

CALIFORNIA COASTAL COMMISSION

South Coast District Office
301 E Ocean Blvd., Suite 300
Long Beach, CA 90802-4302
(562) 590-5071



W16a

5-84-866-A1 (1522 2nd Street, LLC)

NOVEMBER 4, 2020

EXHIBITS

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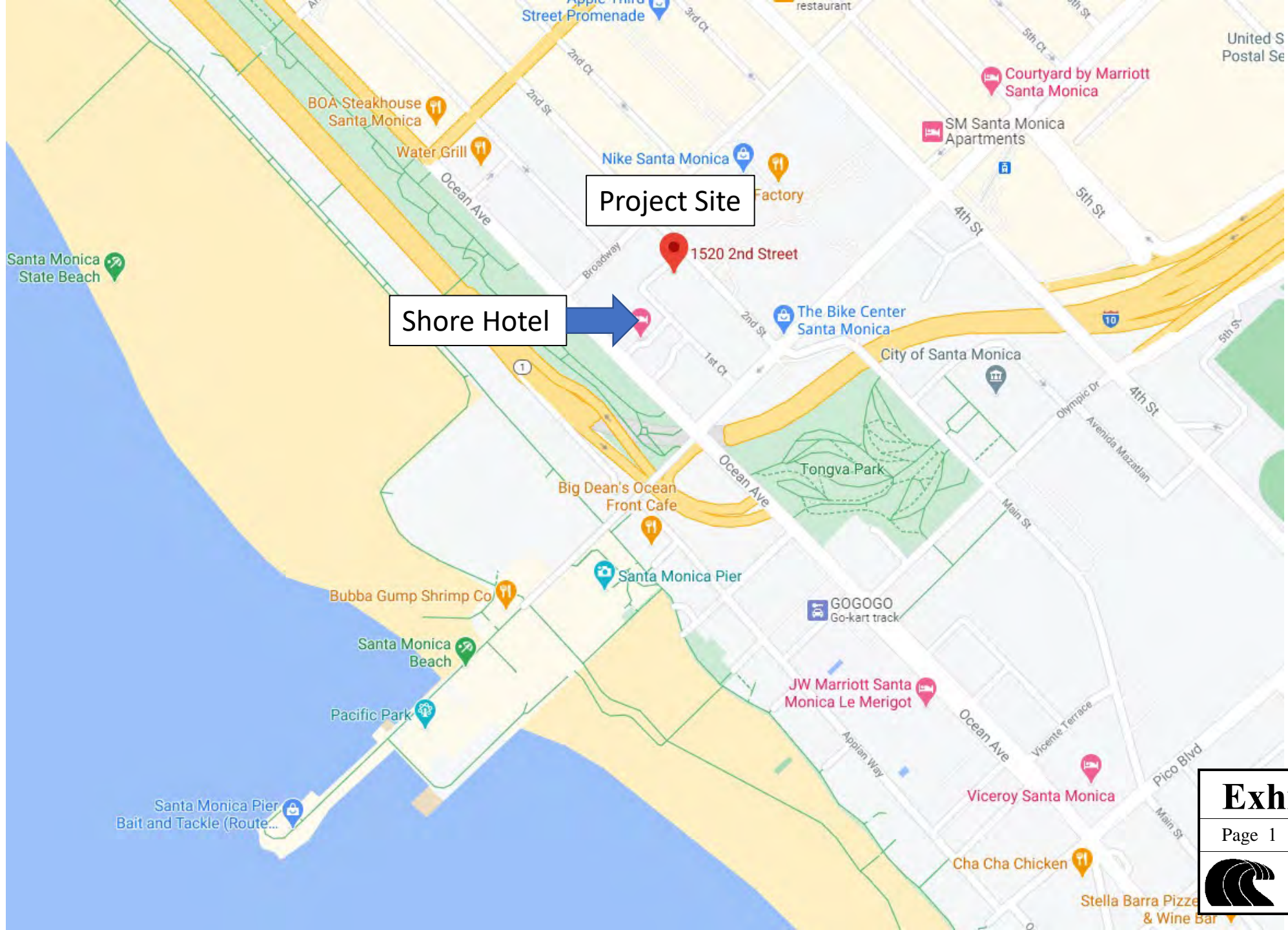


Exhibit 1

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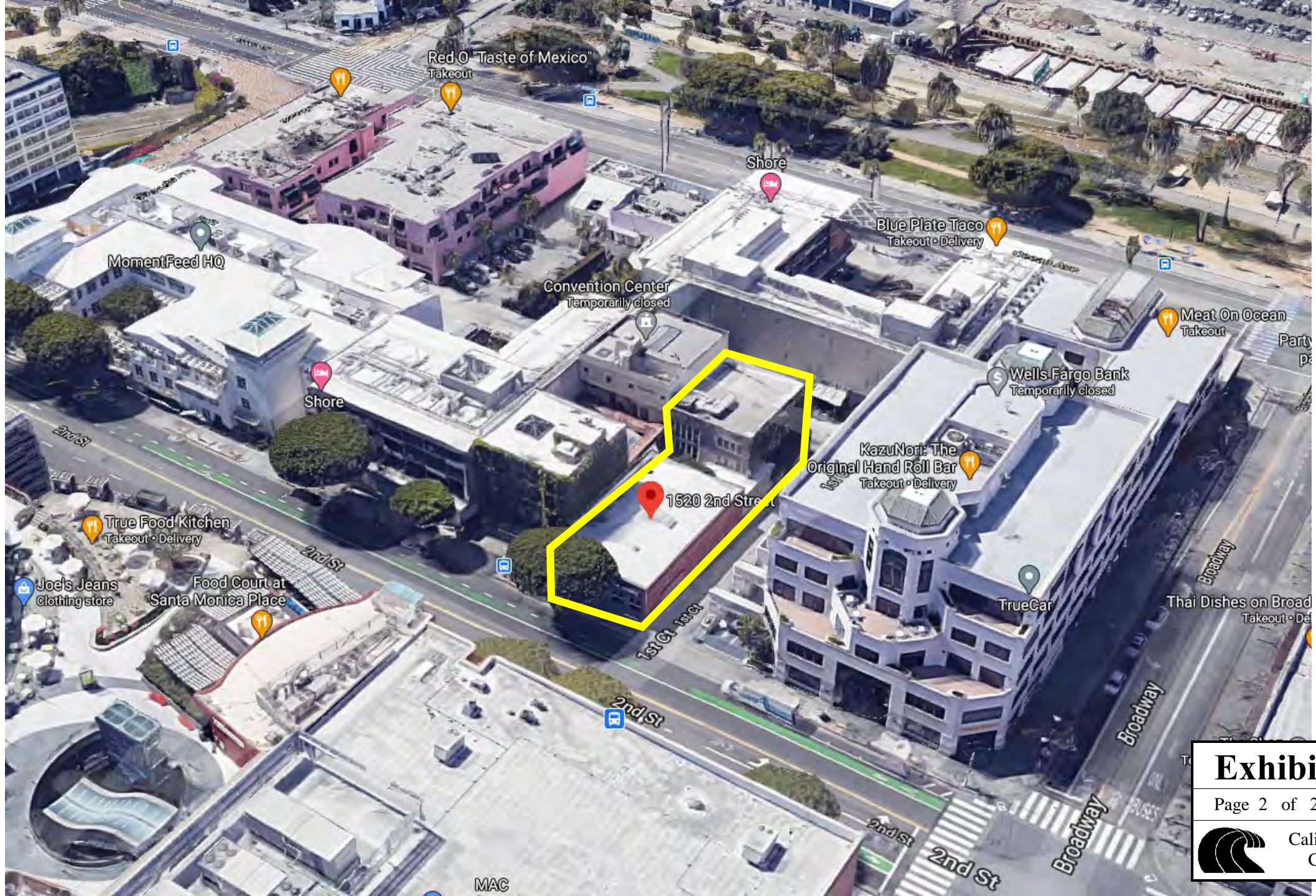
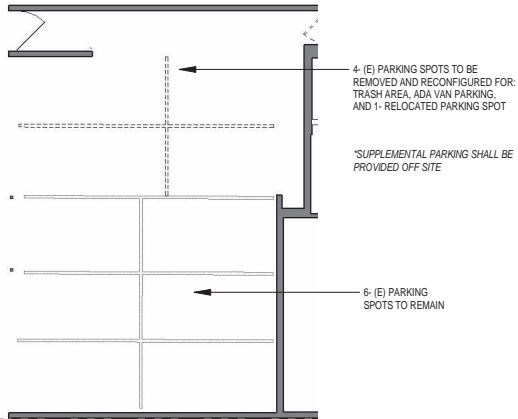


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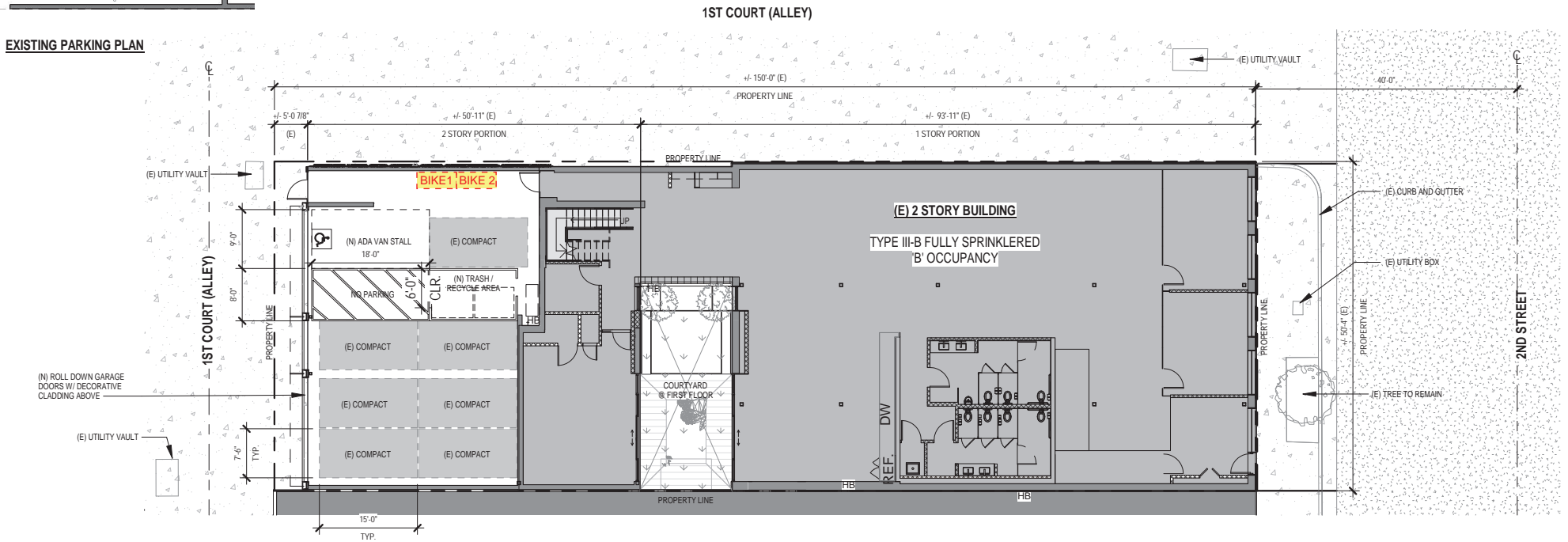
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EXISTING PARKING PLAN



SITE PLAN

SCALE: 1/16" = 1'-0"



Exhibit 2

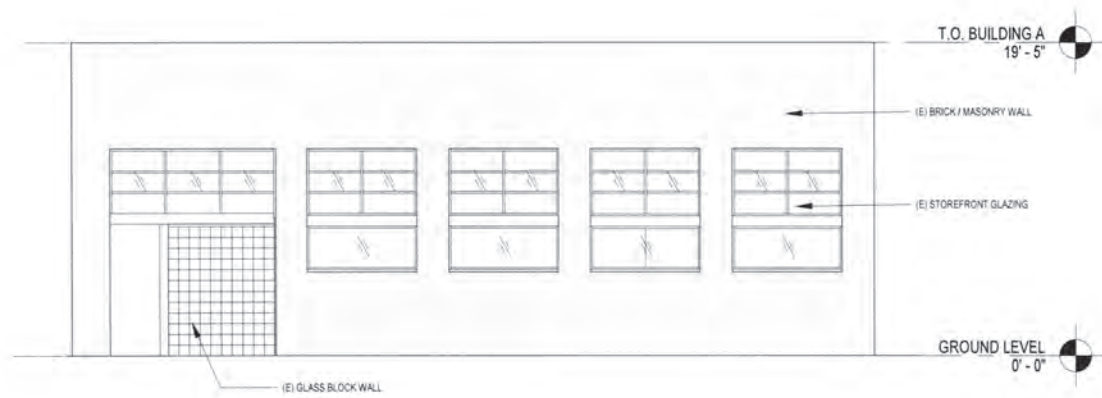
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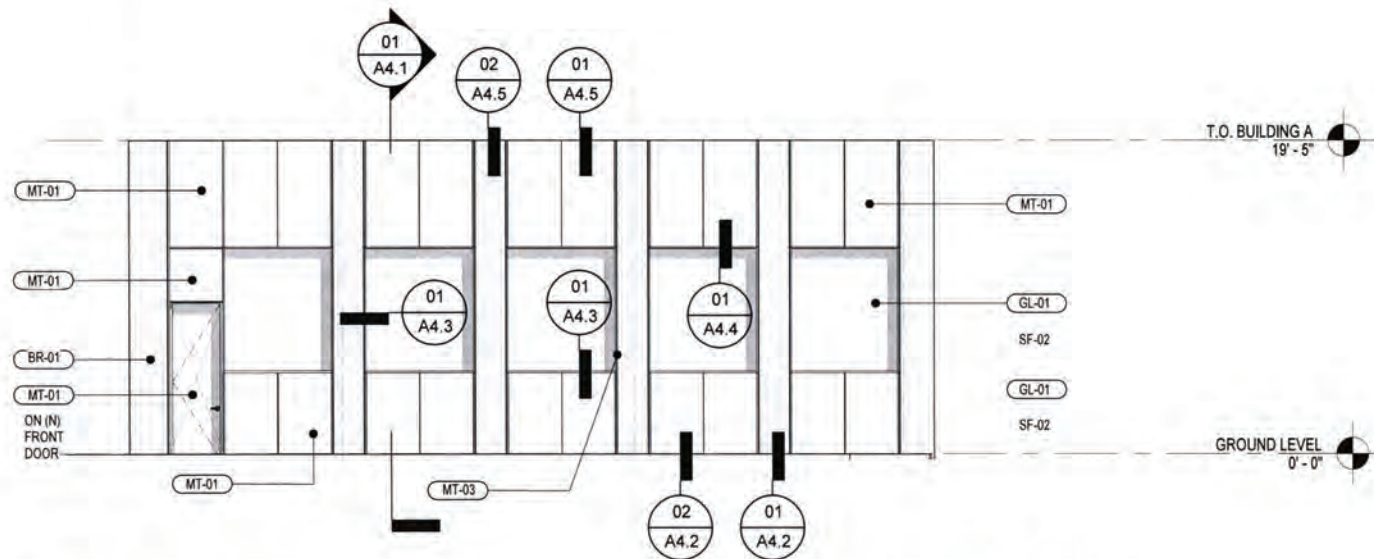


A2.1
Rubin +
Associates,
Inc.



FRONT / EAST ELEVATION 01
SCALE: 1/8" = 1'-0"

EXISTING ELEVATION (EAST)
SCALE: 1/8" = 1'-0"



FRONT / EAST ELEVATION 01
SCALE: 1/8" = 1'-0"

BR-01 BRICK VENEER, PLINTHS PAINTED

GL-01 CLEAR TEMPERED GLASS-
SOLARBAN R100 (2) OPTIGRAY +
CLEAR GLASS (IGU)

GL-02 LAMINATED CLEAR GLASS

MT-01 METAL CLADDING
COLOR TO MATCH SHERWIN WILLIAMS
SW6990 CAVIAR

MT-02 PERFORATED METAL PANEL- PAINTED
COLOR TO MATCH SHERWIN WILLIAMS
SW6990 CAVIAR

MT-03 METAL WINDOW SURROUNDS

MT-04 STEEL ROLL UP DOOR,
COLOR TO MATCH SHERWIN WILLIAMS
SW6990 CAVIAR

PT-01 (N) PAINT FINISH ON (E) CMU WALL
(N) PAINT FINISH ON (E) BRICK WALL
COLOR: SHERWIN WILLIAMS SW 7674
PEPPERCORN

SF-01 STOREFRONT- FLEETWOOD- DARK
BRONZE ANODIZED ALUMINUM FRAME

SF-02 FRAMELESS GLAZING SYSTEM

ST-01 SERRATED STONE FINISH

WD-01 WOOD SIDING- SHOU SUGI BAN PANELS

PROPOSED ELEVATION (EAST)

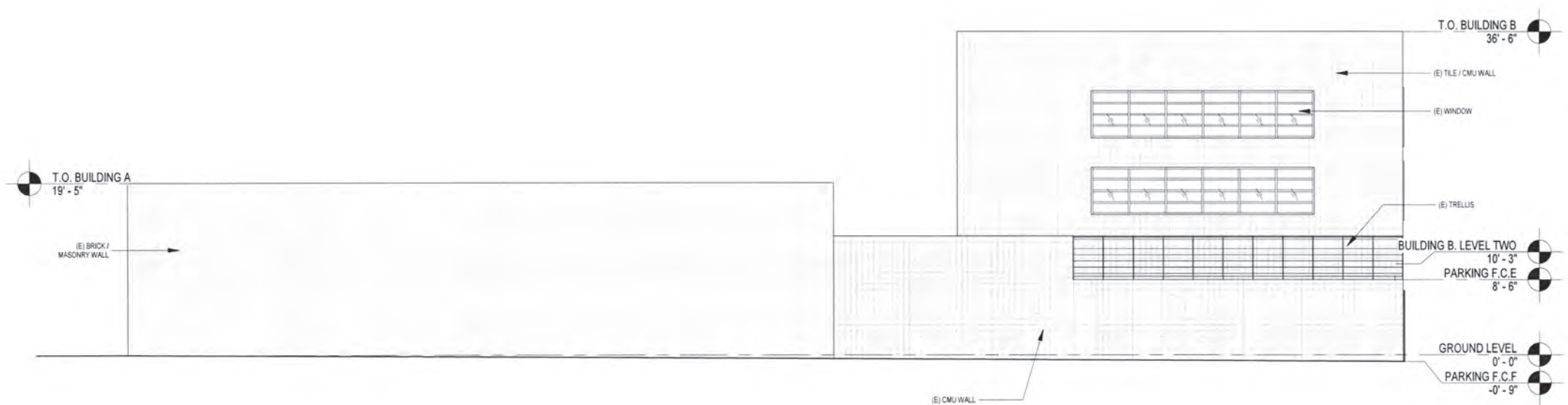
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NORTH ELEVATION 01
SCALE: 3/32" = 1'-0"

EXISTING ELEVATION (NORTH)

SCALE: 3/32" = 1'-0"

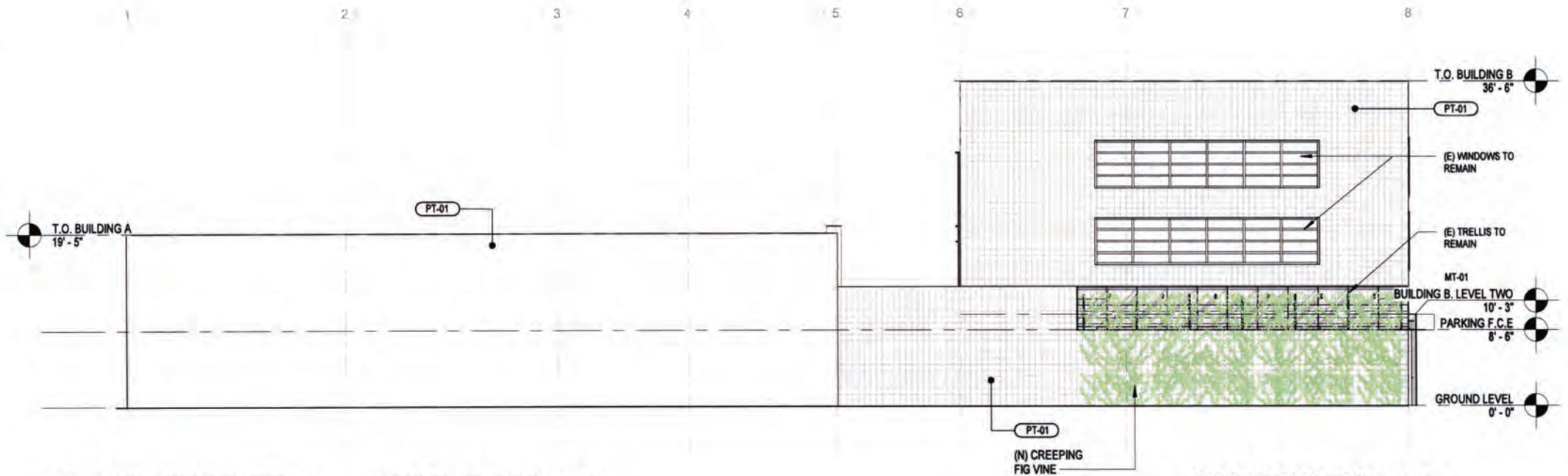
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2E
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|-------|---|-------|---|
| BR-01 | BRICK VENEER; PLINTHS PAINTED | PT-01 | (N) PAINT FINISH ON (E) CMU WALL
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COLOR: SHERWIN WILLIAMS SW 7674
PEPPERCORN |
| GL-01 | CLEAR TEMPERED GLASS-
SOLARBAN R100 (2) OPTIGRAY +
CLEAR GLASS (IGU) | SF-01 | STOREFRONT- FLEETWOOD- DARK
BRONZE ANODIZED ALUMINUM FRAME |
| GL-02 | LAMINATED CLEAR GLASS | SF-02 | FRAMELESS GLAZING SYSTEM |
| MT-01 | METAL CLADDING
COLOR TO MATCH SHERWIN WILLIAMS
SW6990 CAVIAR | ST-01 | SERRATED STONE FINISH |
| MT-02 | PERFORATED METAL PANEL- PAINTED
COLOR TO MATCH SHERWIN WILLIAMS
SW6990 CAVIAR | WD-01 | WOOD SIDING- SHOU SUGI BAN PANELS |
| MT-03 | METAL WINDOW SURROUNDS | | |
| MT-04 | STEEL ROLL UP DOOR.
COLOR TO MATCH SHERWIN WILLIAMS
SW6990 CAVIAR | | |

PROPOSED ELEVATION (NORTH)

SCALE: As indicated

NORTH ELEVATION 01
SCALE: 3/32" = 1'-0"

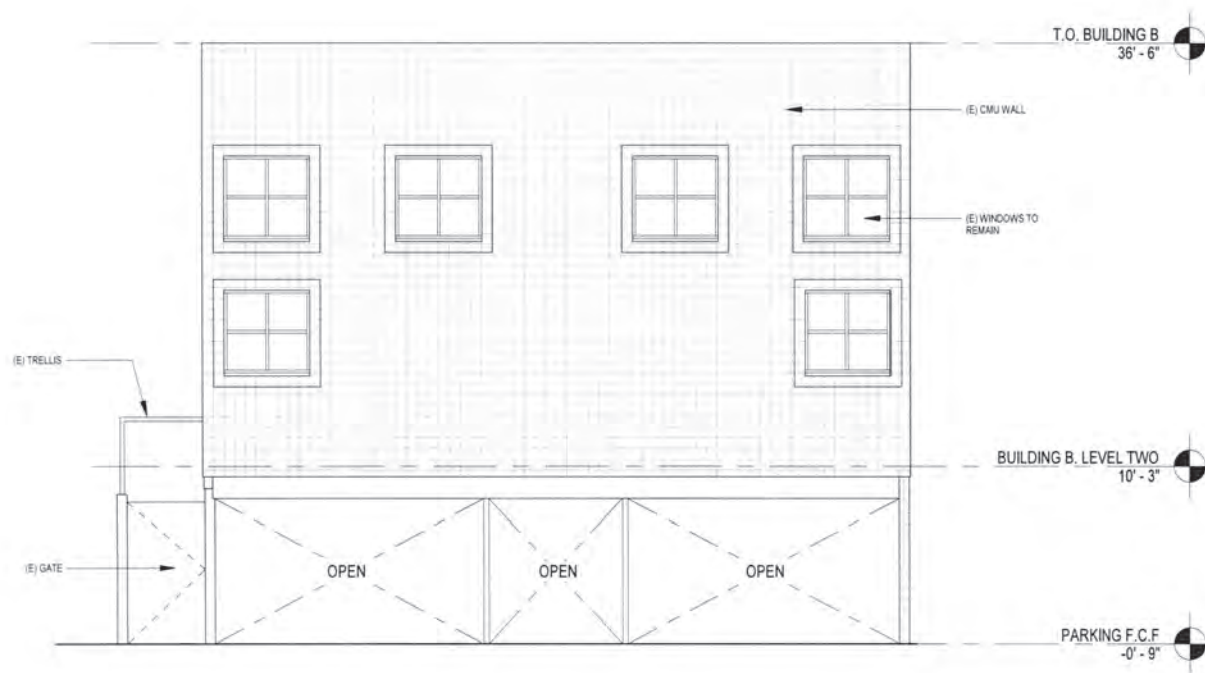
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2N
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JAN 11
JAN 11



WEST ELEVATION 01

SCALE: 1/8" = 1'-0"

EXISTING ELEVATION (WEST)

SCALE: 1/8" = 1'-0"

Exhibit 2

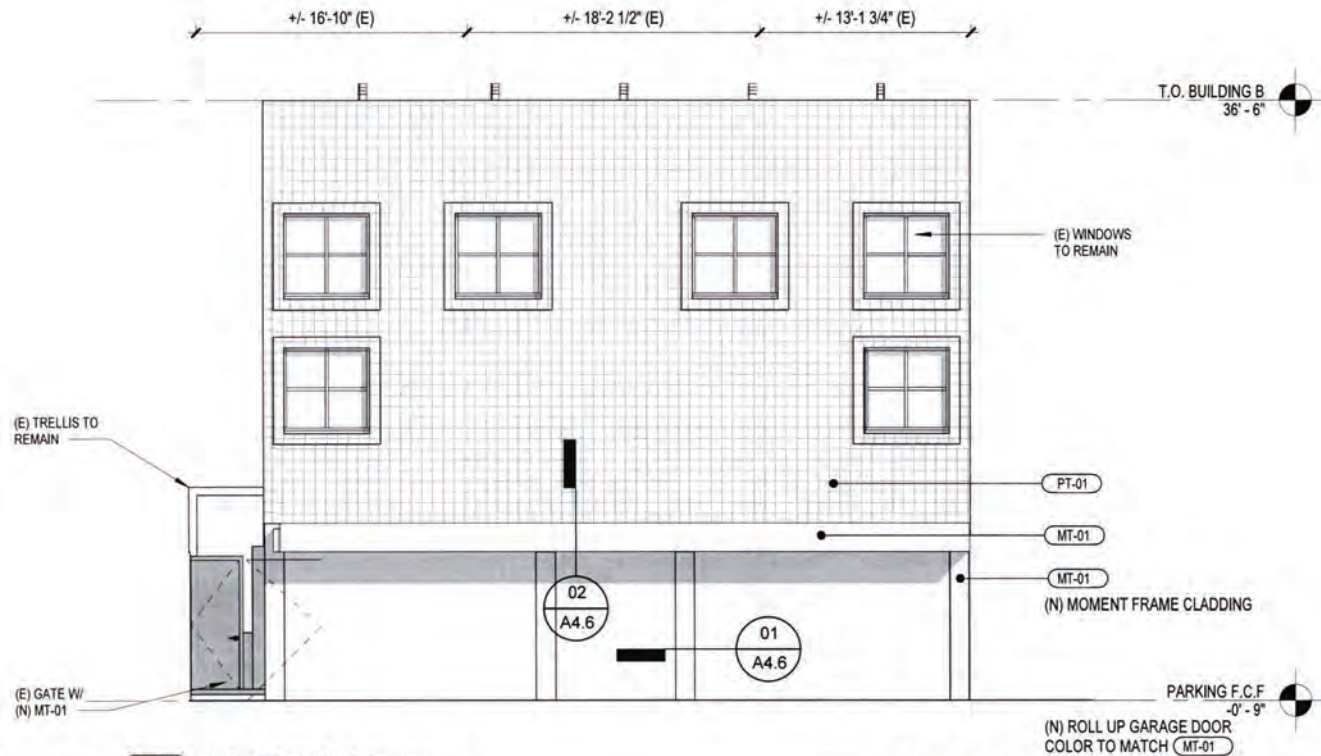
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3E
JUL 11 2018
SEALED
SEALED



WEST ELEVATION 01

SCALE: 1/8" = 1'-0"

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|-------|---|-------|---|
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(N) PAINT FINISH ON (E) BRICK WALL
COLOR: SHERWIN WILLIAMS SW 7674
PEPPERCORN |
| GL-01 | CLEAR TEMPERED GLASS-
SOLARBAN R100 (2) OPTIGRAY +
CLEAR GLASS (IGU) | SF-01 | STOREFRONT- FLEETWOOD- DARK
BRONZE ANODIZED ALUMINUM FRAME |
| GL-02 | LAMINATED CLEAR GLASS | SF-02 | FRAMELESS GLAZING SYSTEM |
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SW6990 CAVIAR | ST-01 | SERRATED STONE FINISH |
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SW6990 CAVIAR | WD-01 | WOOD SIDING- SHOU SUGI BAN PANELS |
| MT-03 | METAL WINDOW SURROUNDS | | |
| MT-04 | STEEL ROLL UP DOOR.
COLOR TO MATCH SHERWIN WILLIAMS
SW6990 CAVIAR | | |

PROPOSED ELEVATION (WEST)

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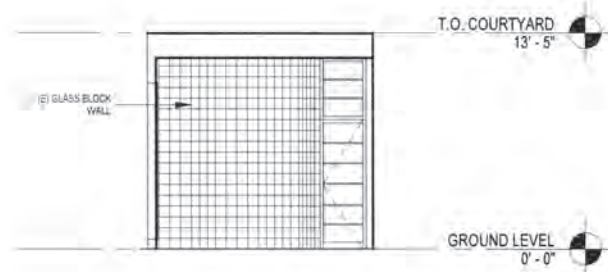
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3N
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10/1/2024
10/1/2024



EXISTING COURTYARD NORTH 01
SCALE: 1/8" = 1'-0"

EXISTING COURTYARD ELEVATION (NORTH)

SCALE: 1/8" = 1'-0"

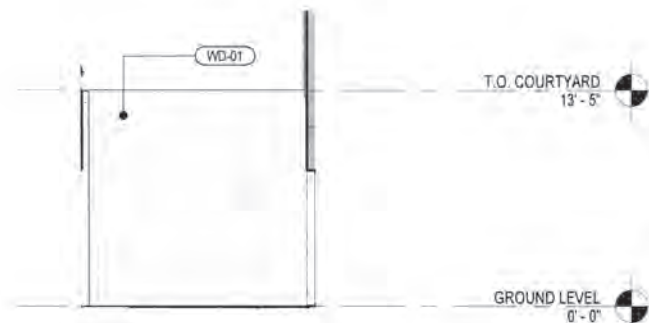
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NORTH ELEVATION 01

SCALE: 1/8" = 1'-0"

BR-01 BRICK VENEER; PLINTHS PAINTED

GL-01 CLEAR TEMPERED GLASS-
SOLARBAN R100 (2) OPTIGRAY +
CLEAR GLASS (IGU)

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MT-04 STEEL ROLL UP DOOR.
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PT-01 (N) PAINT FINISH ON (E) CMU WALL
(N) PAINT FINISH ON (E) BRICK WALL
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SF-01 STOREFRONT- FLEETWOOD- DARK
BRONZE ANODIZED ALUMINUM FRAME

SF-02 FRAMELESS GLAZING SYSTEM

ST-01 SERRATED STONE FINISH

WD-01 WOOD SIDING- SHOU SUGI BAN PANELS

PROPOSED COURTYARD ELEVATION (NORTH)

SCALE: As indicated

Exhibit 2

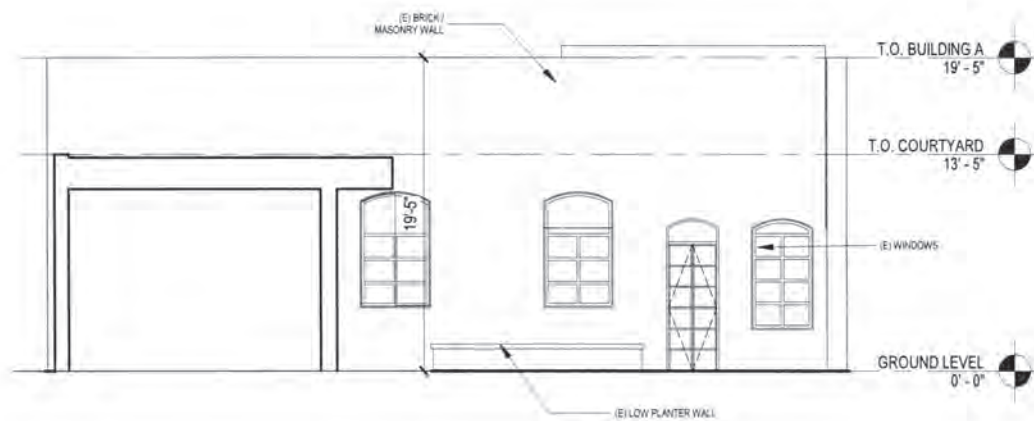
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EXISTING COURTYARD EAST 01
SCALE: 1/8" = 1'-0"

EXISTING COURTYARD ELEVATION (EAST)

SCALE: 1/8" = 1'-0"

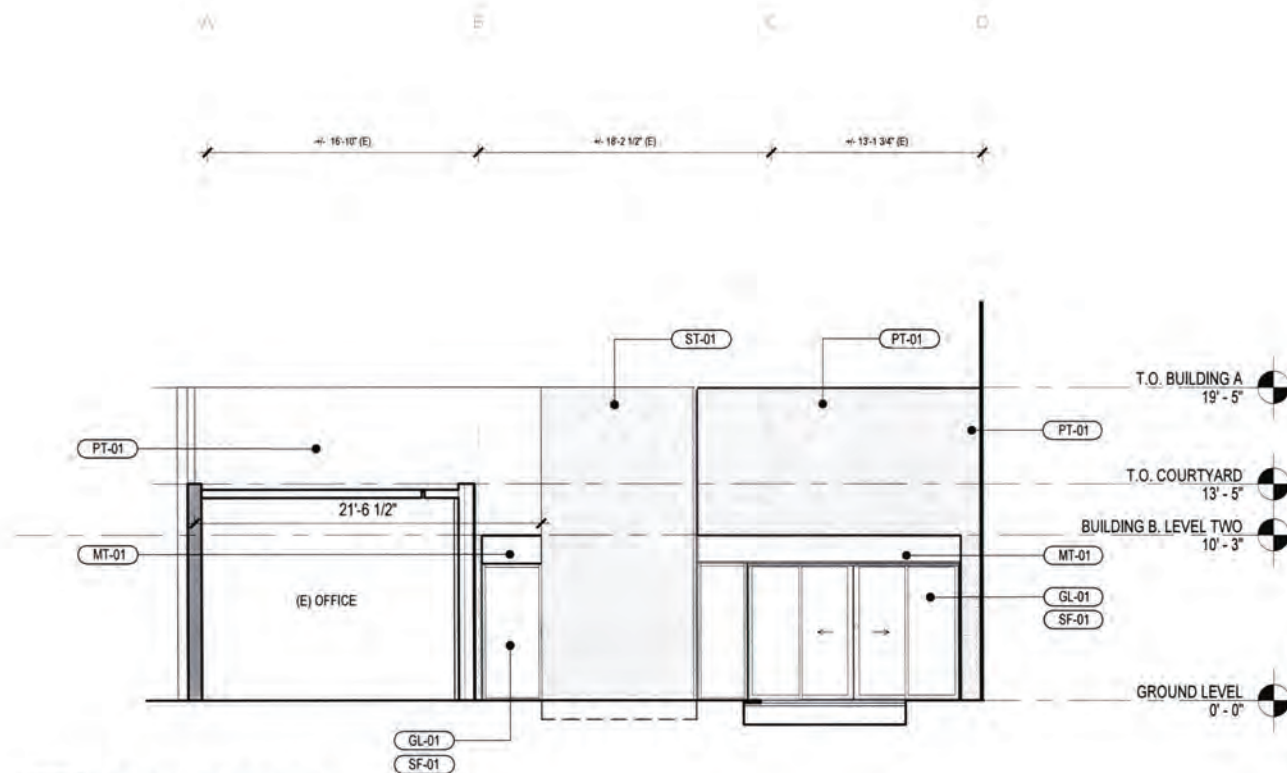
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JUL 11 2018
BY: [Signature]
[Stamp]



EAST ELEVATION 01
SCALE: 1/8" = 1'-0"

BR-01 BRICK VENEER; PLINTHS PAINTED

GL-01 CLEAR TEMPERED GLASS-
SOLARBAN R100 (2) OPTIGRAY +
CLEAR GLASS (IGU)

GL-02 LAMINATED CLEAR GLASS

MT-01 METAL CLADDING
COLOR TO MATCH SHERWIN WILLIAMS
SW6990 CAVIAR

MT-02 PERFORATED METAL PANEL- PAINTED
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SW6990 CAVIAR

MT-03 METAL WINDOW SURROUNDS

MT-04 STEEL ROLL UP DOOR.
COLOR TO MATCH SHERWIN WILLIAMS
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PT-01 (N) PAINT FINISH ON (E) CMU WALL
(N) PAINT FINISH ON (E) BRICK WALL
COLOR: SHERWIN WILLIAMS SW 7674
PEPPERCORN

SF-01 STOREFRONT- FLEETWOOD- DARK
BRONZE ANODIZED ALUMINUM FRAME

SF-02 FRAMELESS GLAZING SYSTEM

ST-01 SERRATED STONE FINISH

WD-01 WOOD SIDING- SHOU SUGI BAN PANELS

PROPOSED COURTYARD ELEVATION (EAST)

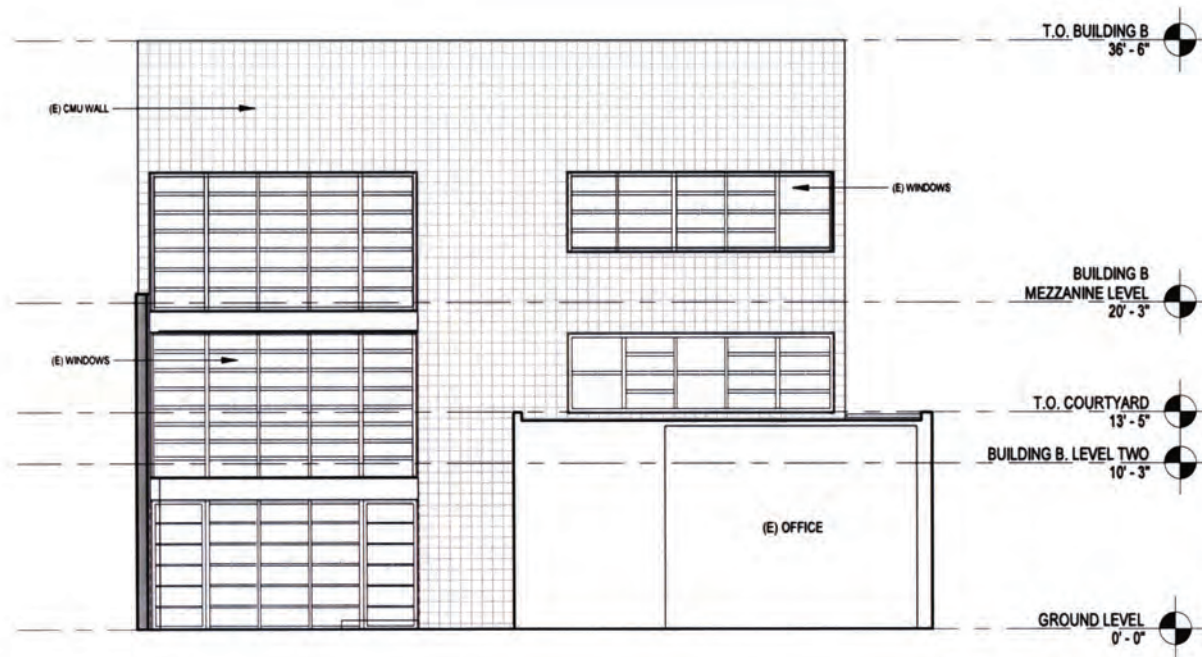
SCALE: As indicated

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EXISTING COURTYARD WEST 01
SCALE: 1/8" = 1'-0"

EXISTING COURTYARD ELEVATION (WEST)

SCALE: 1/8" = 1'-0"

Exhibit 2

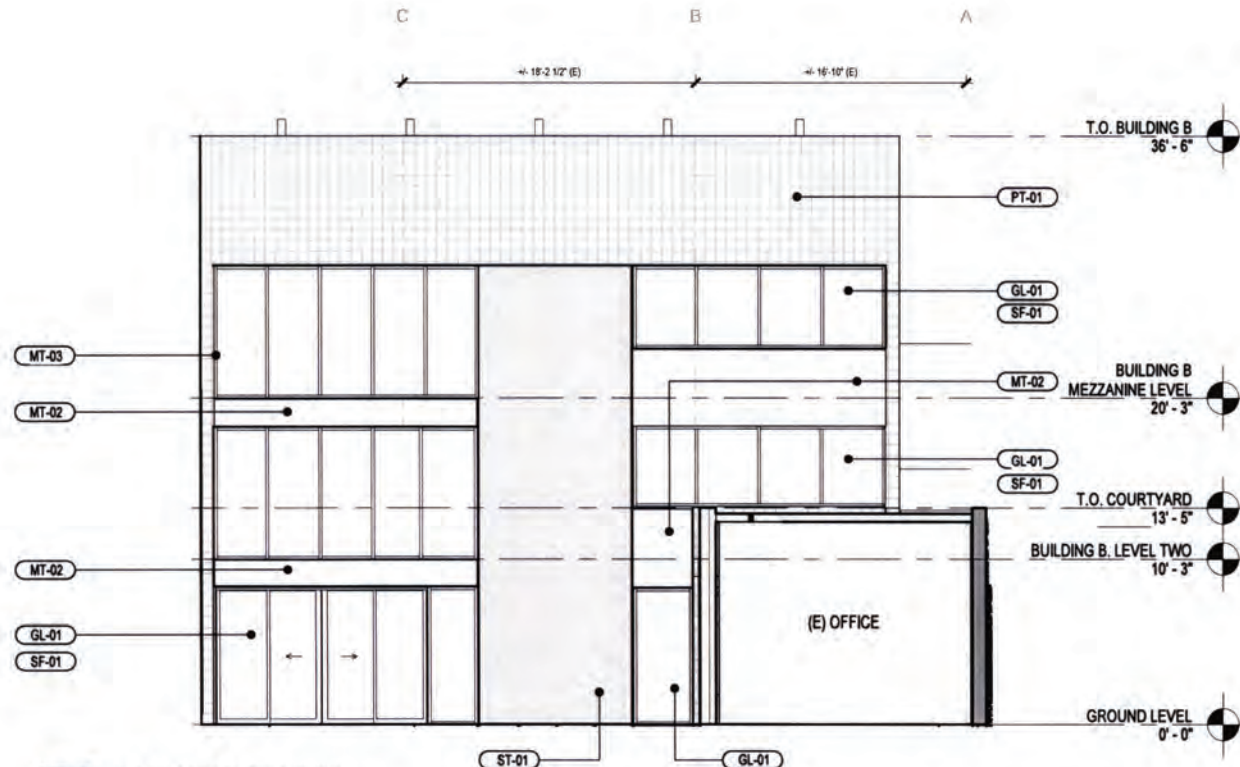
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2018
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DATE



WEST ELEVATION 01
SCALE: 1/8" = 1'-0"

BR-01 BRICK VENEER; PLINTHS PAINTED

GL-01 CLEAR TEMPERED GLASS-
SOLARBAN R100 (2) OPTIGRAY +
CLEAR GLASS (IGU)

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MT-04 STEEL ROLL UP DOOR.
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(N) PAINT FINISH ON (E) BRICK WALL
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BRONZE ANODIZED ALUMINUM FRAME

SF-02 FRAMELESS GLAZING SYSTEM

ST-01 SERRATED STONE FINISH

WD-01 WOOD SIDING- SHOU SUGI BAN PANELS

PROPOSED COURTYARD ELEVATION (WEST)

SCALE: As indicated

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ROOF PLAN

SCALE: 1/16" = 1'-0"

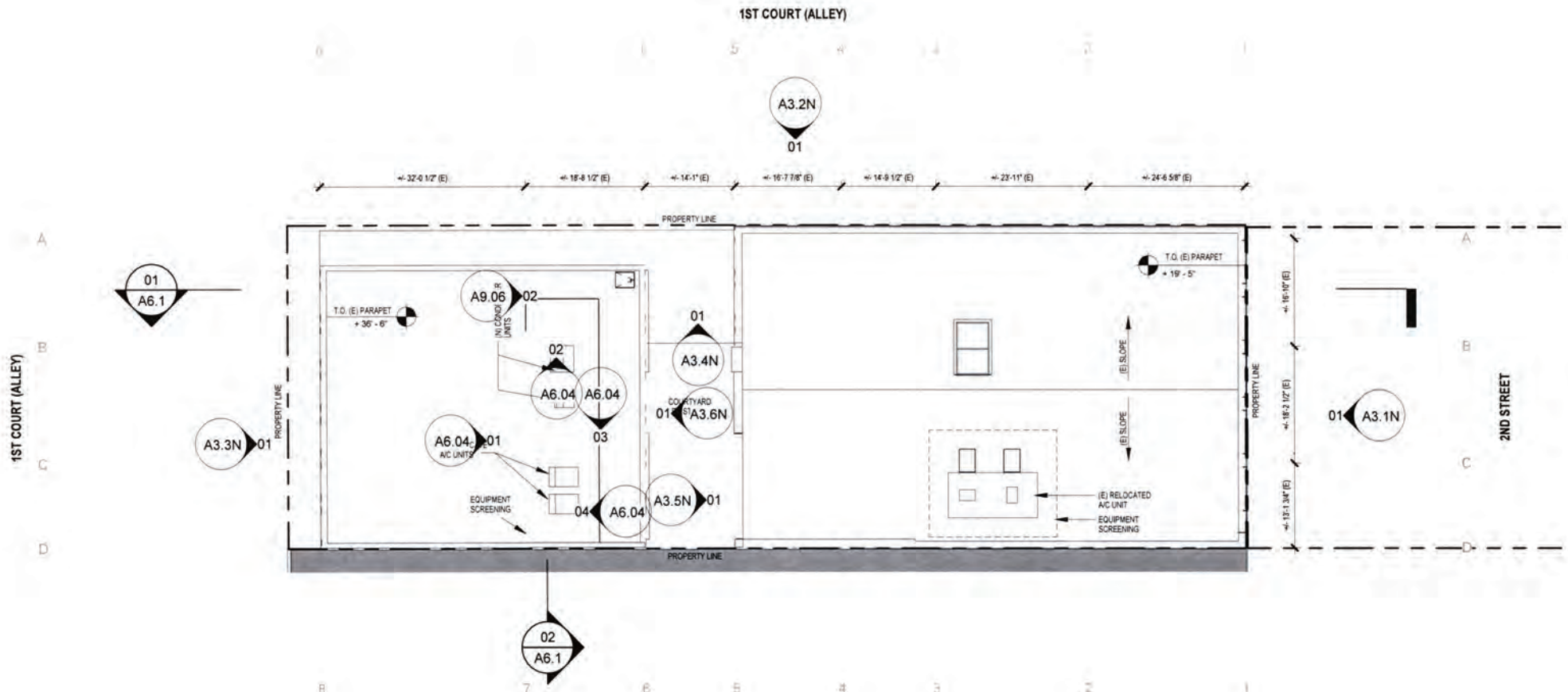


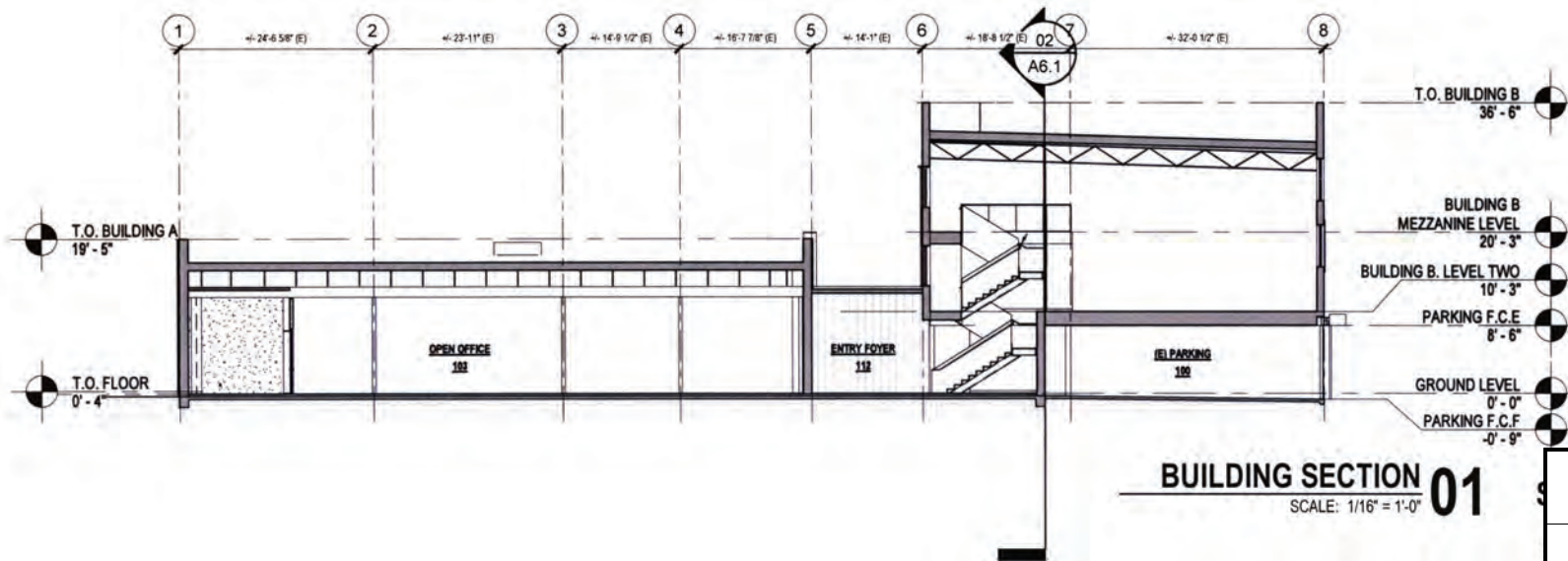
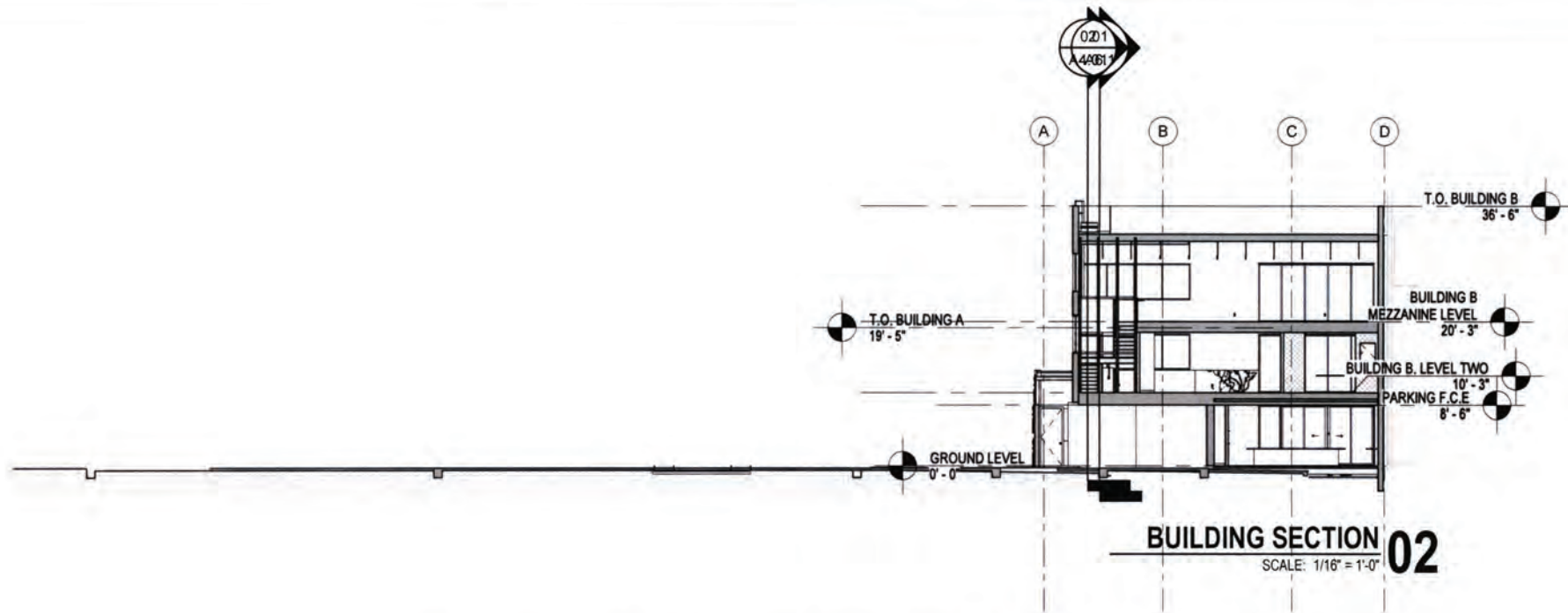
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A5.4
JULY 1, 2015
CSCC



BUILDING SECTIONS

SCALE: 1/16" = 1'-0"

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6.1

Transportation Demand Management Plan
1520 Second Street Commercial Office Remodel Project

A. Project Description.

The proposed project (“Project”) is a remodel of an existing commercial office building to provide required seismic updates. In addition to soft-story seismic retrofitting, the updates also include façade renovation of the building’s existing cladding, windows and paint, as well as remodeling of the existing internal courtyard. No floor area will be added beyond what currently exists and no change in use will occur. Due solely to the cost of the retrofitting and remodeling work, the building will need to provide an ADA parking space, and the City of Santa Monica’s Refuse and Recycling Division requires the refuse collection area to be expanded. These last two requirements result in a reduction of the 10 existing on-site parking surface parking spaces at the rear of the lot—the new required ADA parking space and new expanded refuse area jointly cause the unavoidable loss of two on-site parking spaces. To offset this unavoidable reduction of on-site parking, the applicant proposes that the Coastal Commission’s deed restriction requiring 16 off-site parking can be increased to 18 in order to make up for the reduction of on-site parking from 10 spaces to 8 spaces, if the Coastal Commission feels that such an increase in offsite parking is necessary and provided that the Coastal Commission is not unreasonably restrictive as to the offsite parking’s location (which was not regulated by the prior Coastal permit and associated deed restriction for this building).

The Project is located on the west side of Second Street, between Colorado Avenue to the south and First Court to the north (the “Project Site”).

B. Site Conditions That Affect Commute Travel.

The Project is located in an urban environment in Downtown Santa Monica, near the Santa Monica Beach, the Santa Monica Mall, the Santa Monica Pier, Third Street Promenade, the Expo Light Rail Line and Interstate 10 (also known as the Santa Monica Freeway). Within close proximity of the Project Site, there are: (i) public bus lines and bus stops, (ii) a light rail line and station; (iii) bicycle lanes and bicycle share hubs, and (iv) additional accessibility in other forms of transportation (shared mobility devices, ride share, taxi services, etc.)

1. Land Use Types.

Second Street, which the Project Site fronts on, serves as a busy thoroughfare for hotel, shopping, and beach foot traffic. It is across the street from the three-story Santa Monica Mall, a block and a half from the popular pedestrian mall Third Street Promenade, and approximately two blocks east from the Santa Monica Beach and the Santa Monica Pier.

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Per the City of Santa Monica's Land Use & Circulation Element ("LUCE"), the Project Site's land use designation is Downtown Core (LUCE, pg. 2.1-28) and in the Downtown Community Plan ("DCP") the Project Site is located in the Oceanfront Transition district. (DCP, Illustration 2A.1.) The Downtown Core district allows for the broadest mix of uses and highest intensity development and is the City's major retail and employment district. (LUCE, pg. 2.1-51.) The uses are established by the DCP. The Ocean Transition district includes an eclectic mix of housing developments, hotels, restaurants, and small retail and office use is permitted on upper floors of buildings. (DCP, pg. 24; SMMC § 9.10.040, Specific Limitation 1.) The district and parcels fronting along Second Street in the vicinity of the Project carry a variety of land use designations, including Transit Adjacent and Bayside Conservation. (DCP, Illustration 2A.1.)

Accordingly, the land uses on Second Street in the vicinity of the Project Site vary. Primary land uses within a half-mile of the Project Site include the State Beach, Santa Monica Place shopping mall, the Third Street Promenade, the Santa Monica Pier, City Hall, the Shore Hotel, the historic Georgian Hotel, the Courtyard by Marriott, the Hampton Inn & Suites, the Fairmont Miramar Hotel, many restaurants, cafes and convenience eateries, retail stores, movie theaters, banks, commercial office buildings and mixed-use buildings.

As noted above, the Project Site is approximately a block and a half from Third Street Promenade. Third Street Promenade is a pedestrian mall that runs from Broadway to Wilshire Boulevard and features a variety of commercial, retail, restaurant, entertainment, office and residential uses.

2. Public Transportation

a. Expo Light Rail Line

The Metro Exposition Light Rail Line (or Expo Line or E Line) is a 15.2-mile east-to-west light rail line that runs between Downtown Los Angeles and Downtown Santa Monica. The line is named after Exposition Boulevard, which it runs alongside for most of its route. The Expo Line operates from approximately 4:30 a.m. to 2:00 a.m. on weekdays and until 2:30 a.m. on Fridays and Saturdays. Trains run approximately every 6 minutes during peak hours, every 12 minutes during middays, every 10 minutes during the evening, and every 20 minutes after midnight. It takes between 45 minutes and an hour to get between Downtown Santa Monica and Downtown Los Angeles.

The Downtown Santa Monica Metro Expo Line Station is located about 0.3 miles east of the Project Site, on Colorado Avenue between 4th and 5th Street.

b. Santa Monica Big Blue Bus

Route 1 provides east-west bus service along Santa Monica Boulevard. This route also turns north on Westwood Boulevard east of the 405 Freeway, connecting

Santa Monica to UCLA. The route's western portion turns south on 4th Street before following Main Street, connecting downtown Santa Monica to the Main Street area and Venice. Route 1 also connects to the Expo Light Rail Line at the Downtown Santa Monica station. Bus stops serving Route 1 are located approximately 0.3 miles northeast and directly east of the Project Site near the intersections of 5th Street and Broadway and on 4th Street between Colorado Avenue and Broadway; approximately 0.4 miles northeast of the Project Site at the corner of Santa Monica Boulevard and 4th Street; approximately one-half mile northeast of the Project Site at the corner of Santa Monica Boulevard and 6th Street; and approximately one-half mile southeast of the Project site at the corner of 4th Street and Civic Center Drive. Service on Route 1 is provided daily, with peak weekday AM and PM headways of about 10 to 12 minutes.

Route 2 provides east-west service along Wilshire Boulevard, connecting downtown Santa Monica to UCLA. This route connects to the Expo Line at the Downtown Santa Monica station. The bus stops serving Route 2 are located approximately 0.2 miles northeast of the Project Site at the Corner of Broadway and 4th Street; approximately 0.3 miles east of the Project Site on 4th Street between Colorado Avenue and Broadway; approximately 0.3 miles northeast of the Project Site at the corner of Santa Monica Boulevard and 4th Street; approximately one-half mile northeast of the Project Site at the corner of 4th Street and Wilshire Boulevard and on 4th Street between Arizona Avenue and Wilshire Boulevard; approximately one-half mile southeast of the Project Site at the corner of 4th Street and Civic Center Drive; and approximately one-half mile south of the Project Site on the corner of Pico Boulevard and Main Street. Service on Route 2 is provided daily, with headways of about 15 to 20 minutes during weekday AM and PM peak hours.

Route 3 provides south-north bus service from El Segundo to Wilshire Boulevard in Santa Monica. Route 3 connects to the Expo Line at the Downtown Santa Monica station. The bus stops serving Route 3 are located approximately 0.2 miles northeast of the Project Site near the intersection of Broadway and 4th Street; approximately 0.3 miles northeast of the Project Site on 4th Street between Broadway and Colorado Avenue; and approximately 0.3 miles northeast of the Project Site at the corner of Santa Monica Boulevard and 4th Street. Service on Route 3 is provided daily, with headways of about 12 to 15 minutes during weekday AM and PM peak hours and about 20 minutes during PM off-peak hours.

Route Rapid 3 provides south-north bus service from Los Angeles International Airport to Arizona Avenue in downtown Santa Monica, connecting Santa Monica, Venice, Playa Vista, and Westchester. The bus stops serving Route Rapid 3 are located approximately 0.3 miles northeast of the Project Site on 4th Street between Broadway and Colorado Avenue and near the intersection of Santa Monica Boulevard and 4th Street; and approximately one-half mile northeast of the Project Site on 4th Street between Arizona Avenue and Wilshire Boulevard and near the intersection of Arizona Avenue and 5th Street. This bus route provides service only during weekdays, with headways of about 15 minutes or less during weekday AM and PM peak hours.

Route 5 provides mostly east-west bus transportation along Colorado Avenue and Olympic Boulevard, connecting Santa Monica to Century City and Cheviot Hills. Route 5 connects to the Expo Line at the Palms, Expo/Bundy, Bergamot, and 17th Street/SMC stations, as well as near the Downtown Santa Monica station. The bus stops serving Route 5 are located on Main Street between Olympic Drive and Vicente Terrace, approximately 0.3 miles south of the Project Site; southeast on Pico Boulevard near the intersection of Pico Boulevard and 4th Street, approximately one-half mile southeast from the Project Site; southeast on 4th Street between Pico Boulevard and Civic Center Drive, approximately one-half mile from the Project Site; southeast on Main Street between Olympic Drive and Fujinomiya Douri, approximately 0.2 miles from the Project Site; northeast near the corner of Santa Monica Boulevard and 6th Street, approximately one-half mile from the Project Site; northeast near the corner of Santa Monica Boulevard and 4th Street, approximately 0.4 miles from the Project Site; northeast on Santa Monica Boulevard near 3rd Court, approximately 0.3 miles from the Project Site; northeast near the corner of Colorado Avenue and Lincoln Boulevard, approximately one-half mile from the Project Site; southeast on Colorado Avenue between 5th Street and 5th Court, approximately 0.3 miles from the Project Site; and just north on the east side of 2nd Street near Broadway, approximately 98 ft. from the Project Site. Route 5 provides service daily, with peak hour weekday AM and PM headways of about 20 to 30 minutes.

Route 7 provides east-west bus transportation from Downtown Santa Monica to Wilshire/Western station, connecting Santa Monica to Century City and Koreatown. Route 7 connects to the Expo Line at Downtown Santa Monica station and Sepulveda station. The bus stops serving Route 7 are located approximately 0.2 miles northeast of the Project Site near the intersection of Broadway and 4th Street; approximately 0.3 miles east of the Project Site on 4th Street between Broadway and Colorado Avenue; approximately 0.4 miles northeast of the Project Site near the intersection of Santa Monica Boulevard and 4th Court; approximately one-half mile northeast of the Project Site near the intersection of Santa Monica Boulevard and 6th Street; approximately one-half mile southeast of the Project Site near the intersection of 4th Street and Civic Center Drive. This bus route provides service daily, with headways of about 15 minutes or less during weekday AM and PM peak hours.

Route Rapid 7 provides rapid east-west bus transportation from Downtown Santa Monica to Wilshire/Western station, connecting Santa Monica to Century City and Koreatown. Route Rapid 7 connects to the Expo Line at Downtown Santa Monica station and Sepulveda station. The bus stops serving Route Rapid 7 are located approximately 0.2 miles northeast of the Project Site near the intersection of Broadway and 4th Street; approximately 0.3 miles east of the Project Site on 4th Street between Broadway and Colorado Avenue; approximately 0.4 miles northeast of the Project Site near the intersection of Santa Monica Boulevard and 4th Court; and approximately one-half mile northeast of the Project Site near the intersection of Santa Monica Boulevard and 6th Street. This bus route provides service only during weekdays, with headways of about 14 minutes or less during weekday AM and PM peak hours.

Route 8 provides east-west bus transportation from Downtown Santa Monica to UCLA. Route 8 connects to the Expo Line at the Downtown Santa Monica station and Westwood station. The bus stops serving Route 8 are located approximately 0.2 miles northeast of the Project Site near the intersection of Ocean Avenue and Colorado Avenue; approximately 0.2 miles west of the Project Site near the intersection of Ocean Avenue and Broadway; approximately 0.1 miles northeast of the Project Site near the intersection of 2nd Street and Broadway; approximately 0.2 miles southwest of the Project Site at the intersection of Ocean Avenue and the entrance to the CA-1 Pacific Coast Highway; approximately 0.2 miles northeast of the Project Site near the intersection of Broadway and 4th Street; approximately 0.3 miles northwest of the Project Site near the intersection of Ocean Avenue and Santa Monica Boulevard; approximately 0.3 miles northeast of the Project Site near the intersection of Santa Monica Boulevard and 3rd Court; approximately 0.4 miles northeast near the intersection of Santa Monica Boulevard and 4th Court; approximately one-half mile northeast of the Project Site near the intersection of Santa Monica Boulevard and 6th Street; and approximately 0.4 miles southwest of the Project Site on Ocean Avenue between Olympic Drive and Seaview Terrace. This bus route provides service daily, with headways of about 12 minutes during weekday AM and PM peak hours.

Route 9 provides north-south bus transportation from Santa Monica to Pacific Palisades. Route 9 connects to the Expo Line at the Downtown Santa Monica station. The bus stops serving Route 9 are located approximately 0.1 miles north of the Project Site near the intersection of Broadway and Second Court; approximately 0.2 miles southwest of the Project Site near the intersection of Ocean Avenue and Colorado Avenue; approximately 0.2 miles southwest of the Project Site near the intersection of Ocean Avenue and the entrance to the CA-1 Pacific Coast Highway; approximately 0.2 miles northeast of the Project Site near the intersection of Broadway and 4th Street; approximately 0.3 miles northeast of the Project Site on 4th Street between Broadway and Colorado Avenue; approximately 0.3 miles northwest of the Project Site near the intersection of Ocean Avenue and Santa Monica Boulevard; approximately 0.3 miles northeast of the project Site near the intersection of Santa Monica Boulevard and 3rd Court; approximately 0.3 miles northeast of the Project Site near the intersection of Santa Monica Boulevard and 4th Street; approximately one-half mile northeast of the Project Site near the intersection of 4th Street and Arizona Avenue; approximately one-half mile from the Project Site on 4th Street between Arizona Avenue and Wilshire Boulevard; approximately 0.3 miles southeast of the Project Site near the intersection of Main Street and Civic Center Drive; approximately one-half mile southeast from the Project Site near the intersection of 4th Street and Civic Center Drive; and approximately one-half mile southeast from the Project Site near the intersection of Pico Boulevard and Main Street. This bus route provides service daily, with headways of about 12-15 minutes during weekday AM and PM peak hours.

Route Rapid 10 provides rapid east-west bus transportation from Downtown Santa Monica to downtown Union Station, connecting Santa Monica to Downtown Los Angeles and many other destinations through Union Station. The bus stops serving Route Rapid 10 are located approximately 0.3 miles northeast of the Project Site near

the intersection of Broadway and 5th Street; approximately 0.4 miles northeast of the Project Site near the intersection of Santa Monica Boulevard and 4th Court; and approximately one-half mile northeast of the Project Site near the intersection of Santa Monica Boulevard and 6th Street. This bus route provides service only during weekdays, with no midday service, with headways of about 30 minutes or less during weekday AM and PM peak hours.

Route 18 provides south-north bus transportation from Marina Del Rey to UCLA. Route 18 connects to the Expo Line in Downtown Santa Monica. The bus stops serving Route 18 are located approximately 0.3 miles east of the Project Site on 4th Street between Broadway and Colorado Avenue; approximately 0.3 miles southeast of the Project Site on Colorado Avenue between 5th Street and 5th Court; approximately 0.4 miles northeast of the Project Site near the intersection of Santa Monica Boulevard and 4th Street; approximately one-half mile northeast of the Project Site near the intersection of Santa Monica Boulevard and 6th Street; and approximately one-half mile southeast of the Project Site near the intersection of 4th Street and Civic Center Drive. This bus route provides service daily, with headways of about 20 minutes during weekday AM and PM peak hours.

c. Los Angeles Metro

Route 20 provides east-west bus transportation from Downtown Santa Monica to Downtown Los Angeles, connecting in main locations like Koreatown, Beverly Hills, Westwood, and Brentwood, among other locations. The bus stops serving Route 20 are located approximately 0.3 miles east of the Project Site near the intersection of Colorado Avenue and 5th Street; approximately 0.4 miles northeast of the Project Site near the intersection of Santa Monica Boulevard and 4th Court; approximately 0.4 miles northeast of the Project Site near the intersection of Santa Monica Boulevard and 5th Street; and approximately one-half mile northeast of the Project Site near the intersection of 4th Street and Arizona Avenue. This bus route provides AM, Eve/Owl trips daily, with headways ranging from 20-30 minutes starting at 12:17 am and going until 11:47 pm.

Route 33 provides east-west bus transportation from Downtown Santa Monica to Downtown Los Angeles, connecting in main locations like Venice, Mar Vista, Palms, and Culver City, among other locations. The bus stops serving Route 33 are located directly in front of the Project Site, approximately 16 feet on 2nd Street between Colorado Avenue and First Court; approximately 0.1 miles northwest of the Project Site near the intersection of Broadway and Ocean Avenue; approximately 0.3 miles northwest of the Project Site near the intersection of Ocean Avenue and Santa Monica Boulevard; approximately 0.2 miles north of the Project Site near the intersection of 2nd Street and Santa Monica Boulevard; and approximately one-half mile southeast from the Project Site near the intersection of Pico Boulevard and Main Street. This bus route provides weekday service, with headways ranging from 20-60 minutes starting at 5:07 am and going until 9:09 pm.

Route 704 provides east-west bus transportation from Downtown Santa Monica to Downtown Los Angeles, Union Station, connecting in main locations like Hollywood, West Hollywood, Beverly Hills, Century City, and West Los Angeles, among other locations. The bus stops serving Route 704 are located approximately 0.1 miles northwest of the Project Site near the intersection of Ocean Avenue and Broadway; approximately 0.2 miles northeast of the Project Site near the intersection of Broadway and 4th Street; approximately 0.3 miles northwest of the Project Site near the intersection of Ocean Avenue and Santa Monica Boulevard; approximately 0.4 miles northeast of the Project Site near the intersection of Santa Monica Boulevard and 4th Court; and approximately 0.4 miles northwest of the Project Site on Ocean Avenue between Arizona Avenue and Wilshire Boulevard. This bus route provides weekday service with headways ranging from 15-30 minutes starting at 5:29 am and going until 9:25 pm, westbound and starting at 5:43 am and going until 11:55 pm eastbound.

Route 720 provides east-west bus transportation from Downtown Santa Monica to Commerce, connecting in main locations like East Los Angeles, Downtown Los Angeles, Koreatown, Beverly Hills, Westwood, and Brentwood, among other locations. The bus stops serving Route 720 are located approximately 0.3 miles southeast of the Project Site near the intersection of Colorado Avenue and 5th Street; approximately 0.4 miles southeast of the Project Site on 5th Street between Colorado Avenue and Olympic Boulevard; approximately 0.4 miles northeast of the Project Site near the intersection of Santa Monica Boulevard and 4th Court; approximately 0.4 miles northeast of the Project Site near the intersection of Santa Monica Boulevard and 5th Street; and approximately one-half mile northeast of the Project Site near the intersection of 4th Street and Arizona Avenue. This bus route provides service daily with headways ranging from 12-25 minutes starting at 3:46 am and going until 11:54 pm westbound and starting at 5:07 am and going until 1:38 am eastbound.

Route 733 Rapid provides rapid east-west bus transportation from Santa Monica to Downtown Los Angeles, connecting in Venice, Mar Vista, Palms, and Culver City, among other locations. The bus stops serving Route 733 Rapid are located directly in front of the Project Site, approximately 16 feet, on 2nd Street between Colorado Avenue and First Court; approximately 0.1 miles northwest of the Project Site near the intersection of Ocean Avenue and Broadway; approximately 0.3 miles northwest of the Project Site near the intersection of Ocean Avenue and Santa Monica Boulevard; approximately 0.2 miles north of the Project Site near the intersection of 2nd Street and Santa Monica Boulevard; and approximately one-half mile southeast from the Project Site near the intersection of Pico Boulevard and Main Street. This bus route provides service daily, with headways of about 20 minutes or less during weekday AM and PM peak hours.

Route 534 provides north-south bus transportation from Malibu to Downtown Santa Monica station, connecting through Pacific Palisades and Castellammare. The bus stops serving Route 534 are located approximately 0.2 miles southwest from the Project Site on Ocean Avenue near the entrance to the CA-1 Pacific Coast Highway.

approximately 0.2 miles northwest of the Project Site near the intersection of Ocean Avenue and Broadway; approximately 0.1 miles northeast of the Project Site near the intersection of Broadway and 2nd Court; approximately 0.2 miles southwest of the project site near the intersection of Ocean Avenue and Colorado Avenue; approximately 0.3 miles southeast of the Project Site near the intersection of Colorado Avenue and 5th Street; approximately 0.3 miles northwest of the Project Site near the intersection of Ocean Avenue and Santa Monica Boulevard; approximately 0.3 miles northeast of the Project Site near the intersection of Santa Monica Boulevard and 3rd Court; and approximately 0.4 miles northeast of the Project Site near the intersection of Santa Monica Boulevard and 4th Court. This bus route provides service daily, with headways of about 15 minutes during weekday AM and PM peak hours.

3. Bicycle Infrastructure.

a. Bicycle Paths

Bicycle paths are separated from the roadway and provide a protected route for bicyclists. There are two bike paths within one-half mile of the Project Site.

The Santa Monica Bike Path (also known as “the beach bike path”) is the Santa Monica portion of the Marvin Braude Bike Trail which runs north-south primarily along the Pacific Ocean shoreline between Pacific Palisades and Torrance. The Santa Monica Bike Path is located approximately 0.3 miles west of the Project Site on the Santa Monica Beach.

There is also an Expo Line Bike Path from Ocean Avenue to 5th Street that is located approximately 0.1 miles from the Project Site on Colorado Avenue.

b. Bicycle Lanes

Bicycle lanes are dedicated striped areas of the roadway where bicyclists ride parallel to motor vehicle traffic. There are multiple roadways that feature bicycle lanes near the Project Site.

Within one-half mile of the Project Site, north-south bike lanes include: (1) bike lanes on both sides of Ocean Avenue; (2) bike lanes on both sides of 2nd Street/Main Street between Montana Avenue and the southern City limits; (3) bike lanes on both sides of 6th Street between Colorado Avenue and Montana Avenue; and (4) bike lanes on both sides of 7th Street between Wilshire Boulevard and Olympic Boulevard.

East-west bike lanes within one-half mile of the Project Site include: (1) bike lanes on both sides of Arizona Avenue between Ocean Avenue and the eastern City limits; and (2) bike lanes on both sides of Broadway between 7th Street and the eastern City Limits.



North-south Green Bike Lane directly in front of Project Site.

c. Bicycles Routes

Bike routes are shared with other vehicles and include shared routed markings (called “sharrows”). A number of bike routes provide east-west bicycle connectivity on smaller collector streets within one half-mile of the Project Site.

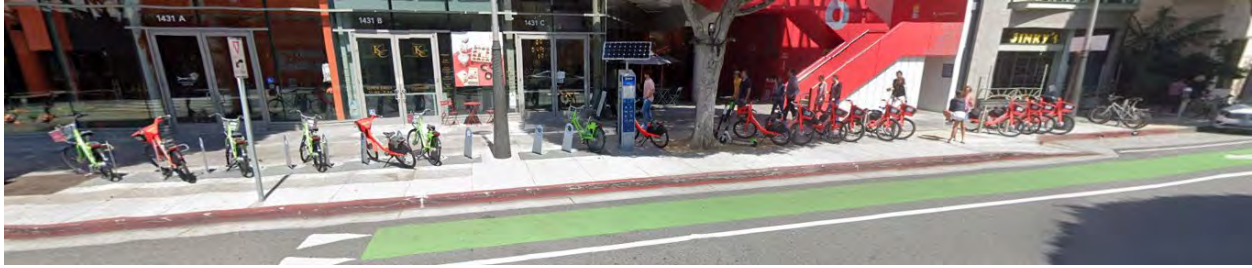
East-west bike routes within one-half mile of the Project Site include:

(1) Broadway between Ocean Avenue and 7th Street; (2) Seaside Terrace between the Santa Monica Bike Path and Ocean Avenue; and (3) bike lanes on both sides of Olympic Drive between the Santa Monica Bike Path and 7th Street.

Bicycle routes providing north-south connectivity within one-half mile of the Project Site include: (1) 4th Street between Broadway and Colorado Avenue; and (2) 5th Street between Wilshire Boulevard and Arizona Avenue.

d. Bicycle Hubs

In addition to these bicycle routes, customers, employees, residents and visitors are able to use bicycles available at a number of the Breeze Bikeshare hubs. There are seventeen (17) Breeze Bikeshare hubs within approximately one-half mile walking distance of the Project Site. These are located at: (1) at Ocean Avenue and Olympic Drive; (2) on Main Street between Olympic Drive and Colorado Avenue (in front of City Hall); (3) on 4th Street between Olympic Boulevard and Pico Boulevard; (4) on 4th Street between Olympic Boulevard and Colorado Avenue; (5) on Colorado Avenue between 4th Street and 5th Street; (6) on Ocean Avenue near Colorado Avenue; (7) on the Santa Monica Pier near Colorado Avenue and Appian Way; (8) on 2nd Street near Broadway; (9) at Broadway and 6th Street; (10) at Broadway and Lincoln Boulevard; (11) at Santa Monica Boulevard and 5th Street; (12) on Second Street between Santa Monica Boulevard and Arizona Avenue; (13) at Ocean Avenue and Arizona Avenue; (14) at Arizona Avenue and 4th Street; (15) on 7th Street between Arizona Avenue and Santa Monica Boulevard; (16) at Wilshire Boulevard and 4th Street; and (17) at Wilshire Boulevard and 2nd Street.



Breeze Bike Storage Hubs on 2nd Street between Santa Monica Boulevard and Broadway.

e. Bicycle Repair and Rental Shops

The area is also well served by bicycle rental and repair shops. These include (1) The Santa Monica Bike Center located at Colorado and 2nd Street (approximately 285 feet from the Project Site) and (2) Spokes N' Stuff located on Ocean Front Walk between Marine Terrace and Arcadia Terrace (approximately one-half mile from the Project Site).

The Santa Monica Bike Center is located directly across the street from the property, at 1555 Second Street. The Bike Center has capacity for up to 350 bicycles.



Santa Monica Bike Center at the Corner of Colorado Avenue and Second Street.

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Santa Monica Bike Center at the Corner of Colorado Avenue and Second Street.

f. On-Site Bicycle Parking

The Project will provide on-site bike racks for 2 bicycles. The bike racks will be located next to the existing covered vehicle parking.

4. On-Site Parking

Currently there are 10 on-site parking spaces on the Project Site located in the surface garage along the alley at the rear/west end of the subject office building that are accessed via the alley (i.e. First Court). As explained above, two of the existing spaces will be lost in the course of providing a new ADA handicap-accessible space and an expanded Refuse and Recycling area. As a result, there will be 8 on-site parking spaces, including 1 ADA handicap-accessible space. The 8 spaces are four sets of tandem pairs. In addition, an EV Charging Station will be provided onsite.

Once the seismic safety retrofit and construction is complete, responsibilities of an on-site employee will include servicing the on-site parking and moving parked vehicles as necessary to maximize use of all on-site parking. This parking attendant will be in charge of ensuring the tandem parking operates smoothly. The parking attendant will not be solely dedicated to parking due to the limited number of on-site spaces and may also attend to other tasks.

5. Off-Site Parking

Once construction is complete, a parking lease for at least 18 offsite parking spaces will be secured to supplement the on-site parking. One such available off-site parking location is 1515 Ocean Avenue, which is located directly across the alley from the subject property. That parking garage contains greater than code park

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City's Planning Director has therefore already approved that site for shared parking to support the subject property. Alternative off-site parking locations include 425 Colorado Avenue (Courtyard by Marriott), which has the capability of leasing parking to third parties pursuant to its Development Agreement. This location is only about three blocks from the Project Site.

6. Freeway Access

The Project is located less than one-half mile from the eastbound on-ramp and westbound off-ramp for the I-10 Freeway located on 4th Street as well as the eastbound ramp for the I-10 Freeway located on Ocean Avenue between Colorado Avenue and Seaside Terrace. The Project is also located less than one-half mile from the northbound on-ramp for the CA-1 Pacific Coast Highway located on Ocean Avenue between Colorado Avenue and Seaside Terrace.

7. Drive Circle

Directly across the street from the Project Site on 2nd Street in front of the Santa Monica Place mall is a drive circle where valet parking is available and drop-off and pickup services can occur. This drive circle is convenient for use by Shared Mobility Services such as Lyft and Uber.

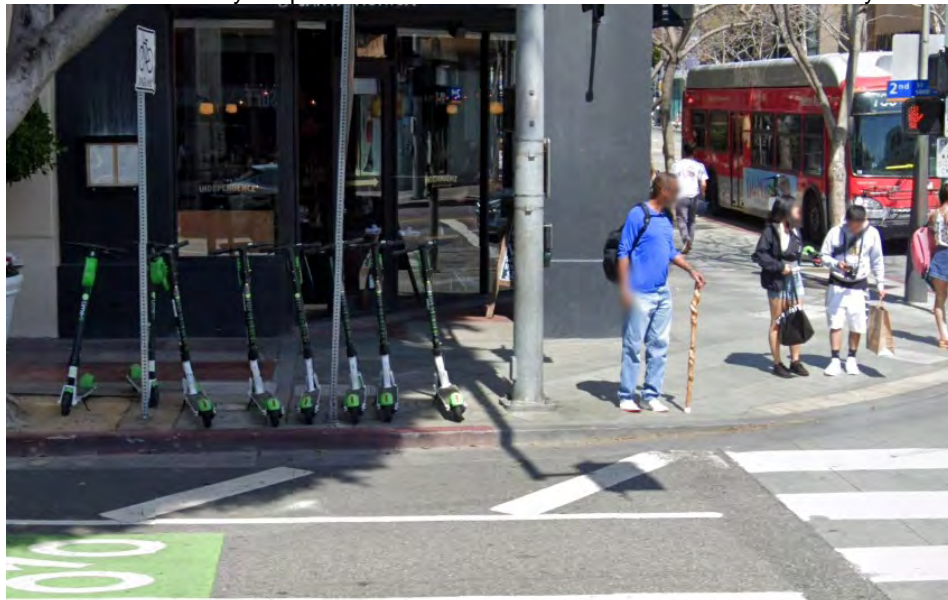
8. Electric Scooters and Shared Mobility Devices

Shared mobility devices are devices like electric scooters and electric bikes that are shared among users, typically enabled by a mobile app, usually available to users by the minute or hour, and typically used for one-way trips. Shared mobility devices have the potential to help bridge some of the gaps in existing transportation networks, reduce emissions and congestion, and encourage individuals to use multiple transportation modes.

Four private companies (Bird, Jump, Lime, and Lyft) are currently authorized to provide electric scooters in the public-right-of-way, and Jump is also authorized to provide electric bicycles. These companies provide shared mobility devices that can be found around Santa Monica and near the Project Site and located by using each companies' respective mobile app.



Shared Mobility Drop Off Zones on 2nd Street near the corner of Broadway.



Shared Mobility Drop Off Zones on 2nd Street near the corner of Broadway.

C. Duties And Responsibilities Of The Project Transportation Coordinator.

Consistent with Santa Monica Municipal Code (“SMMC”) § 9.53.130(B)(2)(a), a Project Transportation Coordinator (“PTC”) will be provided for the Project. Pursuant to SMMC § 9.53.020(LL), the PTC is a designated person, with appropriate training as required by the City, who is responsible for the development, administration, implementation, and monitoring of the Developer TDM Plan. The PTC will be at the project site during normal business hours when the majority of employees are at the project unless alternative arrangements have been made. The PTC may have additional job functions. PTCs will participate in City-sponsored workshops and roundtables. The designated PTC will manage all aspects of the Developer TDM Plan. The PTC will be responsible for making available information materials on options for alternative transportation modes and opportunities particularly programs that involve

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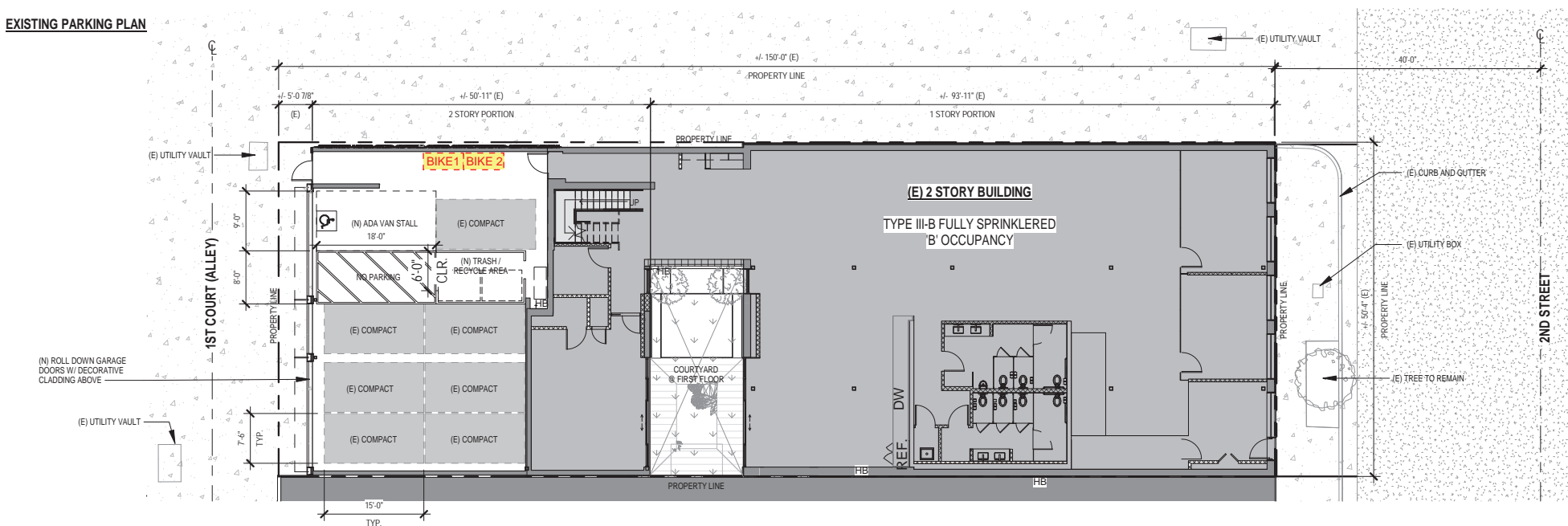
subsidies such as parking cash out and vanpool subsidies. Transit fare media and day/month passes will be made available through the PTC to employees and visitors during typical business hours.

D. Developer TDM Plan Program Measures.

1. On-site transportation information. On-site transportation information shall be provided where the greatest number of employees and visitors are likely to see it. Such information may be provided in on-site physical locations, such as a bulletin board or kiosk, or through other media, such as on a website or other digital means. This information, pursuant to SMMC § 9.53.130(B)(1)(a), shall include:
 - a. Current maps, routes and schedules for public transit routes within one-half mile of the Project Site.
 - b. Transportation information including regional ridesharing agency, local transit operators, and certified Transportation Management Organization (“TMO”) where available.
 - c. Ridesharing promotions material supplied by commuter-oriented organizations.
 - d. Bicycle route and facility information, including rental and sale location, regional/local bicycle maps, and bicycle safety information within one-half mile of the Project Site.
 - e. A list of facilities available for carpoolers, vanpoolers, bicyclists, transit riders and pedestrians at the site.
 - f. Walking and biking maps for employees and visitors, which shall include but not be limited to information about convenient local services and restaurants within walking distance of the Project.
 - g. Information to commercial tenants and employees of the Project regarding local rental housing agencies.
2. Project Transportation Coordinator. See Section C of this TDM Plan, above.
3. TDM Plan programmatic elements for nonresidential Projects. The Project shall provide:
 - a. New employee orientation. (SMMC § 9.53.130(B)(2)(b)(i).)
 - b. Parking cash out. (SMMC § 9.53.130(B)(2)(b)(ii).)

- c. Incentives for employees that live within one-half mile of workplace. (SMMC § 9.53.130(B)(2)(b)(iii).)
- d. Information regarding availability of bike commute training offered either on-site or by a third party. (SMMC § 9.53.130(B)(2)(b)(iv).)
- e. A Breeze Bikeshare hub is currently located a block away from the Project Site, on 2nd Street between Santa Monica Boulevard and Broadway.
- f. Commuter matching services for all employees on an annual basis, and for all new employees upon hiring. (SMMC § 9.53.130(B)(2)(b)(vi).)
- g. Transportation allowance equal to at least 75% (pursuant to SMMC § 9.23.030(D)(1)(a)) of the current cost of a monthly regional transit pass of the employee's choice (e.g., Big Blue Bus 30-Day Pass, Metro EZ Pass, Metro TAP Pass or equivalent). We are agreeable to a Coastal Commission Special Condition requiring that this transit subsidy for employees be raised to 100%. An employee accepting the Transportation Allowance shall be required to execute a contract agreeing that said employee shall not utilize a single occupancy vehicle for the majority (at least 51%) of their daily commute distance more than five business days per month. The contract shall also specify the employee's alternative commute mode (e.g., transit, bike, walk). The employee must demonstrate compliance as reasonably required by the property owner. (SMMC § 9.53.130(B)(2)(b)(viii).)

F:\WPDATA\22565\001 (1520 + 1522 Second Street)\Docs\Applications\Coastal Comm'n\1520\TDM Plan 2020.06.10.docx



SCALE: 1/16" = 1'-0"



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PARKING LEASE AGREEMENT

THIS PARKING LEASE AGREEMENT ("Agreement") is made and entered into this 28th day of July 2020, by and between 1520 Second Street Properties ("Lessee"), having a mailing address of 1801 Century Park East, Suite 1560, Los Angeles, CA 90067, and Selig Parking, Inc., d/b/a AAA PARKING, a Georgia corporation, with offices at 2029 Century Park East, Suite 400, Los Angeles, CA 90067 ("Operator").

RECITALS:

WHEREAS, Operator operates and administers the Shore Hotel parking garage located at 1515 Ocean Avenue, Santa Monica, CA 90401 (the "Parking Facility"), and has been authorized by the Parking Facility's owner to enter into this Agreement.

WHEREAS, Lessee desires to lease eighteen (18) parking spaces at the Parking Facility, for use by Lessee and tenants and other occupants of the commercial building owned by Lessee located at 1520 Second Street, Santa Monica, CA 90401 (the "1520 Building").

WHEREAS, Operator desires to provide rights to eighteen (18) parking spaces ("Parking Permits") for use by Lessee and tenants and other occupants of the 1520 Building on the terms and conditions set forth in this Agreement;

NOW, THEREFORE, in consideration of the mutual covenants contained herein and other good and valuable consideration, the parties agree as follows:

1. APPOINTMENT.

Eighteen (18) Parking Permits will be made available to Lessee and to tenants and other occupants of the 1520 Building beginning August 1, 2020.

2. LEASE PAYMENT.

Lessee agrees to pay Operator a lease payment (the "Lease Payment") equal to Twenty Thousand Dollars (\$20,000) per year. The Lease Payment includes the City of Santa Monica's ten percent (10%) parking tax.

3. PARKING FACILITY ACCESS.

It is understood and agreed that Lessee and tenants and other occupants of the 1520 Building will have the access to the Parking Facility Monday through Friday, 7:00 am to 6:00 pm, five (5) days per week, with in-and-out privileges for up to eighteen (18) vehicles at the Parking Facility at any given time.

4. TERM.

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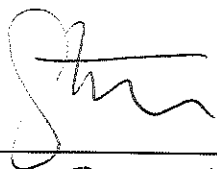
The term of this Agreement is for one year, commencing August 1, 2020 and ending July 31, 2021. Thereafter, this Agreement shall be automatically renewed for successive one (1) year periods, on the same terms and conditions.

IN WITNESS WHEREOF, the parties hereto have executed this Agreement on the date aforementioned herein.

LESSEE:

1520 Second Street Properties

BY: 
Robert Herscu
Manager

Witness 
Stephanie Greenlee
Property Manager

OPERATOR:

**Selig Parking, Inc. d/b/a AAA PARKING
(a Georgia Corporation)**

Mason Mehrjerdian
BY: _____
Mason Mehrjerdian
Executive Vice President

Witness 
Wayne Patterson
Director of Parking Services

