

CALIFORNIA COASTAL COMMISSION

SAN DIEGO DISTRICT OFFICE
7575 METROPOLITAN DRIVE, SUITE 103
SAN DIEGO, CA 92108-4402
VOICE (619) 767-2370
FAX (619) 767-2384



TH5b

6-17-0713 (Unitarian Fellowship Improvements)

November 5, 2020

EXHIBITS

Table of Contents

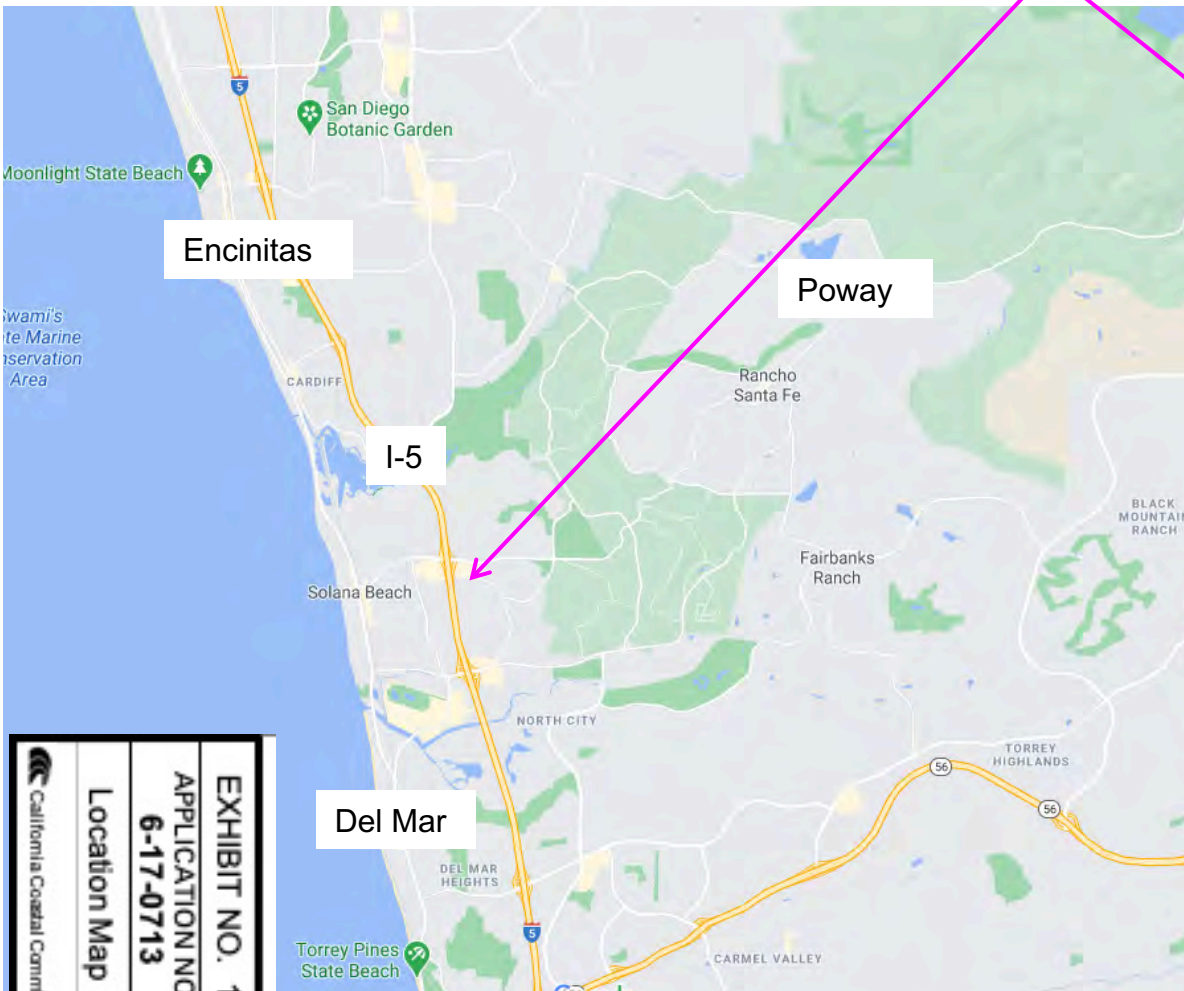
EXHIBIT 1: Project Location

EXHIBIT 2: Site Plans

EXHIBIT 3: Landscaping Plans

Project Location

SITE



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California Coastal Commission

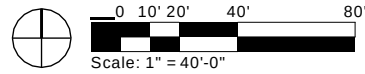
Site Plan

APPLICATION NO.
6-17-0713

EXHIBIT NO. 2



Site Plan.



Notes

Existing Uses/S.F.

#	Name	Area	Comments
A. (E)	Amphitheater - Worship	Not Enclosed	238 seats (no change)
B. (E)	A/V Booth	80 SF	to be demolished
C (E)	Founder's Hall	2,654 SF	---
D (E)	Kitchen	628 SF	---
E (E)	Library - RR	1,916 SF	---
F (E)	Administration	796 SF	---
G (E)	Youth	483 SF	---
H (E)	Classroom - Preschool	467 SF	---
I (E)	Classroom - Preschool	684 SF	---
J (E)	Classroom - Preschool	696 SF	---
Total Existing		8,403 SF	

Total Existing Parking: 70 spaces (including 3 accessible)

Legend

- Southern Maritime Chaparral (ESHA)
- Disturbed Southern Maritime Chaparral (ESHA)
- Existing structure to remain
- Existing 50' Brush Management Buffer required by Fire Marshall
- Existing 100' Brush Management Buffer required by Fire Marshall



Unitarian Universalist Fellowship
1036 Solana Dr.
Solana Beach, CA 92075

Existing Site Plan

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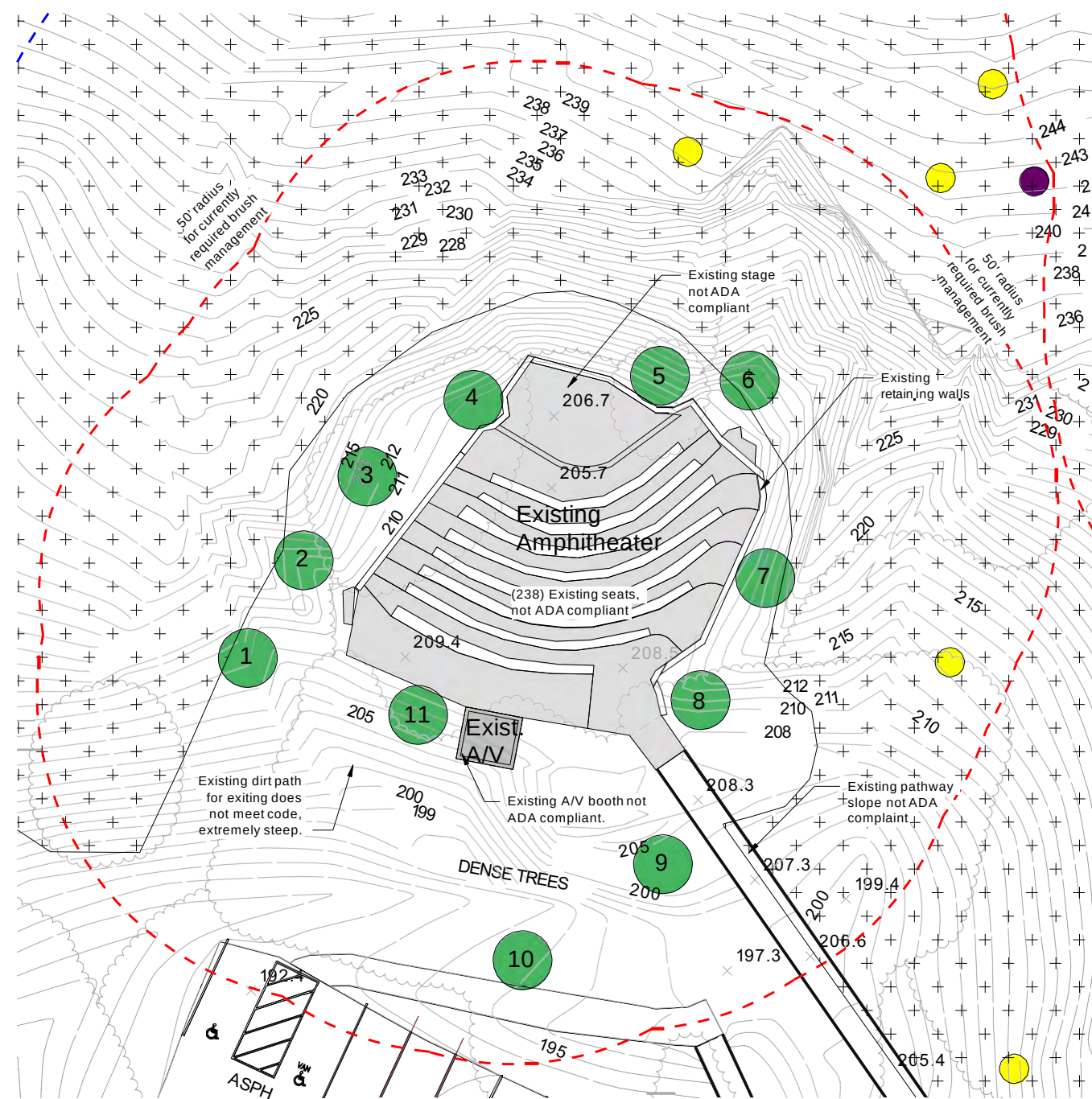


2150 West Washington, Suite 303
San Diego, California 92110

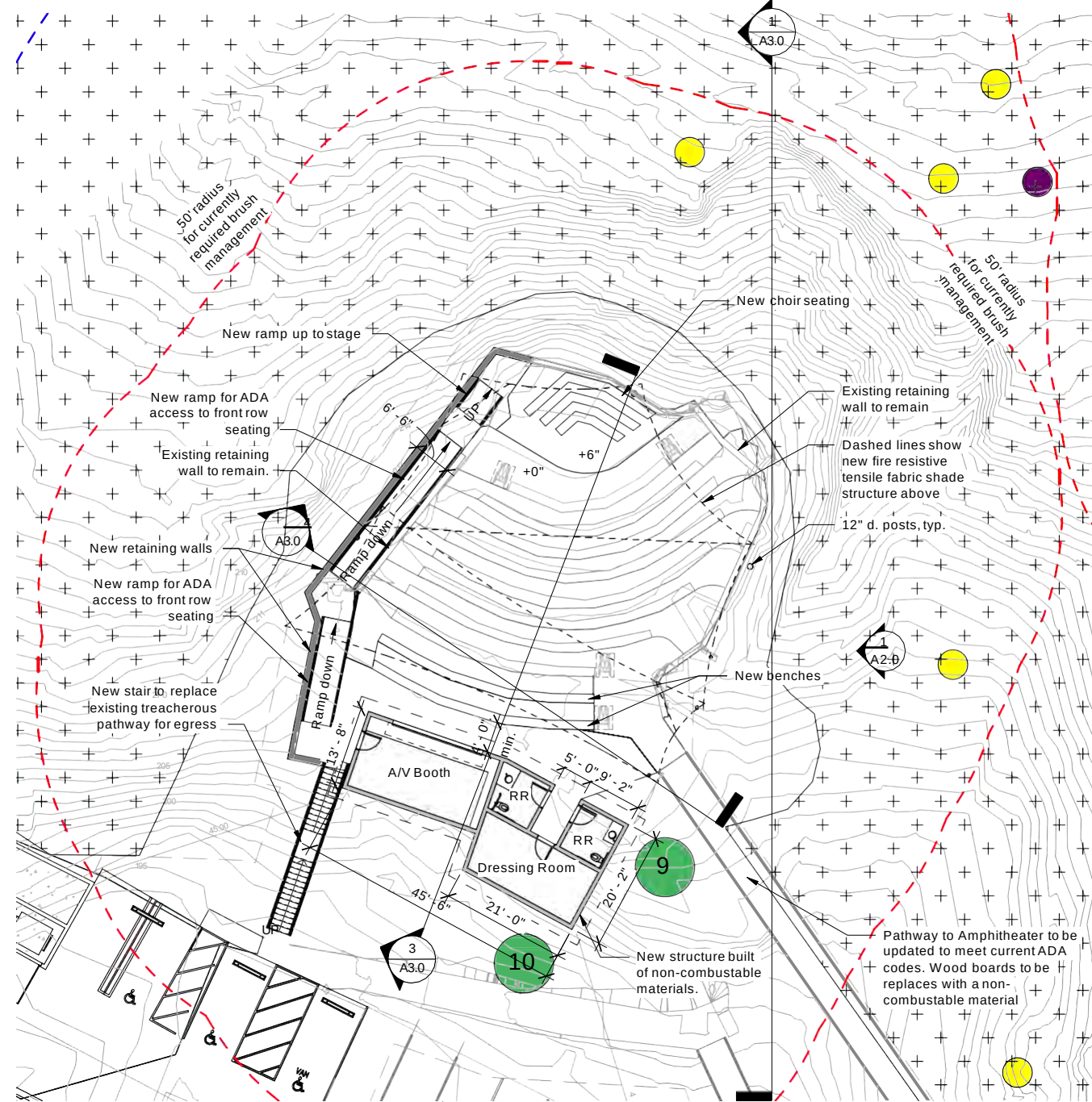
CUP Filing #1	06 15 2016
CUP Revision #1	03 06 2018
CUP Revision #2	05 22 2018
CUP Revision #3	08 06 2018
CUP Revision #4	04 09 2019

Team	
Project No.	1414
Drawing No.	

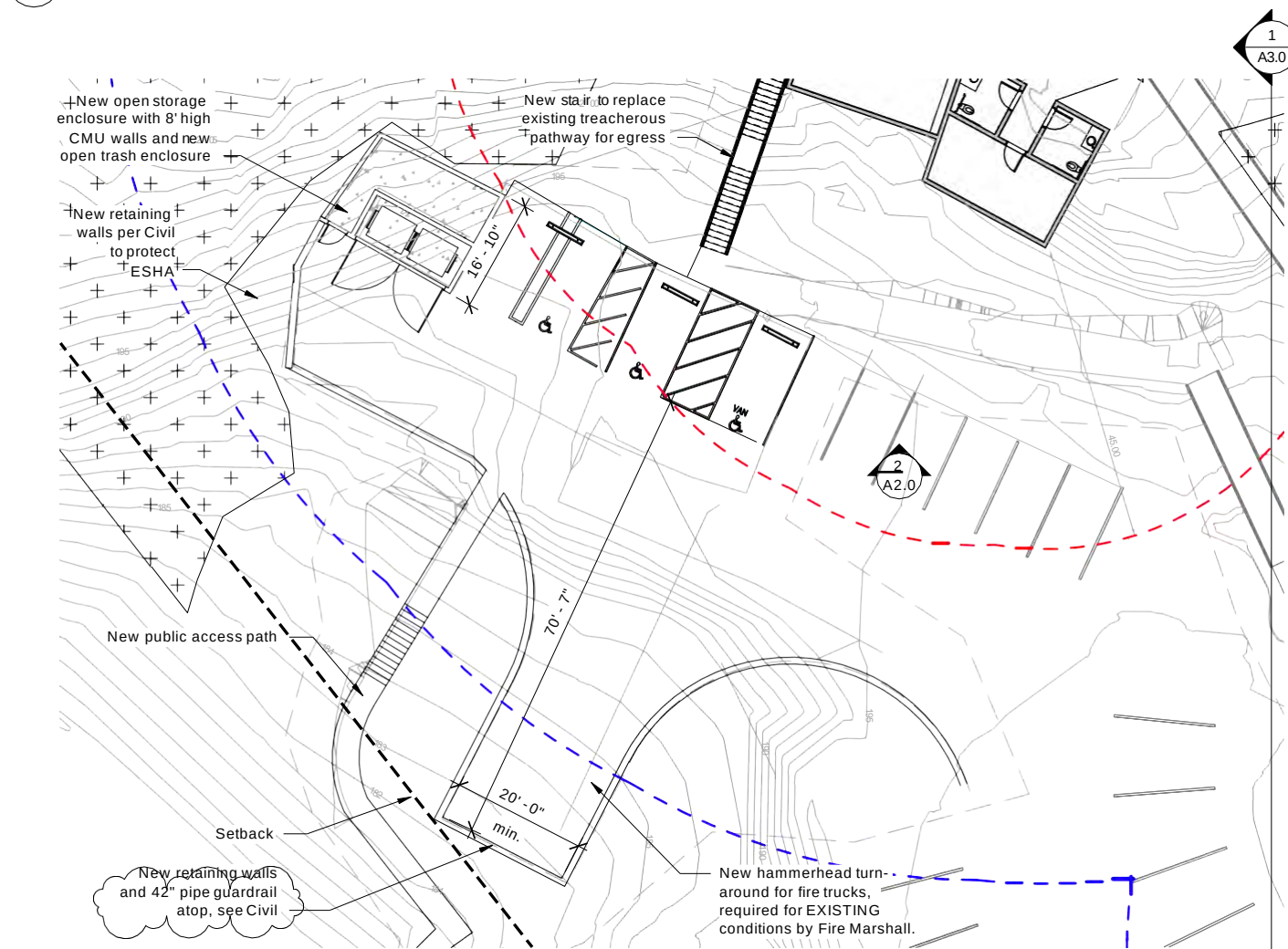
A0.1



1 Amphitheater and A/V Booth Exist/Demo.
1/16" = 1'-0"



2 New A/V / RR Building & Amph. Improvements.
1/16" = 1'-0"



3 New Trash Enclosure and Hammerhead
1/16" = 1'-0"

Notes

Legend



Southern Maritime Chaparral (ESHA)



☐ Disturbed Southern Maritime Chaparral (ESHA)

- - - 50' ESHA Buffer

- - - 100' ESHA Buffer

☐ Existing structure to remain

 New structure addition

- Existing 501(b)(6) Management Buffer

required by Fire Marshall

- Existing 100' Brush Management

Figure 1

New Brush Management & required by Fire Marshall

Species

 Wart-stemmed Ceanthus (protect)

 Ashy Spikemoss (protect) Nuttall's

● Scrub Oak (protect)

Existing Tree Identification

 = Existing Tree Location

#	Type	Action
1	Olive Tree	Remove
2	Aleppo Pine	Remove
3	Aleppo Pine	Remove
4	Olive Tree	Remove
5	Peruvian Pepper Tree	Remove
6	Tropical Acacia species	Remove
7	Group of Eucalyptus trees	Remove
8	& Tropical Acacia species planted	Remove
9	Olive Tree	Remove
9	Aleppo Pine	Trim
10	Aleppo Pine	Trim
11	Group of Aleppo Pines	Remove

Notes:

All trees listed have been identified as planted, non-native/non-ESHA species by Biologist Gerry Sheid of RECON Environmental.

Actions based upon the Fire Marshal's recommendations.

The number of trees removed have been replaced, as shown in the landscape conceptual plan.



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Floor Plans

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CUP Revision #3 08 06 2018

CUP Revision #4 04/09/2019

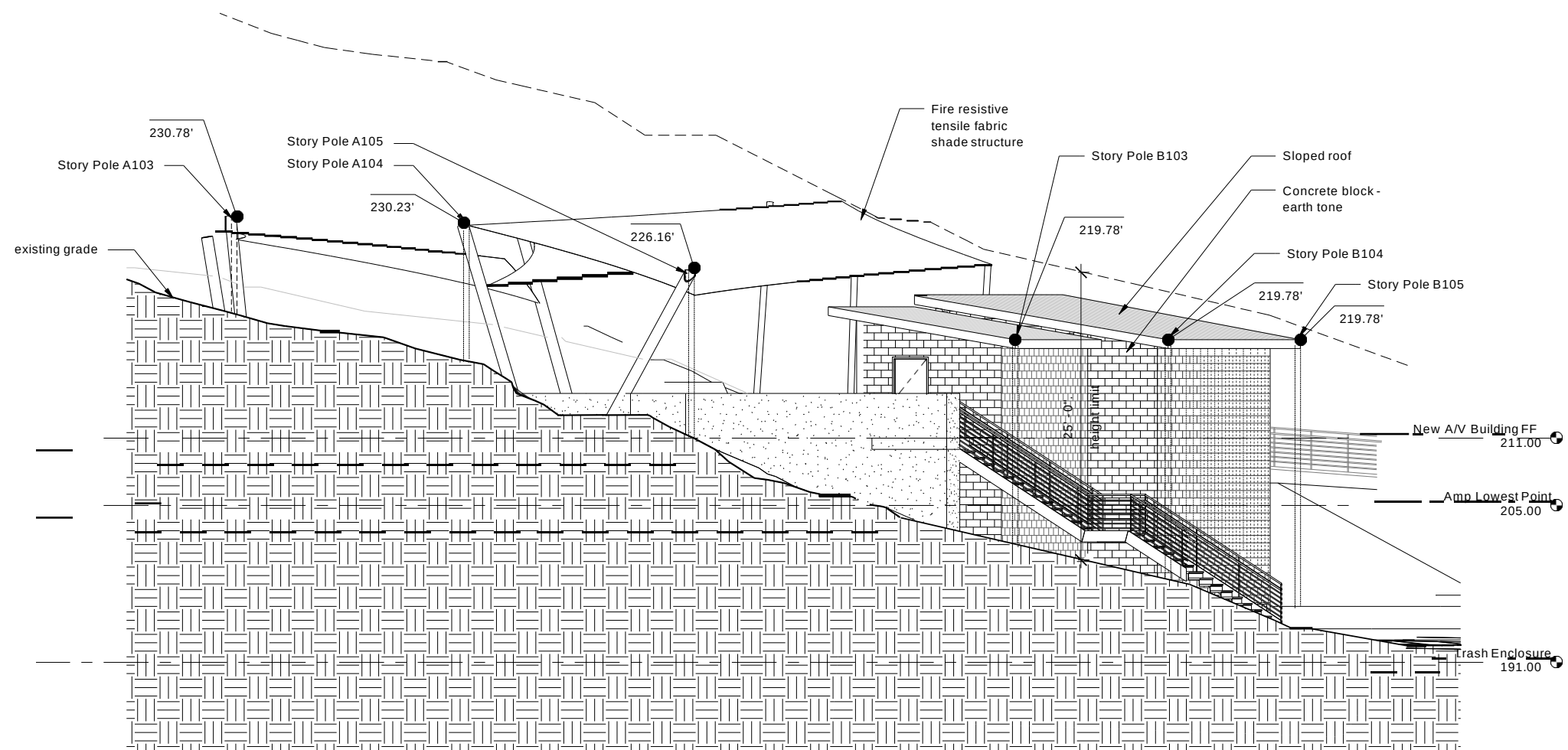
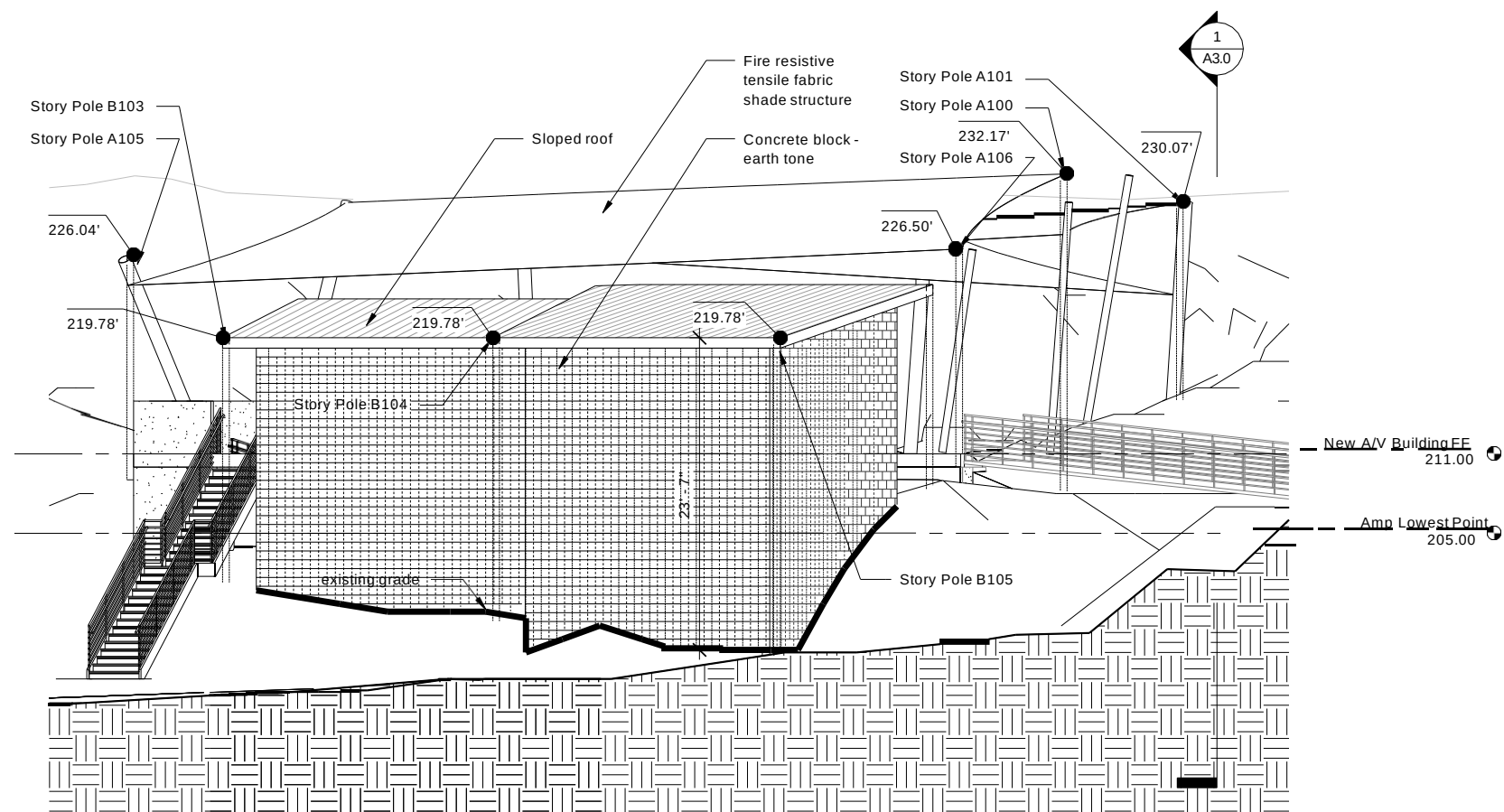
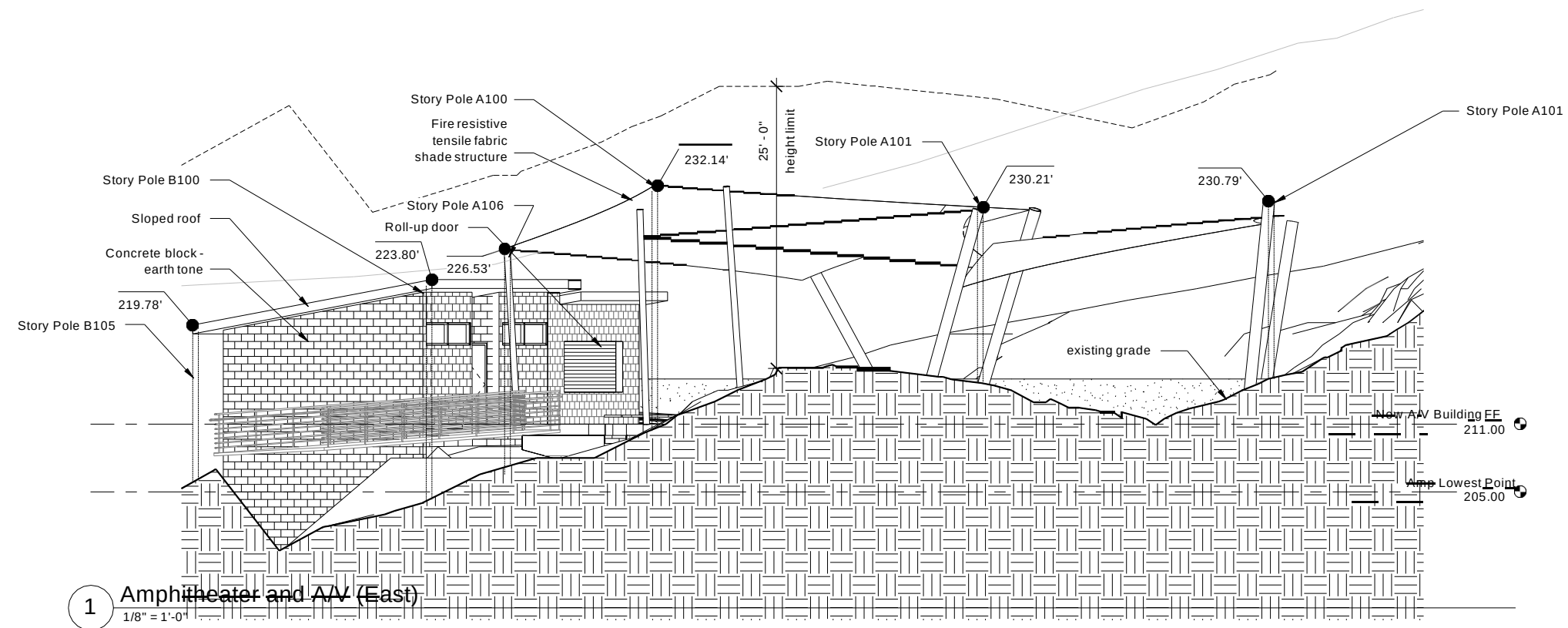
Team

Project No.	1414
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Drawing No.

A1.0

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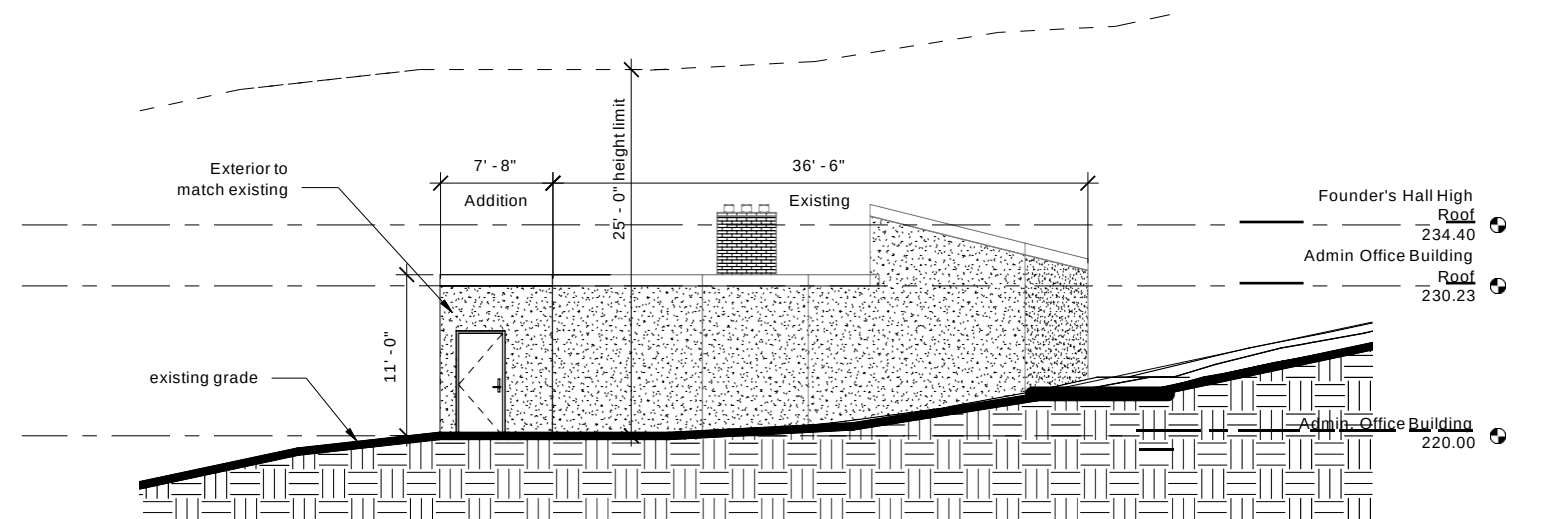
Elevations

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Architectural section drawing of the Founders' Hall New Roof. The drawing shows a cross-section of the building's roof structure. Key features include:

- New columns:** Indicated by dashed lines pointing to the new structural supports.
- New Roof:** Indicated by a dashed line representing the new roof profile.
- Founder's Hall New Roof:** Elevation 210.40.
- Existing block wall:** Indicated by a dashed line pointing to the existing masonry wall.
- New multi-fold doors:** Indicated by a dashed line pointing to the new door structure at the base.
- existing grade:** Indicated by a dashed line pointing to the ground level.

Dimensions shown include a width of 26'-0" and a height of 112'-9" for the main structure. A table on the right lists elevations:

Feature	Elevation
Founder's Hall F.E.	210.40
Amp Lowest Point	205.00
Additional Point	217.40

Exterior to match existing

25'-0" height limit

17'-0"

New Building Addition

23'-8"

Existing Building

11'-10"

existing grade

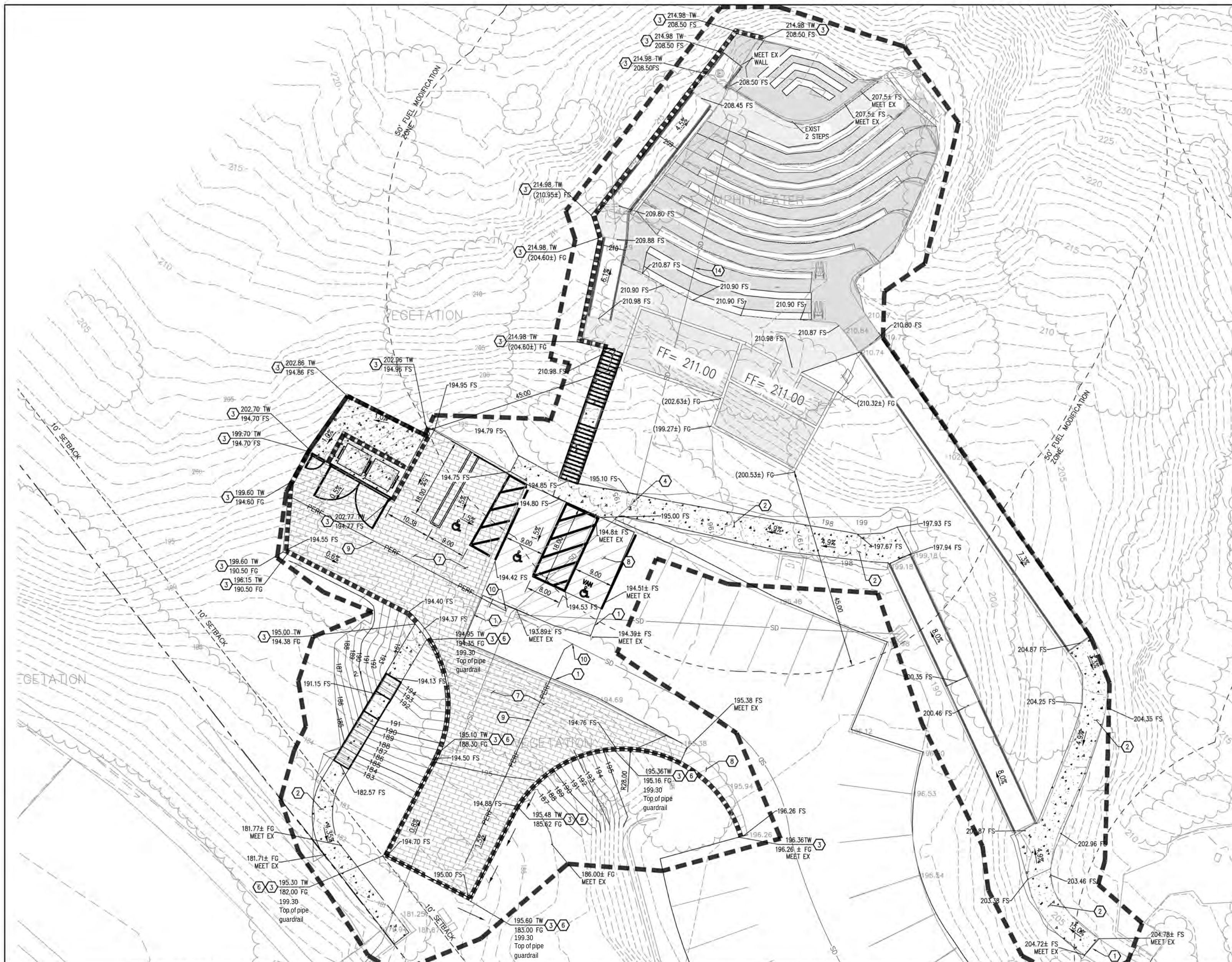
Founder's Hall High Roof 234.40

Admin Office Building Roof 230.23

Admin Office Building 220.00

Architectural elevation drawing showing the Founder's Hall and Admin Office Building. The drawing includes the following dimensions and labels:

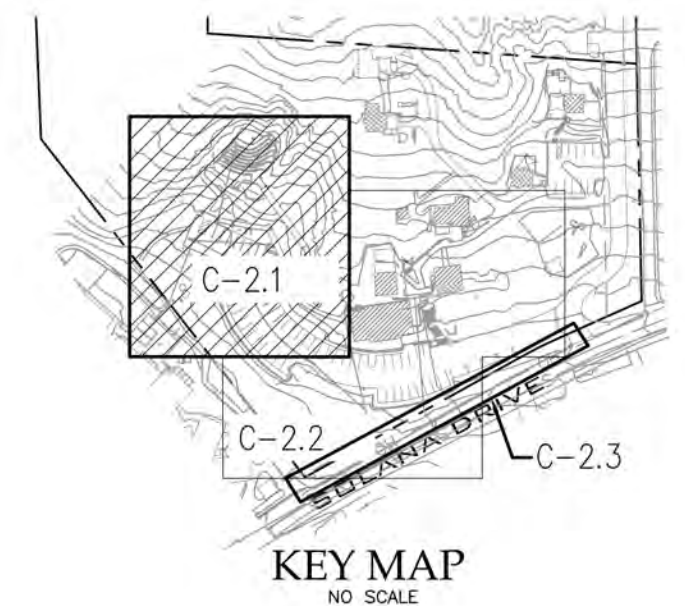
- Existing structure width: 32' - 7"
- Addition width: 11' - 7"
- Existing structure height: 11' - 0"
- Addition height: 25' - 0" (reaching the 25-foot height limit)
- Existing structure roof height: 234.40 (Founder's Hall High Roof)
- Addition roof height: 230.23 (Admin Office Building Roof)
- Admin Office Building roof height: 220.00
- Existing grade line
- 25' height limit line



X	CONSTRUCTION NOTES
1	MEET EXISTING ELEVATION AND GRADE.
2	CONSTRUCT CONCRETE P.C.C. WALKWAY.
3	CONSTRUCT RETAINING WALL PER ARCHITECTURAL PLANS.
4	ADJUST TO GRADE, PROVIDED ADA COMPLIANCE INLET GRATE
5	CONSTRUCT 6" CURB PER SDRSD G-1.
6	CONSTRUCT GUARD POST AND BARRICADE PER SDRSD M-9.
7	CONSTRUCT PERMEABLE PAVER
8	CONSTRUCT AC PAVEMENT
9	4" PVC SDR 35 PERFORATED PIPE
10	CONNECT TO EXISTING STORM DRAIN
11	4" PVC SDR 35 STORM PIPE
12	6" STORM CLEANOUT
13	CONSTRUCT 6" CURB AND GUTTER PER SDRSD G-02.
14	CONSTRUCT 12" AC PAVEMENT TO MATCH EXISTING GRADE. AC PAVEMENT SECTION MATCH IN-KIND.

EARTH WORK				
	2d Area (Sq. Ft.)	Cut (Cu. Yd.)	Fill (Cu. Yd.)	Net (Cu. Yd.)
Total	12915.93	259.75	1065.07	805.32<FILL>

FOOTING CUT AND COMPACTION		CUT (CY)	COMPACTION
A/V BUILDING		41	95% PROCTOR COMPACTION
ADMIN ADDITION		11	95% PROCTOR COMPACTION
TOTAL		52	



GRAPHIC SCALE
(IN FEET)
1 INCH = 10 FT

COASTAL COMMISSION PERMIT NO. _____

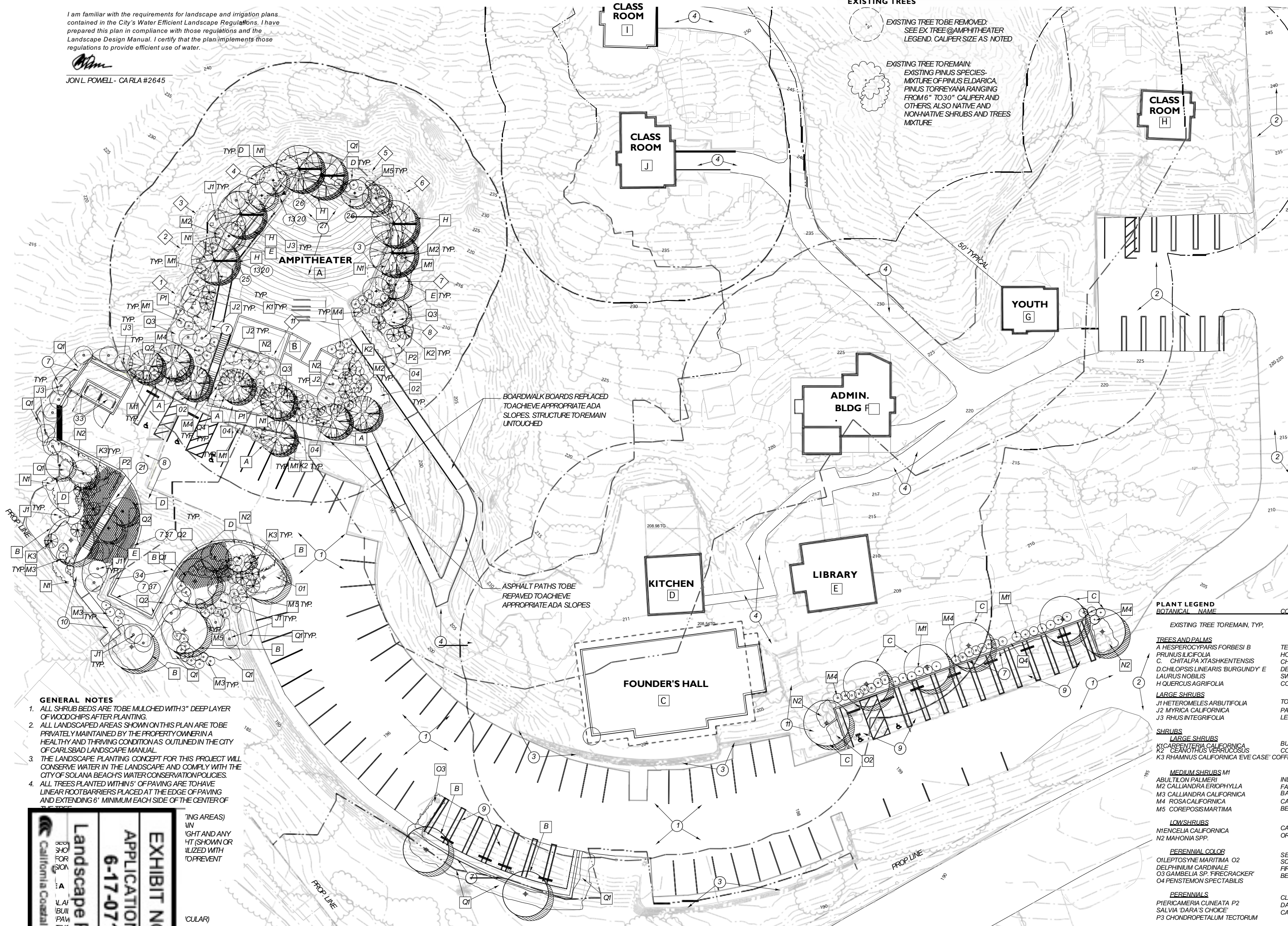
 10525 Vista Sorrento Parkway, Suite 350 San Diego, CA 92121 (858) 500-4500 Fax: (858) 500-4501	CUP ONLY: NOT FOR CONSTRUCTION		ENGINEER OF WORK		CITY APPROVED CHANGES		APP'D DATE	RECOMMENDED FOR APPROVAL		APPROVED FOR CONSTRUCTION		BENCH MARK		CITY OF SOLANA BEACH		ENGINEERING DEPARTMENT		DRAWING NO.	
	Drawn By	By:	Date:					By:	Date:	By:	Date:	DESCRIPTION: A 2.5" BRASS DISC STAMPED "LS 7322" LOCATION: IN FRONT OF THE SOLANA BEACH LIBRARY ON STEVENS AVE. ELEV.: 110.41'	DATUM: NAVD 88	GRADING AND DRAINAGE PLAN: UNITARIAN UNIVERSALIST FELLOWSHIP OF SAN DIEGUITO OWNER OR NAME OF PROJECT				C-2.1	Sheet of

Deneen Powell Atelier, Inc.

I am familiar with the requirements for landscape and irrigation plans contained in the City's Water Efficient Landscape Regulations. I have prepared this plan in compliance with those regulations and the Landscape Design Manual. I certify that the plan implements those regulations to provide efficient use of water.

Jon L. Powell

JOHN L. POWELL - CARLA #2645



EXISTING TREE REMOVAL LEGEND

- 1 OLIVE - MULTI 6"
- 2 ALEPPO PINE - 15"
- 3 ALEPPO PINE 15"
- 4 OLIVE-MULTI 6"
- 5 BRAZILIAN PEPPER-12"
- 6 ACACIA - 6"
- 7 EUCALYPTUS GROUP- VARIOUS
- 8 OLIVE-MULTI 6"
- 11 ALEPPO PINE - 10"

IRRIGATION NOTES

- 1. ALL AREAS SHOWN TO BE PLANTED WILL BE IRRIGATED WITH A FULLY AUTOMATIC, UNDERGROUND IRRIGATION SYSTEM. THIS SYSTEM WILL USE LOW GALLONAGE, LOW PRECIPITATION RATE SPRAY OR ROTATOR HEADS, ALONG WITH BUBBLER HEADS IN SMALLER AREAS. HEADS WILL BE GROUPED INTO ZONES BASED ON EXPOSURE AND PLANT TYPES. AUTOMATIC VALVES WILL CONTROL THE FLOW OF WATER TO EACH ZONE.
- 2. THE SYSTEM WILL BE CONNECTED TO THE EXISTING DOMESTIC IRRIGATION SYSTEM / POTABLE WATER SUPPLY THROUGH AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTER.
- 3. A "SMART CONTROLLER" WITH SCHEDULE ADJUSTED BY ACTUAL LOCAL EVAPOTRANSPIRATION (ET) RATES WILL BE USED TO CONTROL THE AUTOMATIC VALVES.
- 4. AN AUTOMATIC RAIN SENSING OVER-RIDE WILL BE CONNECTED TO THE CONTROLLER.
- 5. INDIVIDUAL HEADS AND ZONES WILL BE ADJUSTED TO MINIMIZE OVERSPRAY ONTO BUILDINGS, WALLS, WALKS AND PAVEMENTS. THE SYSTEM WILL ALSO BE PROGRAMMED TO BE RESPONSIVE TO SEASONAL PLANT NEEDS.
- 6. OVER-HEAD IRRIGATION WILL NOT BE USED IN AREAS WITHIN 2' OF HARDSCAPE OR IN PLANTERS 10' WIDE OR LESS.

CONSTRUCTION LEGEND

- 1 EXISTING POROUS CONCRETE PARKING LOT TO REMAIN
- 2 EXISTING ASPHALT ROAD/PAVING TO REMAIN
- 3 EXISTING RETAINING WALL TO REMAIN
- 4 EXISTING WALL TO REMAIN
- 7 RETAINING WALL - SEE CIVIL PLANS
- 8 NEW POROUS CONCRETE PARKING PER CIVIL PLANS
- 9 NEW POROUS CONC. DRIVE AND PARKING PER CIVIL PLANS
- 10 CONCRETE WALK- NATURAL GRAY, LIGHT BROOM FINISH
- 11 CONC. WALK, IRREGULAR EDGES, NAT. GRAY, LT AGG. FIN.
- 13 CONCRETE RAMP PAVING, NATURAL GRAY-LT BROOM FIN.
- 20 RAMP WITH CURB AND TUBE STEEL HANDRAILS
- 21 CONC. STEPS W/ CHEEK RET. WALL/T.S. HANDRAIL
- 23 ACCESSIBLE RAMP
- 25 3'-4' HIGH COBBLE RETAINING WALL
- 26 ANGLED UPRIGHT TRELLIS BEHIND EX. WALL - 8' HIGH
- 27 AMPHITHEATER SHADE CANOPIES WALLS PER ARCH.
- 32 EXISTING CLASSROOM TO BE REMOVED
- 33 TRASH/RECYCLING/STORAGE AREA - SEE ARCH.
- 34 CURB - SEE CIVIL ENGINEER'S PLANS
- 37 HEAVY DUTY METAL GUARDRAIL ON TOP OF RET. WALL

PLANT LEGEND

BOTANICAL NAME	COMMON NAME	SIZE	SPACING	QTY	MATURE HEIGHT	
EXISTING TREE TO REMAIN, TYP.		CALIPER SIZE AS NOTED				
TREES AND PALMS						
A HESPEROCYPARIS FORBESII B	TECATE CYPRESS	24" BOX	AS SHOWN	8	30'	LOW
PRUNUS ILICIFOLIA	HOLLY LEAF CHERRY	24" BOX	AS SHOWN	7	25'	VLOW
C. CHITALPA XTASHKENTENSIS	CHITALPA PINK DAWN	24" BOX	AS SHOWN	6	20'	LOW
D. CHLOPIS LINEARIS BURGUNDY E	DESERT WILLOW	24" BOX	AS SHOWN	10	15'	VLOW
LAURUS NOBILIS	SWEET BAY	24" BOX	AS SHOWN	4	12'	LOW
H QUERCUS AGRIFOLIA	COAST LIVE OAK	24" BOX	AS SHOWN	6	40'	VLOW
LARGE SHRUBS						
J1 HETEROMELES ARBUTIFOLIA	TOYON	15 GAL.	AS SHOWN	16	8'	LOW
J2 MYRICA CALIFORNICA	PACIFIC WAXMYRTLE	15 GAL.	AS SHOWN	9	10'	VLOW
J3 RHUS INTEGRIFOLIA	LEMONADE BERRY	15 GAL.	AS SHOWN	11	8'	LOW
SHRUBS						
LARGE SHRUBS						
K1 CARPENTERIA CALIFORNICA	BUSH ANEMONE	5 GAL.	AS SHOWN	8	8'	LOW
K2 OENOTHUS VERRUCOSUS	COAST WHITE LILAC	5 GAL.	AS SHOWN	11	6'	LOW
K3 RHAMNUS CALIFORNICA EVE CASE	COFFEEBERRY	5 GAL.	AS SHOWN	11	6'	VLOW
MEDIUM SHRUBS M1						
ABUTILON PALMERI	INDIAN MALLOW	5 GAL.	AS SHOWN	40		LOW
M2 CALLIANDRA ERIOPHYLLA	FAIRY DUSTER	5 GAL.	AS SHOWN	25		VLOW
M3 CALLIANDRA CALIFORNICA	BAJA FAIRY DUSTER	5 GAL.	AS SHOWN	28		VLOW
M4 ROSA CALIFORNICA	CALIFORNIA ROSE	5 GAL.	AS SHOWN	39		LOW
M5 COREOPSIS MARTIMA	BEACH COREOPSIS	1 GAL.	AS SHOWN	42		VLOW
LOW SHRUBS						
N1 NENECIA CALIFORNICA	CANYON SUNFLOWER	1 GAL.	2" O.C.	320 TOTAL		VLOW
N2 MAHONIA SPP.	OREGON GRAPE	1 GAL.	2" O.C.	440 TOTAL		LOW
PERENNIAL COLOR						
O1 LEPTOSYNE MARITIMA O2	SEA DAHLIA	1 GAL.	18" O.C.	110 TOTAL		VLOW
O3 DELPHINIUM CARDINALE	SCARLET LARKSPUR	1 GAL.	18" O.C.	50 FLATS		LOW
O4 GAMBELIA SP. 'FIRECRACKER'	FIRECRACKER SNAPDRAGON	1 GAL.	18" O.C.	FLATS 12" O.C.		VLOW
O5 PENSTEMON SPECTABILIS	BEARD TONGUE	1 GAL.	18" O.C.	FLATS 12" O.C.		LOW
PERENNIALS						
P1 PIERIS CAMERIA CUNEATA P2	CLIFF GOLDENBUSH	1 GAL.	3" O.C.	110 TOTAL		LOW
P3 SALVIA 'DARA'S CHOICE'	DARA'S SALVIA	1 GAL.	3" O.C.	LOW		LOW
P4 CHONDROPETALUM TECTORUM	CAPE RUSH	1 GAL.	3" O.C.	LOW		LOW
GROUND COVERS						
Q1 TRIPTERYGIUM SEMIBACCATA	SALT BUSH	LINERS 12" O.C.		50 FLATS		VLOW
Q2 OENOTHERA SPECIOSA	MEXICAN EVENING PRIMROSE	FLATS 12" O.C.		(64 PLANTS PER FLAT)		LOW
Q3 SALVIA 'BEES BLISS'	CREeping SAGE	FLATS 12" O.C.				LOW
Q4 ZAUSCHNERIA CAL. BERTS BLUFF	BERTS CALIFORNIA FUSCHIA	FLATS 12" O.C.				LOW

WOOD CHIPS IN ALL SHRUB AND GROUND COVER AREAS - 3" DEPTH - ALSO SEE GENERAL NOTES

WOOD CHIPS IN ALL SHRUB AND GROUND COVER AREAS - 3" DEPTH - ALSO SEE GENERAL NOTES

REVISIONS BY

- CUPREVISION #2
- 2305 EL CAJON BLVD.
- SAN DIEGO, CA 92104
- TEL. 619.294.9042
- FAX. 619.294.9028
- www.dpadesign.com



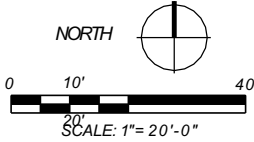
UNITARIAN UNIVERSALIST FELLOWSHIP
LANDSCAPE CONCEPT PLAN
SOLANA BEACH, CALIFORNIA

DATE 7.13.20
SCALE 1"=20'-0"
DRAWN JLP
JOB NO. 14-004
SHEET

- GENERAL NOTES
- 1. ALL SHRUB BEDS ARE TO BE MULCHED WITH 3" DEEP LAYER OF WOODCHIPS AFTER PLANTING.
 - 2. ALL LANDSCAPED AREAS SHOWN ON THIS PLAN ARE TO BE PRIVATELY MAINTAINED BY THE PROPERTY OWNER IN A HEALTHY AND THRIVING CONDITION AS OUTLINED IN THE CITY OF CARLSBAD LANDSCAPE MANUAL.
 - 3. THE LANDSCAPE PLANTING CONCEPT FOR THIS PROJECT WILL CONSERVE WATER IN THE LANDSCAPE AND COMPLY WITH THE CITY OF SOLANA BEACH'S WATER CONSERVATION POLICIES.
 - 4. ALL TREES PLANTED WITHIN 5' OF PAVING ARE TO HAVE LINEAR ROOT BARRIERS PLACED AT THE EDGE OF PAVING AND EXTENDING 6' MINIMUM EACH SIDE OF THE CENTER OF PAVING.

(TING AREAS)
LIGHT AND ANY
HTY (SHOWN OR
ILIZED WITH
TO PREVENT

(CULAR)
S.F.
17 S.F.



PROPOSED 21% GRADED SLOPE - SEE GENERAL NOTE 6

California Coastal Commission

Landscape Plans

APPLICATION NO. 6-17-0713

EXHIBIT NO. 3