-4

PLOT DATE: 10/09/2018







CITY ID
ENG 18-___

PREPARED BY OR UNDER DIRECTION OF:

STEPHEN B. PETER DATE

REGISTERED PROFESSIONAL ENGINEER STEPHEN B. PETER No. 38623 Exp. 3/31/18 CIVIL STATE OF CALIFORNIA

REVISION	BY	DESCRIPTION	APPROVED	DATE
1	SP	REVISED BLUFF SLOPE TO PRE-SLIDE BLUFF SLOPE		3/10/16

SCALE: N/A
ACAD FILE NO. 15E15195
PROJECT NO. 15E15195

DESIGNED: DRAWN: CHECKED:

DATE

LEGAL DESCRIPTION
LOT 23, BLOCK 17
TRACT 793

BENCHMARK
OCSBM 3SS-2-82
ELEVATION = 95.558
NAVD 88/DATUM

A.P. NUMBER:
692-095-07

PETER and ASSOCIATES ENGINEERS GEOLOGISTS & SURVEYORS, INC.
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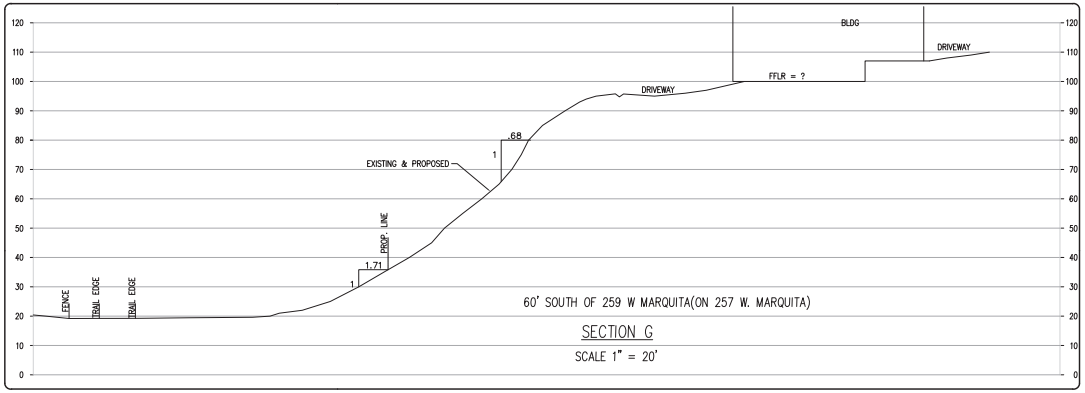
Tel: (949) 492-3735 Fax: (949) 492-1891

SECTIONS D,E,F
259 WEST MARQUITA
SAN CLEMENTE, CA 92672

PREPARED FOR: TIM RACICH
SEA BLUFF HOA (261 WEST MARQUITA)

C-5

PLOT DATE: 10/09/2018



SECTION G

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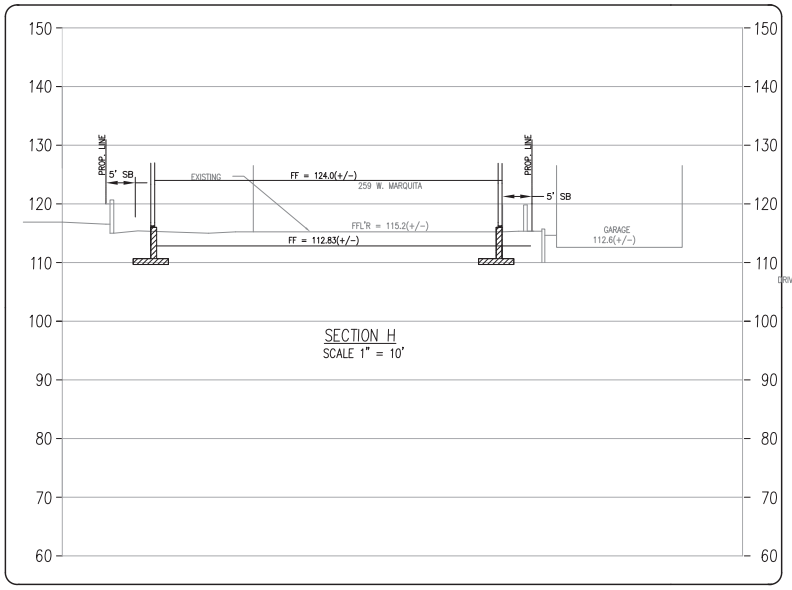

SECTION H

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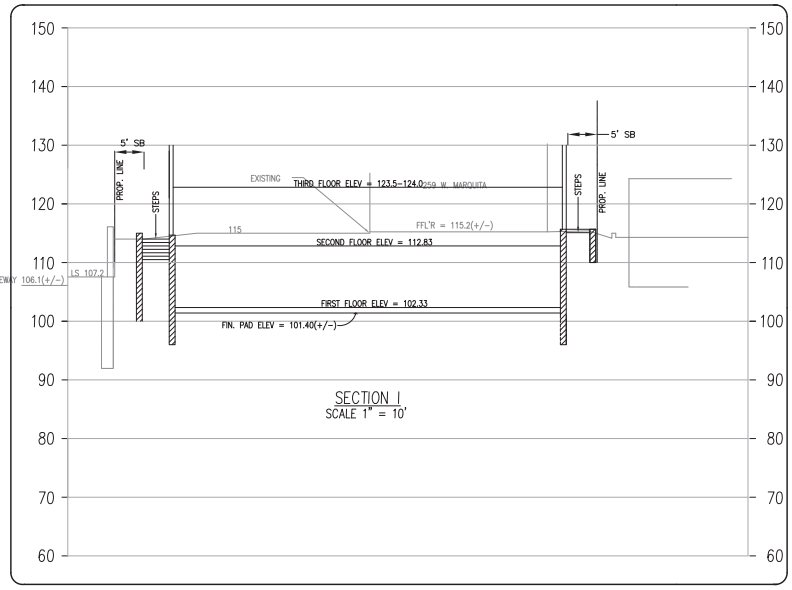

SECTION I

SCALE 1" = 10'

CITY ID
ENG 18-____

PREPARED BY OR UNDER DIRECTION OF:

STEPHEN B. PETER DATE

REGISTERED PROFESSIONAL ENGINEER STEPHEN B. PETER No. 38623 Exp. 3/31/18 CIVIL STATE OF CALIFORNIA

REVISION	BY	DESCRIPTION	APPROVED	DATE
1	SP	REVISED BLUFF SLOPE TO PRE-SLIDE BLUFF SLOPE		3/10/16

SCALE: N/A
ACAD FILE NO. 15E15195
PROJECT NO. 15E15195

DESIGNED: DRAWN: CHECKED:

DATE

LEGAL DESCRIPTION
LOT 23, BLOCK 17
TRACT 793

BENCHMARK
OCSBM 3SS-2-82
ELEVATION = 95.558
NAVD 88/DATUM

A.P. NUMBER:
692-095-07

PETER and ASSOCIATES ENGINEERS GEOLOGISTS & SURVEYORS, INC.
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1519 CALLE VALLE, SAN CLEMENTE, CA 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

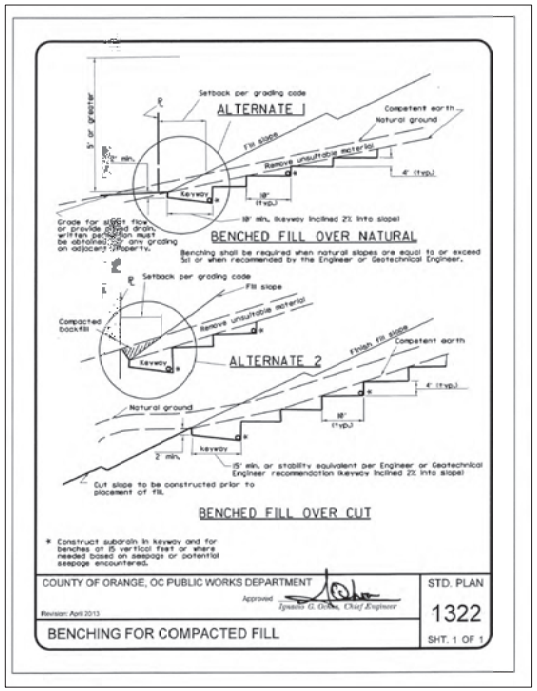
SECTIONS G,H,I

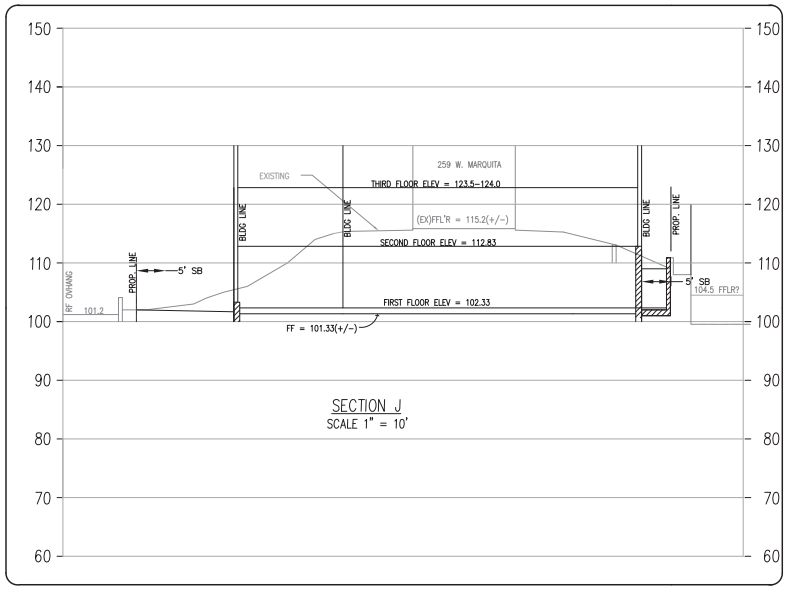
259 WEST MARQUITA
SAN CLEMENTE, CA 92672

PREPARED FOR: TIM RACICH
SEA BLUFF HOA (261 WEST MARQUITA)

C-6

PLOT DATE: 10/09/2018





CITY ID
ENG 18-___

PREPARED BY OR UNDER DIRECTION OF:

STEPHEN B. PETER DATE

REGISTERED PROFESSIONAL ENGINEER STEPHEN B. PETER No. 38623 Exp. 3/31/18 CIVIL STATE OF CALIFORNIA

REVISION	BY	DESCRIPTION	APPROVED	DATE
1	SP	REVISED BLUFF SLOPE TO PRE-SLIDE BLUFF SLOPE		3/10/16

SCALE: N/A
ACAD FILE NO. 15E15195
PROJECT NO. 15E15195

DESIGNED: DRAWN: CHECKED:
DATE

LEGAL DESCRIPTION
LOT 23, BLOCK 17
TRACT 793

BENCHMARK
OCSBM 3SS-2-82
ELEVATION = 95.558
NAVD 88/DATUM

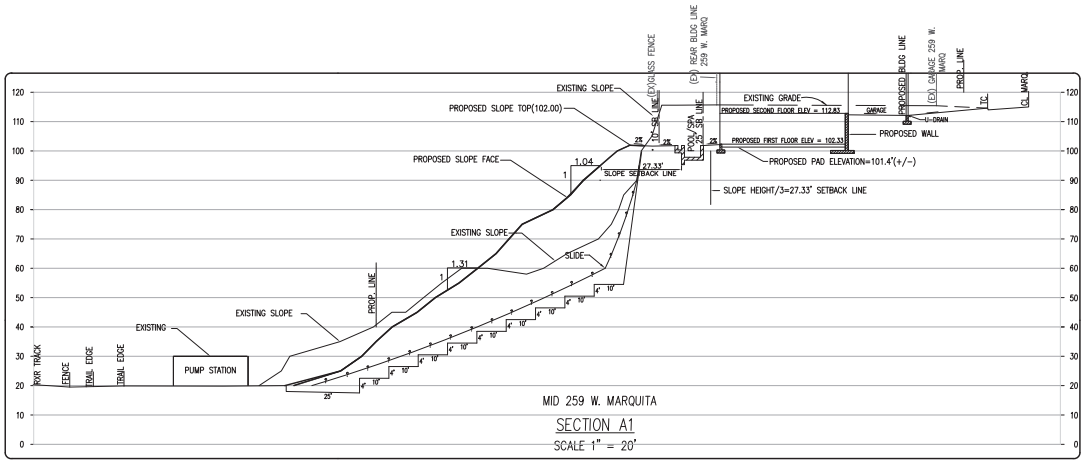
A.P. NUMBER:
692-095-07

PETER and ASSOCIATES ENGINEERS GEOLOGISTS & SURVEYORS, INC.
WWW.PETERASSOC.COM
1519 CALLE VALLE, SAN CLEMENTE, CA. 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

SECTION J & DETAIL 1322
259 WEST MARQUITA
SAN CLEMENTE, CA 92672
PREPARED FOR: TIM RACICH
SEA BLUFF HOA (261 WEST MARQUITA)

C-7

PLOT DATE: 10/09/2018



SECTION A1
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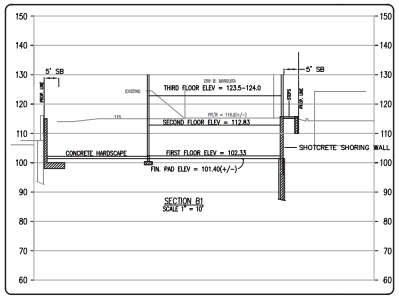


SECTION B1
SCALE 1" = 10'

CITY ID
ENG 18-___

PREPARED BY OR UNDER DIRECTION OF:

STEPHEN B. PETER DATE

REGISTERED PROFESSIONAL ENGINEER
STEPHEN B. PETER
No. 38623
Exp. 3/31/19
CIVIL
STATE OF CALIFORNIA

REVISION	BY	DESCRIPTION	APPROVED	DATE
1	SP	REVISED BLUFF SLOPE TO PRE-SLIDE BLUFF SLOPE		3/10/16

SCALE: N/A
ACAD FILE NO. 15E15195
PROJECT NO. 15E15195

DESIGNED: DRAWN: CHECKED:
DATE

LEGAL DESCRIPTION
LOT 23, BLOCK 17
TRACT 793

BENCHMARK
OCSBM 3SS-2-82
ELEVATION = 95.558
NAVD 88/DATUM

A.P. NUMBER:
692-095-07

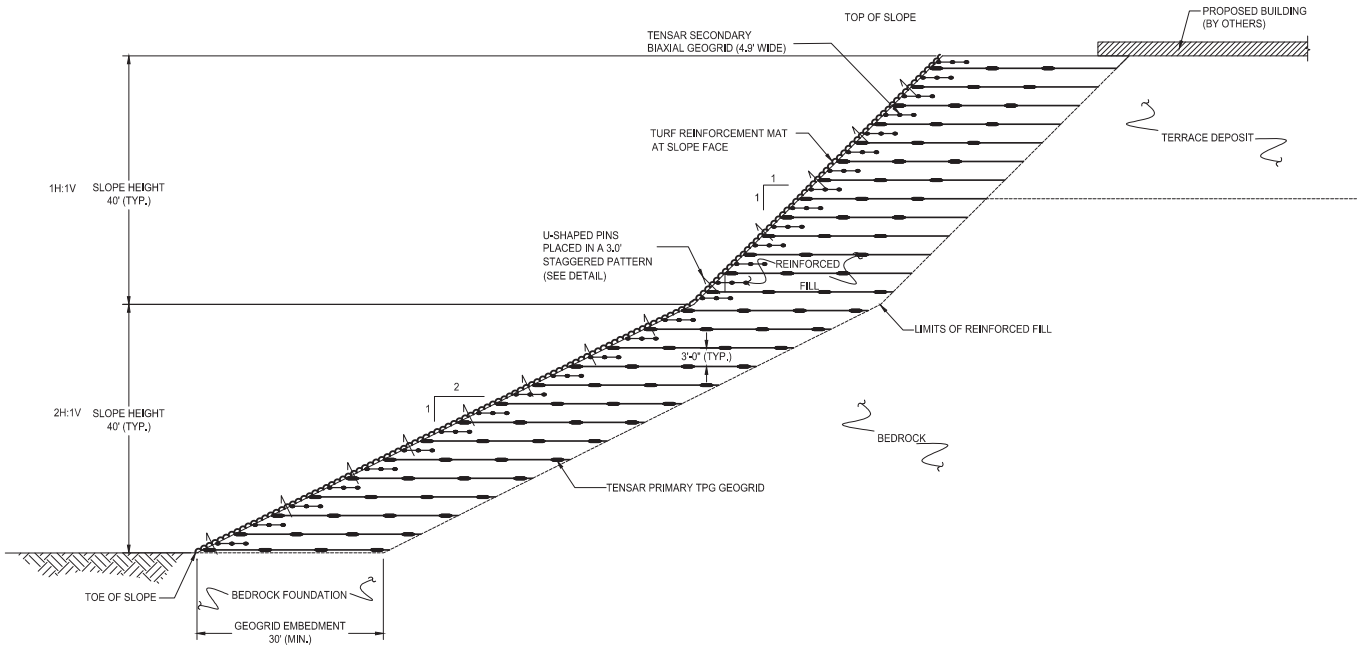
PETER and ASSOCIATES ENGINEERS GEOLOGISTS & SURVEYORS, INC.
WWW.PETERASSOC.COM
1519 CALLE VALLE, SAN CLEMENTE, CA. 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

SECTIONS A1 & B1
259 WEST MARQUITA
SAN CLEMENTE, CA 92672
PREPARED FOR: TIM RACICH
SEA BLUFF HOA (261 WEST MARQUITA)

C-12

PLOT DATE: 10/09/2018

Exhibit 7
Page 1 of 3



SIERRA SLOPE TYPICAL CROSS-SECTION
NOT TO SCALE

NOTES:

1. TOPSOIL SHALL BE LOAMY SAND OR FINER GRADATION WITH 10% - 15% ORGANIC CONTENT OR MATERIAL APPROVED BY A QUALIFIED LANDSCAPE ARCHITECT. VEGETATION TYPE SHALL BE SPECIFIED BY A QUALIFIED LANDSCAPE ARCHITECT. SEEDING SHALL TAKE PLACE PRIOR TO PLACEMENT OF TURF REINFORCEMENT MAT.
2. ALL SOIL PARAMETERS AND BUILDING LOAD WERE ASSUMED TO PERFORM THE PRELIMINARY DESIGN. ALL DESIGN PARAMETERS MUST BE VERIFIED PRIOR TO FINAL DESIGN.

THIS PRELIMINARY DRAWING, DESIGN NOTES AND ASSOCIATED CALCULATIONS HAVE BEEN PREPARED BY TENSAR INTERNATIONAL CORPORATION (A GEORGIA CORPORATION) FOR PRELIMINARY DESIGN PURPOSES ONLY AND SHALL NOT BE USED OR RELIED UPON FOR FINAL DESIGN OR CONSTRUCTION.

MARGUITA SLOPE REPAIR.DWG

SIERRA SLOPE RETENTION SYSTEM

REVISIONS

NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
0	06/20/16	ISSUED FOR REVIEW	JL				

CLIENT
PETER AND ASSOCIATES, INC.
1519 CALLE VALLE
SAN CLEMENTE, CA, 92672
(630) 832-0075

Tensar. Tensar International Corporation 2500 Northwinds Parkway | Suite 500 Alpharetta, Georgia 30009 | 770-344-2090

PROJECT NAME
MARGUITA SLOPE REPAIR

PROJECT LOCATION
SAN CLEMENTE CALIFORNIA

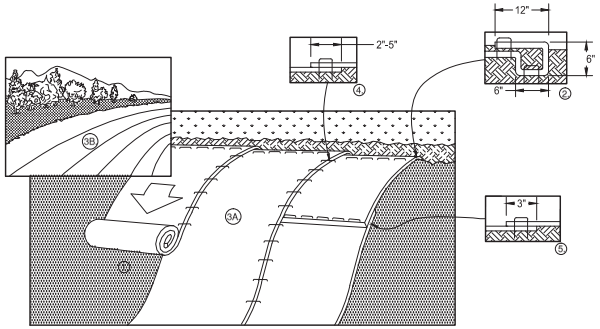
STATE OR FEDERAL AID PROJECT No.

SHEET TITLE
TYPICAL CROSS-SECTION

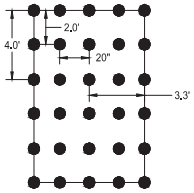
	NAME	DATE
DRAWN BY	UU	06/16/2016
DESIGNED BY	JL	06/16/2016
CHECKED BY	JL	06/20/2016

TIC PROJECT NO. TBD
SCALE AS SHOWN
SHEET 1 OF 3

Exhibit 7
Page 2 of 3

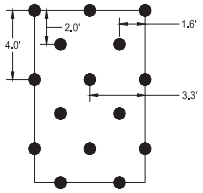


FOR 1H:1V SLOPES:



3.4 STAPLES PER SQ. YD.

FOR SLOPES FLATTER THAN 1H:1V:



1.7 STAPLES PER SQ. YD.

1. PREPARE SOIL BEFORE INSTALLING ROLLED EROSION CONTROL PRODUCTS (RECP'S), INCLUDING ANY NECESSARY APPLICATION OF LIME, FERTILIZER, AND SEED. NOTE: WHEN USING CELL-O-SEED DO NOT SEED PREPARED AREA. CELL-O-SEED MUST BE INSTALLED WITH PAPER SIDE DOWN.
2. BEGIN AT THE TOP OF THE SLOPE BY ANCHORING THE RECP'S IN A 6" (15 CM) DEEP X 6" (15 CM) WIDE TRENCH WITH APPROXIMATELY 12" (30CM) OF RECP'S EXTENDED BEYOND THE UP-SLOPE PORTION OF THE TRENCH. ANCHOR THE RECP'S WITH A ROW OF STAPLES/STAKES APPROXIMATELY 12" (30 CM) APART IN THE BOTTOM OF THE TRENCH. BACKFILL AND COMPACT THE TRENCH AFTER STAPLING. APPLY SEED TO COMPACTED SOIL AND FOLD REMAINING 12" (30 CM) PORTION OF RECP'S BACK OVER SEED AND COMPACTED SOIL. SECURE RECP'S OVER COMPACTED SOIL WITH A ROW OF STAPLES/STAKES SPACED APPROXIMATELY 12" (30 CM) APART ACROSS THE WIDTH OF THE RECP'S.
3. ROLL THE RECP'S (A.) DOWN OR (B.) HORIZONTALLY ACROSS THE SLOPE. RECP'S WILL UNROLL WITH APPROPRIATE SIDE AGAINST THE SOIL SURFACE. ALL RECP'S MUST BE SECURELY FASTENED TO SOIL SURFACE BY PLACING STAPLES/STAKES IN APPROPRIATE LOCATIONS AS SHOWN IN THE STAPLE PATTERN GUIDE. WHEN USING THE DOT SYSTEM™, STAPLES/STAKES SHOULD BE PLACED THROUGH EACH OF THE COLORED DOTS CORRESPONDING TO THE APPROPRIATE STAPLE PATTERN.
4. THE EDGES OF PARALLEL RECP'S MUST BE STAPLED WITH APPROXIMATELY 2" - 5" (5 CM - 12.5 CM) OVERLAP DEPENDING ON RECP'S TYPE.
5. CONSECUTIVE RECP'S SPLICED DOWN THE SLOPE MUST BE PLACED END OVER END (SHINGLE STYLE) WITH AN APPROXIMATE 3" (7.5 CM) OVERLAP. STAPLE THROUGH OVERLAPPED AREA, APPROXIMATELY 12" (30 CM) APART ACROSS ENTIRE RECP'S WIDTH.

NOTE: *IN LOOSE SOIL CONDITIONS, THE USE OF STAPLE OR STAKE LENGTHS GREATER THAN 6" (15 CM) MAY BE NECESSARY TO PROPERLY SECURE THE RECP'S.

TURF REINFORCEMENT INSTALLATION

NOT TO SCALE

THIS PRELIMINARY DRAWING, DESIGN NOTES AND ASSOCIATED CALCULATIONS HAVE BEEN PREPARED BY TENSAR INTERNATIONAL CORPORATION (A GEORGIA CORPORATION) FOR PRELIMINARY DESIGN PURPOSES ONLY AND SHALL NOT BE USED OR RELIED UPON FOR FINAL DESIGN OR CONSTRUCTION.

MARGUITA SLOPE REPAIR.DWG

SIERRA® SLOPE RETENTION SYSTEM

REVISIONS

NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
0	06/20/2016	ISSUED FOR REVIEW	JL				

CLIENT
PETER AND ASSOCIATES, INC.
1519 CALLE VALLE
SAN CLEMENTE, CA, 92672
(630) 832-0075

Tensar. Tensar International Corporation 2500 Northwinds Parkway | Suite 500 Alpharetta, Georgia 30009 | 770-344-2090

PROJECT NAME
MARGUITA SLOPE REPAIR

PROJECT LOCATION
SAN CLEMENTE CALIFORNIA

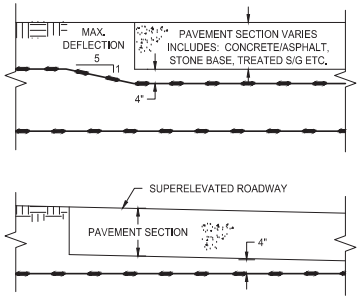
STATE OR FEDERAL AID PROJECT No.

SHEET TITLE
TURF REINFORCEMENT DETAIL

	NAME	DATE
DRAWN BY	UU	06/16/2016
DESIGNED BY	JL	06/16/2016
CHECKED BY	JL	06/20/2016

TIC PROJECT NO. TBD
SCALE AS SHOWN
SHEET 2 OF 3

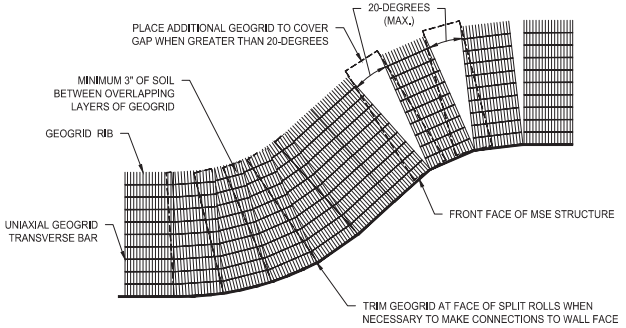
Exhibit 7
Page 3 of 3



NOTE:

CONTRACTOR TO COORDINATE THE REQUIRED PAVEMENT SECTION(S) WITH THE TOP GEOGRID(S) ELEVATION. GEOGRID MUST BE PLACED IN THE REINFORCED ZONE SUCH THAT A MINIMUM OF 4" OF COVER IS PROVIDED BETWEEN THE TOP OF SUBGRADE AND THE GEOGRID.

PLACEMENT AT PAVEMENT SECTION-CROSS SECTION
NOT TO SCALE



GEOGRID PLACEMENT ON CURVES DETAIL-PLAN VIEW
NOT TO SCALE

THIS PRELIMINARY DRAWING, DESIGN NOTES AND ASSOCIATED CALCULATIONS HAVE BEEN PREPARED BY TENSAR INTERNATIONAL CORPORATION (A GEORGIA CORPORATION) FOR PRELIMINARY DESIGN PURPOSES ONLY AND SHALL NOT BE USED OR RELIED UPON FOR FINAL DESIGN OR CONSTRUCTION.

MARGUITA SLOPE REPAIR.DWG

SIERRA SLOPE RETENTION SYSTEM

REVISIONS

NO.	DATE	DESCRIPTION	BY	NO.	DATE	DESCRIPTION	BY
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Alpharetta, Georgia 30009 | 770-344-2090

PROJECT NAME
MARGUITA SLOPE REPAIR

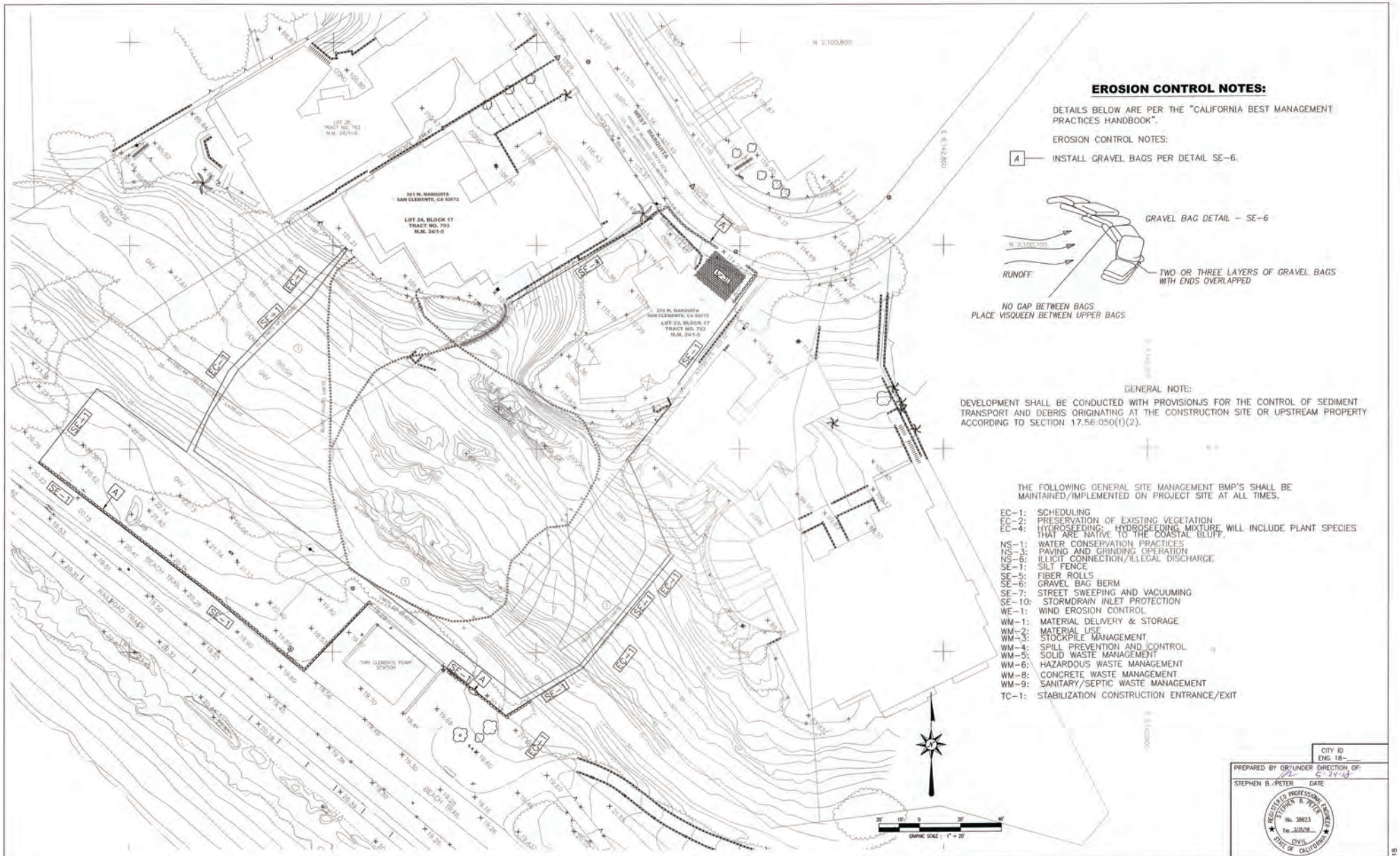
PROJECT LOCATION
SAN CLEMENTE CALIFORNIA

STATE OR FEDERAL AID PROJECT No.

SHEET TITLE
GEOGRID PLACEMENT DETAIL

	NAME	DATE
DRAWN BY	UU	06/16/2016
DESIGNED BY	JL	06/16/2016
CHECKED BY	JL	06/20/2016

TIC PROJECT NO. TBD
SCALE AS SHOWN
SHEET 3 OF 3



EROSION CONTROL NOTES:

DETAILS BELOW ARE PER THE "CALIFORNIA BEST MANAGEMENT PRACTICES HANDBOOK".

EROSION CONTROL NOTES:

[A] — INSTALL GRAVEL BAGS PER DETAIL SE-6.

GRAVEL BAG DETAIL – SE-6

TWO OR THREE LAYERS OF GRAVEL BAGS WITH ENDS OVERLAPPED

NO GAP BETWEEN BAGS
PLACE VISQUEEN BETWEEN UPPER BAGS

GENERAL NOTE:

DEVELOPMENT SHALL BE CONDUCTED WITH PROVISIONJS FOR THE CONTROL OF SEDIMENT TRANSPORT AND DEBRIS ORIGINATING AT THE CONSTRUCTION SITE OR UPSTREAM PROPERTY ACCORDING TO SECTION 17.56.050(1)(2).

THE FOLLOWING GENERAL SITE MANAGEMENT BMP'S SHALL BE MAINTAINED/IMPLEMENTED ON PROJECT SITE AT ALL TIMES.

EC-1: SCHEDULING
EC-2: PRESERVATION OF EXISTING VEGETATION
EC-4: HYDROSEEDING: HYDROSEEDING MIXTURE WILL INCLUDE PLANT SPECIES THAT ARE NATIVE TO THE COASTAL BLUFF.
NS-1: WATER CONSERVATION PRACTICES
NS-3: PAVING AND GRINDING OPERATION
NS-6: ILLICIT CONNECTION/ILLEGAL DISCHARGE
SE-1: SILT FENCE
SE-5: FIBER ROLLS
SE-6: GRAVEL BAG BERM
SE-7: STREET SWEEPING AND VACUUMING
SE-10: STORMDRAIN INLET PROTECTION
WE-1: WIND EROSION CONTROL
WM-1: MATERIAL DELIVERY & STORAGE
WM-2: MATERIAL USE
WM-3: STOCKPILE MANAGEMENT
WM-4: SPILL PREVENTION AND CONTROL
WM-5: SOLID WASTE MANAGEMENT
WM-6: HAZARDOUS WASTE MANAGEMENT
WM-8: CONCRETE WASTE MANAGEMENT
WM-9: SANITARY/SEPTIC WASTE MANAGEMENT
TC-1: STABILIZATION CONSTRUCTION ENTRANCE/EXIT

CITY ID
ENG 18-___

PREPARED BY OR UNDER DIRECTION OF:
STEPHEN B. PETER — DATE 5-24-18

REGISTERED PROFESSIONAL ENGINEER — STEPHEN B. PETER — No. 38623 — Exp. 3/31/18 — CIVIL — STATE OF CALIFORNIA

REVISION	BY	DESCRIPTION	APPROVED	DATE
1	SP	REVISED BLUFF SLOPE TO PRE-SLIDE BLUFF SLOPE		3/10/18

SCALE: N/A
ACAD FILE NO. 15E15195
PROJECT NO. 15E15195

DESIGNED: | DRAWN: | CHECKED:

DATE

LEGAL DESCRIPTION: LOT 23, BLOCK 17 TRACT 793

BENCHMARK: OCSBM 3SS-2-82 ELEVATION = 95.558 NAVD 88/DATUM

A.P. NUMBER: 692-095-07

PETER and ASSOCIATES ENGINEERS GEOLOGISTS & SURVEYORS, INC.
WWW.PETERASSOC.COM
1519 CALLE VALLE, SAN CLEMENTE, CA 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

EROSION CONTROL & BMP

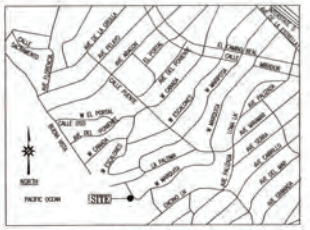
259 WEST MARQUITA
SAN CLEMENTE, CA 92672

PREPARED FOR: TIM RACICH
SEA BLUFF HOA (261 WEST MARQUITA)

C-8

PLOT DATE: 05/24/2018

CONSTRUCTION STAGING PLAN



VICINITY MAP
N.T.S.

PROJECT INFORMATION

CONSTRUCTION STAGING PLAN

OWNER: *MR. TIM RACICH*
259 WEST MARQUITA
SAN CLEMENTE, California 92672

CIVIL ENGINEER:
GEOTECHNICAL ENGINEER:
Land Surveyor:

PETER AND ASSOCIATES, INC.
1519 CALLE VALLE
SAN CLEMENTE, CALIFORNIA 92672
949-492-3735 OFFICE 949-492-1891 FAX
GEOTECHNICAL ENGINEER:
CONTACT PERSON: MR. LAN PHAM, RGE
EMAIL: LAN@PETERASSOC.COM
CIVIL ENGINEER:
CONTACT PERSON: MR. STEPHEN PETER, PE
EMAIL: STEVE@PETERASSOC.COM

CITY ID:
ENG 18-____

PREPARED BY OR UNDER DIRECTION OF:
STEPHEN B. PETER DATE 5-24-18

REGISTERED PROFESSIONAL ENGINEER STEPHEN B. PETER No. 38623 Exp. 3/31/19 CIVIL STATE OF CALIFORNIA

REVISION	BY	DESCRIPTION/DESCRIPTION	APPROVED	DATE

SCALE: N/A
ACAD. FILE NO. 15E15195
PROJECT NO. 15E15195

DESIGNED: DRAWN: CHECKED:
DATE

LEGAL DESCRIPTION: LOT 23, BLOCK 17 TRACT 793

BENCHMARK: OCSBM 3SS-2-82 ELEVATION = 95.558 NAVD 88/DATUM

A.P. NUMBER: 692-095-07

PLANS PREPARED BY:
PETER and ASSOCIATES ENGINEERS GEOLOGISTS & SURVEYORS, INC.
WWW.PETERASSOC.COM
1519 CALLE VALLE, SAN CLEMENTE, CA. 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

CONSTRUCTION STAGING PLAN
259 WEST MARQUITA
SAN CLEMENTE, CA 92672
PREPARED FOR: TIM RACICH
SEA BLUFF HOA (261 WEST MARQUITA)

C-10
STAGING

PLOT DATE: 05/24/2018

259 WEST MARQUITA NATIVE LANDSCAPE PLAN AND SPECIFICATIONS

This Native Landscape Plan and Specifications (Specifications) for the slope repair project at 259 West Marquita, City of San Clemente (City), California (Figure 1) provides guidelines for the installation and maintenance of native landscaping following completion of construction activities. The purpose of this revegetation effort is to provide self-sustaining, native vegetation within the slope repair portion of the project area that would be disturbed during project activities. This revegetation effort will potentially provide habitat (coastal bluff scrub) for native wildlife species. In addition, the construction staging area will be revegetated following construction activities.

These Specifications are designed to be a user-friendly document for use by all parties (the land owner, the monitor, and the Maintenance Contractor) associated with the revegetation effort. Additional technical documents (e.g., irrigation specifications) are not included at this planning stage but may be required in the future.

MONITORING AND MAINTENANCE

Restoration Monitor

The Restoration Monitor is the land owner's representative in the field and shall be responsible for monitoring the installation, establishment, and maintenance according to these Specifications. The duties of the Restoration Monitor shall include performing periodic assessments of the revegetation effort to identify any portions that need to be maintained, identify plant species that should be preserved or removed, and propose remedial measures if the revegetation effort is unsuccessful. The Restoration Monitor shall assess the revegetation area regularly during the revegetation effort to ensure that the establishment of desirable species is being promoted and that undesirable species are being removed. The Restoration Monitor shall assess the health of the plant community and degree of invasion by undesirable species. The Restoration Monitor shall prepare a brief field memorandum for each inspection that will be provided to the Maintenance Contractor and the land owner. The field memorandums will include observations relating to the health of the native plant material and degree of invasion by nonnative species, as well as recommended actions to be taken by the Maintenance Contractor to ensure the establishment of the installed vegetation.

Maintenance Contractor

The Maintenance Contractor responsible for the installation and maintenance of the revegetation effort shall be familiar with all aspects of the project, including equipment and materials being utilized. The Maintenance Contractor shall be familiar with the nonnative species that occur in the vicinity of the revegetation area, including, but not limited to, the list provided in Table A. The Maintenance Contractor shall also be familiar with all of the native species to be installed within the revegetation area (Tables B and C below). Following installation, the revegetation shall be maintained

LSA

LEGEND

Approximate Native Landscaping Limits (~0.61 ac)

Approximate City-directed Landscaping Limits (~0.19 ac)

Construction Fence

0 20 40
FEET

SOURCE: Bing Maps (c. 2014); Peter and Associates (7/7/2015)

I:\DVC1601\GIS\Project location.mxd (7/11/2015)

FIGURE 1

259 West Marguita
Native Landscape Plan and Specifications
Project Location

Table A: Nonnative Species

Scientific Name	Common Name
Acacia sp.	acacia
Bassia hyssopifolia	five-hook bassia
Carpobrotus edulis	Hottentot-fig
Crassula ovata	jade plant
Cynodon dactylon	Bermuda grass
Drosanthemum floribundum	flowery ice plant
Hedera helix	English ivy
Myoporum laetum	myoporum

Table B: Slope Repair Container Plant List

Scientific Name	Common Name	Plants/Acre
Artemisia californica	coastal sagebrush	75
Atriplex lentiformis	Brewer's saltbush	100
Eriogonum fasciculatum	California buckwheat	75
Lycium californicum	California boxthorn	40
Opuntia littoralis	coastal prickly pear	300
Opuntia prolifera	coastal cholla	300
Peritoma arborea	bladderpod	25
Rhus integrifolia	lemonade berry	100

Table C: Slope Repair Seed List

Scientific Name	Common Name	Pounds/Acre
Acmispon glaber	coastal deerweed	3.0
Ambrosia acanthicarpa	sand-bur	3.0
Artemisia californica	coastal sagebrush	1.0
Atriplex canescens	fourwing saltbush	10.0
Atriplex lentiformis ssp. *breweri*	Brewer's salt bush	8.0
Baccharis pilularis	coyote bush	1.0
Camissoniopsis cheiranthifolia	beach evening primrose	0.5
Cryptantha intermedia	common cryptantha	3.0
Distichlis spicata	saltgrass	2.0
Elymus condensatus	giant wild-rye	2.0
Encelia californica	California encelia	6.0
Eriogonum fasciculatum	California buckwheat	15.0
Eriogonum parvifolium	bluff buckwheat	4.0
Frankenia salina	alkali heath	0.5
Isocoma menziesii	coastal goldenbush	4.0
Lasthenia californica	coastal goldfields	1.0
Lupinus bicolor	miniature lupine	5.0
Melica imperfecta	small-flowered melic grass	2.0
Mimulus aurantiacus var. *puniceus*	red bush monkeyflower	2.0
Plantago erecta	California plantain	4.0
Rhus integrifolia	lemonade berry	20.0
Sisyrinchium bellum	blue-eyed grass	1.0
Stipa lepida	foothill needlegrass	3.0
Stipa pulchra	purple needlegrass	6.0

regularly in accordance with these Specifications. Normal maintenance will include weeding, herbivore control (e.g., protective caging), trash cleanup, and watering as necessary. The site shall be maintained for nonnative species on a monthly basis for 2 years following installation to ensure the establishment of the installed vegetation. With the exception of those species that cannot be eradicated through manual removal, undesirable species present shall be removed manually. Herbicide usage shall be subject to approval by the Restoration Monitor.

SITE PREPARATION

Erosion Control

Erosion control measures shall be supplied, installed, and maintained as necessary to comply with applicable permit conditions and regulations. In the case of heavy rainfall conditions, nonvegetative erosion control measures (e.g., sandbags, rice straw wattles, or silt fence) may need to be installed. The Maintenance Contractor shall be responsible for all post-grading erosion control for the entire term of the contract. Erosion control shall include, but is not limited to: (1) continuation of nonvegetative erosion control, as necessary; and (2) repair of damaged plants, rutting, and washouts.

Irrigation

An irrigation system to be designed and built by the Maintenance Contractor will be installed to facilitate the establishment of the installed plant material. The Maintenance Contractor will be responsible for removal of the irrigation system once the installed plant material has become established.

INSTALLATION MATERIALS

The species to be installed within the slope repair portion of the project area were selected based on the native species found in the project vicinity and those species known to be components of healthy, native coastal bluff communities. The genetic source of all container plants and seed to be installed in this area will be within 20 miles of the project site. All species substitution decisions or alternative genetic sources shall be approved by the Restoration Monitor.

The construction staging area is currently vegetated with a mixed native and nonnative (ornamental) plant palette that was installed adjacent to the existing beach trail. This area was used as a construction staging area during the construction of the beach trail and was not restored to native habitat following completion of construction activities. This area will not be revegetated with a native plant palette following construction activities unless otherwise directed by the City. This area will be revegetated with a City of San Clemente-directed plant palette to be provided at a later date.

All container plants installed within the slope repair portion of the project area shall be installed within 3 days following acceptable delivery. All container plants shall be watered-in at the time of installation. The list of species and quantities per acre to be installed are presented in Table B. The container size for all plants is 1 gallon; however, cactus species may be installed as pads, if available.

The slope repair revegetation area will be hand-seeded or hydroseeded. The list of species to be seeded and the required pounds per acre of each species are presented in Table C. The amount of seed required is based on the pure live seed, percent purity, and percent germination data available at the time these Specifications were written. Prior to procurement of the seed, the Restoration Monitor shall obtain updated pure live seed, percent purity, and percent germination data from the seed supplier, and shall make any needed adjustments based on availability and cost considerations. Any adjustments shall be documented and reported to the appropriate agencies within an as-built report or other similar document.

Hand-Seeding/Broadcast Seeding

If hand-seeded, the specified seed mix will be mixed with bran at a 2:1 ratio by volume and will be broadcast over the specified area. After hand-seeding/broadcasting, the seed is to be lightly raked into the soil (but not buried) with a flexible landscape rake or equivalent.

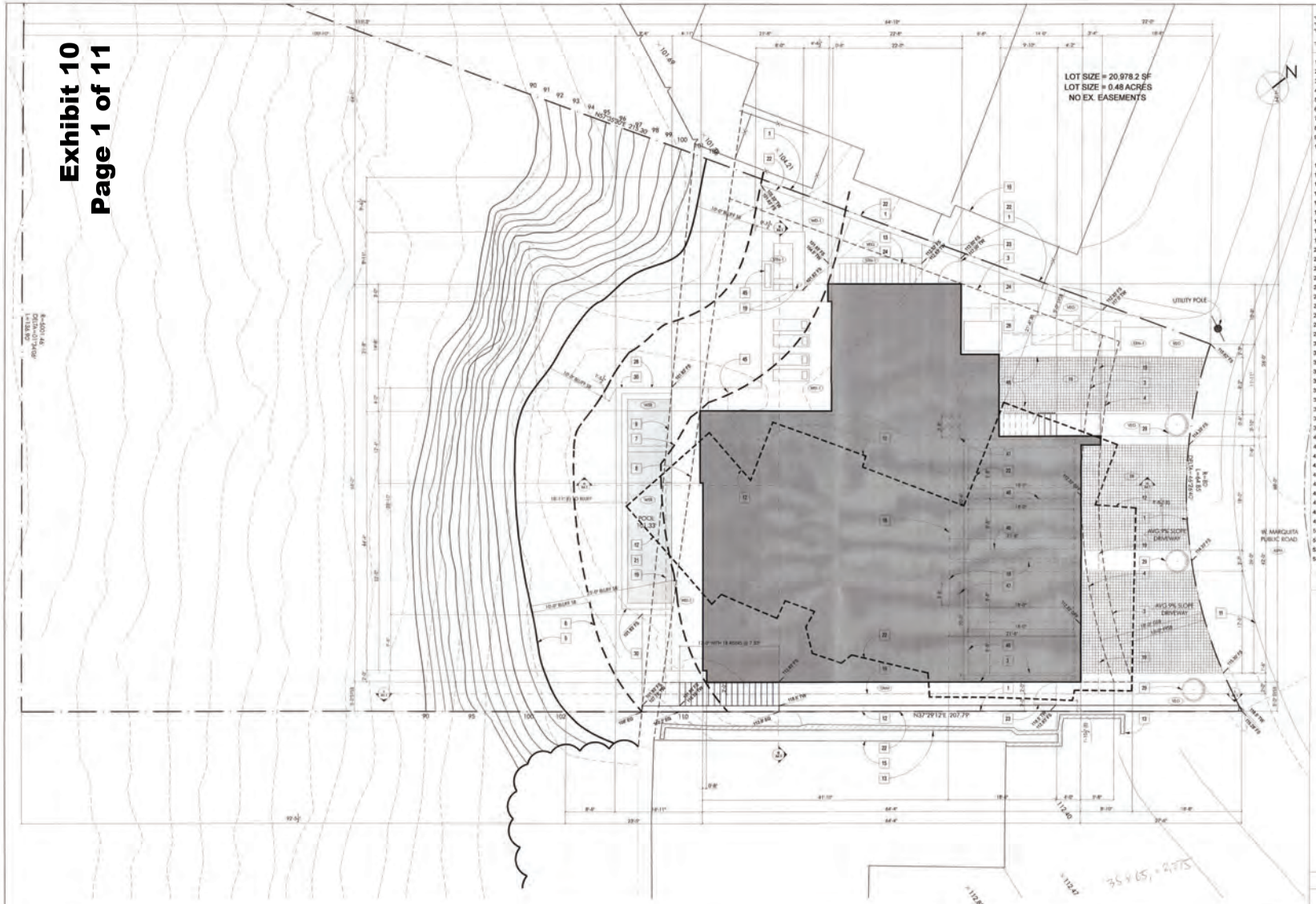
Hydroseeding

If hydroseeded, a two-stage hydroseed application method shall be employed. Preventive measures must be taken to avoid damage to container plants or adjacent native vegetation (i.e., spraying and covering plants with mulch, breaking stems, or branches with hoses). The application procedure is as follows:

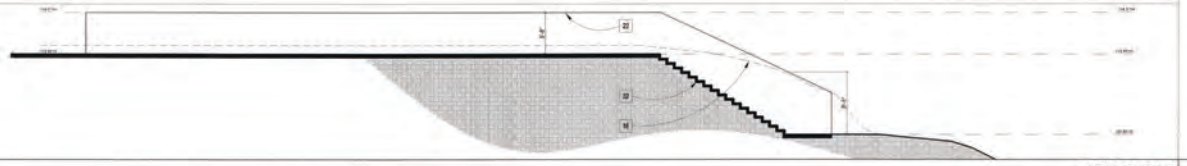
- **First Application**
  - 150 pounds per acre (lbs/ac) of 100 percent long-strand wood fiber (no tackifier)
  - Specified seed
- **Second Application**
  - 2,000 lbs/ac of 100 percent long-strand wood fiber (no tackifier)
  - 150 lbs/ac Ecology Control "M" binder

All hydroseed mixing shall be performed in a clean tank and shall take place at the project site. All hoses shall also be clean. The Maintenance Contractor shall spray designated areas with the slurry in a sweeping motion and in an arched stream until a uniform coat is achieved, with no slumping or shadowing, as the material is spread at the required rate. The tanks must be emptied completely during each stage of hydroseeding. Any slurry mixture that has not been applied by the Maintenance Contractor within 1 hour after mixing shall be rejected and replaced at the Maintenance Contractor's expense.

Exhibit 10
Page 1 of 11



SITE PLAN



SITE SECTION 1

"REVIEW" = COLOR AND FINISH SELECTED BY ARCHITECT
"SAMPLE" = SUBMIT SAMPLE TO ARCHITECT PRIOR TO ORDERING OR FABRICATION
"CAB, FAB, I" = DETAIL DESIGN AND CONSTRUCTION BY CABINET FABRICATOR, CONCEPT DESIGN BY INTERIOR DESIGNER.
"SHOP" = SUBMIT SHOP DRAWINGS TO ARCHITECT PRIOR TO ORDERING OR FABRICATION.

1 PROPERTY LINE
2 MAX ALLOWABLE BUILDING HEIGHT - AVG. 25' AB. NG
3 BUILDING SETBACK
4 GARAGE SETBACK
5 BLUFFTOP
6 BLUFFTOP SETBACK 10'-0"
7 BLUFFTOP SETBACK 25'-0"
8 BUILDING STRINGLINE
9 DECK STRINGLINE
10 PERMITTED PROJECTION: 20% INTO FRONT OR REAR SETBACK; 40% INTO SIDE SETBACK EXCLUSIVE OF BALCONIES
11 (E) CURB/ EDGE OF PAVEMENT
12 (E) OUTLINE OF EXISTING STRUCTURE
13 NOT USED
14 FIXED DATUM POINT/ BENCHMARK
15 ADJACENT BUILDING
16 FS/ FG/ FF (ABOVE/ BELOW BEYOND AS OCCURS)
17 (E) GRADE / CONTOUR LINE
18 EDGE OF WALL (ABV/ BLW/ BYD AS OCCURS)
19 EDGE OF ROOF/ CEILING/ FLOOR/DECK (ABV/ BLW/ BYD AS OCCURS)
20 EDGE OF STAIRS (ABV/ BLW/ BYD AS OCCURS)
21 EDGE OF POOL (ABV/ BLW/ BYD AS OCCURS)
22 (N) SITE/RETAINING WALL OR FENCE - MAX ABV. E.G. 42" IN FYSB, 0' IN SYSB
23 GATE/ SELF CLOSING. - MAX 4' FYSB, MAX 5' SYSB, 5' POOL SECURITY
24 PLANTER / SOFTSCAPE AREA
25 RAISED PLANTER
26 HARDSCAPE
27 POOL WITH GALLONS OF WATER WITH COVER
28 JACUZZI WITH GALLONS OF WATER WITH COVER
29 15 GALLON TREE TO BE SPECIFIED PER CITY OF SAN CLEMENTE REQS
30 INFINITY EDGE CATCH BASIN
31 (N) STAIRWAY OR STEPS ON GRADE
32 STAIR / STEP
33 STRUCTURAL COLUMN/BEAM (ABV/BLW/BYD AS OCCURS)
34 HANDRAIL – 36" ABOVE ADJACENT FINISHED SURFACE
35 GUARDRAIL - 42" ABV. FS
36 WOOD SCREENS
37 CHIMNEY / DIRECT VENT
38 FIREPLACE – GAS
39 PATIO
40 CASEWORK
41 FURNITURE
42 OPEN TO BELOW
43 OPEN TO ABOVE
44 EXTERIOR GAS BURNING FIREPIT
45 POOL/AC EQUIPMENT IN SOUND ATTENUATED VAULT
46 GARAGE - 20'-0" X 20'-0" MIN.
47 TRASH STORAGE AREA
48 THRESHOLD
49 MATERIAL TRANSITION
50 CLERESTORY ABOVE
51 BBQ MIN 10' FROM PLANT AND COMBUSTIBLE MATERIALS
52 EXTERIOR SINK
53 SPIRAL STAIRCASE

KEYNOTES

ASPH	ASPHALT
CAR	CARPET
CON-1	CONCRETE FLOORING
GLS-1	TRANSPARENT GLASS
GLS-2	TEMPERED GUARDRAIL GLASS
GLS-3	SEMI-TRANSLUCENT GLASS
GRAV	GRAVEL ROOF
MTL-1	BREAK METAL - KYNAR 500 FINISH
MTL-2	CUSTOM STAINLESS STEEL STAIR
STN-1	STONE FLOORING / DECK / HARDSCAPE
STN-2	STONE WALL CLADDING
STUC	INTEGRALLY COLORED SMOOTH TROWEL STUCCO
T-B	TURF BLOCK PAVING WITH LANDSCAPING
VEG	VEGETATION/LANDSCAPING PER LANDSCAPE PLAN
WD-1	WOOD FLOORING
WD-2	WOOD SIDING
WD-3	WOOD SCREEN / FENCING
WTR	WATER

MATERIALS

GENERAL NOTES

1. LANDSCAPING WILL BE PLANTED THAT RESTORES THE BIOLOGICAL INTEGRITY OF ANY AFFECTED HABITAT AREA TO AN EXTENT THAT IS EQUAL OR GREATER VALUE TO WHAT EXISTED PRIOR TO THE PROJECT, INCLUDING GRADING AND TEMPORARY SHORING OF THE SLOPE.
2. DROUGHT TOLERANT VEGETATION WILL BE PLANTED IN THE FRONT YARD WHEREVER PAVED SURFACES ARENT NECESSARY TO ACCESS EQUIRED PARKING SPACES AND TO PROVIDE PEDESTRIAN ACCESS TO UTILITY AREAS AND THE FRONT N'RANCE. A MINIMUM OF ONE 15-GALLON TREE WILL BE PLANTED FOR EVERY 15 FEET OF STREET FRONTAGE AS POSSIBLE.
3. THE COASTAL BLUFF EDGE IS SHOWN "IN-CONCEPT" ON HE PLANS; CONDITIONAL UPON COASTAL COMMISSION'S REVIEW AND APPROVAL OF THE RADING PLAN AS PROPOSED. IF THE COASTAL COMMISSION DECIDES THE GRADING PLAN MUST BE REVISED PRIOR TO THEIR APPROVAL, THEN THE COASTAL BLUFF EDGE AND ANY AFFECTED PORTION OF THE DEVELOPMENT PLANS MUST BE REVISED ICCORDINGLY TO COMPLY WITH HE ZONING CODE.

PROJECT X

259 WEST MARQUITA, SAN CLEMENTE

HORST architects
949.240.8988

SCALE: 1/8" = 1'- 0"

PLOT DATE: 6/21/18

SHEET NUMBER: A1.1

"RECP" = COLOR AND FINISH SELECTED BY ARCHITECT
"SAMPLE" = SUBMIT SAMPLE TO ARCHITECT PRIOR TO ORDERING OR FABRICATION
"CAB. TYP." = DETAIL DESIGN AND CONSTRUCTION BY CABINET FABRICATOR, CONCEPT DESIGN BY INTERIOR DESIGNER
"SHOP" = SUBMIT SHOP DRAWINGS TO ARCHITECT PRIOR TO ORDERING OR FABRICATION.

1 PROPERTY LINE
2 MAX ALLOWABLE BUILDING HEIGHT - AVG. 25' ABL NG
3 BUILDING SETBACK
4 GARAGE SETBACK
5 BLUFFTOP
6 BLUFFTOP SETBACK 10'-0"
7 BLUFFTOP SETBACK 25'-0"
8 BUILDING STRINGLINE
9 DECK STRINGLINE
10 PERMITTED PROJECTION: 20% INTO FRONT OR REAR SETBACK; 40% INTO SIDE SETBACK EXCLUSIVE OF BALCONIES
11 (E) CURB/ EDGE OF PAVEMENT
12 (E) OUTLINE OF EXISTING STRUCTURE
13 NOT USED
14 FIXED DATUM POINT/ BENCHMARK
15 ADJACENT BUILDING
16 FS/ FG/ FF (ABOVE/ BELOW/ BEYOND AS OCCURS)
17 (E) GRADE / CONTOUR LINE
18 EDGE OF WALL (ABV/ BLW/ BYD AS OCCURS)
19 EDGE OF ROOF/ CEILING/ FLOOR/DECK (ABV/ BLW/ BYD AS OCCURS)
20 EDGE OF STAIRS (ABV/ BLW/ BYD AS OCCURS)
21 EDGE OF POOL (ABV/ BLW/ BYD AS OCCURS)
22 (N) SITE/RETAINING WALL OR FENCE - MAX ABV. E.G. 42" IN FYSB, 6' IN SYSB
23 GATE SELF CLOSING - MAX 4' FYSB, MAX 6' SYSB, 5' POOL SECURITY
24 PLANTER / SOFTSCAPE AREA
25 RAISED PLANTER
26 HARDSCAPE
27 POOL WITH GALLONS OF WATER WITH COVER
28 JACUZZI WITH GALLONS OF WATER WITH COVER
29 NOT USED
30 INFINITY EDGE CATCH BASIN
31 (N) STAIRWAY OR STEPS ON GRADE
32 STAIR / STEP
33 STRUCTURAL COLUMN/BEAM (ABV/BLW/BYD AS OCCURS)
34 HANDRAIL - 36" ABOVE ADJACENT FINISHED SURFACE
35 GUARDRAIL - 42" ABV. FS
36 WOOD SCREENS
37 CHIMNEY / DIRECT VENT
38 FIREPLACE - GAS
39 PATIO
40 CASEWORK
41 FURNITURE
42 OPEN TO BELOW
43 OPEN TO ABOVE
44 EXTERIOR GAS BURNING FIREPIT
45 POOL/AC EQUIPMENT IN SOUND ATTENUATED VAULT
46 GARAGE - 20'-0" X 20'-0" MIN.
47 TRASH STORAGE AREA
48 THRESHOLD
49 MATERIAL TRANSITION
50 CLERESTORY ABOVE
51 BBQ MIN 10' FROM PLAND COMBUSTIBLE MATERIALS
52 EXTERIOR SINK
53 SPIRAL STAIRCASE

KEYNOTES

ASPH	ASPHALT
CAR	CARPET
CON-1	CONCRETE FLOORING
GLS-1	TRANSPARENT GLASS
GLS-2	TEMPERED GUARDRAIL GLASS
GLS-3	SEMI-TRANSLUCENT GLASS
GRAV	GRAVEL ROOF
MTL-1	BREAK METAL - KYNAR 500 FINISH
MTL-2	CUSTOM STAINLESS STEEL STAIR
STN-1	STONE FLOORING / DECK / HARDSCAPE
STN-2	STONE WALL CLADDING
STUC	INTEGRALLY COLORED SMOOTH TROWEL STUCCO
T-B	TURF BLOCK PAVING WITH LANDSCAPING
VEG	VEGETATION/LANDSCAPING PER LANDSCAPE PLAN
WD-1	WOOD FLOORING
WD-2	WOOD SIDING
WD-3	WOOD SCREEN / FENCING
WTR	WATER

MATERIALS

PROPOSED SHEAR WALL
PROPOSED STUD WALL
PROPOSED LOW WALL
SITE WALL/ HARDSCAPE - REFER TO SITE PLAN A1.1
PROPOSED CONCRETE WALL

LEVEL 2 FLOOR PLAN

PROJECT X

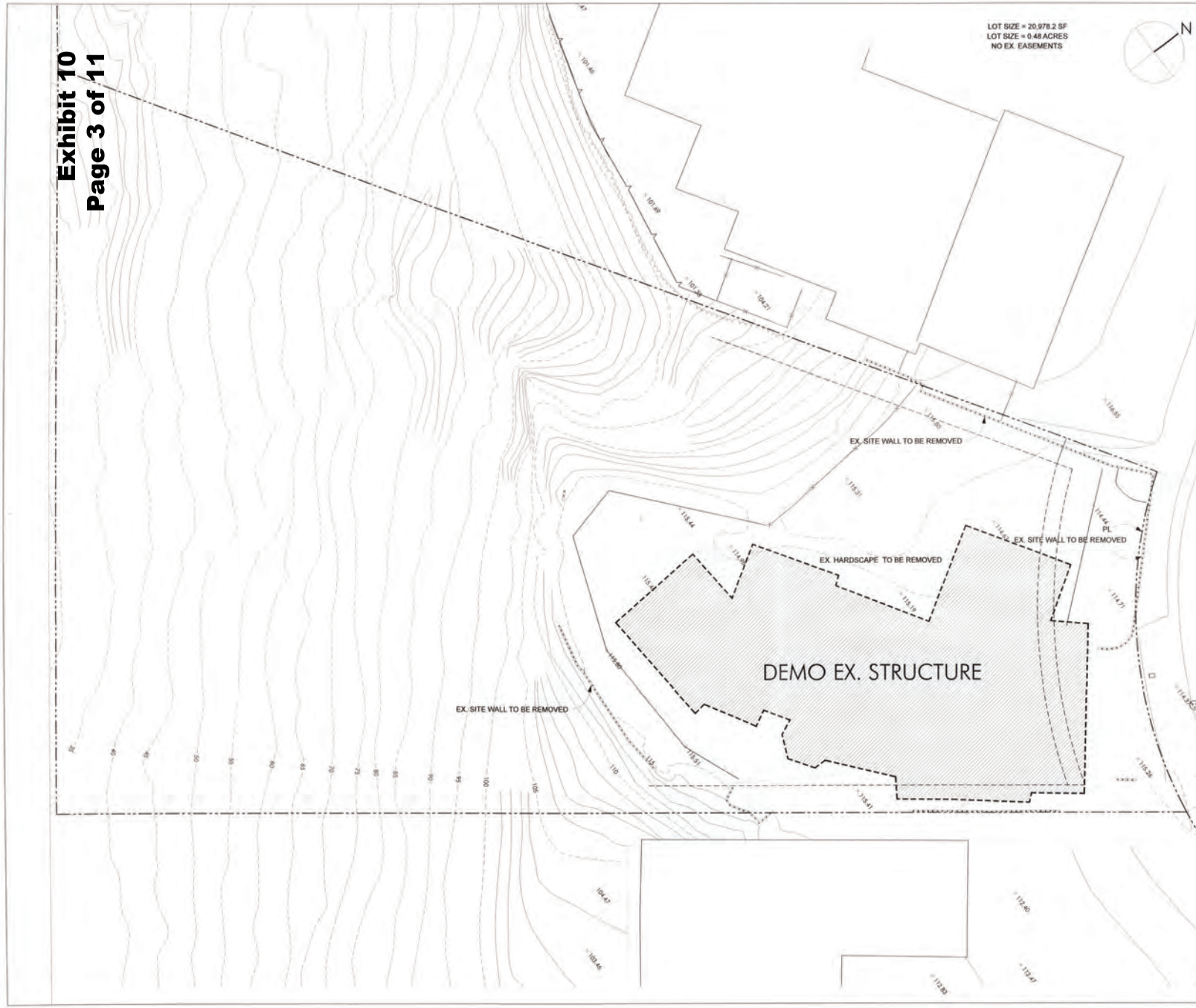
259 WEST MARQUITA, SAN CLEMENTE

LICENSED ARCHITECT — No. C29966 — STATE OF CALIFORNIA

HORST architects
949.499.9969

LICENSED ARCHITECT — No. C29966 — STATE OF CALIFORNIA

SCALE: 1/8" = 1'- 0"
PLOT DATE: 5.23.2018
SHEET NUMBER: A1.2



"KEYNOTES" = CODES AND FINISH SIZES DIED BY ARCHITECT
"SAMPLE" = SUBMIT SAMPLE TO ARCHITECT PRIOR TO ORDERING OR FABRICATION
"CAB. FAB." = DETAIL DESIGN AND CONSTRUCTION BY CABINET FABRICATOR, CONCEPT DESIGN BY INTERIOR DESIGNER.
"SHOP" = SUBMIT SHOP DRAWINGS TO ARCHITECT PRIOR TO ORDERING OR FABRICATION.

1 PROPERTY LINE
2 MAX ALLOWABLE BUILDING HEIGHT - AVG. 25' ABV. NG
3 BUILDING SETBACK
4 GARAGE SETBACK
5 BLUFFTOP
6 BLUFFTOP SETBACK 10'-0"
7 BLUFFTOP SETBACK 25'-0"
8 BUILDING STRINGLINE
9 DECK STRINGLINE
10 PERMITTED PROJECTION: 20% INTO FRONT OR REAR SETBACK
40% INTO SIDE SETBACK EXCLUSIVE OF BALCONIES
11 (E) CURB/ EDGE OF PAVEMENT
12 (E) OUTLINE OF EXISTING STRUCTURE
13 (E) SITE WALL
14 FIXED DATUM POINT/ BENCHMARK
15 ADJACENT BUILDING
16 FS/ FG/ FF (ABOVE/ BELOW/ BEYOND AS OCCURS)
17 (E) GRADE / CONTOUR LINE
18 EDGE OF WALL (ABV/ BLW/ BYD AS OCCURS)
19 EDGE OF ROOF/ CEILING/ FLOOR/DECK (ABV/ BLW/ BYD AS OCCURS)
20 EDGE OF STAIRS (ABV/ BLW/ BYD AS OCCURS)
21 EDGE OF POOL (ABV/ BLW/ BYD AS OCCURS)
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23 GATE SELF CLOSING, - MAX 4' FYSB, MAX 6' SYSB, 5' POOL SECURITY
24 PLANTER / SOFTSCAPE AREA
25 RAISED PLANTER
26 HARDSCAPE
27 POOL WITH GALLONS OF WATER WITH COVER
28 JACUZZI WITH GALLONS OF WATER WITH COVER
29 15 GALLON TREE TO BE SPECIFIED PER CITY OF SAN CLEMENTE REQS.
30 INFINITY EDGE CATCH BASIN
31 (N) STAIRWAY OR STEPS ON GRADE
32 STAIR / STEP
33 STRUCTURAL COLUMN/BEAM (ABV/BLW/BYD AS OCCURS)
34 HANDRAIL – 36" ABOVE ADJACENT FINISHED SURFACE
35 GUARDRAIL - 42" ABV. FS
36 WOOD SCREENS
37 CHIMNEY / DIRECT VENT
38 FIREPLACE - GAS
39 PATIO
40 CASEWORK
41 FURNITURE
42 OPEN TO BELOW
43 OPEN TO ABOVE
44 EXTERIOR GAS BURNING FIREPIT
45 POOL/HC EQUIPMENT IN SOUND ATTENUATED VAULT
46 GARAGE - 10'-0" X 20'-0" MIN.
47 TRASH STORAGE AREA
48 THRESHOLD
49 MATERIAL TRANSITION
50 CLERESTORY ABOVE
51 BBQ MIN 10' FROM PL AND COMBUSTIBLE MATERIALS
52 EXTERIOR SINK
53 SPIRAL STAIRCASE

KEYNOTES

ASPH	ASPHALT
CAR	CARPET
CON-1	CONCRETE FLOORING
GLS-1	TRANSPARENT GLASS
GLS-2	TEMPERED GUARDRAIL GLASS
GLS-3	SEMI-TRANSLUCENT GLASS
GRAV	GRAVEL ROOF
MTL-1	BREAK METAL - KYNAR 500 FINISH
MTL-2	CUSTOM STAINLESS STEEL STAIR
STN-1	STONE FLOORING / DECK / HARDSCAPE
STN-2	STONE WALL CLADDING
STUC	INTEGRALLY COLORED SMOOTH TROWEL STUCCO
T-B	TURF BLOCK PAVING WITH LANDSCAPING
VEG	VEGETATION/LANDSCAPING PER LANDSCAPE PLAN
WD-1	WOOD FLOORING
WD-2	WOOD SIDING
WD-3	WOOD SCREEN / FENCING
WTR	WATER

MATERIALS

PROPOSED SHEAR WALL
PROPOSED STUD WALL
PROPOSED LOW WALL
SITE WALL/ HARDSCAPE - REFER TO SITE PLAN A1.1
PROPOSED CONCRETE WALL

DEMO PLAN

PROJECT X

259 WEST MARQUITA, SAN CLEMENTE

LICENSED ARCHITECT — JAMES S. HOPPENSTEADT — No. C22465 — REN. 2-28-19 — STATE OF CALIFORNIA

HORST architects

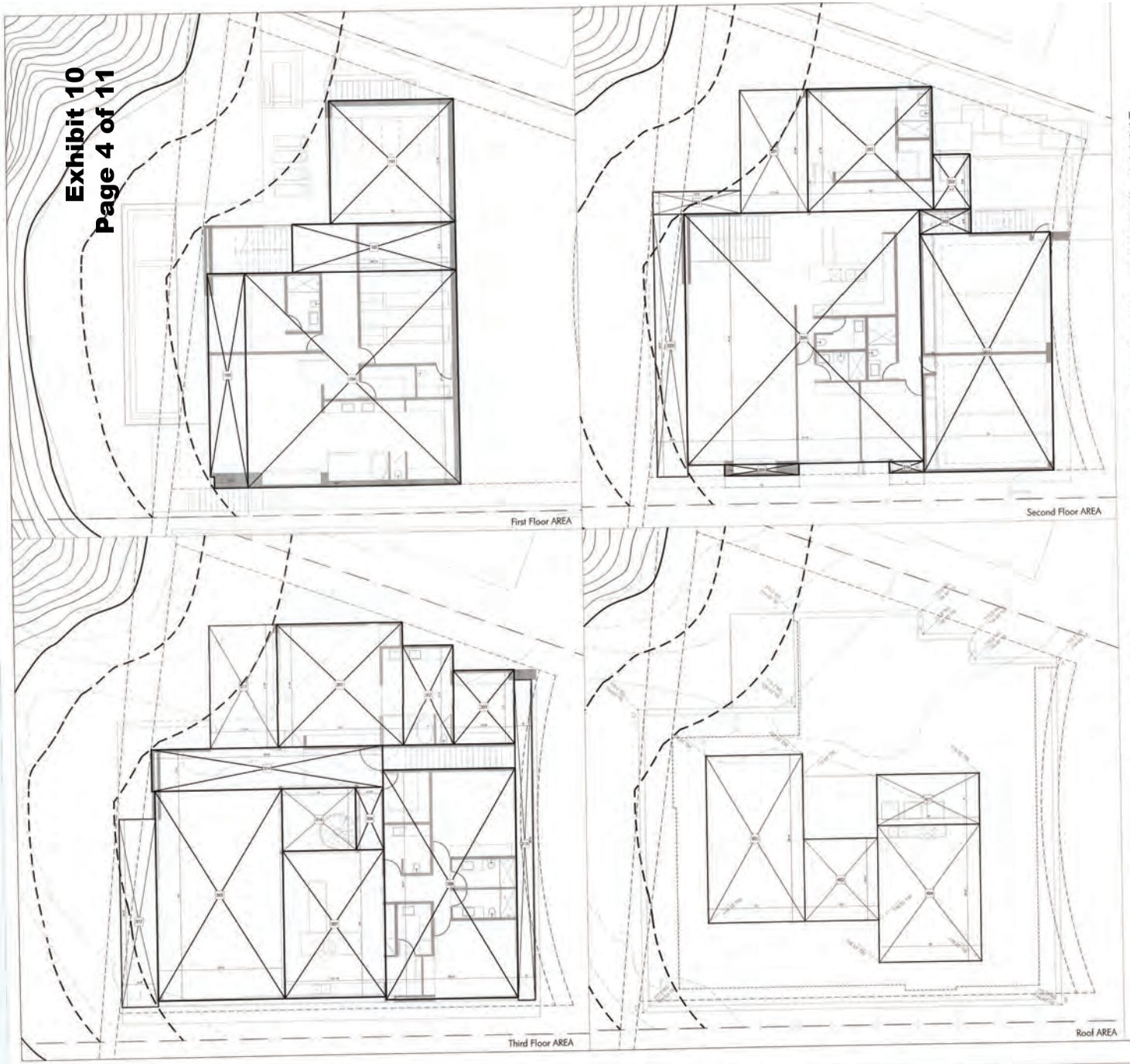
LICENSED ARCHITECT — JAMES S. HOPPENSTEADT — No. C22465 — REN. 2-28-19 — STATE OF CALIFORNIA

SCALE: 1/8" = 1'-0"

PLOT DATE: 06.18.2018

SHEET NUMBER: A1.3

DRAWING PREPARED BY: JM



First Floor habitable SF

101	476.7
102	245.1
103	244.57
104	1412.4
Total	2,369.77

Second Floor Habitable SF

201	476.7
202	62.8
203	39.0
204	1832.4
205	26.0
206	12.0
Total	2,448.9

Second Floor Garage

211	966.0
Total	966.0

Second Floor Deck

221	256.4
222	61.7
223	250.9
Total	569.0

Third Floor Habitable

301	476.7
302	157.5
303	138.7
304	298.2
305	826.3
306	53.1
307	463.7
308	945.0
Total	3,359.2

Third Floor Deck

311	256.4
312	212.8
313	NOT USED
314	NOT USED
315	169.5
316	143.0
Total	781.7

Roof Deck

401	501.5
402	188.5
403	435.0
Total	1,125.0

Roof Mech

404	162.0

Total Deck	2,475.7
Total Habitable	8,179.2
Total Garage	966.0

"(VERIFY" = COLOR AND FINISH SELECTED BY ARCHITECT
"(SUBMIT)" = SUBMIT SAMPLE TO ARCHITECT PRIOR TO ORDERING OR FABRICATION
"(CAB, TAR)" = DETAIL DESIGN AND CONSTRUCTION BY CABINET FABRICATOR, CONCEPT DESIGN BY INTERIOR DESIGNER
"(SHOP)" = SUBMIT SHOP DRAWINGS TO ARCHITECT PRIOR TO ORDERING OR FABRICATION

1 PROPERTY LINE
2 MAX ALLOWABLE BUILDING HEIGHT - AVG 25' AS NG
3 BUILDING SETBACK
4 GARAGE SETBACK
5 BLUFFTOP
6 BLUFFTOP SETBACK 10'-0"
7 BLUFFTOP SETBACK 25'-0"
8 BUILDING STRINGLINE
9 DECK STRINGLINE
10 PERMITTED PROJECTION: 20% INTO FRONT OR REAR SETBACK; 40% INTO SIDE SETBACK EXCLUSIVE OF BALCONIES
11 (E) CURB/ EDGE OF PAVEMENT
12 (E) OUTLINE OF EXISTING STRUCTURE
13 (E) SITE WALL
14 FIXED DATUM POINT/ BENCHMARK
15 ADJACENT BUILDING
16 FG/ FG/ FF (ABOVE/ BELOW/ BEYOND AS OCCURS)
17 (E) GRADE / CONTOUR LINE
18 EDGE OF WALL (ABV/ BLW/ BYD AS OCCURS)
19 EDGE OF ROOF/ CEILING/ FLOOR/DECK (ABV/ BLW/ BYD AS OCCURS)
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35 GUARDRAIL - 42" ABV FS
36 WOOD SCREENS
37 CHIMNEY / DIRECT VENT
38 FIREPLACE - GAS
39 PATIO
40 CASEWORK
41 FURNITURE
42 OPEN TO BELOW
43 OPEN TO ABOVE
44 EXTERIOR GAS BURNING FIREPIT
45 POOL/AC EQUIPMENT IN SOUND ATTENUATED VAULT
46 GARAGE - 30'-0" X 20'-0" MIN
47 TRASH STORAGE AREA
48 THRESHOLD
49 MATERIAL TRANSITION
50 CLERESTORY ABOVE
51 BBQ MIN 10' FROM FLAND COMBUSTIBLE MATERIALS
52 EXTERIOR SINK
53 SPIRAL STAIRCASE

KEYNOTES

ASPH	ASPHALT
CAR	CARPET
CON-1	CONCRETE FLOORING
GLS-1	TRANSPARENT GLASS
GLS-2	TEMPERED GUARDRAIL GLASS
GLS-3	SEMI-TRANSLUCENT GLASS
GRAV	GRAVEL ROOF
MTL-1	BREAK METAL - KYNAR 500 FINISH
MTL-2	CUSTOM STAINLESS STEEL STAIR
STN-1	STONE FLOORING / DECK / HARDSCAPE
STN-2	STONE WALL CLADDING
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T-B	TURF BLOCK PAVING WITH LANDSCAPING
VEG	VEGETATION/LANDSCAPING PER LANDSCAPE PLAN
WD-1	WOOD FLOORING
WD-2	WOOD SIDING
WD-3	WOOD SCREEN / FENCING
WTR	WATER

MATERIALS

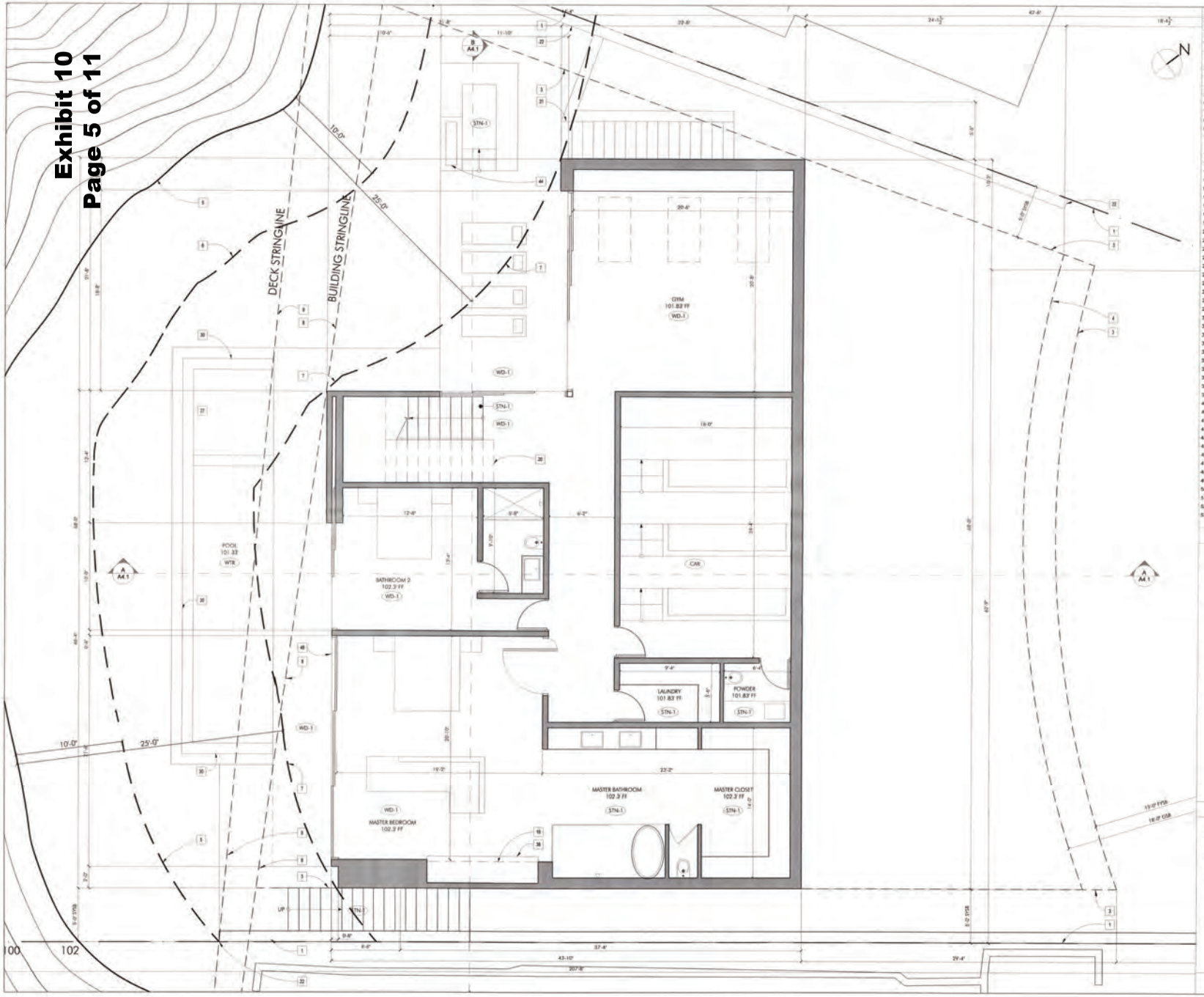
PROPOSED SHEAR WALL
PROPOSED STUD WALL
PROPOSED LOW WALL
SITE WALL/ HARDSCAPE - REFER TO SITE PLAN A1.1
PROPOSED CONCRETE WALL

PROJECT X

259 WEST MARQUITA, SAN CLEMENTE

HORST ARCHITECTS

SCALE: 1/8" = 1'- 0"
PLOT DATE: 06.18.2018
SHEET NUMBER: A1.4



"MOP" = COLOR AND FINISH SELECTED BY ARCHITECT
"SAMPLE" = SUBMIT SAMPLE TO ARCHITECT PRIOR TO ORDERING OR FABRICATION
"CAB / DS" = DETAIL DESIGN AND CONSTRUCTION BY CABINET FABRICATOR, CONCEPT DESIGN BY INTERIOR DESIGNER.
"SHOP" = SUBMIT SHOP DRAWINGS TO ARCHITECT PRIOR TO ORDERING OR FABRICATION.

1 PROPERTY LINE
2 MAX ALLOWABLE BUILDING HEIGHT - AVG. 25' AB. NG
3 BUILDING SETBACK
4 GARAGE SETBACK
5 BLUFFTOP
6 BLUFFTOP SETBACK 10'-0"
7 BLUFFTOP SETBACK 25'-0"
8 BUILDING STRINGLINE
9 DECK STRINGLINE
10 PERMITTED PROJECTION: 20% INTO FRONT OR REAR SETBACK, 40% INTO SIDE SETBACK EXCLUSIVE OF BALCONIES
11 (E) CURB/ EDGE OF PAVEMENT
12 (E) OUTLINE OF EXISTING STRUCTURE
13 (E) SITE WALL
14 FIXED DATUM POINT/ BENCHMARK
15 ADJACENT BUILDING
16 FS/ FG/ FF (ABOVE/ BELOW/ BEYOND AS OCCURS)
17 (E) GRADE / CONTOUR LINE
18 EDGE OF WALL (ABV/ BLW/ BYD AS OCCURS)
19 EDGE OF ROOF/ CEILING/ FLOOR/DECK (ABV/ BLW/ BYD AS OCCURS)
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27 POOL WITH GALLONS OF WATER WITH COVER
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34 HANDRAIL – 36" ABOVE ADJACENT FINISHED SURFACE
35 GUARDRAIL - 42" ABV. FS
36 WOOD SCREENS
37 CHIMNEY / DIRECT VENT
38 FIREPLACE - GAS
39 PATIO
40 CASEWORK
41 FURNITURE
42 OPEN TO BELOW
43 OPEN TO ABOVE
44 EXTERIOR GAS BURNING FIREPIT
45 POOL/AC EQUIPMENT IN SOUND ATTENUATED VAULT
46 GARAGE - 20'-0" X 20'-0" MIN.
47 TRASH STORAGE AREA
48 THRESHOLD
49 MATERIAL TRANSITION
50 CLERESTORY ABOVE
51 BBQ MIN 10' FROM PLAND COMBUSTIBLE MATERIALS
52 EXTERIOR SINK
53 SPIRAL STAIRCASE

KEYNOTES

ASPH	ASPHALT
CAR	CARPET
CON-1	CONCRETE FLOORING
GLS-1	TRANSPARENT GLASS
GLS-2	TEMPERED GUARDRAIL GLASS
GLS-3	SEMI-TRANSLUCENT GLASS
GRAV	GRAVEL ROOF
MTL-1	BREAK METAL - KYNAR 500 FINISH
MTL-2	CUSTOM STAINLESS STEEL STAIR
STN-1	STONE FLOORING / DECK / HARDSCAPE
STN-2	STONE WALL CLADDING
STUC	INTEGRALLY COLORED SMOOTH TROWEL STUCCO
T-B	TURF BLOCK PAVING WITH LANDSCAPING
VEG	VEGETATION/LANDSCAPING PER LANDSCAPE PLAN
WD-1	WOOD FLOORING
WD-2	WOOD SIDING
WD-3	WOOD SCREEN / FENCING
WTR	WATER

MATERIALS

PROPOSED SHEAR WALL
PROPOSED STUD WALL
PROPOSED LOW WALL
SITE WALL/ HARDSCAPE - REFER TO SITE PLAN A1.1
PROPOSED CONCRETE WALL

LEVEL 1 FLOOR PLAN

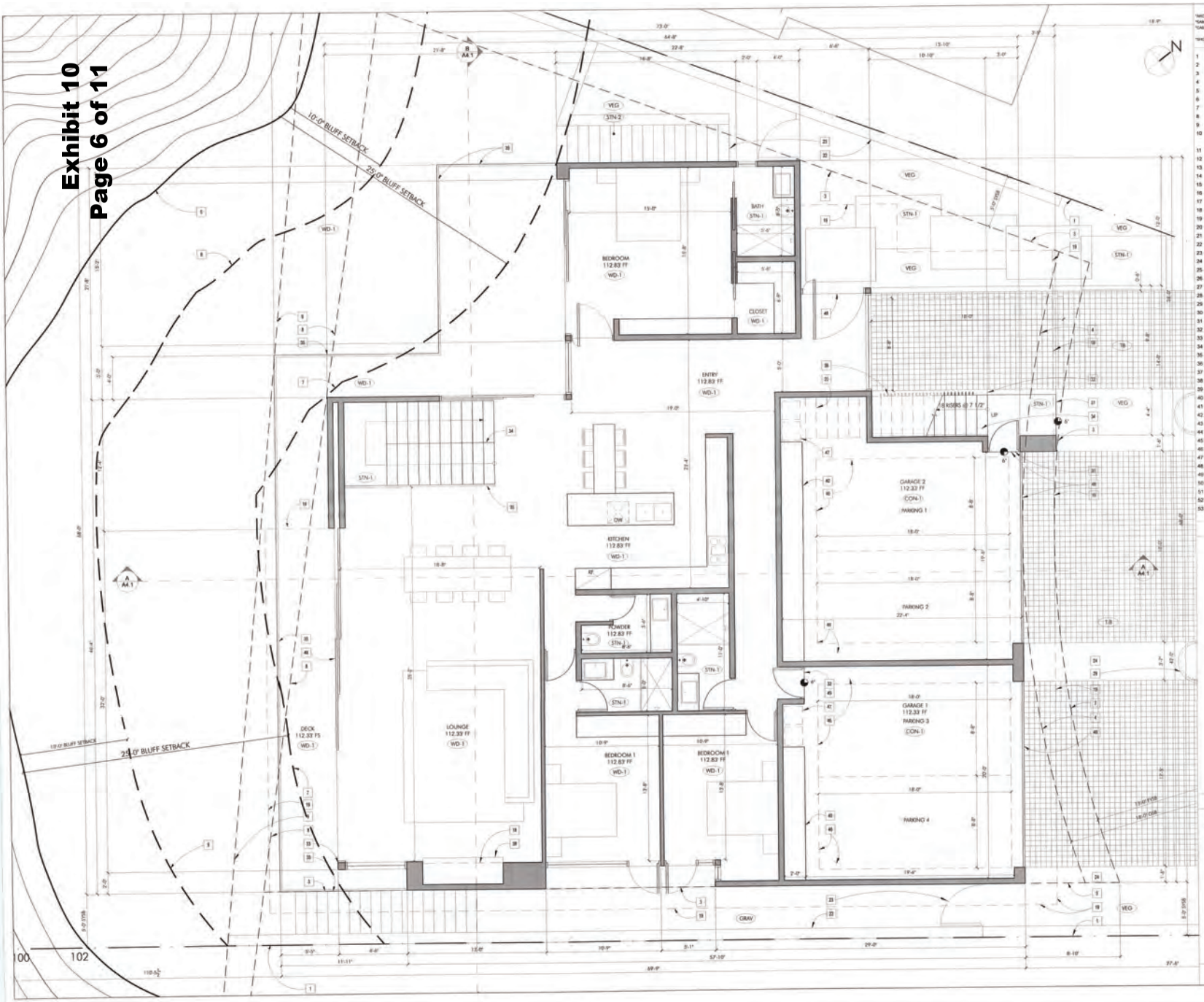
PROJECT X

259 WEST MARQUITA, SAN CLEMENTE

HORST ARCHITECTS

SCALE: 1/4" = 1'- 0"
PLOT DATE: 06.18.2018
SHEET NUMBER: A2.1

Exhibit 10
Page 6 of 11



1 PROPERTY LINE
2 MAX ALLOWABLE BUILDING HEIGHT - AVG. 25' AB. NG
3 BUILDING SETBACK
4 GARAGE SETBACK
5 BLUFFTOP
6 BLUFFTOP SETBACK 10'-0"
7 BLUFFTOP SETBACK 25'-0"
8 BUILDING STRINGLINE
9 DECK STRINGLINE
10 PERMITTED PROJECTION: 20% INTO FRONT OR REAR SETBACK; 40% INTO SIDE SETBACK EXCLUSIVE OF BALCONIES
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12 (E) OUTLINE OF EXISTING STRUCTURE
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17 (E) GRADE / CONTOUR LINE
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48 THRESHOLD
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KEYNOTES

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WD-2	WOOD SIDING
WD-3	WOOD SCREEN / FENCING
WTR	WATER

MATERIALS

PROPOSED SHEAR WALL
PROPOSED STUD WALL
PROPOSED LOW WALL
SITE WALL/ HARDSCAPE - REFER TO SITE PLAN A1.1
PROPOSED CONCRETE WALL

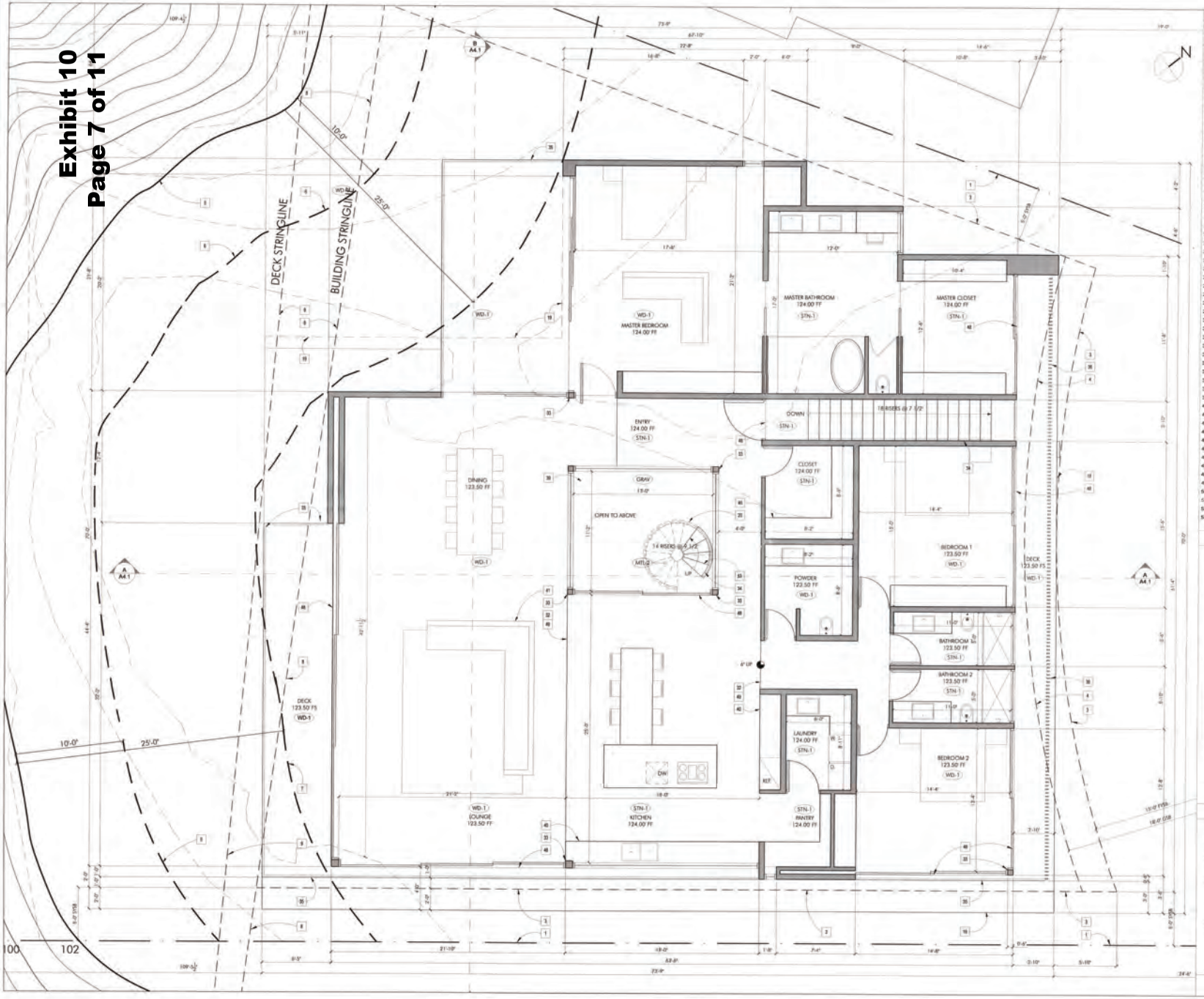
LEVEL 2 FLOOR PLAN

PROJECT X

259 WEST MARQUITA, SAN CLEMENTE

HORST

SCALE: 1/4" = 1'- 0"
PLOT DATE: 06.18.2018
SHEET NUMBER: A2.2



1 PROPERTY LINE
2 MAX ALLOWABLE BUILDING HEIGHT - AVG. 25' AB. NG
3 BUILDING SETBACK
4 GARAGE SETBACK
5 BLUFFTOP
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23 GATE SELF CLOSING, - MAX 4' FYSB, MAX 6' SYSB, 5' POOL SECURITY
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26 HARDSCAPE
27 POOL WITH GALLONS OF WATER WITH COVER
28 JACUZZI WITH GALLONS OF WATER WITH COVER
29 15 GALLON TREE TO BE SPECIFIED PER CITY OF SAN CLEMENTE REQS.
30 INFINITY EDGE CATCH BASIN
31 (N) STAIRWAY OR STEPS ON GRADE
32 STAIR / STEP
33 STRUCTURAL COLUMN/BEAM (ABV/BLW/BYD AS OCCURS)
34 HANDRAIL - 36" ABOVE ADJACENT FINISHED SURFACE
35 GUARDRAIL - 42" ABV. FS
36 WOOD SCREENS
37 CHIMNEY / DIRECT VENT
38 FIREPLACE - GAS
39 PATIO
40 CASEWORK
41 FURNITURE
42 OPEN TO BELOW
43 OPEN TO ABOVE
44 EXTERIOR GAS BURNING FIREPIT
45 POOL/AC EQUIPMENT IN SOUND ATTENUATED VAULT
46 GARAGE - 30'-0" X 20'-0" MIN.
47 TRASH STORAGE AREA
48 THRESHOLD
49 MATERIAL TRANSITION
50 CLERESTORY ABOVE
51 BBQ MIN 10' FROM PL AND COMBUSTIBLE MATERIALS
52 EXTERIOR SINK
53 SPIRAL STAIRCASE

KEYNOTES

ASPH	ASPHALT
CAR	CARPET
CON-1	CONCRETE FLOORING
GLS-1	TRANSPARENT GLASS
GLS-2	TEMPERED GUARDRAIL GLASS
GLS-3	SEMI-TRANSLUCENT GLASS
GRAV	GRAVEL ROOF
MTL-1	BREAK METAL - KYNAR 500 FINISH
MTL-2	CUSTOM STAINLESS STEEL STAIR
STN-1	STONE FLOORING / DECK / HARDSCAPE
STN-2	STONE WALL CLADDING
STUC	INTEGRALLY COLORED SMOOTH TROWEL STUCCO
T-B	TURF BLOCK PAVING WITH LANDSCAPING
VEG	VEGETATION/LANDSCAPING PER LANDSCAPE PLAN
WD-1	WOOD FLOORING
WD-2	WOOD SIDING
WD-3	WOOD SCREEN / FENCING
WTR	WATER

MATERIALS

PROPOSED SHEAR WALL
PROPOSED STUD WALL
PROPOSED LOW WALL
SITE WALL / HARDSCAPE - REFER TO SITE PLAN A1.1
PROPOSED CONCRETE WALL

LEVEL 3 FLOOR PLAN

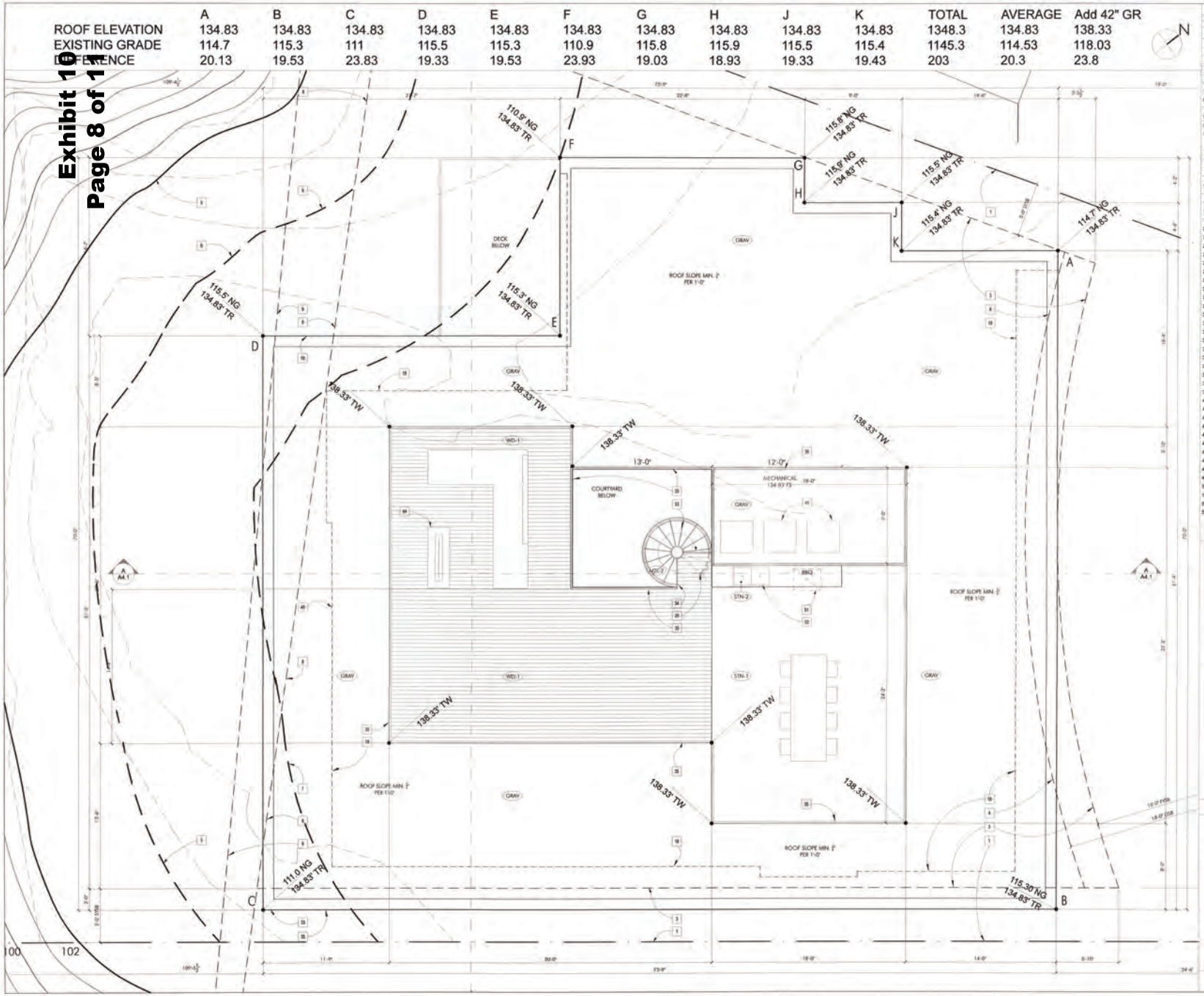
PROJECT X

259 WEST MARQUITA, SAN CLEMENTE

HORST architects

SCALE: 1/4" = 1'- 0"
PLOT DATE: 06.18.2018
SHEET NUMBER: A2.3

	A	B	C	D	E	F	G	H	J	K	TOTAL	AVERAGE	Add 42" GR
ROOF ELEVATION	134.83	134.83	134.83	134.83	134.83	134.83	134.83	134.83	134.83	134.83	1348.3	134.83	138.33
EXISTING GRADE	114.7	115.3	111	115.5	115.3	110.9	115.8	115.9	115.5	115.4	1145.3	114.53	118.03
DIFFERENCE	20.13	19.53	23.83	19.33	19.53	23.93	19.03	18.93	19.33	19.43	203	20.3	23.8



1 PROPERTY LINE
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3 BUILDING SETBACK
4 GARAGE SETBACK
5 BLUFFTOP
6 BLUFFTOP SETBACK 10'-0"
7 BLUFFTOP SETBACK 25'-0"
8 BUILDING STRINGLINE
9 DECK STRINGLINE
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11 (E) CURB/ EDGE OF PAVEMENT
12 (E) OUTLINE OF EXISTING STRUCTURE
13 (E) SITE WALL
14 FIXED DATUM POINT/ BENCHMARK
15 ADJACENT BUILDING
16 FS/ FG/ FF (ABOVE/ BELOW/ BEYOND AS OCCURS)
17 (E) GRADE / CONTOUR LINE
18 EDGE OF WALL (ABV/ BLW/ BYD AS OCCURS)
19 EDGE OF ROOF/ CEILING/ FLOOR/DECK (ABV/ BLW/ BYD AS OCCURS)
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KEYNOTES

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WD-1	WOOD FLOORING
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MATERIALS

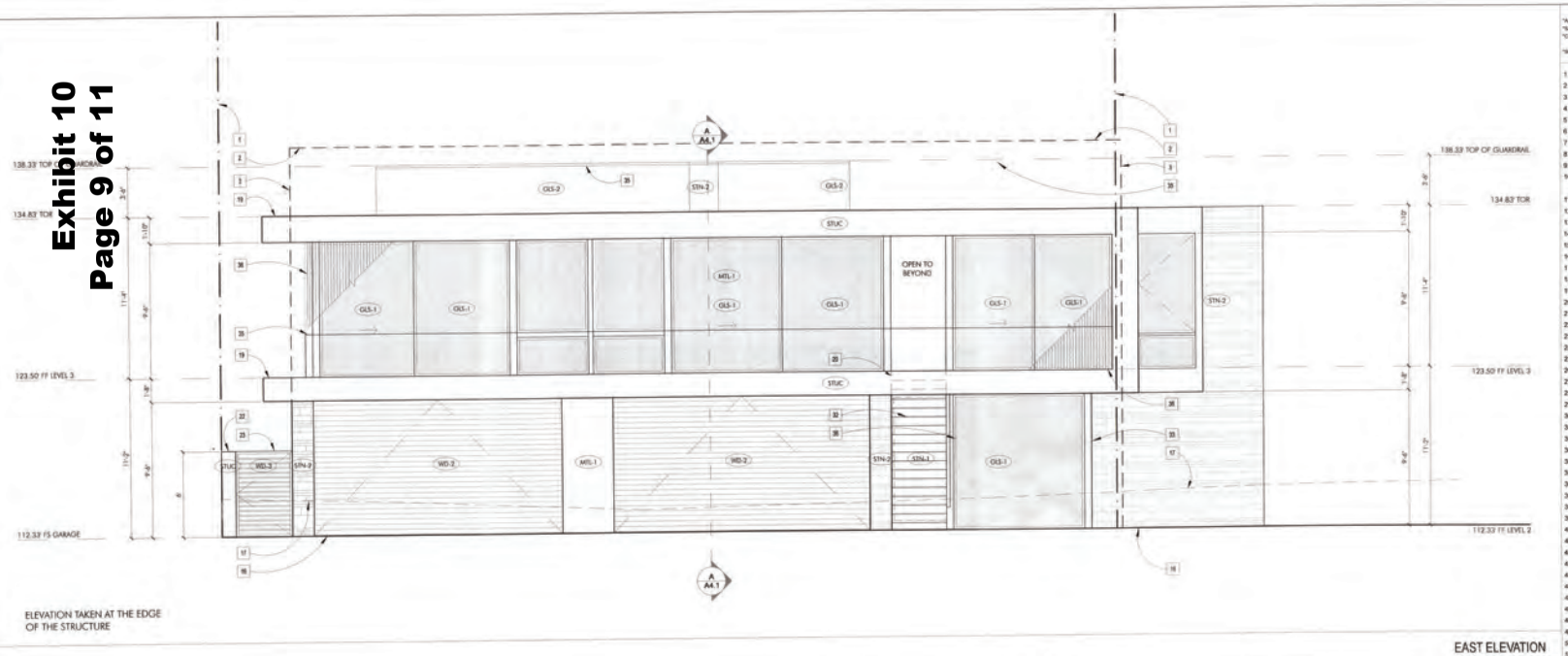
PROPOSED SHEAR WALL
PROPOSED STUD WALL
PROPOSED LOW WALL
SITE WALL/ HARDSCAPE - REFER TO SITE PLAN A1.1
PROPOSED CONCRETE WALL

ROOF PLAN

PROJECT X
259 WEST MARQUITA, SAN CLEMENTE

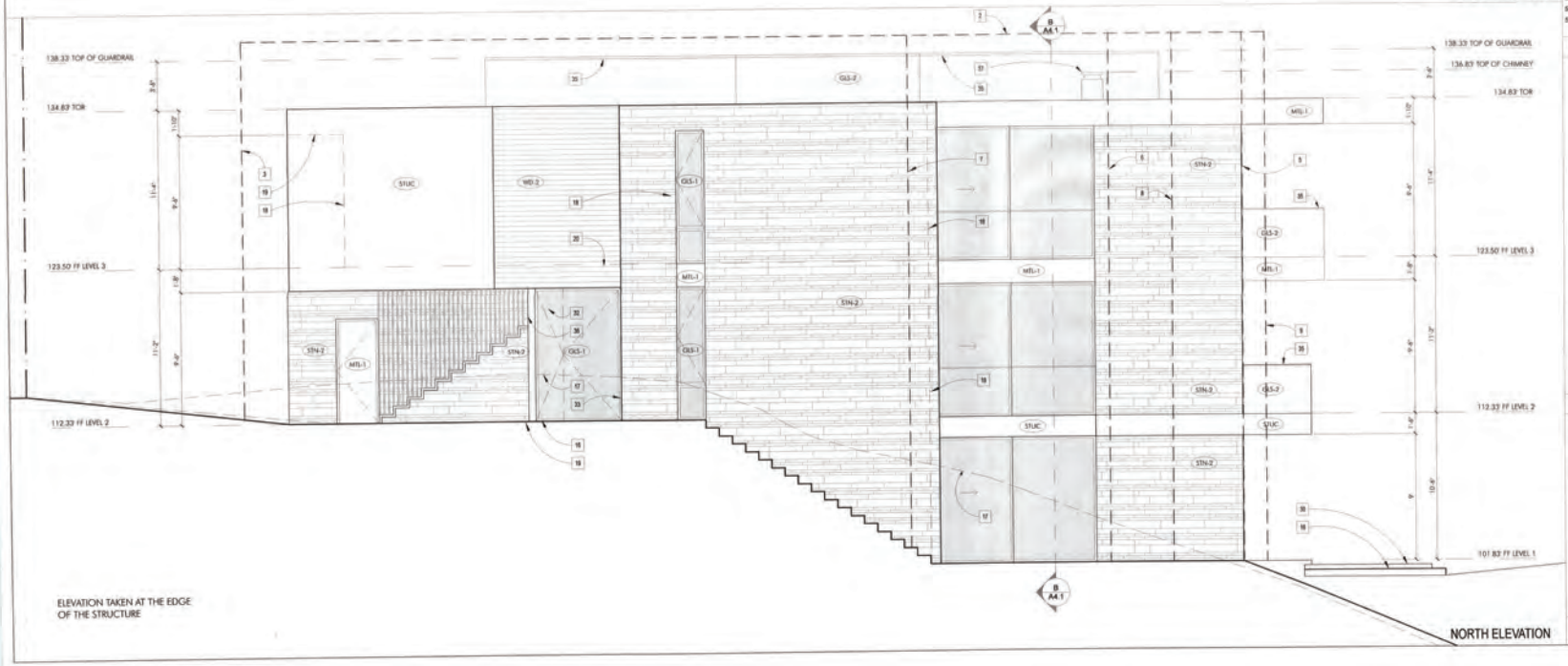
HORST architects

SCALE: 1/4" = 1'- 0"
PLOT DATE: 06.18.2018
SHEET NUMBER: A2.4



ELEVATION TAKEN AT THE EDGE OF THE STRUCTURE

EAST ELEVATION



ELEVATION TAKEN AT THE EDGE OF THE STRUCTURE

NORTH ELEVATION

"ARCH" = COLOR AND FINISH SELECTED BY ARCHITECT
"SUBMIT" = SUBMIT SAMPLE TO ARCHITECT PRIOR TO ORDERING OR FABRICATION
"CAB, FAB," = DETAIL DESIGN AND CONSTRUCTION BY CABINET FABRICATOR, CONCEPT DESIGN BY INTERIOR DESIGNER.
"SHOP" = SUBMIT SHOP DRAWINGS TO ARCHITECT PRIOR TO ORDERING OR FABRICATION.

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KEYNOTES

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WD-1	WOOD FLOORING
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WTR	WATER

MATERIALS

- PROPOSED SHEAR WALL
- PROPOSED STUD WALL
- PROPOSED LOW WALL
- SITE WALL/ HARDSCAPE - REFER TO SITE PLAN A1.1
- PROPOSED CONCRETE WALL

PROJECT X

259 WEST MARQUITA, SAN CLEMENTE

LICENSED ARCHITECT — JAMES R. HORST — No. C22660 — REN. 8-31-19 — STATE OF CALIFORNIA

HORST architects
949.494.5300

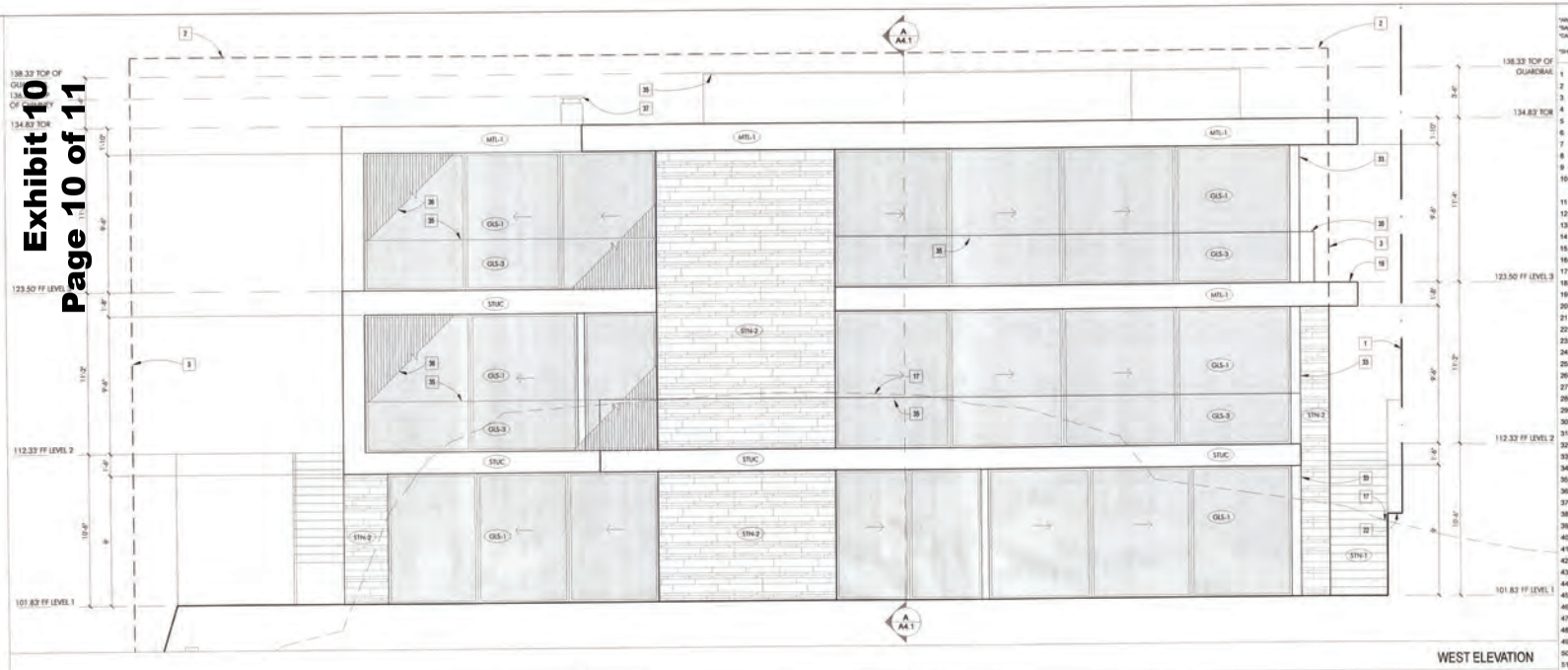
LICENSED ARCHITECT — JAMES R. HORST — No. C22660 — REN. 8-31-19 — STATE OF CA

SCALE: 1/4" = 1'-0"

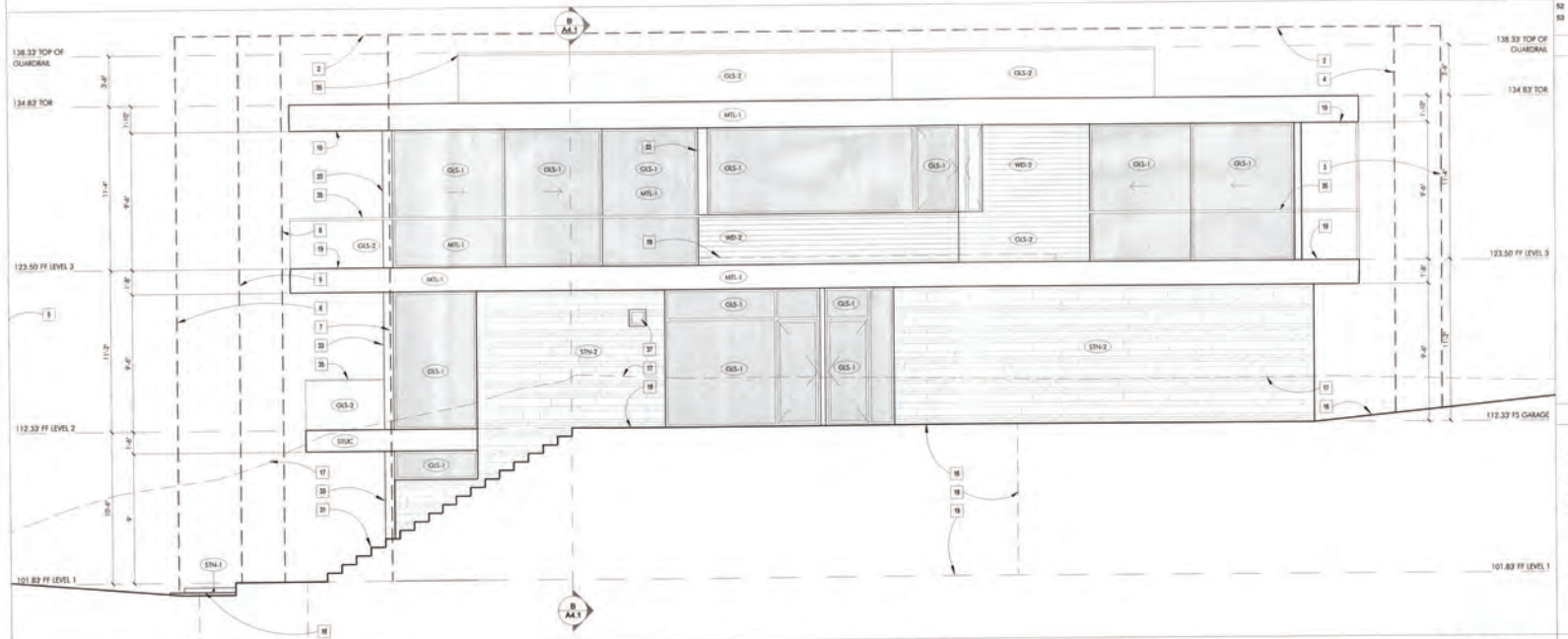
PLOT DATE: 06.18.2018

SHEET NUMBER: A3.1

DRAWING PREPARED BY: RF



WEST ELEVATION



SOUTH ELEVATION

"ANCH" = COLOR AND FINISH SELECTED BY ARCHITECT
"SAMPLE" = SUBMIT SAMPLE TO ARCHITECT PRIOR TO ORDERING OR FABRICATION
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15 ADJACENT BUILDING
16 FSI FGI FF (ABOVE/ BELOW/ BEYOND AS OCCURS)
17 (E) GRADE / CONTOUR LINE
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51 BBQ MIN 10' FROM PL AND COMBUSTIBLE MATERIALS
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KEYNOTES

ASPH	ASPHALT
CAR	CARPET
CON-1	CONCRETE FLOORING
GLS-1	TRANSPARENT GLASS
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GLS-3	SEMI-TRANSLUCENT GLASS
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WD-1	WOOD FLOORING
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WTR	WATER

MATERIALS

PROPOSED SHEAR WALL
PROPOSED STUD WALL
PROPOSED LOW WALL
SITE WALL/ HARDSCAPE - REFER TO SITE PLAN A1.1
PROPOSED CONCRETE WALL

PROJECT X

259 WEST MARQUITA, SAN CLEMENTE

LICENSED ARCHITECT — No. C25885 — STATE OF CALIFORNIA

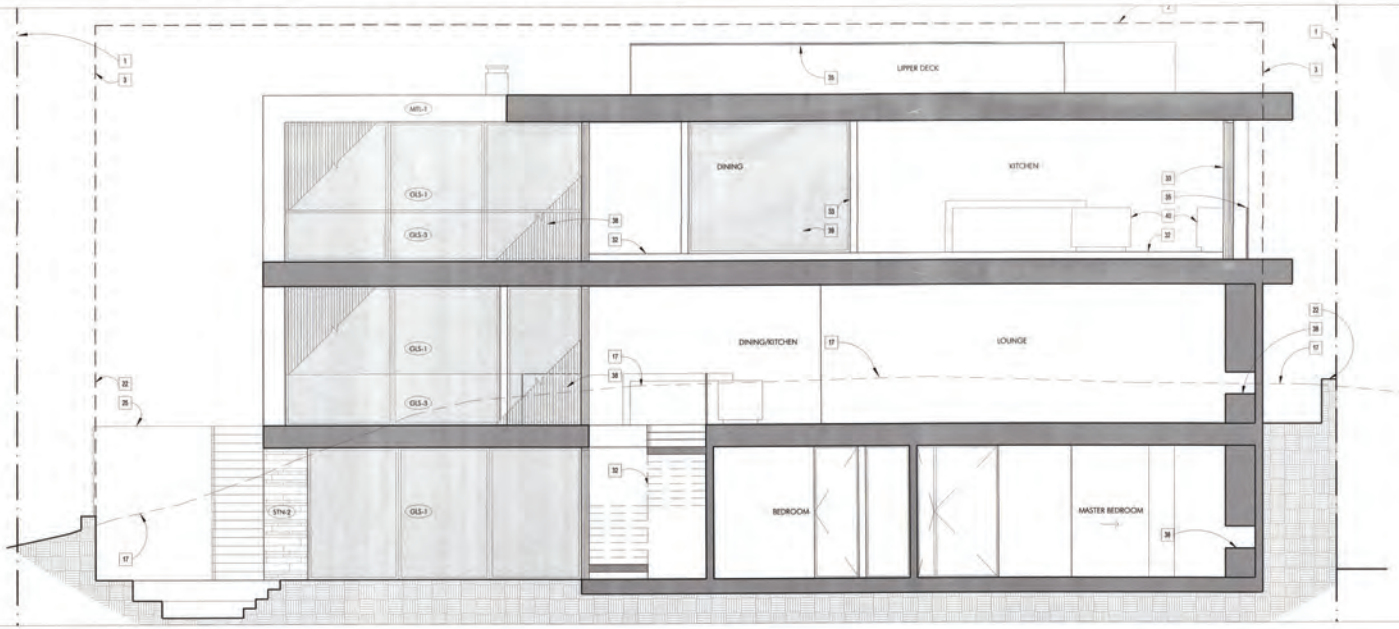
HORST architects

LICENSED ARCHITECT — No. C25885 — STATE OF CALIFORNIA

SCALE: 1/4" = 1'-0"
PLOT DATE: 06.18.2018
SHEET NUMBER: A3.2

DRAWING PHOTOMED BY: RH

SECTION AA



SECTION BB

"(NIC)" = COLOR AND FINISH SELECTED BY ARCHITECT
"(SAMPLE)" = SUBMIT SAMPLE TO ARCHITECT PRIOR TO ORDERING OR FABRICATION
"(CAB. FAB.)" = DETAIL DESIGN AND CONSTRUCTION BY CABINET FABRICATOR, CONCEPT DESIGN BY INTERIOR DESIGNER.
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KEYNOTES

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MATERIALS

PROPOSED SHEAR WALL
PROPOSED STUD WALL
PROPOSED LOW WALL
SITE WALL/ HARDSCAPE - REFER TO SITE PLAN A1.1
PROPOSED CONCRETE WALL

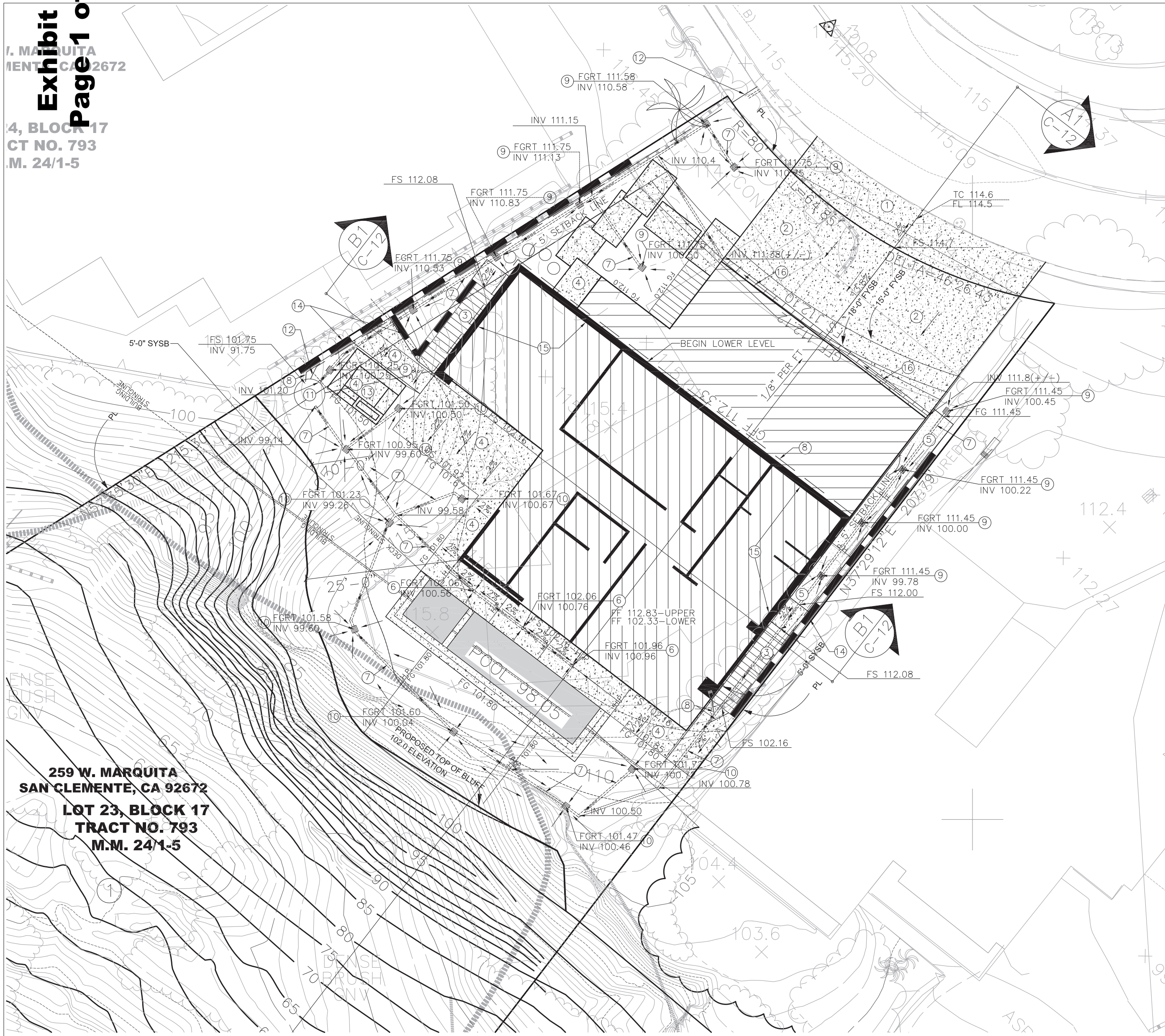
PROJECT X

259 WEST MARQUITA, SAN CLEMENTE

HORST architects
949.494.9380

SCALE: 1/4" = 1'-0"
PLOT DATE: 06.18.2018
SHEET NUMBER: A4.1

Exhibit 11
Page 1 of 1



CONSTRUCTION NOTES:

(CONSTRUCTION QUANTITIES TO BE VERIFIED BY CONTRACTOR OF RECORD)

ESTIMATED QUANTITIES		
300 S.F.(+/-)	1	CONSTRUCT NEW DRIVEWAY APPROACH PER CITY OF SAN CLEMENTE STANDARD ST-9.
837 S.F. (+/-)	2	CONSTRUCT NEW CONCRETE DRIVEWAY WITH MINIMUM 5-INCH THICKNESS WITH #4 REBAR AT 12-INCH CENTERS BOTH DIRECTIONS. F'C=4,500 PSI. PROVIDE CONSTRUCTION JOINTS AT MAXIMUM 10-FOOT CENTERS.
	3	CONSTRUCT NEW CONCRETE STEPS AND LANDING PER DETAIL B OF C-4; RISE 7-INCH(MAX), RUN 1.05'(11-INCH MIN).
1022 S.F.(+/-)	4	CONSTRUCT CONCRETE HARDSCAPE WITH A MINIMUM OF 5-INCH THICKNESS AND WITH #3 REBAR AT 12-INCH CENTERS, BOTH DIRECTIONS. PROVIDE CONSTRUCTION JOINTS AT MAXIMUM 10-FOOT CENTERS.
	5	GRAVEL-SEE LANDSCAPE PLANS.
(3)	6	INSTALL 6-INCH SATIN BRASS NDS INLET 918B.
430 L.F.(+/-)	7	4-INCH SCH 40 PVC AND/OR ABS SDR 35 DRAINAGE LINE, OUTLET TO SUMP PIT.
260 L.F.(+/-)	8	4-INCH SCH 40 AND/OR ABS SDR 35 PERFORATED DRAINAGE LINES (RETAINING WALL SUB-DRAINS), OUTLET TO SUMP PIT.
(11)	9	INSTALL 12"(X)12" ATRIUM NDS INLETS WITH ASSOCIATED ADAPTERS.
(8)	10	INSTALL 12"(X)12" FLAT NDS INLETS WITH ASSOCIATED ADAPTERS.
(1)	11	SUMP PIT/PUMPS (5-FOOT DIAMETER (X) 10-FEET DEEP; BY OTHERS OUTLET TO STREET BY FORCE MAIN DRAINAGE PIPE.
	12	FORCE MAIN DRAINAGE PIPE; BY OTHERS.
	13	POOL EQUIPMENT AREA.
	14	CONSTRUCT NEW RETAINING WALLS; BY OTHERS.
	15	CONSTRUCT NEW BUILDING RETAINING WALL PER ARCHITECT PLANS.
	16	NDS "U"-DRAIN.

MISCELLANEOUS NOTES:

A. ALL ROOF GUTTER DOWN SPOUTS(DS) SHALL TIE INTO THE AREA DRAIN SYSTEM.

B. ALL RETAINING WALL SUB-DRAINS TO TIE INTO THE SUMP PIT.

GRADING LEGEND:

BW	BOTTOM OF WALL
CL	CENTERLINE
DRN	DRAIN
DS	GUTTER DOWN SPOUT
FF	FINISH FLOOR
FGRT	FINISH GRATE
FL	FLOW LINE
FP	FINISH PAD
FS	FINISH SURFACE
GM	GAS METER
GRD	GROUND
HP	HIGH POINT
INV	INVERT
I.P.	IRON PIPE(SURVEY MONUMENT)
LSA	LANDSCAPE AREA
PA	PLANTER AREA
TC	TOP OF CURB
TF	TOP OF FOOTING
TSP	TOP STEP
TYP	TYPICAL
TW	TOP OF WALL
WM	WATER METER

CITY ID
ENG 18-___

PREPARED BY OR UNDER DIRECTION OF:

STEPHEN B. PETER DATE

REGISTERED PROFESSIONAL ENGINEER STEPHEN B. PETER No. 38623 Exp. 3/31/19 CIVIL STATE OF CALIFORNIA

REVISION	BY	DESCRIPTION	APPROVED	DATE
1	SP	REVISED BLUFF SLOPE TO PRE-SLIDE BLUFF SLOPE		3/10/16

SCALE: N/A
ACAD FILE NO. 18E18163
PROJECT NO. 18E18163

DESIGNED: DRAWN: CHECKED: DATE

LEGAL DESCRIPTION: LOT 23, BLOCK 17 TRACT 793

BENCHMARK: OCSBM 3SS-2-82 ELEVATION = 95.558 NAVD 88/DATUM

A.P. NUMBER: 692-095-07

PETER and ASSOCIATES ENGINEERS GEOLOGISTS & SURVEYORS, INC.
WWW.PETERASSOC.COM
1519 CALLE VALLE, SAN CLEMENTE, CA. 92672
Tel: (949) 492-3735 Fax: (949) 492-1891

GRADING/DRAINAGE PLAN
259 WEST MARQUITA
SAN CLEMENTE, CA 92672
PREPARED FOR: TIM RACICH
SEA BLUFF HOA (261 WEST MARQUITA)

C-11

PLOT DATE: 10/09/2018

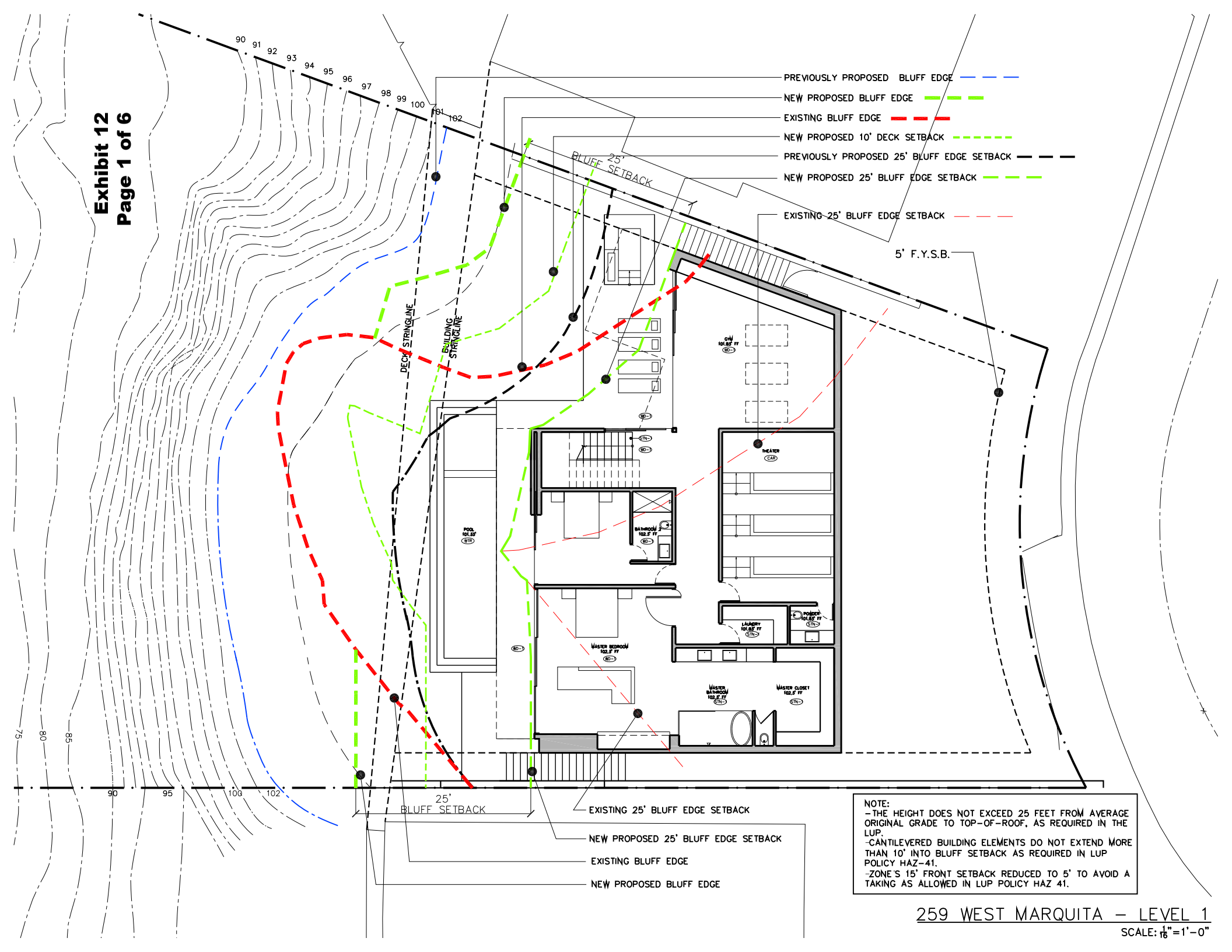
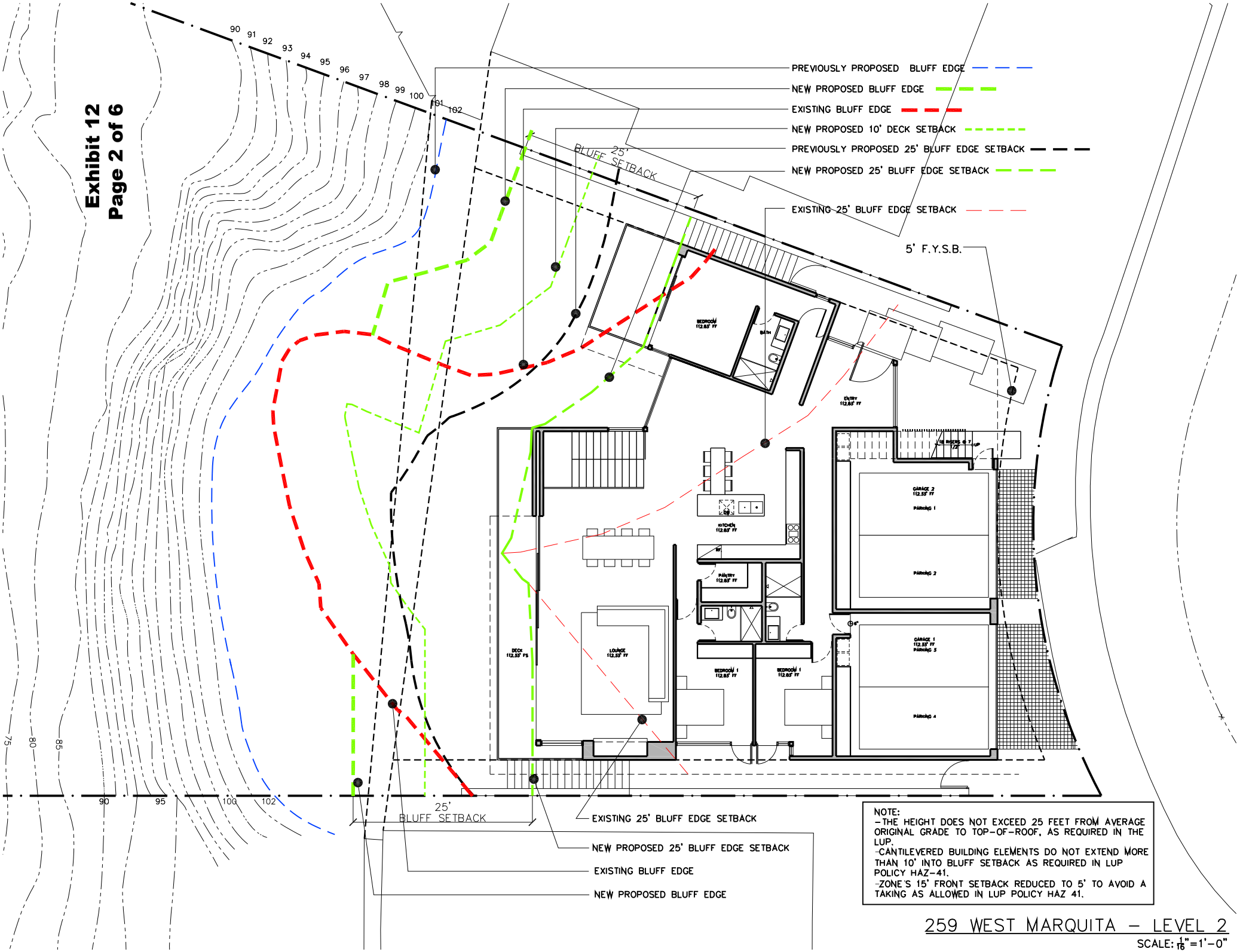


Exhibit 12
Page 1 of 6
PREVIOUSLY PROPOSED BLUFF EDGE
NEW PROPOSED BLUFF EDGE
EXISTING BLUFF EDGE
NEW PROPOSED 10' DECK SETBACK
PREVIOUSLY PROPOSED 25' BLUFF EDGE SETBACK
NEW PROPOSED 25' BLUFF EDGE SETBACK
EXISTING 25' BLUFF EDGE SETBACK
25' BLUFF SETBACK
5' F.Y.S.B.
DECK STRINGLINE
BUILDING STRINGLINE
90 91 92 93 94 95 96 97 98 99 100 101 102
75 80 85
90 95 100 102
25' BLUFF SETBACK
EXISTING 25' BLUFF EDGE SETBACK
NEW PROPOSED 25' BLUFF EDGE SETBACK
EXISTING BLUFF EDGE
NEW PROPOSED BLUFF EDGE
NOTE:
-THE HEIGHT DOES NOT EXCEED 25 FEET FROM AVERAGE ORIGINAL GRADE TO TOP-OF-ROOF, AS REQUIRED IN THE LUP.
-CANTILEVERED BUILDING ELEMENTS DO NOT EXTEND MORE THAN 10' INTO BLUFF SETBACK AS REQUIRED IN LUP POLICY HAZ-41.
-ZONE'S 15' FRONT SETBACK REDUCED TO 5' TO AVOID A TAKING AS ALLOWED IN LUP POLICY HAZ 41.
259 WEST MARQUITA – LEVEL 1
SCALE: 1/16"=1'-0"

Exhibit 12
Page 2 of 6



NOTE:
-THE HEIGHT DOES NOT EXCEED 25 FEET FROM AVERAGE ORIGINAL GRADE TO TOP-OF-ROOF, AS REQUIRED IN THE LUP.
-CANTILEVERED BUILDING ELEMENTS DO NOT EXTEND MORE THAN 10' INTO BLUFF SETBACK AS REQUIRED IN LUP POLICY HAZ-41.
-ZONE'S 15' FRONT SETBACK REDUCED TO 5' TO AVOID A TAKING AS ALLOWED IN LUP POLICY HAZ 41.

259 WEST MARQUITA – LEVEL 2

SCALE: $\frac{1}{16}$"=1'-0"

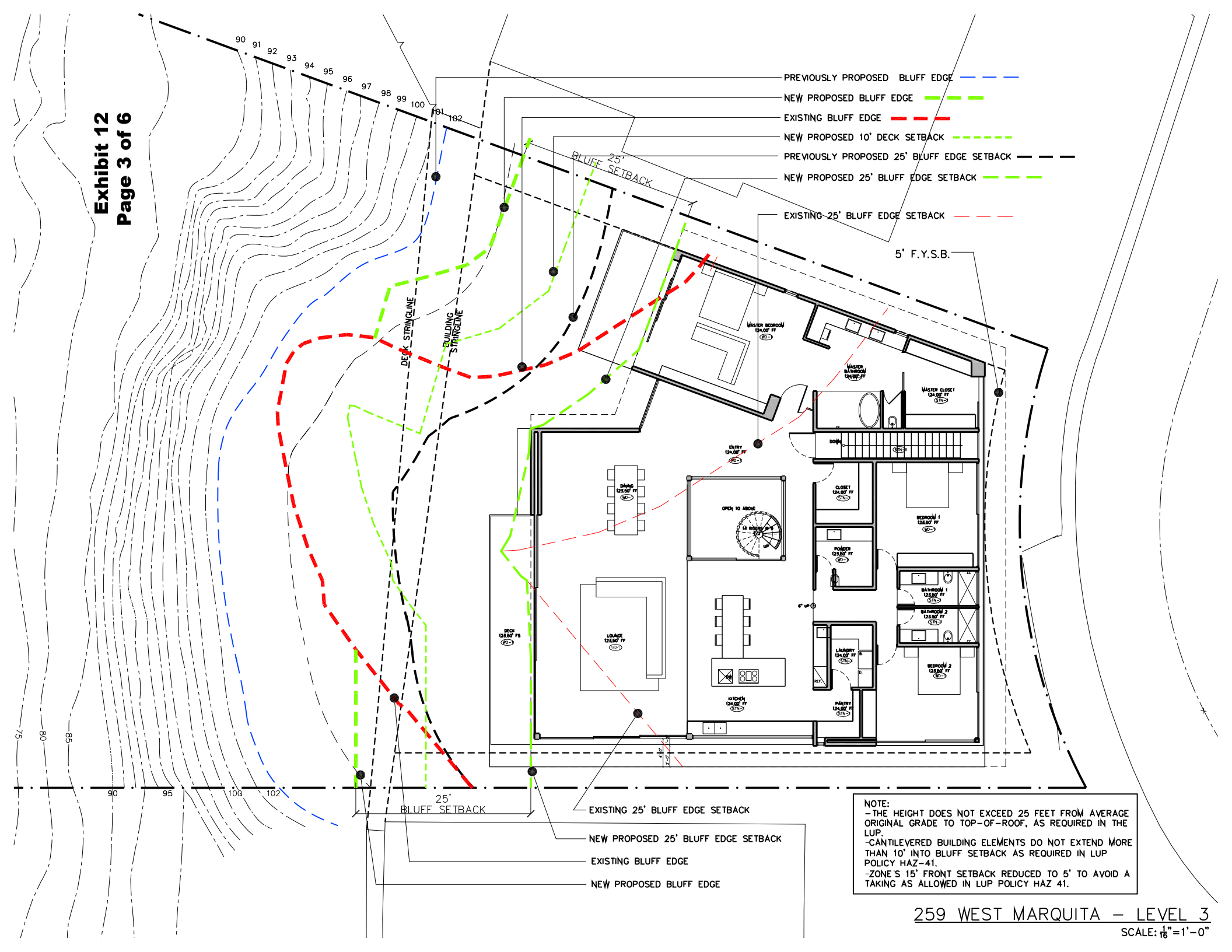


Exhibit 12
Page 3 of 6
PREVIOUSLY PROPOSED BLUFF EDGE
NEW PROPOSED BLUFF EDGE
EXISTING BLUFF EDGE
NEW PROPOSED 10' DECK SETBACK
PREVIOUSLY PROPOSED 25' BLUFF EDGE SETBACK
NEW PROPOSED 25' BLUFF EDGE SETBACK
EXISTING 25' BLUFF EDGE SETBACK
25' BLUFF SETBACK
5' F.Y.S.B.
DECK STRINGLINE
BUILDING STRINGLINE
90 91 92 93 94 95 96 97 98 99 100 101 102
75 80 85
90 95 100 102
25' BLUFF SETBACK
EXISTING 25' BLUFF EDGE SETBACK
NEW PROPOSED 25' BLUFF EDGE SETBACK
EXISTING BLUFF EDGE
NEW PROPOSED BLUFF EDGE
NOTE:
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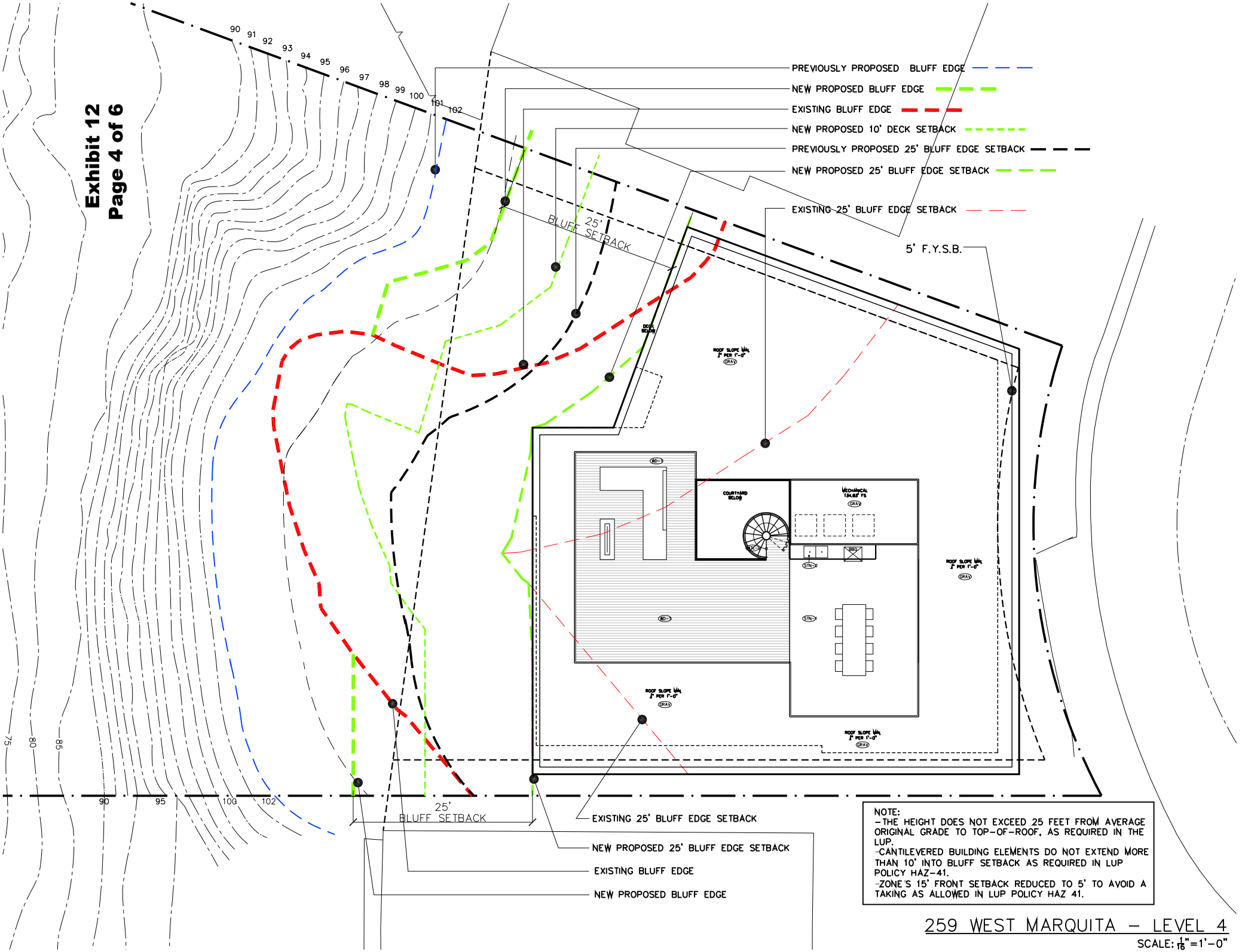
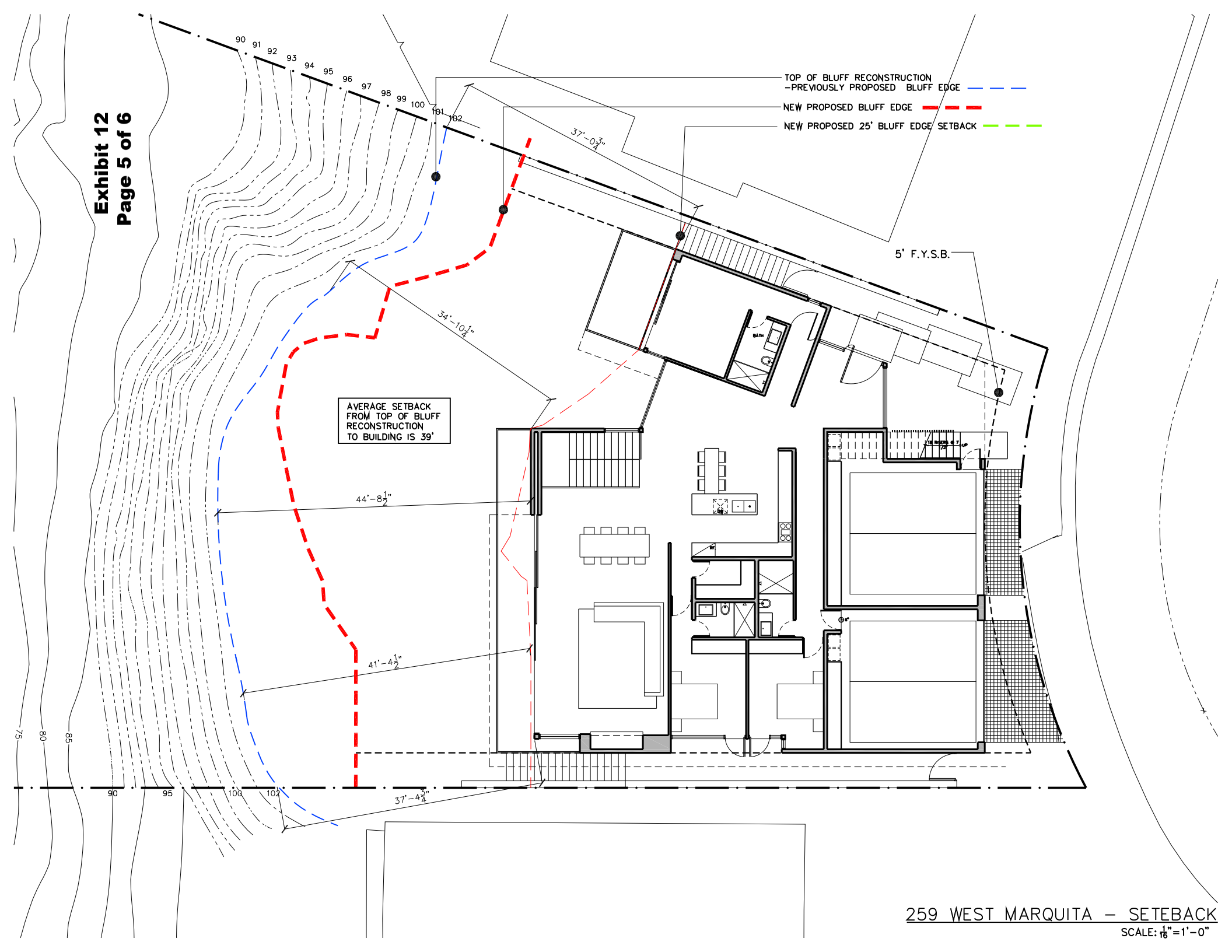
-ZONE'S 15' FRONT SETBACK REDUCED TO 5' TO AVOID A TAKING AS ALLOWED IN LUP POLICY HAZ 41.
259 WEST MARQUITA – LEVEL 3
SCALE: 1/16"=1'-0"



NOTE:
-THE HEIGHT DOES NOT EXCEED 25 FEET FROM AVERAGE ORIGINAL GRADE TO TOP-OF-ROOF, AS REQUIRED IN THE LUP.
-CANTILEVERED BUILDING ELEMENTS DO NOT EXTEND MORE THAN 10' INTO BLUFF SETBACK AS REQUIRED IN LUP POLICY HAZ-41.
-ZONE'S 15' FRONT SETBACK REDUCED TO 5' TO AVOID A TAKING AS ALLOWED IN LUP POLICY HAZ 41.

259 WEST MARQUITA – LEVEL 4

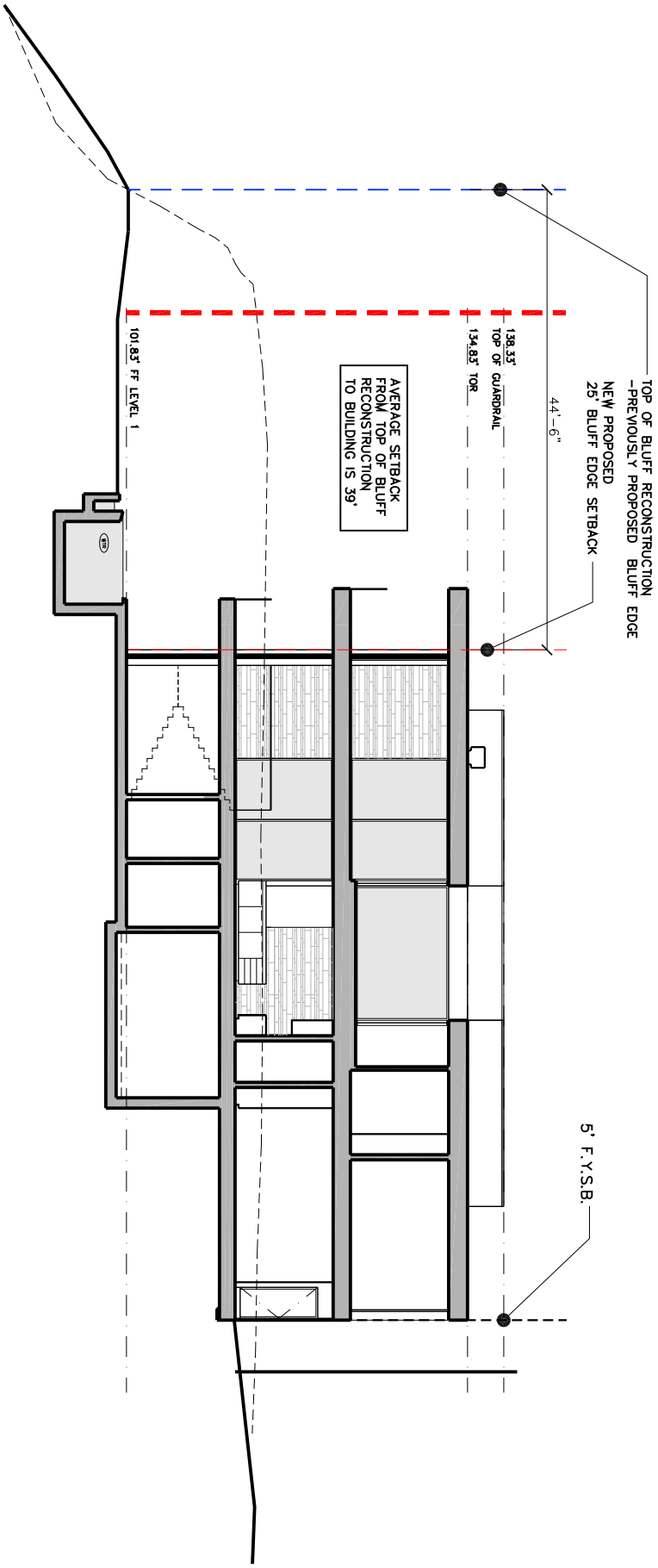
SCALE: $\frac{1}{16}$"=1'-0"



259 WEST MARQUITA – SETEBACK

SCALE: 1/16"=1'-0"

Exhibit 12
Page 6 of 6



259 WEST MARQUITA – SECTION

SCALE: 1/8"=1'-0"