

## CALIFORNIA COASTAL COMMISSION

South Coast District Office  
301 E Ocean Blvd., Suite 300  
Long Beach, CA 90802-4302  
(562) 590-5071



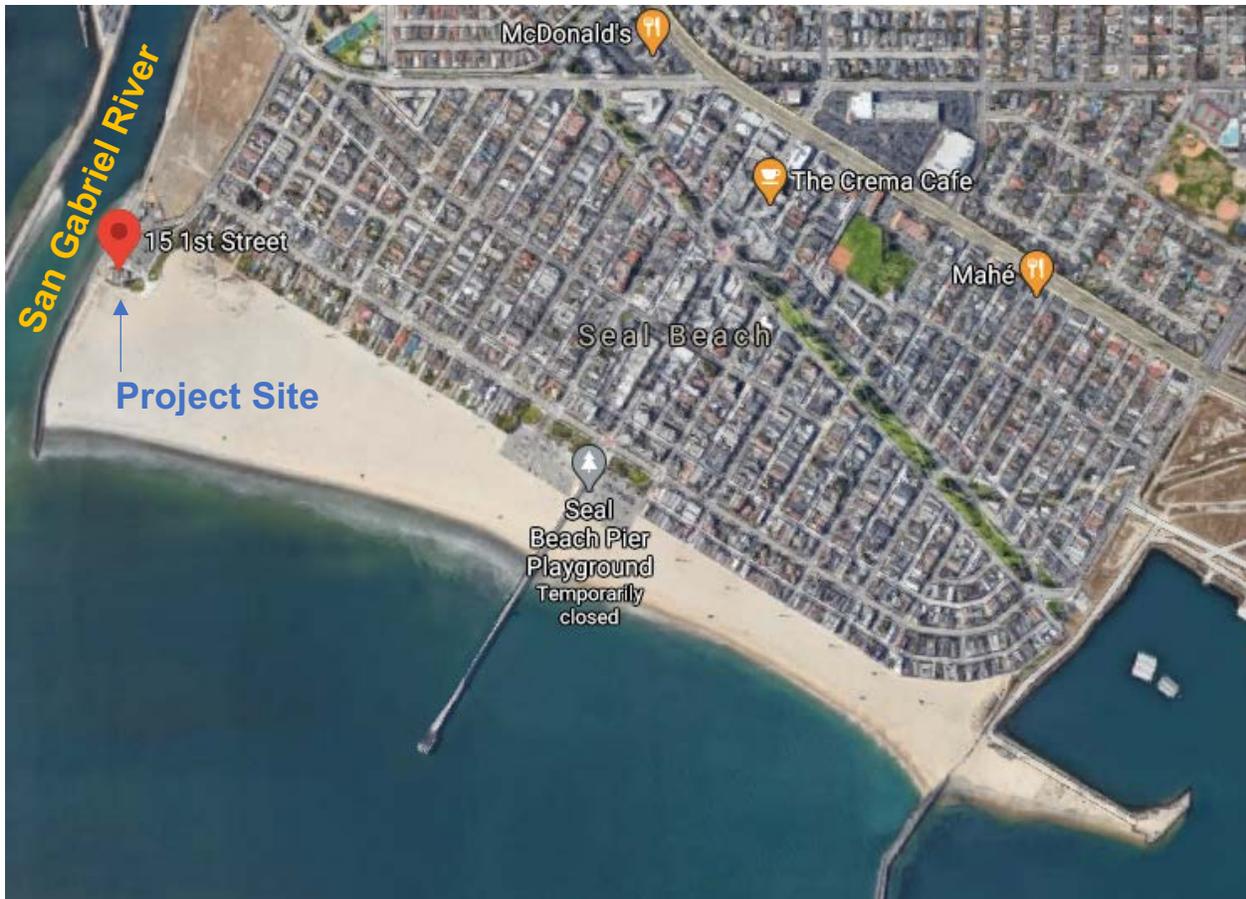
# W8a

5-19-0218 (Beach House LLC)

October 7, 2020

### EXHIBITS

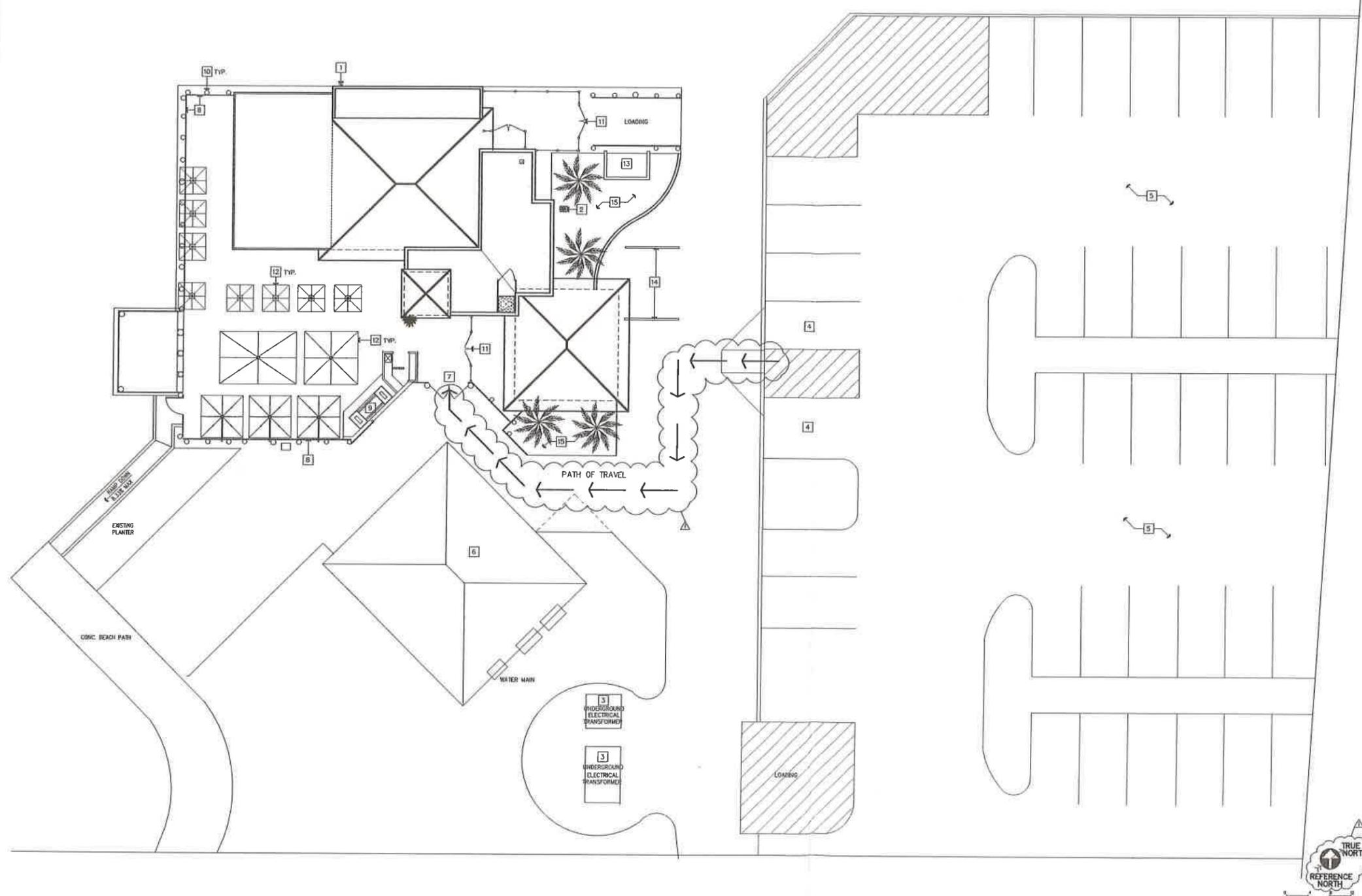
1. Project site and vicinity
2. Plans and elevations



Project Vicinity: City of Seal Beach



Project Site: 15 1<sup>st</sup> Street



ARCHITECTURAL		REVISIONS	
NO.	DESCRIPTION	NO.	DATE
C	SITE PLAN/PROJECT INFORMATION		
SC1	SCHEDULES		
AD	DEMOLITION PLAN	▲	BUILD DEPT CORRECTIONS
AD.1	EXIT ANALYSIS PLAN	▲	FIRE DEPT CORRECTIONS
A1	FLOOR PLAN		
A2	ROOF PLAN		
A3	ELEVATIONS		
A4	SECTIONS		
A5	REFLECTED CEILING PLAN		
A6	ENLARGED RESTROOM PLANS		
D1	DETAILS		

STRUCTURAL	
SH-1	STRUCTURAL NOTES
SH-2	STRUCTURAL NOTES
SH-3	STRUCTURAL NOTES
SI.1	FOUNDATION PLAN
SI.2	FRAMING PLANS
SD1	STRUCTURAL DETAILS
SD2	STRUCTURAL DETAILS
SM1	STRONG WALL DETAILS
SM2	STRONG WALL DETAILS
SM3	STRONG WALL DETAILS

EMP	
E1	ELECTRICAL GENERAL NOTES, DETAILS & FUTURE SCHEDULE
E2	ELECTRICAL SITE PLAN
E3	REFLECTED CEILING/LIGHTING PLAN
E4	ELECTRICAL POWER FLOOR PLAN
E4.1	ELECTRICAL HVAC PLAN
E5	HVAC ROOF EQUIPMENT PLAN (ELECTRICAL)
E6	TITLE 24
E6.1	TITLE 24
E7.0	KITCHEN EQUIPMENT (REFERENCE)
E7.1	KITCHEN EQUIPMENT (REFERENCE)
M1.0	HVAC NOTES, SCHEDULES & SPECIFICATIONS
M1.1	HVAC DETAILS
M2.0	HVAC PLAN
M3.0	HVAC ROOF EQUIPMENT PLAN
M4.0	KITCHEN EXHAUST HOOD PLAN
M5.0	FROMASTER DUCT NEAR DETAILS
MS.1	FIREWRAP UL REPORT AND FIRE MARSHALL LISTINGS
T2.1	TITLE 24 FORMS & NOTES
T2.2	TITLE 24 FORMS & NOTES
P1	GENERAL NOTES DETAILS & CALCS
P2	PLUMBING SITE PLAN
P3	PLUMBING FLOOR PLAN (HOT/COLD/GAS)
P4	PLUMBING WASTE/SEWER WASTE VENT & CONDENSATE LINES PLAN

SOLAR	
PV01	TIRE SHEET
PV02	NOTES
PV03	SITE PLAN/ROOF LAYOUT
PV04	SINGLE LINE/SCHEDULE
PV05	SPECS
PV06	SPECS

KITCHEN (REFERENCE ONLY)	
K-1	EQUIPMENT FLOOR PLAN
K-2	REFERENCE PLAN
K-3	EQUIPMENT SCHEDULE
K-3.2	EQUIPMENT SCHEDULE
K-4	PLUMBING ROUGH-IN PLAN
K-5	ELECTRICAL ROUGH-IN PLAN
K-6	EXHAUST AND REFRIGERATION PLAN
K-7	REFRIGERATION DATA PLAN
K-8	EXHAUST AND WALL BACKING PLAN
K-9	GENERAL BUILDING DETAILS
K-10	EXHAUST HOOD DETAILS
K-10.2	EXHAUST HOOD DETAILS
K-10.3	EXHAUST HOOD DETAILS
D-1	FLOOR SCHEDULE
D-2.1	REFLECTED CEILING PLAN
D-2.2	REFLECTED CEILING OUTLINE PLAN
D-2.3	REFLECTED CEILING DIMENSION PLAN

SHEET INDEX	
HOOD AND DUCT FIRE SUPPRESSION SYSTEM	
DEFERRED SUBMITTALS	

**ARCHITECT/ARCHITECT**  
 NAME: ARNE VALENTI  
 ADDRESS: 330 EAST HILLET STREET  
 LONG BEACH, CALIFORNIA 90805  
 PHONE NO.: 949-922-4931  
 CONTACT: ARNE VALENTI

**STRUCTURAL ENGINEER**  
 NAME: STRUCTURES REGION GROUP, INC.  
 ADDRESS: 225 S. BISHOP ROAD  
 ANAHEIM, CALIFORNIA 92804  
 PHONE NO.: 714-313-4747  
 CONTACT: PHIL SORA

**ELECTRICAL ENGINEER**  
 NAME: JONAS ELECTRICAL  
 ADDRESS: 2882 MICHELSON DRIVE, SUITE 304  
 IRVINE, CALIFORNIA 92612  
 PHONE NO.: 949-903-2426  
 CONTACT: MOSES MORTAZAVI

**KITCHEN DESIGNER**  
 NAME: HATCH DESIGN GROUP  
 ADDRESS: 3180-G AIRPORT LOOP DRIVE  
 COSTA MESA, CALIFORNIA 92626  
 PHONE NO.: 714-978-8385  
 CONTACT: BILL HATCH

**CONSULTANTS**  
**PROJECT INFORMATION**

OWNER: BAY CITY LLC  
 SITE: 15 FIRST STREET  
 SEAL BEACH, CA  
 ZONING: REA  
 CONSTRUCTION TYPE: B-B  
 NO. OF STORES: 1  
 OCCUPANCY: A-2

**LEGAL DESCRIPTION**  
 15 FIRST STREET, SEAL BEACH, CALIFORNIA

**PROJECT DESCRIPTION**  
 TENANT IMPROVEMENT AND REMOVAL OF EXISTING 1-STORY RESTAURANT  
 RELOCATE KITCHEN AND RESTROOM, REBUILD BATHROOM, REWIRE EXISTING  
 KITCHEN AREA INTO DINING AREA, REPLACE DOORS AND WINDOWS, ADD NEW  
 PARTNER TABLE TO SEVERAL MECHANICAL AND NEW LIGHT FIXTURE ELEMENT ON  
 EXISTING ROOF. NO CHANGE IN OCCUPANCY.

APPLICABLE CODES	
2016 CBC	
2016 CMC	
2016 CFC	
2016 CEC	
2016 ENERGY	
2016 GREEN BLDG STD	
CITY OF SEAL BEACH MUNICIPAL CODE	

AREA CALCULATIONS	
FLOOR AREA:	SITE AREA
EXISTING FLOOR AREA: 2,301 SF	(E) LOT (APPROX.) 8,328 SF
FLOOR AREA ADDED: 1,301 SF	
NEW TOTAL: 3,602 SF	
DINING AREA 15/BAR: 59 SEAT. ALLOWED	
PATIO DINING AREA (BAR): 100 SEAT. ALLOWED	
TOTAL: 159 SEAT. ALLOWED	

ARNE VALENTI  
 DESIGNS  
 330 E. HILLET ST. LONG BEACH, CA 90805  
 949-922-4931 FAX: 949-922-4931  
 EMAIL: AVALENTI@AOL.COM

**RECEIVED**  
 South Coast Region

**THE BEACH HOUSE**  
 15 1ST STREET  
 SEAL BEACH, CA

MAR 11 2019  
 CALIFORNIA  
 COASTAL COMMISSION

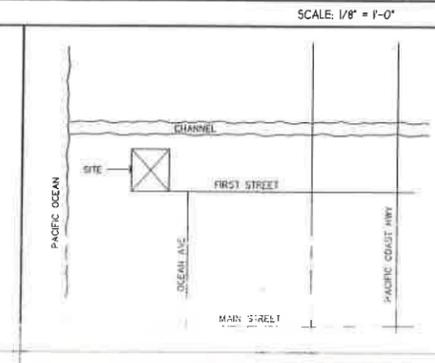
5-19-0218

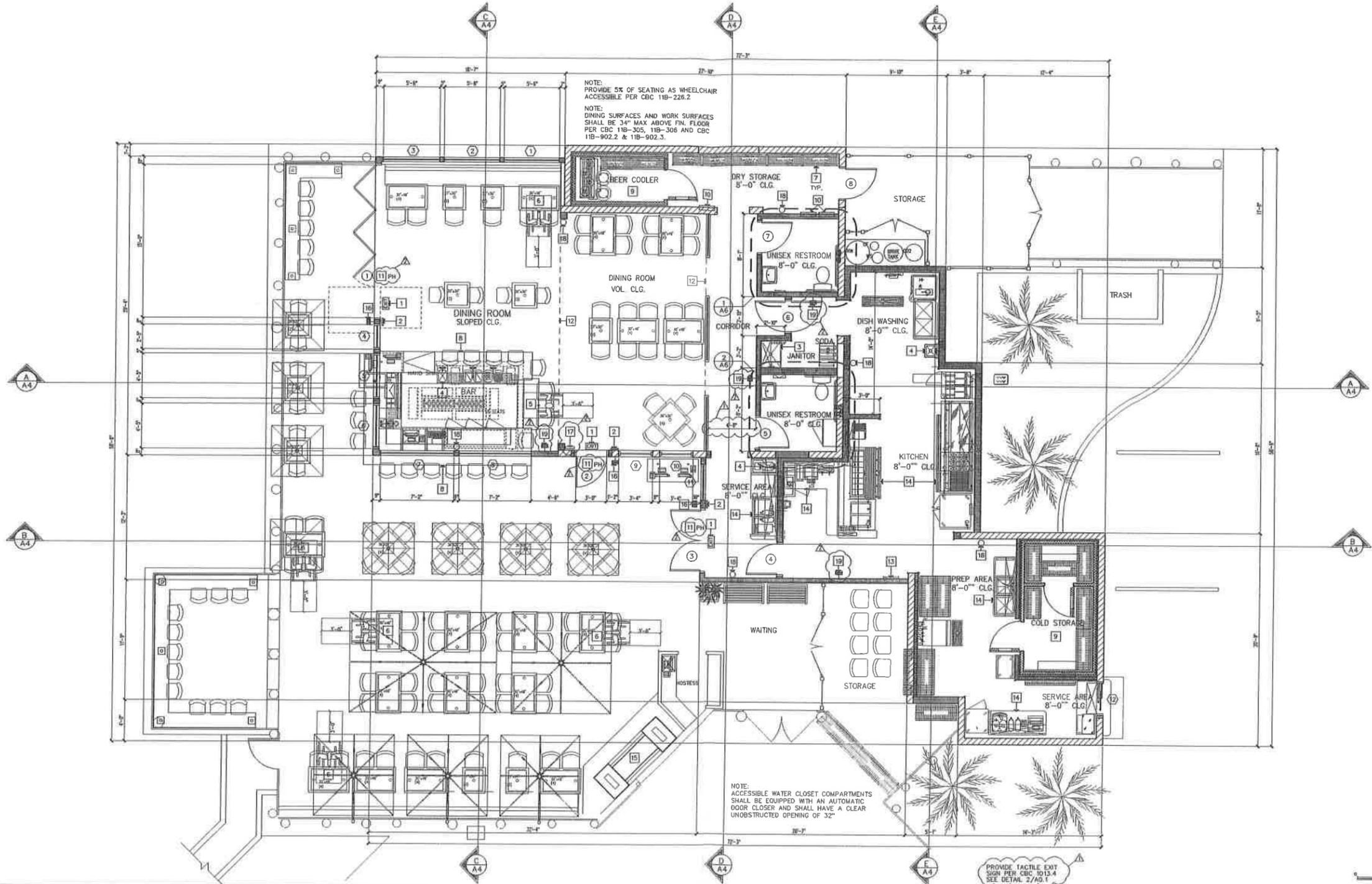
**APPROVED IN CONCEPT**  
**SEAL BEACH PLANNING DEPT**  
*\* Renovation of (E)  
 \* food establishment*  
**SIGNATURE:** *[Signature]*  
**DATE:** 3/11/19

APPROVAL IS REQUIRED FROM THE CITY PLANNING DIVISION PRIOR TO ISSUANCE OF THE BUILDING PERMIT. PROOF OF APPROVAL IS REQUIRED AT THE TIME OF PERMIT ISSUANCE.  
 APPROVAL IS REQUIRED FROM THE CITY ENGINEERING/PUBLIC WORKS DEPARTMENT PRIOR TO ISSUANCE OF THE BUILDING PERMIT. PROOF OF APPROVAL IS REQUIRED AT THE TIME OF PERMIT ISSUANCE.  
 APPROVAL IS REQUIRED FROM THE ORANGE COUNTY FIRE AUTHORITY PRIOR TO ISSUANCE OF THE BUILDING PERMIT. PROOF OF APPROVAL IS REQUIRED AT THE TIME OF PERMIT ISSUANCE.  
 SEWER USE CONNECTION FEES ARE REQUIRED TO BE PAID TO THE ORANGE COUNTY SANITATION DISTRICT.  
 APPROVAL IS REQUIRED FROM THE ORANGE COUNTY HEALTH DEPARTMENT PRIOR TO ISSUANCE OF THE BUILDING PERMIT. PROOF OF APPROVAL IS REQUIRED AT THE TIME OF PERMIT ISSUANCE.  
 SEPARATE PERMIT SHALL FIRST BE OBTAINED FROM THE CITY PUBLIC WORKS DEPARTMENT PRIOR TO PLACEMENT OF ANY CONSTRUCTION MATERIALS OR EQUIPMENT IN THE PUBLIC WAY.  
 AT THE TIME OF PERMIT ISSUANCE, CONTRACTOR SHALL SHOW THEIR VALID WORKERS' COMPENSATION INSURANCE CERTIFICATE.  
 ALL WORK SHALL CONFORM TO ALL REQUIREMENTS OF STATE OF CALIFORNIA REGARDLESS OF THE INFORMATION INDICATED ON THESE PLANS. IT IS THE RESPONSIBILITY OF THE INDIVIDUAL SUPERVISING THE CONSTRUCTION TO ENSURE THAT THE WORK IS DONE IN ACCORDANCE WITH CODE REQUIREMENTS PRIOR TO REQUESTING INSPECTION.  
 EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.  
 WASTE CODES AND QUALITY MANAGEMENT DISTRICT (QMD) SHALL BE ADVISED IN ACCORDANCE WITH CALIFORNIA STATE LAW PRIOR TO START OF ANY DEMOLITION, ADDITION AND/OR REPAIRS. THE QMD COVER IN QUALITY MANAGEMENT DISTRICT OFFICE IS LOCATED AT 21555 COVELEY DRIVE, W. ANAHEIM, CALIF. 92801. (949) 942-1000. THE QMD COVER IN QUALITY MANAGEMENT DISTRICT OFFICE IS LOCATED AT 21555 COVELEY DRIVE, W. ANAHEIM, CALIF. 92801. (949) 942-1000.

SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRUCKED FROM THE SITE BY VEHICLE TRAILER. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO PREVENT SEDIMENTS FROM BEING TRANSPORTED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE CLEANED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.  
 STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.  
 TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A CONTAINER RECEPTACLE TO PREVENT CONTAMINATION OF PAVEMENT AND DISPERSED BY WIND.  
 FUELS, OILS, SOLVENTS AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LABELING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.  
 THE ISSUANCE OF A PERMIT SHALL NOT PREVENT THE BUILDING OFFICIAL FROM REQUESTING INSPECTION.  
 EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.  
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- SITE PLAN**  
 SCALE: 1/8" = 1'-0"
- EXISTING GAS METER
  - EXISTING WATER METER
  - EXISTING UNDERGROUND ELECTRICAL SERVICE
  - EXISTING ACCESSIBLE PARKING SPACE
  - EXISTING CITY PARKING LOT
  - EXISTING PUBLIC RESTROOMS
  - EXISTING GATES
  - NEW 54" HIGH CLASS WINDSCREEN
  - GAS (APPLIANCE) FIREPLACE
  - EXISTING 12" DIA WIND PIPES
  - NEW W3. FENCE AND GATE
  - NEW PATIO UMBRELLAS
  - EXISTING 8' CMU TRASH ENCLOSURE (CITY STD - 08L)
  - EXISTING BICYCLE RACKS





FLOOR PLAN

SCALE: 1/4" = 1'-0"

PER CBC TABLE 422.1 AND TABLE A GROUP A OCCUPANCY - LOAD FACTOR = 30 SF/OCCUPANT  
TOTAL DINING AREA = 2,385 SF @ 30 SF/OCCUPANT = 80 OCCUPANTS  
THEREFORE 40 MALE AND 40 FEMALE

FIXTURE TYPE	MALE	FEMALE
WATERCLOSETS	2 (51-150)	3 (51-150)
URINALS	1 (1-200)	-
LAVATORIES	1 (1-150)	2 (1-150)

FIXTURE TYPE	MALE (PUBLIC)	FEMALE (PUBLIC)	UNISEX
WATERCLOSETS	2	3	2
URINALS	1	-	-
LAVATORIES	2	2	2

DINING AREAS  
INDOOR = 882 SF  
RATIO = 1,568 SF  
TOTAL 2,385 SF @ 30 SF/OCCUPANT = 80 OCCUPANTS

FLOOR AREA  
RESTAURANT (INCLUDING KITCHEN) = 3,101 SF  
TOTAL = 5,135 SF

- (U.O.N.) - UNLESS OTHERWISE NOTED.  
THE CONTRACTOR AND/OR SUBCONTRACTOR SHALL CAREFULLY STUDY & COMPARE ALL DRAWINGS, DATA, DIMENSIONS, SPECS. & CONDITIONS, BEFORE PROCEEDING W/ ANY WORK, & REPORT AT ONCE TO THE PREPARER OF THESE DOCUMENTS ANY ERROR, INCONSISTENCY OR OMISSION HE MAY DISCOVER.  
SEE GENERAL NOTES' SET (S) FOR ADDITIONAL INFO.  
ALL DIMENSIONS ARE TAKEN TO THE FACE OR CENTER OF NOMINAL STD. IN CASE OF CONFLICT, NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE OF DRAWINGS.  
ALL EXT. DRG. 0 BE EXT. GRD. 1-3/4" THICK. SEE EXTERIOR ELEVATIONS. THICK. SEE EXTERIOR ELEVATIONS.  
ALL INT. DRG. TO BE INT. PAINT GRD. SOLID CORE 1-3/4" THK. (U.O.N.)  
ALL WALLS AT PERIMETER OF CONDITIONED SPACE SHALL BE 2X6 U.O.N. VERIFY WITH STRUCTURAL PLANS.  
CONTRACTOR SHALL VERIFY ALL DIMENSIONS WITH MFR SPECIFICATIONS PRIOR ROUGH FRAMING.  
THE FLOW RATES FOR ALL NEW PLUMBING FIXTURES SHALL COMPLY WITH THE MAXIMUM FLOW RATES IN TABLE 9.303.2.  
1. WALL AND CEILING MATERIALS SHALL NOT EXCEED THE FLAME SPREAD CLASSIFICATIONS IN CBC 803.1.1 AND TABLE 803.1.1. PLANK SPREAD INDEX SHALL BE CLASS A, 0-25. SMOKE-DEVELOPED INDEX SHALL BE 0-450 IN ACCORDANCE WITH ASTM E84 OR UL 723.  
2. DOORS SHALL BE READILY OPENABLE FROM THE EGRESS SIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT. CBC 1008.9.

- 1 PROVIDE ILLUMINATED EXIT SIGN PER CBC 1013.1.
- 2 PROVIDE TACTILE EXIT SIGN PER CBC 1013.4. SEE DETAIL 2/A0.1
- 3 MOP SINK. SEE PLUMBING PLANS.
- 4 HAND SINK. SEE PLUMBING PLANS.
- 5 ACCESSIBLE BAR SPACE
- 6 ACCESSIBLE SEATING
- 7 STORAGE SHELVES.
- 8 COUNTERS
- 9 WALK-IN REFRIGERATOR TO BE INSTALLED IN FINISHED SPACE
- 10 ELECTRICAL PANELS. SEE ELECTRICAL.
- 11 PROVIDE PANIC HARDWARE PER CBC 1010.1.10.
- 12 LINE OF SOFFIT OR CEILING ABOVE.
- 13 ROOF ACCESS LADDER. SEE DETAIL
- 14 KITCHEN EQUIPMENT PER SHEET 7-1
- 15 GAS-ONLY DECORATIVE FIRE FEATURE
- 16 PROVIDE EMERGENCY LIGHTING AT THE EXTERIOR LANDING OF EACH EXIT DOORWAY THAT LEADS DIRECTLY TO THE EXIT DISCHARGE. CBC 1008.3
- 17 OCCUPANCY LOAD SIGN PER CBC 1004.3, TITLE 19 SECTION 7.10. SEE DETAIL 2/A0.1
- 18 FIRE EXTINGUISHER
- 19

**WALL LEGEND**

- EXISTING CMU WALL TO REMAIN
- EXISTING STUD WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- NEW STUD WALL
- INSULATED WALK-IN REFRIGERATOR WALL

**SYMBOL LEGEND**

- DOOR NUMBER. SEE DOOR SCHEDULE
- WINDOW NUMBER. SEE WINDOW SCHEDULE
- KEYNOTE NUMBER. SEE KEYNOTES
- SECTION CUT
- X DENOTES NUMBER. 'X' DENOTES SHEET
- INTERIOR ELEVATIONS. 'X' NUMBER

REVISIONS

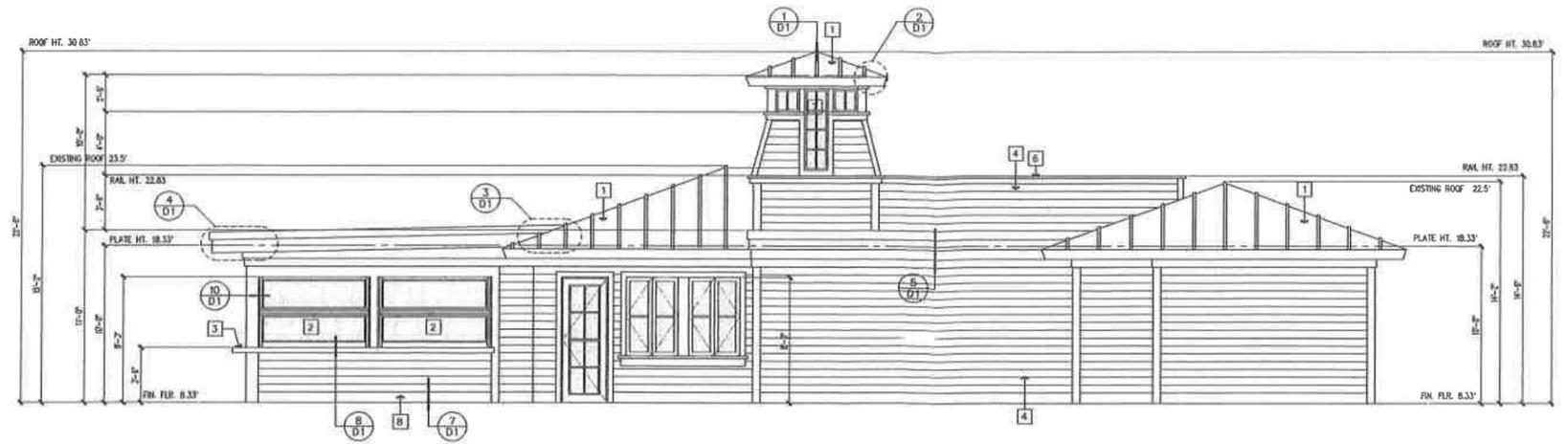
NO.	DATE	DESCRIPTION
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2		FIRE DEPT CORRECTIONS
3		
4		
5		

ARNTI  
VALENZ  
DESIGNS

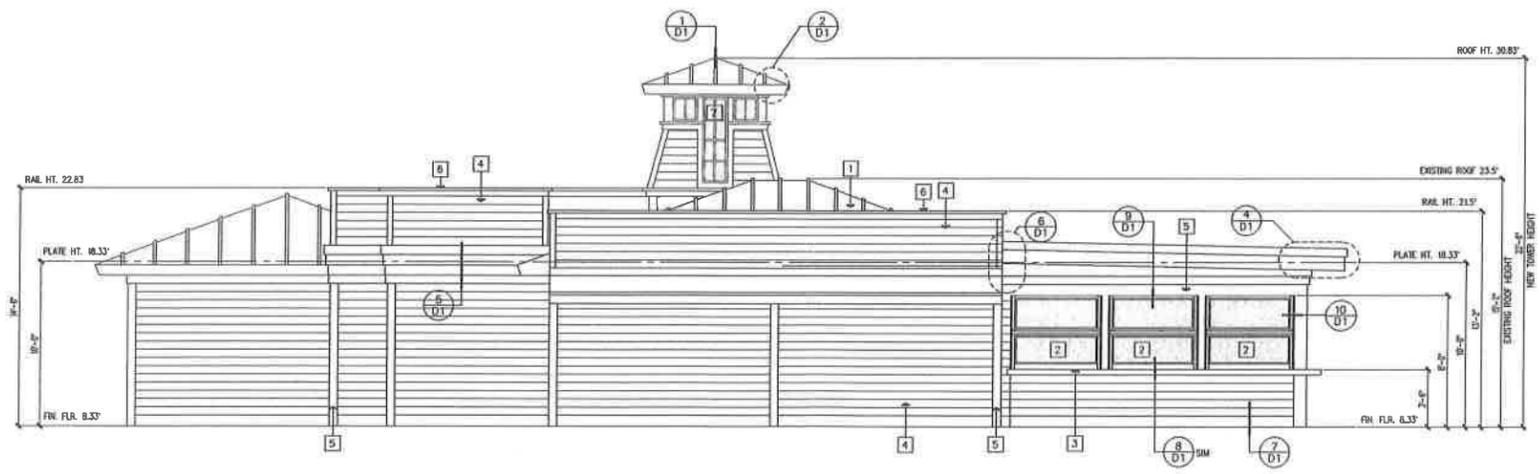
330 E. ANTLER ST. LONG BEACH, CA 90806  
949-427-1451 EMAIL: AVARENTPAGE.COM

THE BEACH HOUSE  
15 1ST STREET  
SEAL BEACH, CA

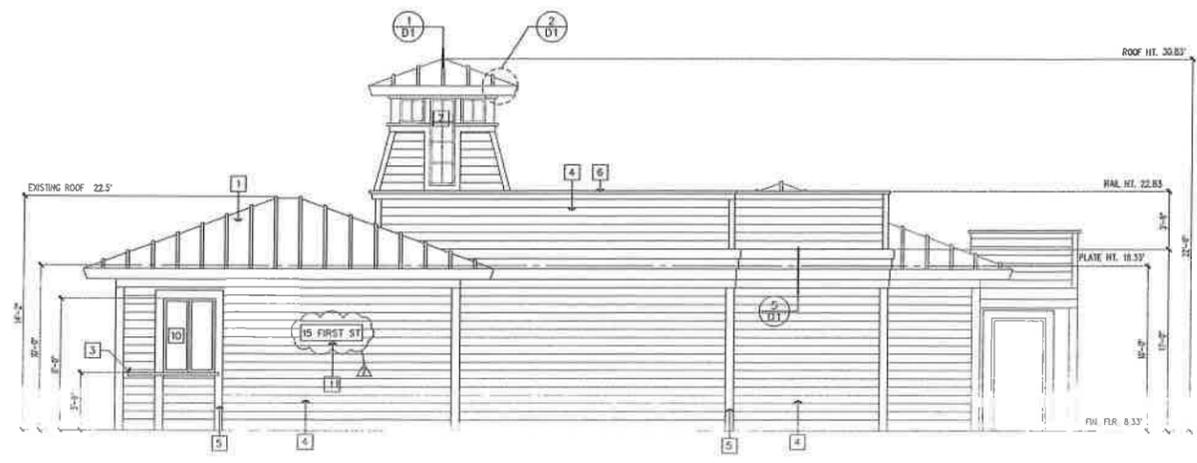
2018-12  
SCALE: 1/4" = 1'-0"  
DRAWN: A.J.V.  
DATE: 11.01.18



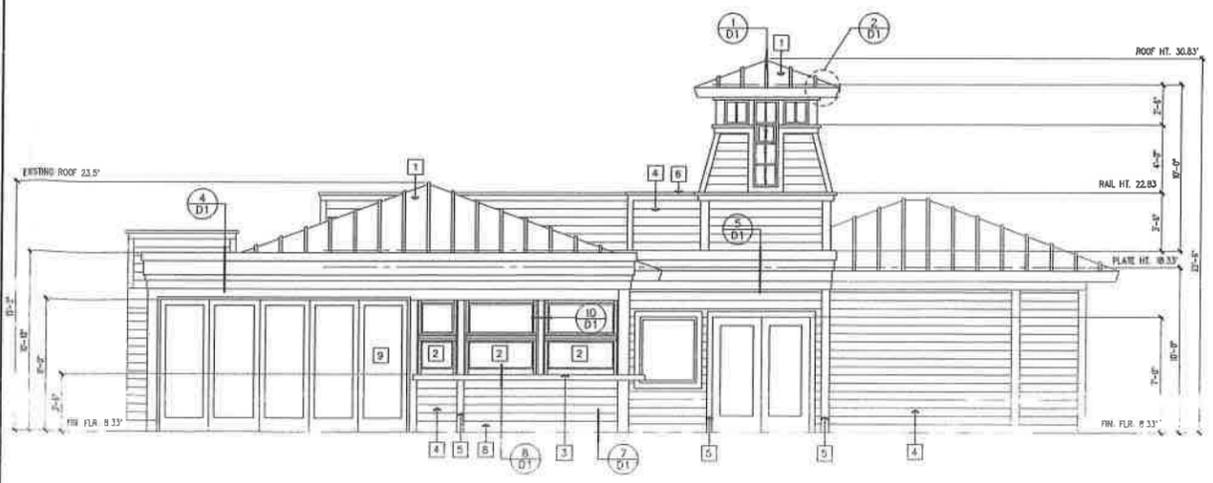
SOUTH ELEVATION



NORTH ELEVATION



EAST ELEVATION



WEST ELEVATION

REVISIONS	
NO.	DATE
▲	BUDG DEPT CORRECTIONS
▲	FIRE DEPT CORRECTIONS
▲	
▲	
▲	
▲	

ARNE VALENTE DESIGNS  
 1307 E. HILLET ST. LONG BEACH, CA 90805  
 561-522-4191 EMAIL: AVALENT@AOL.COM

GENERAL NOTES

- 1 STANDING SEAM ROOF, CARLAND CO. 8-1/2" SPAN OR APPROVED EQUAL.
- 2 FOLD-UP WINDOWS
- 3 STONE COUNTERTOP
- 4 COMPOSITE CLASS 'A' RATED SHIPLAP SIDING.
- 5 WOOD TRIM
- 6 2X COMPOSITE CAP
- 7 INTERNALLY ILLUMINATED TOWER W/ UNSCURED GLASS
- 8 DECORATIVE TILE BAR DIE
- 9 STACKING SLIDING GLASS DOOR
- 10 SERVICE WINDOW
- 11 BUILDING ADDRESS FACING FIRE ACCESS ROAD  
 MINIMUM 4" HIGH LETTERING IN CONTRACTING COLOR

ELEVATION KEY NOTES

THE BEACH HOUSE  
 15 1ST STREET  
 SEAL BEACH, CA

JOB NO: 2018-12  
 SCALE: 1/4" = 1'-0"  
 DRAWN: A.J.V.  
 DATE: 1.01.18