

CALIFORNIA COASTAL COMMISSION

South Coast District Office
301 E Ocean Blvd., Suite 300
Long Beach, CA 90802-4302
(562) 590-5071



Th13e

5-20-0530 (Stabler & English)

DECEMBER 10, 2020

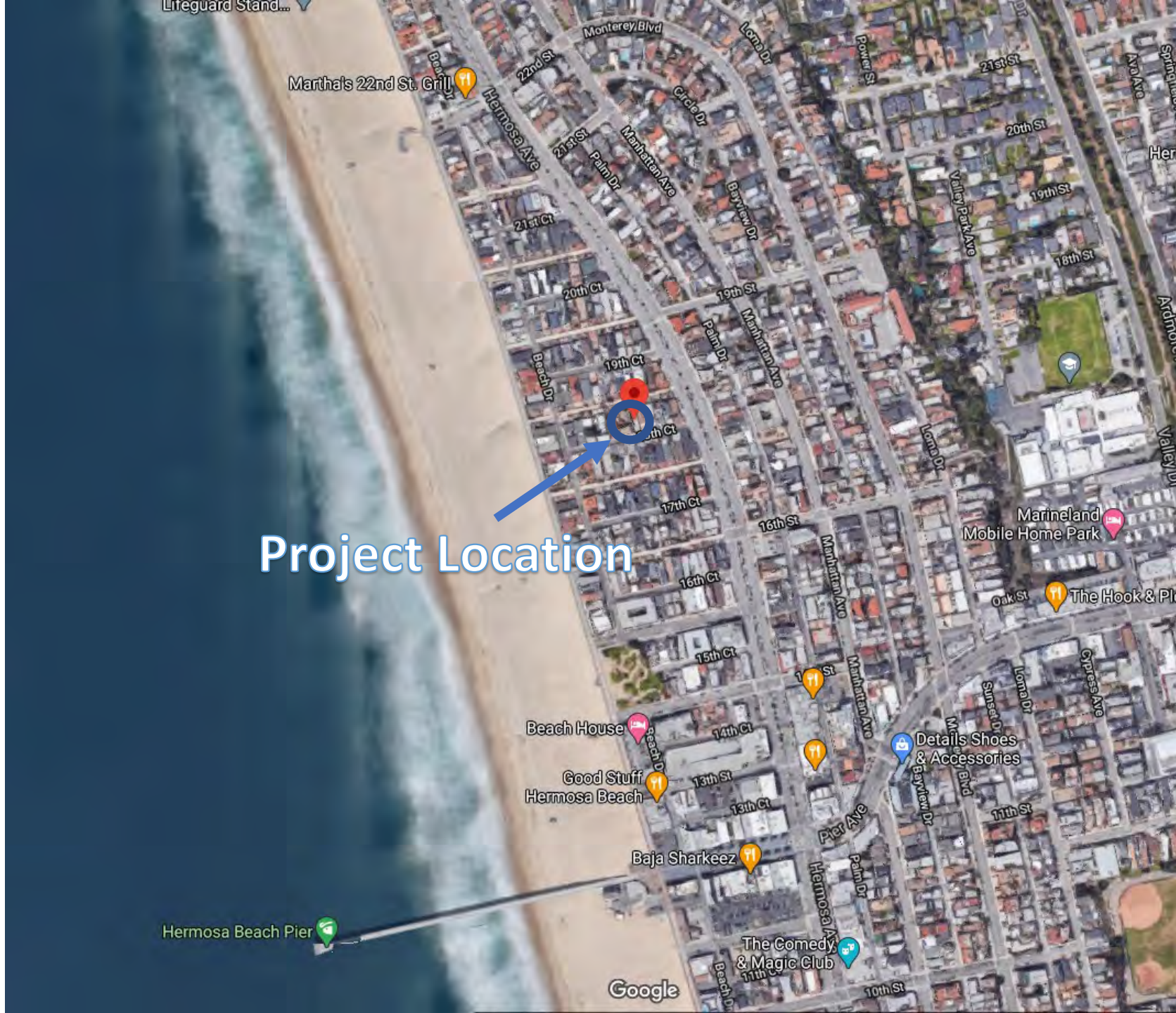
EXHIBITS

Table of Contents:

Exhibit 1 – Vicinity Map and Project Site

Exhibit 2 – Project Plans

Exhibit 3 – Commission Approvals of Housing Density Reduction Projects



Project Location

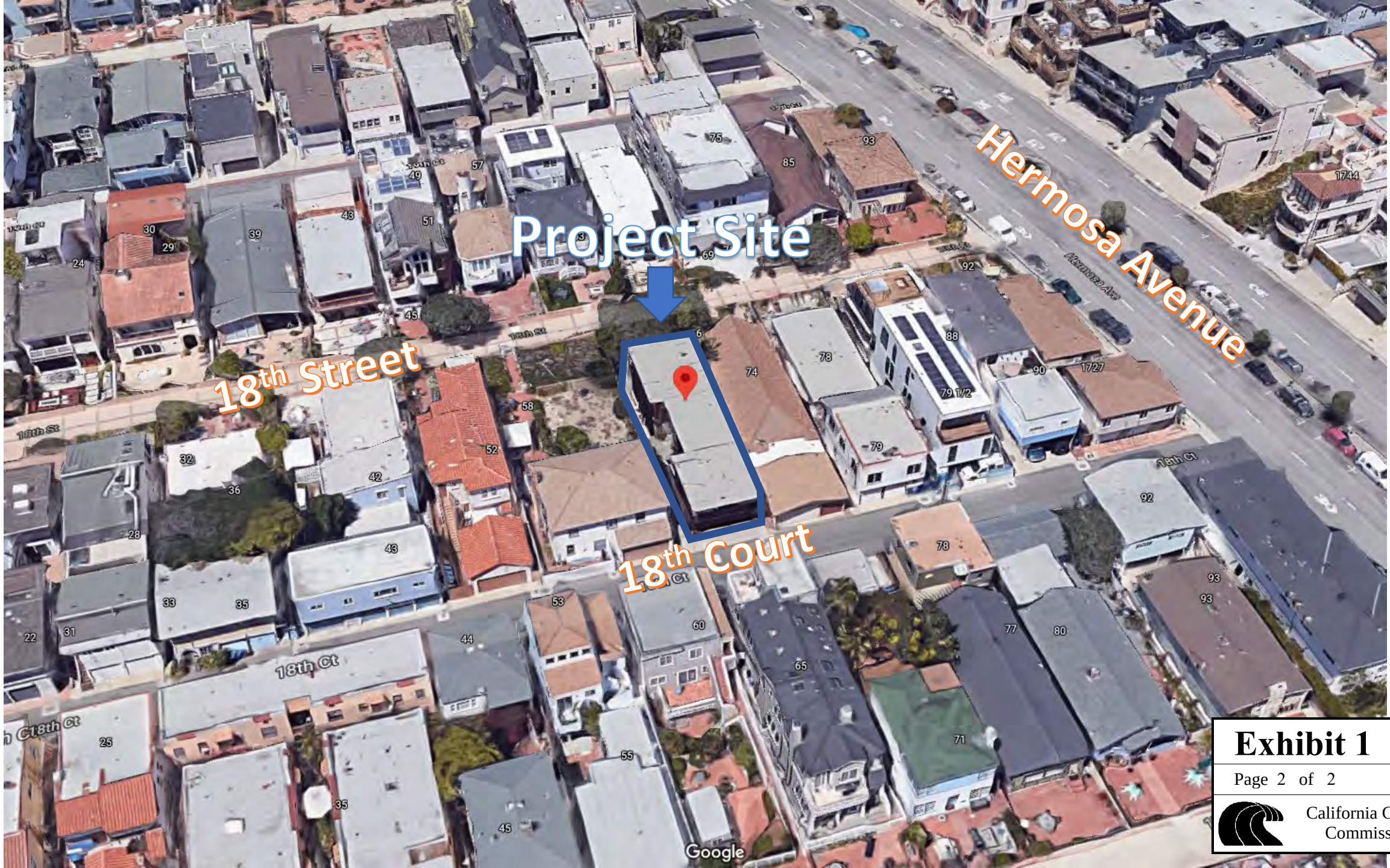


Exhibit 1

Page 2 of 2

Project Summary:

Job Address:	66 18th St. Hermosa Beach, CA 90254
Zone:	R-2B
Building Type:	Single-Family Residence
Occupancy Group:	R3/U 
Construction Type:	Type V-B (Sprinklered Throughout)
Number of Stories:	3-Stories
Lot Size:	2,850 S.F. (29.9' x 95.03')
Legal Description:	APN# 4183-007-010 HERMOSA BEACH LOT 13 BLOCK 18
Project Description:	New 3-Story Single Family Residence with attached 2-car garage and Junior Accessory Dwelling Unit.

Project Data:

PROJECT LOCATION:	66 18th Street
LEGAL DESCRIPTION:	Hermosa Beach Lot 13 Block 18
ASSESSOR PARCEL NO.:	4183-007-010
ZONING:	R-2B
SCOPE OF WORK:	New 3-story SFR with attached garage and JADU (460 sf)

GENERAL BUILDING INFORMATION (NOTE: FOR ADDITION AND REMODEL PROJECTS, PLEASE PROVIDE INFORMATION FOR EXISTING AREA AND ADDED AREA.)	
GARAGE (INTERIOR DIMENSIONS)	22'-10" x 20'-5"
1ST LEVEL LIVING AREA	1,225 sf (including 460 sf JADU)
2ND LEVEL LIVING AREA	1,625 sf
DECKS/BALCONIES	227 sf
3RD LEVEL LIVING AREA	905 sf
DECKS/BALCONIES	333 sf + 310 sf roof deck
TOTAL LIVING AREA	3,755 sf
TOTAL DECKS/BALCONIES	870 sf
NO. OF BEDROOMS	3
NO. OF BATHROOMS	3 full + 2 half

ZONING INFORMATION	REQUIRED	PROVIDED
AREA:		
LOT AREA	1,320 sf	2,850 sf
LOT COVERAGE	1,852.5 sf (65% max)	1,850 sf (64.9%)
YARDS:		
FRONT	5'-0"	5'-1"
SIDE	3'-0"	3'-1"
REAR	3'-0" & 1'-0"	9'-0" & 4'-0"
PARKING AND DRIVEWAYS:		
NUMBER OF SPACES	2	2
GUEST SPACES	1	1
PARKING SETBACK	9'-0"	9'-0"
PARKING STALL DIMENSION	8'-6" x 20'-0"/9'-0" x 22'-0"	10'-0" x 20'-5"/9'-0" x 22'-0"
TURNING AREA		
DRIVEWAY WIDTH	9'-0"	16'-8"
DRIVEWAY MAXIMUM SLOPE	12.5%	1.0%
OPEN SPACE:		
ON GRADE		0 sf
DECKS/BALCONIES		445 sf
TOTAL	300 sf	445 sf

BASEMENT QUALIFICATION CALCULATION (REQUIRED FOR ALL PROJECTS PROPOSING TWO STORIES AND BASEMENT)	
1ST LEVEL F.F. ELEVATION	
LINEAL FEET (LF) OF PERIMETER	
LF OF PERIMETER <6' FROM GRADE TO F.F. ABOVE	
% OF PERIMETER < 6' to FF ABOVE	

fb955cd\applicat\progsumm 7/27/15

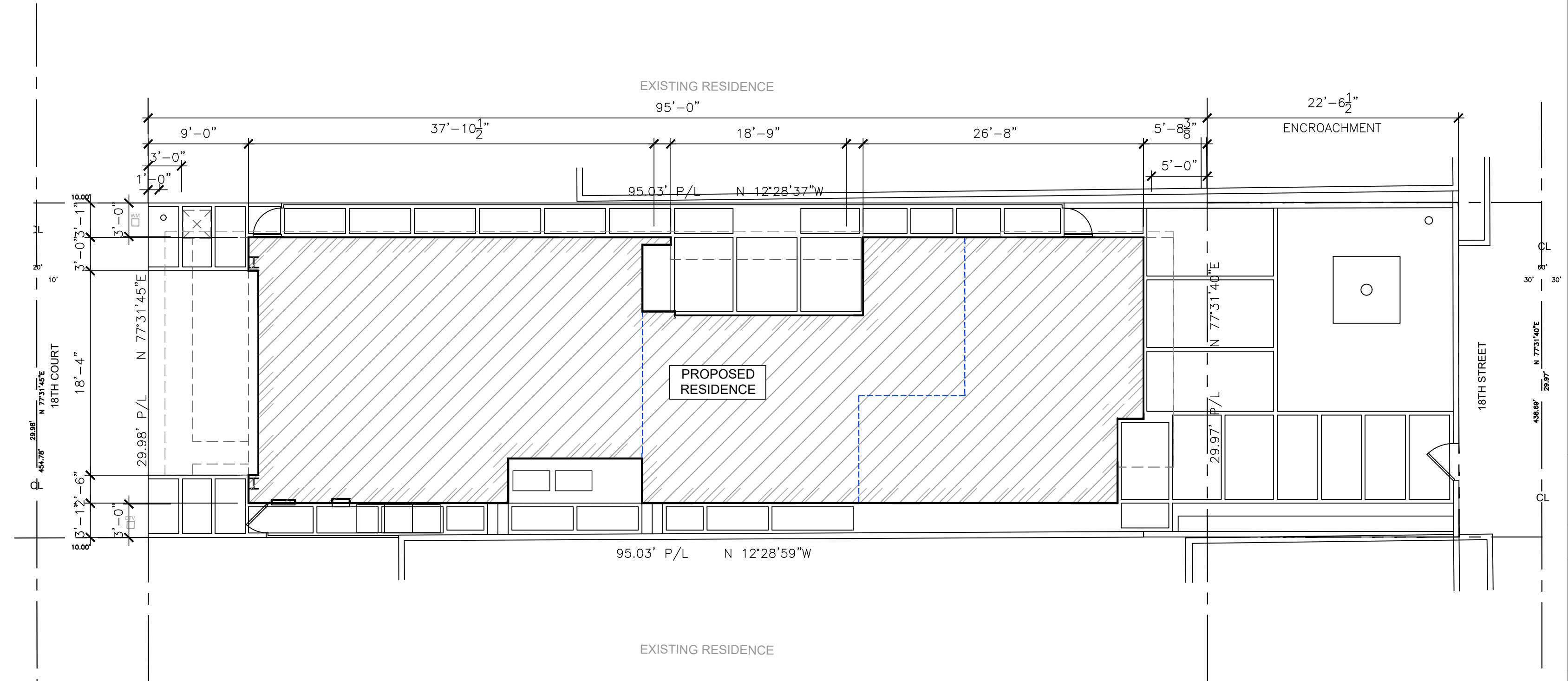
Critical Points:

- CP1 - MAX 130.96/ PROPOSED 130.36
- CP2 - MAX 131.13/ PROPOSED 131.08
- CP3 - MAX 131.12/ PROPOSED 131.06
- CP4 - MAX 131.43/ PROPOSED 130.98
- CP5 - MAX 131.48/ PROPOSED 131.06
- CP6 - MAX 131.73/ PROPOSED 131.64
- CP7 - MAX 131.82/ PROPOSED 131.80
- CP8 - MAX 131.68/ PROPOSED 131.65
- CP9 - MAX 131.50/ PROPOSED 131.49
- CP11 - MAX 131.97/ PROPOSED 131.80

STABLER
+ ENGLISH
RESIDENCE

All work shall comply with the following codes including local amendments:

- 2019 California Building Code (CBC)
2019 California Mechanical Code (CMC)
2019 California Plumbing Code (CPC)
2019 California Electrical Code (CEC)
2019 California Residential Code (CRC)
2019 California Fire Code (CFC)
2019 California Green Building Standards (CGBSC)
2019 California Energy Standards



Sheet Index:

- Architectural
- A-1.0 Cover Sheet
 - A-1.2 Survey
 - A-1.3 Site Plan
 - A-1.4 Landscape Notes
 - A-1.4b GalGreen Notes
 - A-1.4c CalGreen Notes
 - A-1.5 Open Space & Lot Coverage
 - A-1.6 Drainage & Landscape Plan
 - A-1.7 Critical Points Worksheet
 - A-2.0 First Floor Plan
 - A-2.1 Second Floor Plan
 - A-2.2 Third Floor Plan
 - A-2.3 Roof Plan
 - A-3.0 Exterior Elevations
 - A-3.1 Exterior Elevations
 - A-4.0 Building Sections
 - A-4.1 Building Sections
 - A-4.2 Building Sections

- Civil
- C-1.0 General Notes
 - C-2.0 Drainage and Grading
 - C-3.0 Public R.O.W. Improvements
 - C-4.0 Erosion Control
 - C-5.0 Sections & Details

Lighting

Notes & Schedules

Structural

* Not a part of this submittal

LEE
MICHAEL LEE ARCHITECTS, INC.

2200 Highland Avenue
Manhattan Beach, CA 90266
t. 310.545.5771
f. 310.545.4330
www.mleearchitects.com

The drawings and descriptions set forth on this sheet and all copyrights therein are, and shall remain the property of Michael Lee Architects. Use of this drawing is limited to a one-time use on the specific project and for the specific person(s) named herein. Any other use or reuse of said drawings is strictly prohibited, without the express written permission of Michael Lee Architects. Copyright © 2015 by Michael Lee Architects. ALL RIGHTS RESERVED.

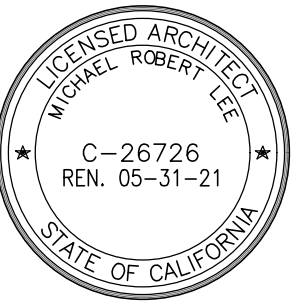
Stabler /
English
Residence

66 18th Street
Hermosa Beach, CA
90254

ENCROACHMENT PERMIT

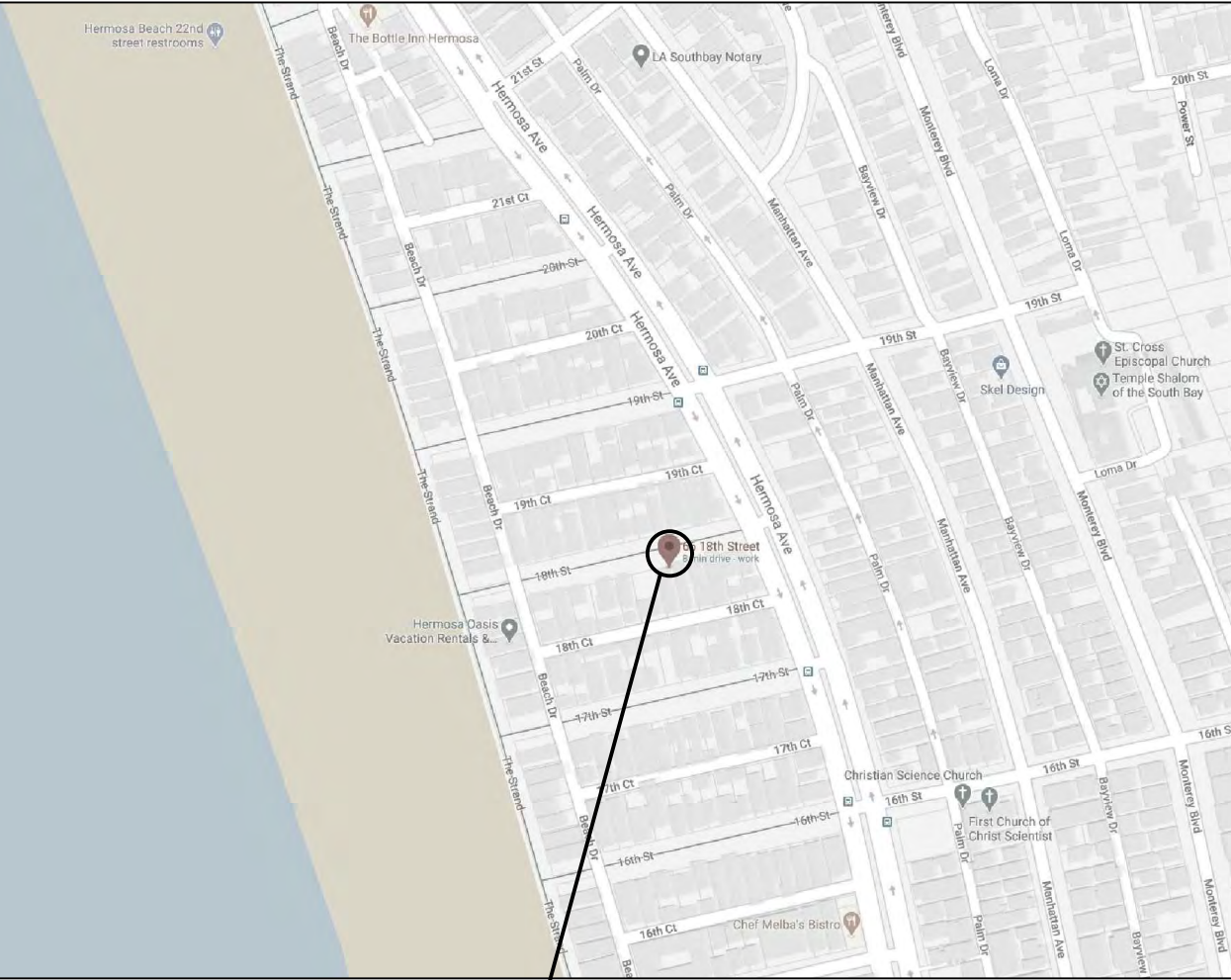
"PROVIDE NOTARIZED OWNER'S ENCROACHMENT PERMIT AGREEMENT AND AGENCY-SIGNED INSURANCE ENDORSEMENT FORM #1 (GENERAL) TO COMMUNITY DEVELOPMENT DEPARTMENT PRIOR TO FINAL INSPECTION."

Professional Seal



Date: 09/08/2020

Revisions By



PROJECT SITE

Vicinity Map:

Contacts:

Structural Engineer	Civil Engineer
McCullum Engineering Services 727 2nd St. #104 Hermosa Beach, CA 90254 (310) 944-0898	DEN 3914 Torre (310)
Energy Consultant	Geo
Newton Energy 1730 E. Holly Avenue, Ste. 755 El Segundo, CA 90245 (310) 375-2699	NOR 1064 Los (562)

Exhibit 2

Page 1 of 16



California Coastal
Commission

SURVEY AND TOPOGRAPHY

FOR
LAEL STABLER & JERRY ENGLISH
66 18TH STREET
HERMOSA BEACH, CA 90254

JOB ADDRESS
66 18TH STREET
HERMOSA BEACH, CA 90254

LEGAL DESCRIPTION
LOT 13, BLOCK 18
HERMOSA BEACH
M.B. 1-25-26
APN 4183-007-010

THIS MAP CORRECTLY REPRESENTS A SURVEY
MADE BY ME OR UNDER MY DIRECTION IN
CONFORMANCE WITH THE REQUIREMENTS OF
PROFESSIONAL LAND SURVEYORS' ACT

GARY J. ROEHL R.C.E. 30826

DRAWN BY MW/DT CHECK BY XX

DRAWN ON JUNE 4, 2020

REVISIONS
REVISIONS

LEGEND	
	EXISTING BUILDING
	CONCRETE
	BRICK
	WOOD DECK
	EXISTING ELEVATION
	EXISTING CONTOUR
	BLOCK WALL
	EXISTING FENCE
	BEGINNING OF CURB RETURN
	CENTERLINE
	CHAIN-LINK
	EASTERLY
	ELECTRIC METER
	FOUND
	FENCE
	FINISH FLOOR
	FIRE HYDRANT
	FLOW LINE
	GARAGE FINISH FLOOR
	GAS METER
	GUY WIRE
	LEAD AND TAG
	MANHOLE
	NORTHERLY
	PROPERTY CORNER / PROP. CORNER
	PROPERTY LINE / PROP. LINE
	POWER POLE
	PARAPET
	SPIKE AND WASHER
	SOUTHERLY
	SPIKE
	SANITARY SEWER CLEAN OUT
	SANITARY SEWER MANHOLE
	STAKE / STAKE & TAG
	STREET LIGHT
	TOP OF CURB
	TOP OF WALL / T.O.W.
	TOP OF DRIVEWAY APRON
	WESTERLY
	WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN
ARE TO THE EXISTING SURFACE OF
THE LOT, UNLESS OTHERWISE NOTED.

ARE NOT NECESSARILY
ERS. PLEASE REFER TO
ANS FOR OFFSET
E ANY QUESTIONS,
TO CONTACT DENN
ATION AT
TO 5:00 PM.

IONS MADE TO THIS PLAN
OF DENN ENGINEERS
ERS FROM ANY LIABILITY
IF SUCH CHANGES OR
NY ATTORNEYS FEES OR
CEEDING THAT DENN

18TH STREET

HERMOSA AVENUE

BEACH DRIVE

18TH COURT

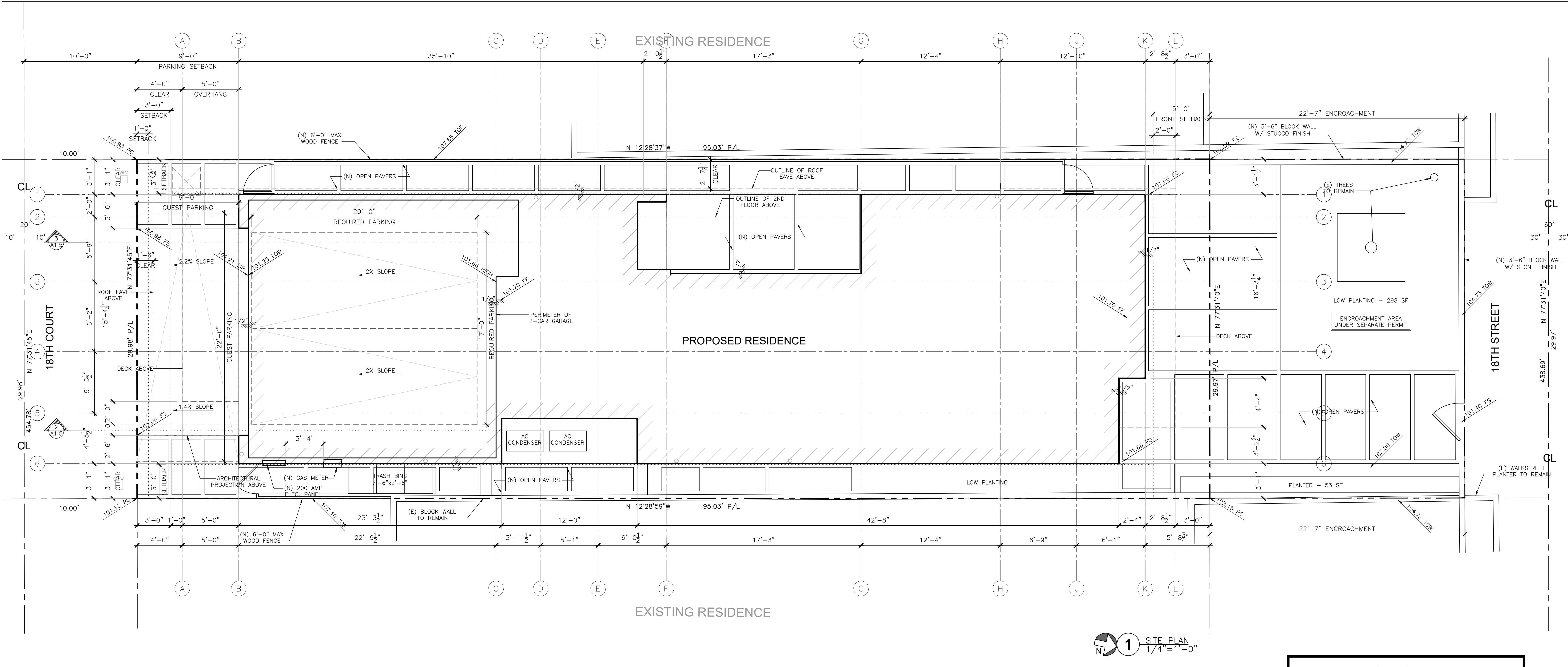
NOTE:
A TITLE POLICY HAS BEEN PROVIDED AND REVIEWED BY DENN ENGINEERS AT THE
TIME OF THIS SURVEY. ANY READILY AVAILABLE ITEMS AFFECTING THIS PROPERTY
HAVE BEEN PLOTTED BASED ON PROVIDED DOCUMENTS.

USA NATIONAL TITLE COMPANY
ORDER NO. 072037427-30
DATED APRIL 30, 2020

Exhibit 2

Page 2 of 16

California Coastal Commission



1 SITE PLAN
1/4" = 1'-0"

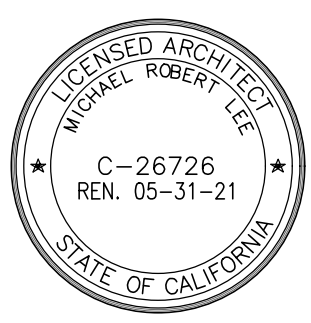
LEE
MICHAEL LEE ARCHITECTS, INC.

2200 Highland Avenue
Manhattan Beach, CA 90266
t. 310.545.5771
f. 310.545.4330
www.mleearchitects.com

The drawings and descriptions set forth on this sheet and all copyrights therein are, and shall remain the property of Michael Lee Architects. Use of this drawing is limited to a one-time use on the specific project and for the specific person(s) named hereon. Any other use or reuse of said drawings is strictly prohibited without the express written permission of Michael Lee Architects. Copyright © 2008 by Michael Lee Architects. ALL RIGHTS RESERVED.

Stabler / English
Residence
66 18th Street
Hermosa Beach, CA 90254

Professional Seal



Date: 09/08/2020

Revisions	By				

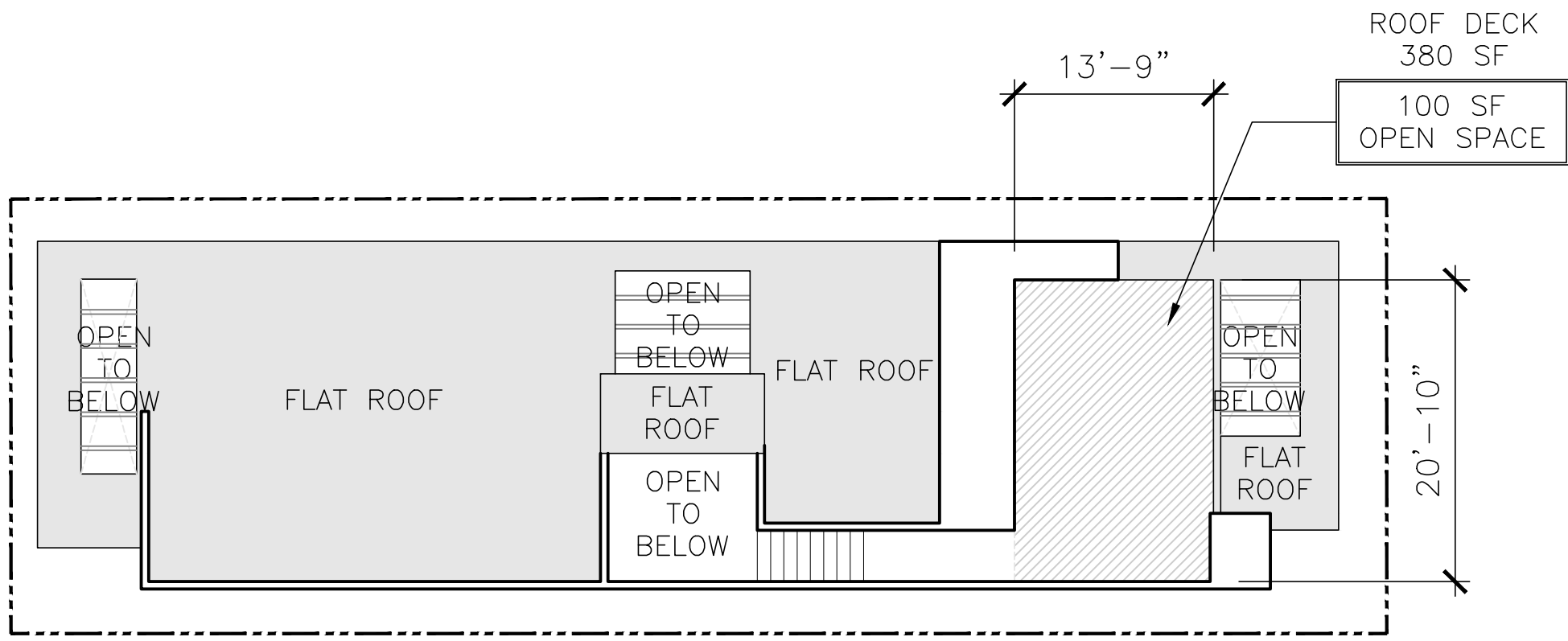
Exhibit 2

Page 3 of 16

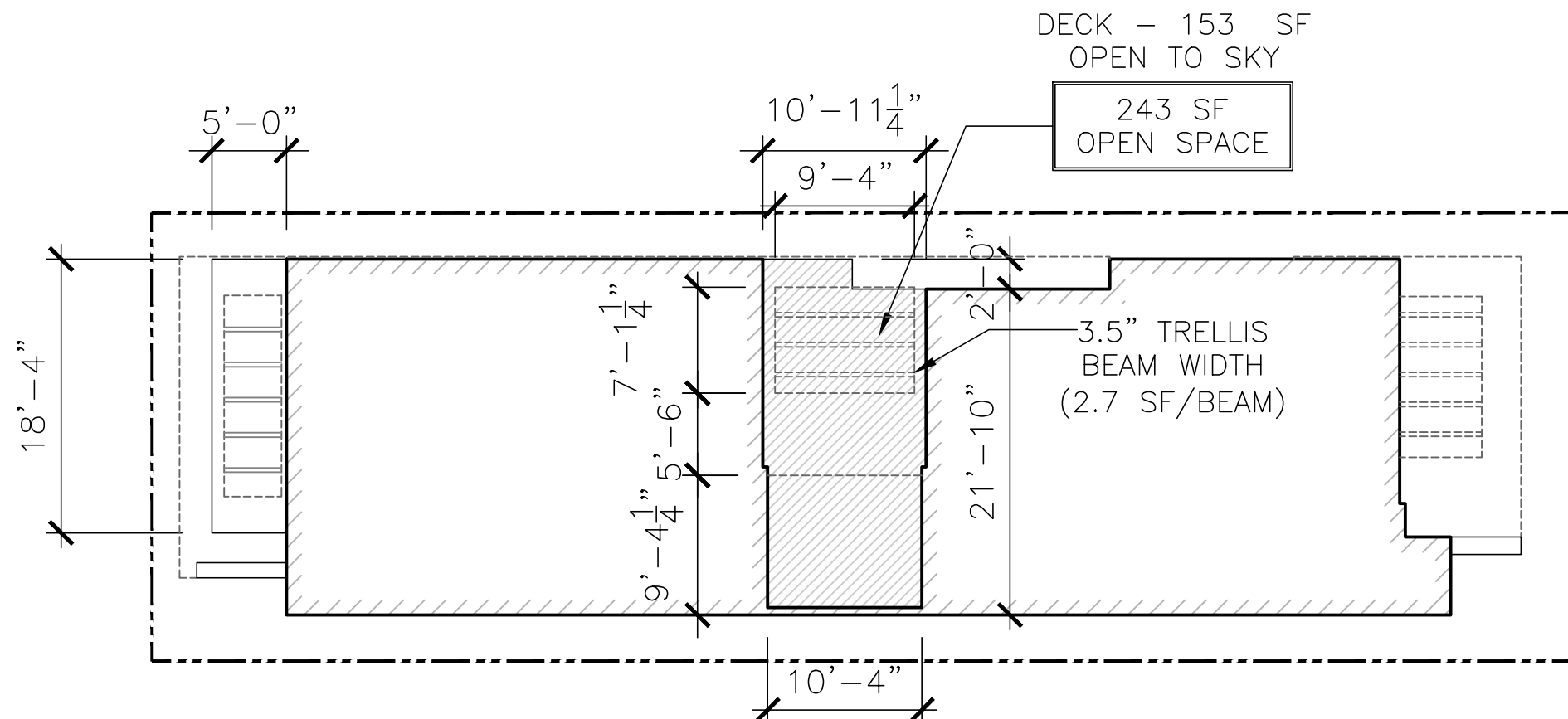


California Coastal Commission

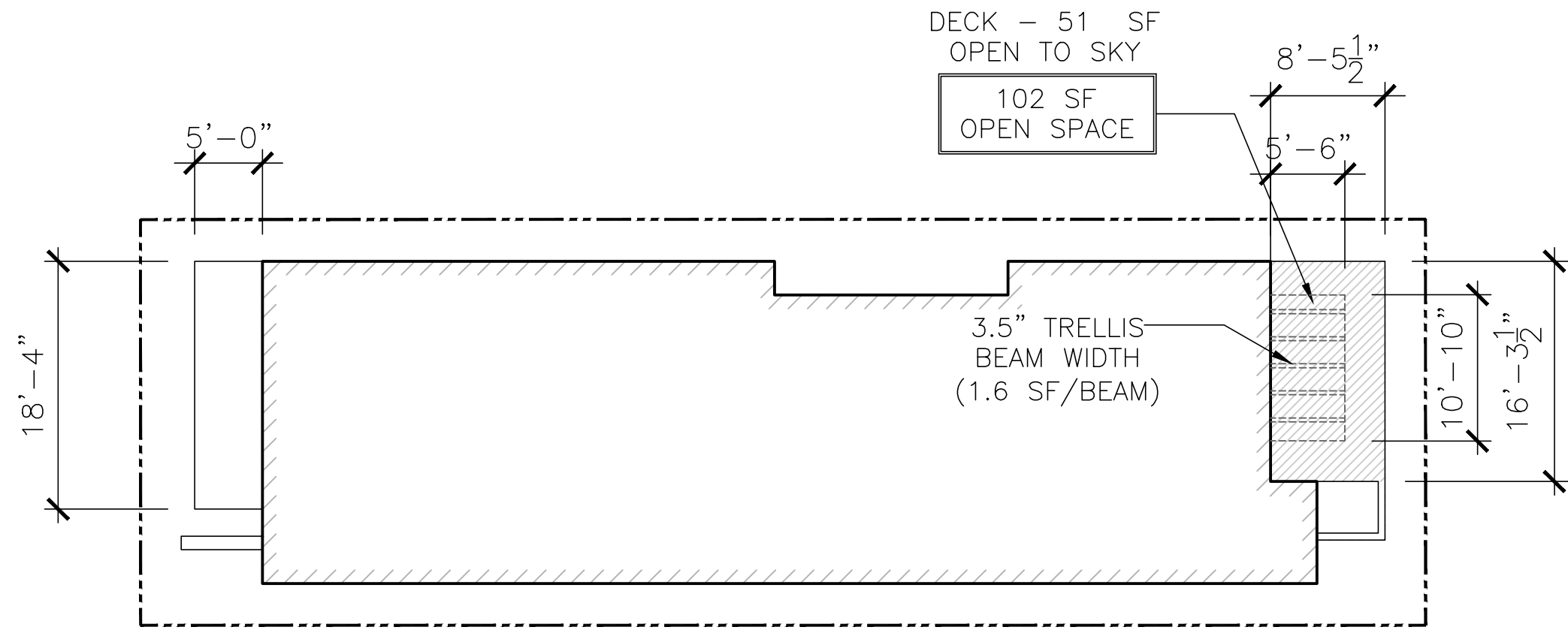
3



ROOF DECK

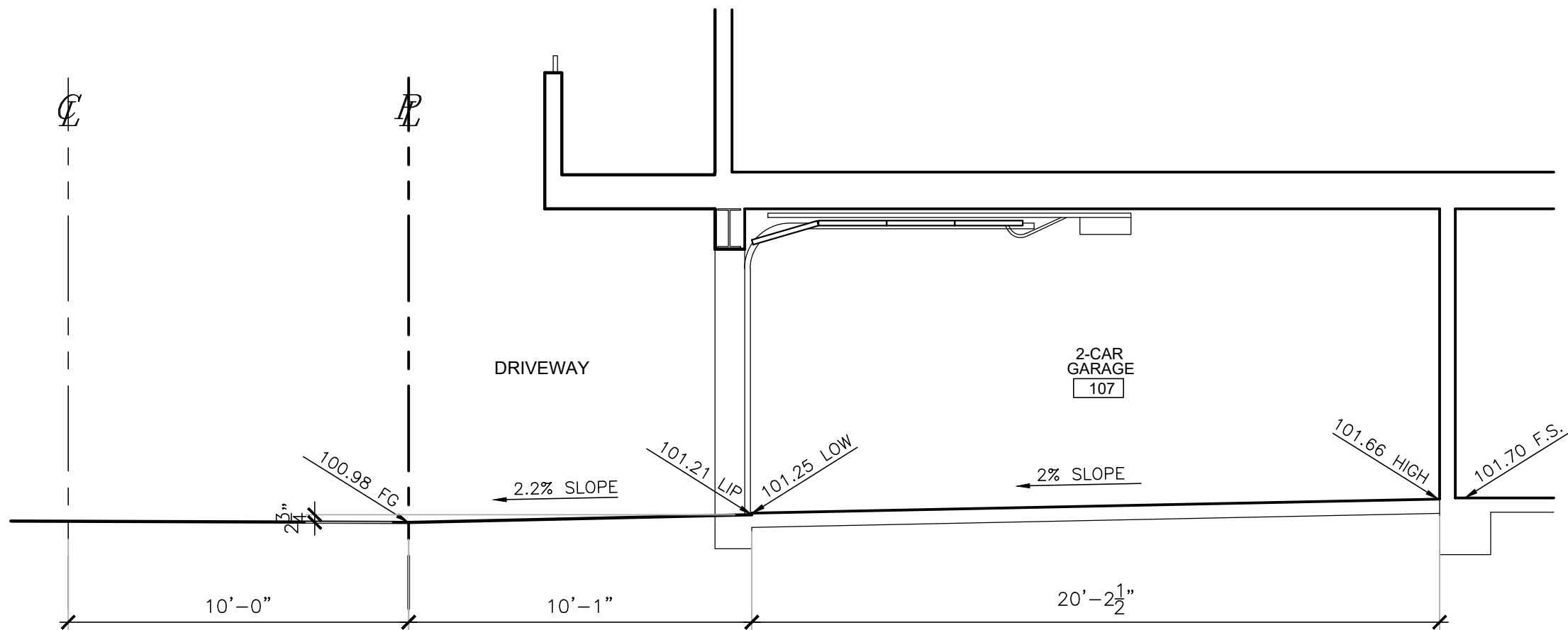


THIRD FLOOR

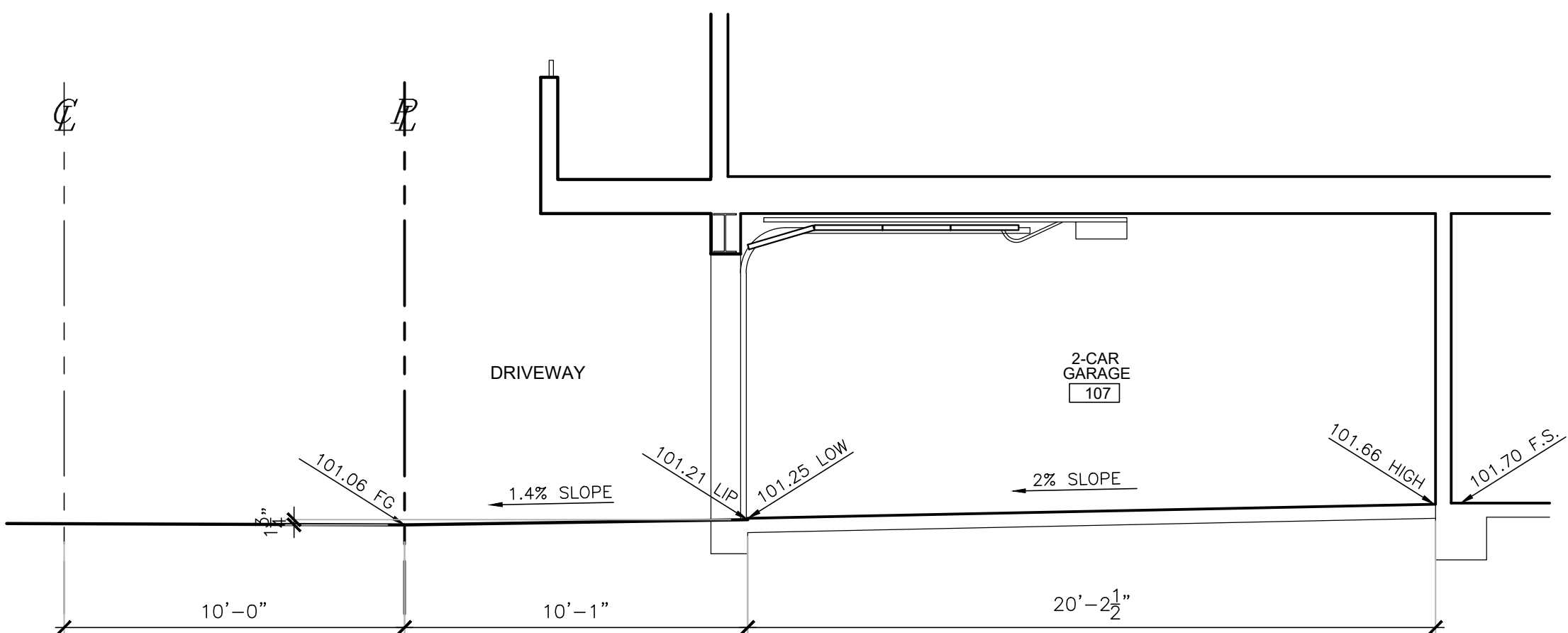


SECOND FLOOR

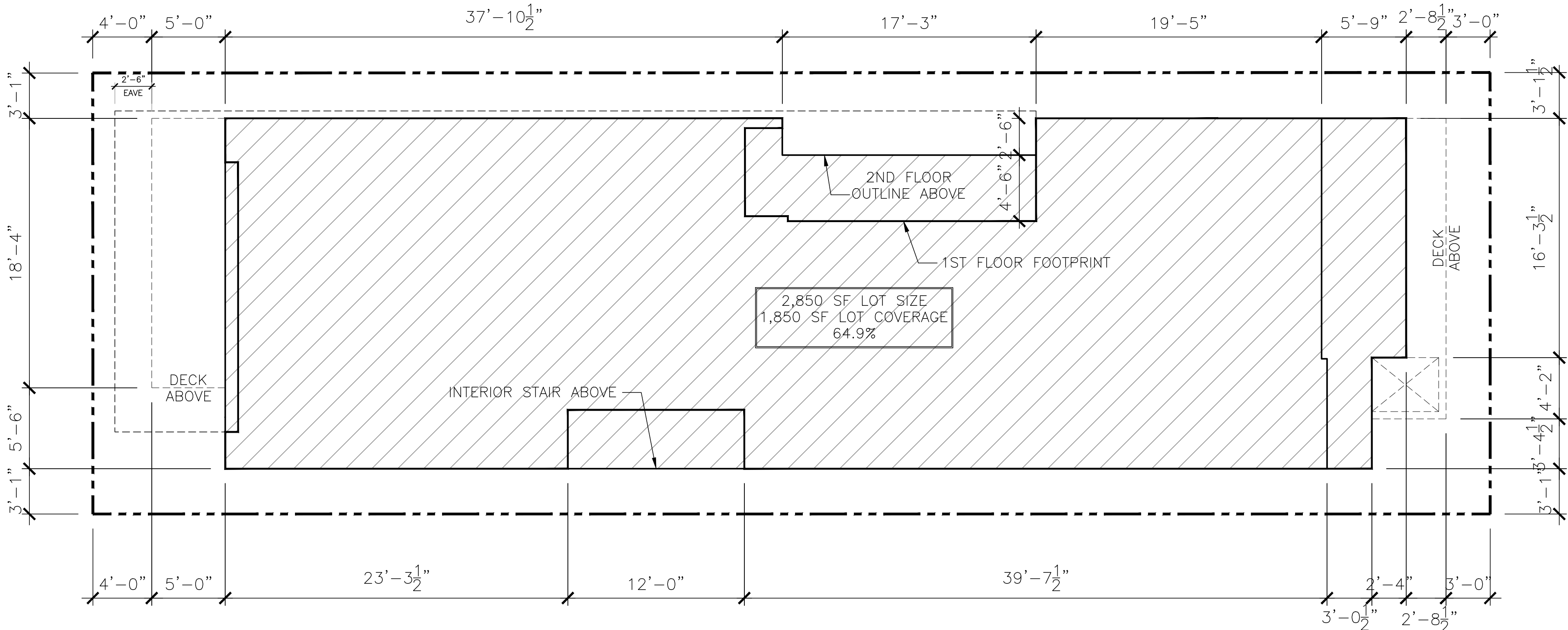
4 OPEN SPACE DIAGRAM
3/32"=1'-0"



3 DRIVEWAY SLOPE
1/4"=1'-0"



2 DRIVEWAY SLOPE
1/4"=1'-0"



1 LOT COVERAGE DIAGRAM
3/16"=1'-0"

LEE
MICHAEL LEE ARCHITECTS, INC.

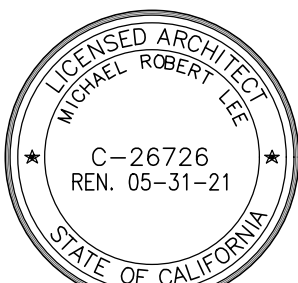
2200 Highland Avenue
Manhattan Beach, CA 90266
t. 310.545.5771
f. 310.545.4330
www.mleearchitects.com

The drawings and descriptions set forth on this sheet and all copyrights therein are, and shall remain the property of Michael Lee Architects. Use of this drawing is limited to a one-time use on the specific project and for the specific person(s) named hereon. Any other use or reuse of said drawings is strictly prohibited without the express written permission of Michael Lee Architects. Copyright © 2008 by Michael Lee Architects. ALL RIGHTS RESERVED.

Stabler /
English
Residence

66 18th Street
Hermosa Beach, CA
90254

Professional Seal



Date: 09/08/2020

Revisions

By

Exhibit 2

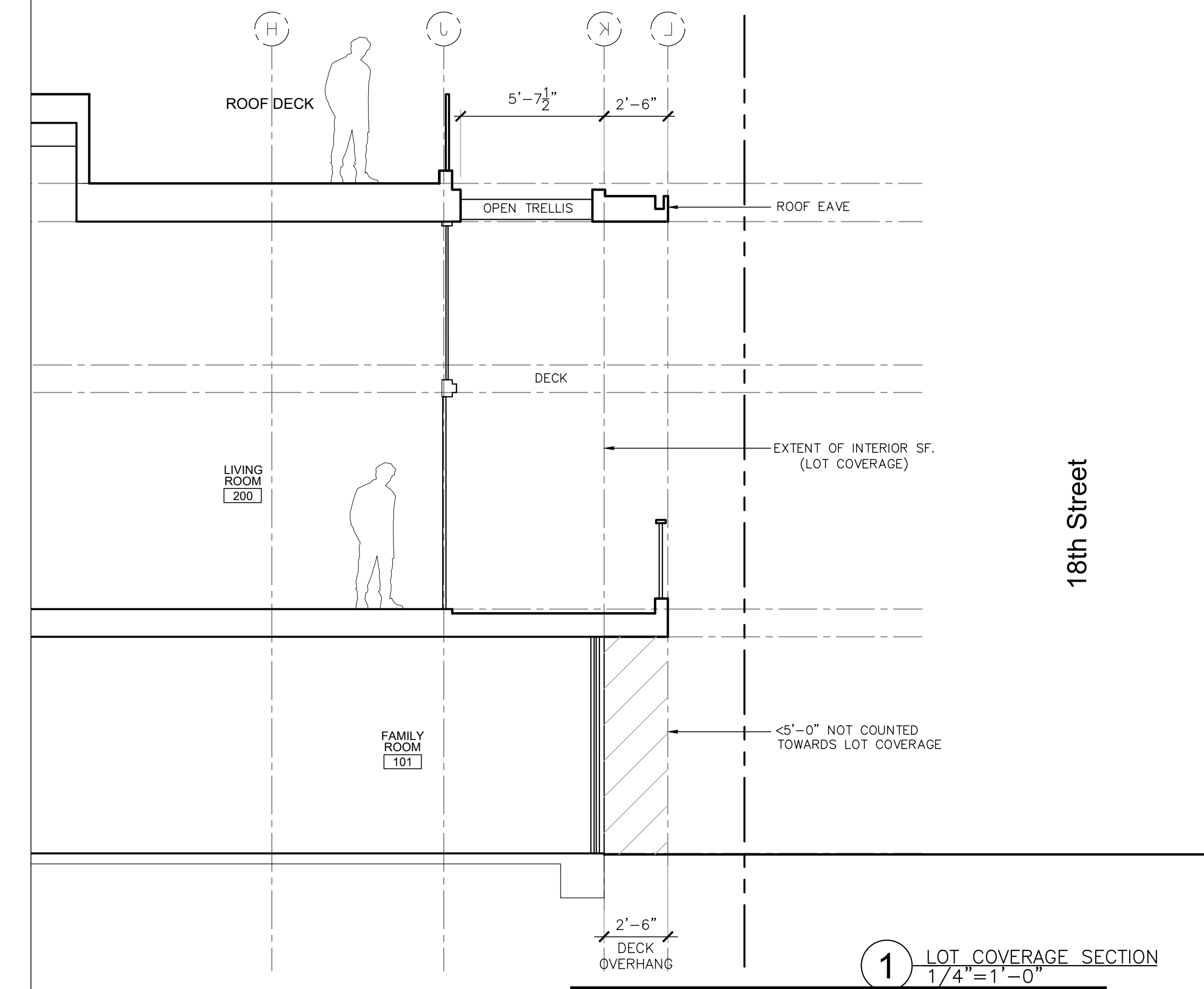
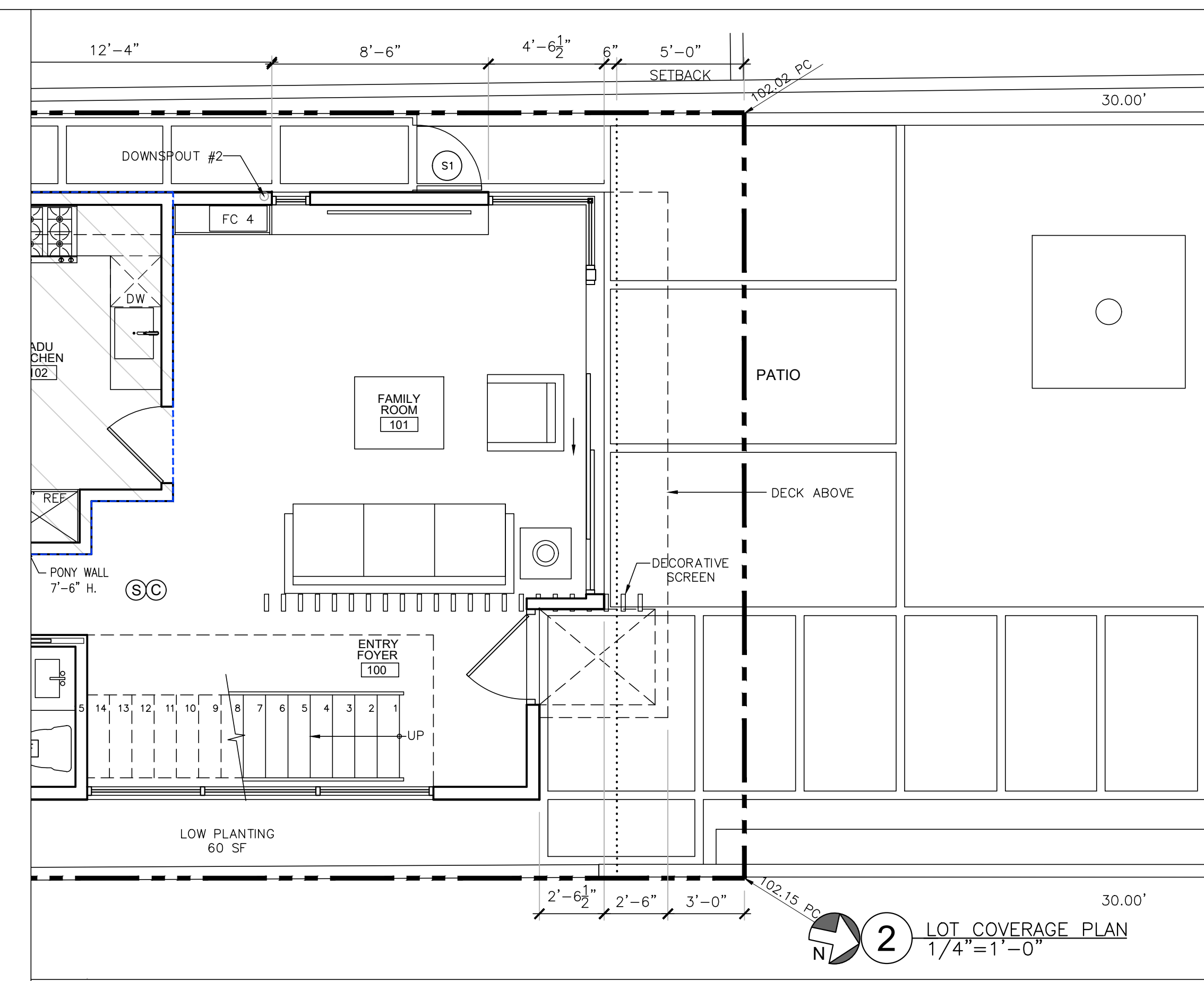
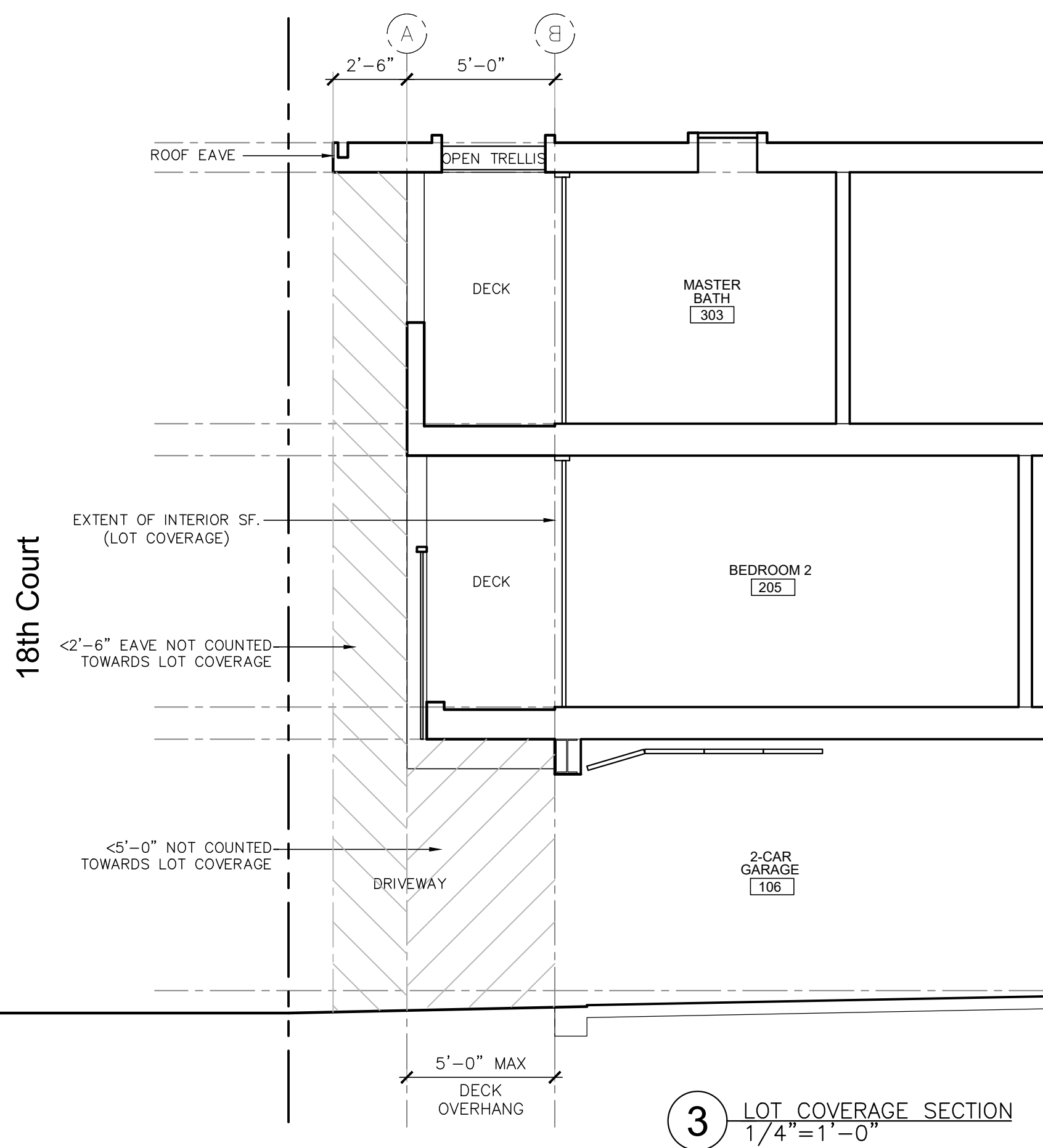
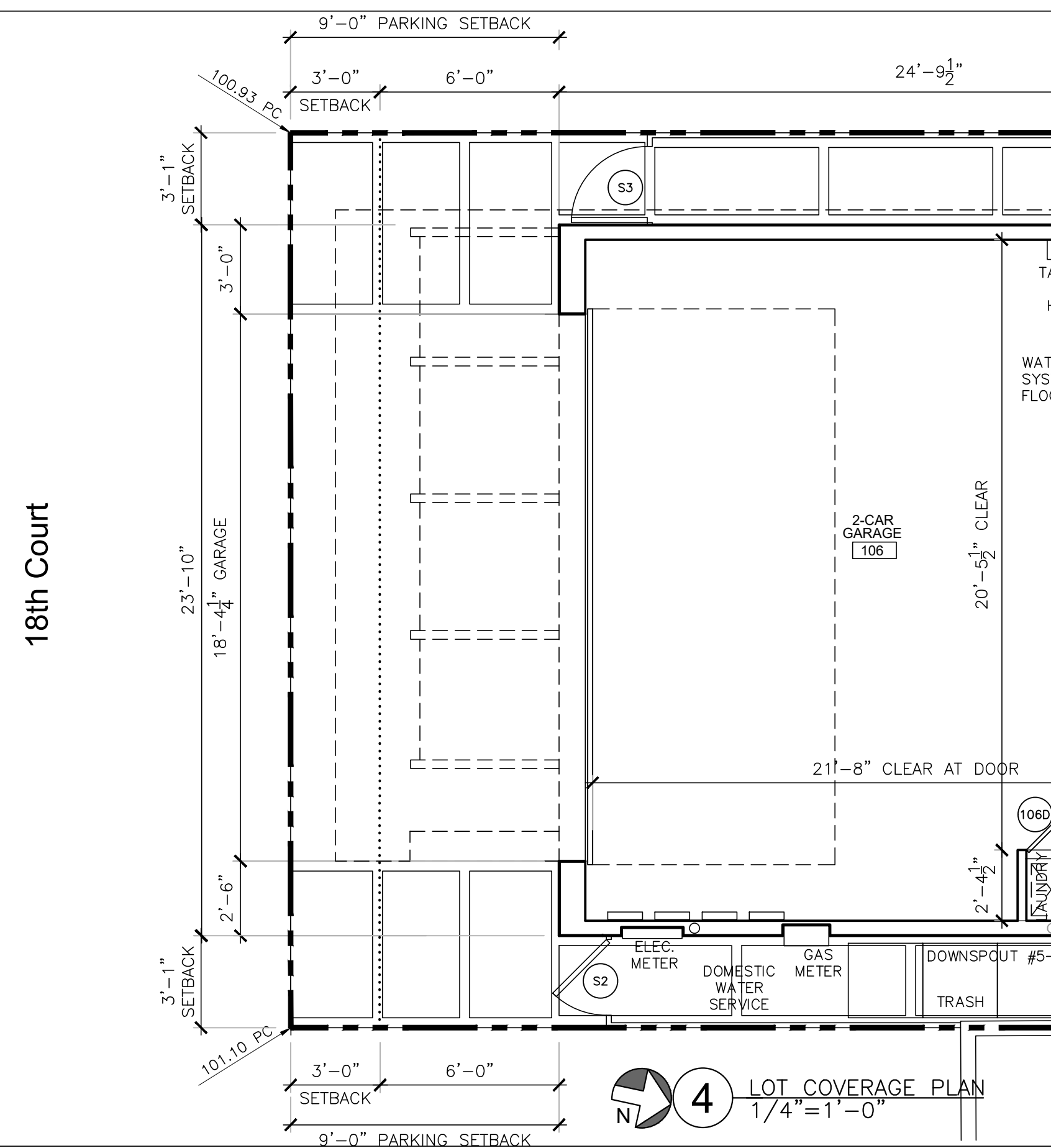
Page 4 of 16



California Coastal
Commission

Page

5



LEE
MICHAEL LEE ARCHITECTS, INC.

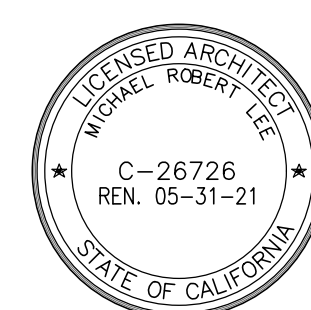
2200 Highland Avenue
Manhattan Beach, CA 90266
t. 310.545.5771
f. 310.545.4330
www.mleearchitects.com

The drawings and descriptions set forth on this sheet and all copyrights therein are, and shall remain the property of Michael Lee Architects. Use of this drawing is limited to a one-time use on the specific project and for the specific person(s) named hereon. Any other use or reuse of said drawings is strictly prohibited without the express written permission of Michael Lee Architects.
Copyright © 2008 by Michael Lee Architects.
ALL RIGHTS RESERVED.

Stabler /
English
Residence

66 18th Street
Hermosa Beach, CA
90254

Professional Seal



Date: 09/08/2020

Revisions

By

Exhibit 2

Page 5 of 16



California Coastal
Commission

CalGreen Notes and Requirements:

- A. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER-BASED (4.304.1)
- B. PROTECT ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS AT EXTERIOR WALLS AGAINST THE PASSAGE OF RODENTS (4.406.1)
- C. COVER DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS DURING CONSTRUCTION (4.504.1)
- D. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS (4.504.2.1)
- E. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.2.2)
- F. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED MIR LIMITS FOR ROC AND OTHER TOXIC COMPOUNDS (4.504.2.3). VERIFICATION OF COMPLIANCE SHALL BE PROVIDED
- G. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT WITH VOC LIMITS (4.504.3)
- H. MINIMUM 50% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH SECTIO 4.504.4
- I. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS (4.504.5)
- J. INSTALL CAPILLARY BREAK AND VAPOR RETARDER AT SLAB ON GRADE FOUNDATIONS (4.505.2)
- K. CHECK MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING BEFORE ENCLOSURE (4.505.3)
- L. PROVIDE INSULATED LOUVERS/COVERS (MIN. R-4.2) WHICH CLOSE WHEN THE FAN IS OFF FOR THE WHOLE HOUSE EXHAUST FANS (4.507.1)
- M. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED PER CALGREEN SECTION 4.507.2. HVAC SYSTEM INSTALLERS MUST BE TRAINED AND CERTIFIED AND SPECIAL INSTPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED.
- N. PLEASE PROVIDE A COPY OF THE OPERATION AND MAINTENANCE MANUAL TO THE BUILDING OCCUPANT OR OWNER ADDRESSING ITEMS 1-10 IN CALGREEN SECTION 4.410.1
- O. COOL ROOF: ROOFING MATERIALS SHALL HAVE A CRRC INITIAL OR 3-YEAR AGED THERMAL EMITTANCE EQUAL TO RO GREATER THAN THOSE SPECIFIED
- P. PLEASE SUBMIT CONSTRUCTION WASTE MANAGEMENT PLAN PER CALGREEN SECTION 4.408.2 (OR IN ACCORDANCE WITH THE LOCAL ORDINANCE). DIVERT A MINIMUM OF 50% OF THE CONSTRUCTION WASTE GENERATED AT THE SITE TO RECYCLE OR SALVAGE PER SECTION 4.408.1. PLEASE PROVIDE THE FOLLOWING INFORMATION ON THE PLAN:
1. IDENTIFY THE MATERIALS TO BE DIVERTED FROM DISPOSAL BY RECYCLING, REUSE ON THE PROJECT OF SALVAGE FOR FUTURE USE OR RESALE.
 2. SPECIFY IF MATERIALS WILL BE SORTED ON SITE OR MIXED FOR TRANSPORTATION TO A DIVERSION FACILITY.
 3. IDENTIFY THE DIVERSION FACILITY WHERE THE MATERIAL COLLECTED WILL BE TAKEN.
 4. IDENTIFY CONSTRUCTION METHODS EMPLOYED TO REDUCE THE AMOUNT OF WASTE GENERATED.
 5. SPECIFY THAT THE AMOUNT OF MATERIALS DIVERTED SHALL BE CALCULATED BY WEIGHT OR VOLUME.

PLANTING LIST					
SYMBOL	BOTANICAL NAME	COMMON NAME	WATER VOLUME	QUANTITY	SIZE
	LAVENDULA 'GOODWIN 'CREEK'	LAVENDER	L	12	5g
	PHORMIUM 'TRICOLOR'	FLAX	L	13	24"
	HELICTOTRICHON sempervirens	BLUE OAT GRASS	L	29	18"
	AEONIUM	MINT SAUCER	L	24	1g

- ENCROACHMENT NOTES:
1. ALL LANSCAPING SHALL BE A MAX. HEIGHT OF 42" ABOVE ADJACENT PUBLIC WALKWAY.
 2. ALL WALLS TO BE A MAX. HEIGHT OF 3'-6" (42") ABOVE ADJACENT PUBLIC WALKWAY
 3. IRRIGATION SYSTEM SHALL BE AN AUTOMATIC IRRIGATION SYSTEM USING EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA, WITH A RAIN SHUT-OFF SENSOR. DRIP IRRIGATION EMITTERS SHALL EMIT NO MORE THAN TWO (2) GALLONS PER HOUR
 4. NO SURFACE RUN-OFF FROM THE ENCROACHMENT AREA TO THE RIGHT-OF-WAY IS ALLOWED.

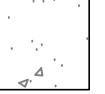
GENERAL NOTES:

1. ALL EXTERIOR POURED-IN-PLACE CONCRETE PAVERS TO BE COLOR CONCRETE WITH A PRESSURE WASH FINISH & SAW CUT EXPANSION JOINTS
2. ALL INTERIOR SLABS TO BE COLOR CONCRETE WITH A PRESSURE WASH FINISH & SAW CUT EXPANSION JOINTS
3. GARAGE SLAB TO BE COLOR CONCRETE W/ SMOOTH TROWEL FINISH.
4. ALL PLANTER & YARD WALLS TO BE CMU WITH STUCCO FINISH, U.N.O.
5. OUTSIDE EDGE OF BUILDING SLAB AND STEM WALLS TO BE FLUSH WITH PLYWOOD FRAMING.

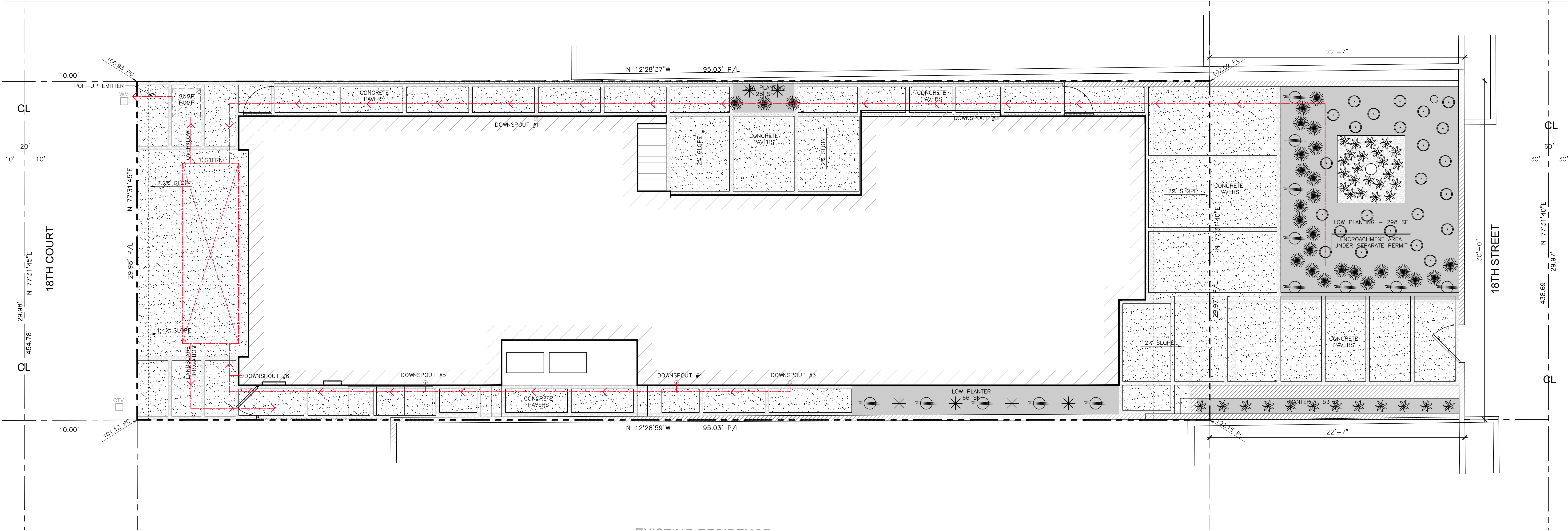
ENCROACHMENT AREA = (22.58 x 30.00) 677 SF
REQUIRED LANDSCAPING IN ENCROACHMENT AREA = 224 SF (33%)
PROVIDED LANDSCAPING IN ENCROACHMENT AREA = 351 SF

LEGEND

SPRINKLER HEAD
DRIP-LINE
SUPPLY LINE
DRIP-LINE ANTI-SIPHON CONTROL VALVE

	PERMEABLE CONCRETE
	INTEGRAL COLOR CONCRETE (EXPOSED AGGREGATE) OPEN PAVERS
	GRAVEL POCKET
	LANDSCAPED PLANTER

LOT AREA	2,850 SF
BUILDING FOOTPRINT	1,766 SF
EXTERIOR SURFACE	1,084 SF
REQUIRED PERMEABLE SURFACE	542 SF
PROPOSED HARDSCAPE	495 SF
PROPOSED PERMEABLE	589 SF



1 DRAINAGE AND LANDSCAPE PLAN
1/4"=1'-0"

LEE
MICHAEL LEE ARCHITECTS, INC.

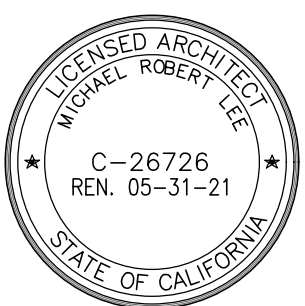
2200 Highland Avenue
Manhattan Beach, CA 90266
t. 310.545.5771
f. 310.545.4330
www.mleearchitects.com

The drawings and descriptions set forth on this sheet and all copyrights therein are, and shall remain the property of Michael Lee Architects. Use of this drawing is limited to a one-time use on the specific project and for the specific person(s) named herein. Any other use or reuse of said drawings is strictly prohibited without the express written permission of Michael Lee Architects. Copyright © 2008 by Michael Lee Architects. ALL RIGHTS RESERVED.

Stabler /
English
Residence

66 18th Street
Hermosa Beach, CA
90254

Professional Seal



Date: 09/08/2020

Revisions

By

Exhibit 2

Page 6 of 16



California Coastal
Commission

PARKING GARAGE NOTES:

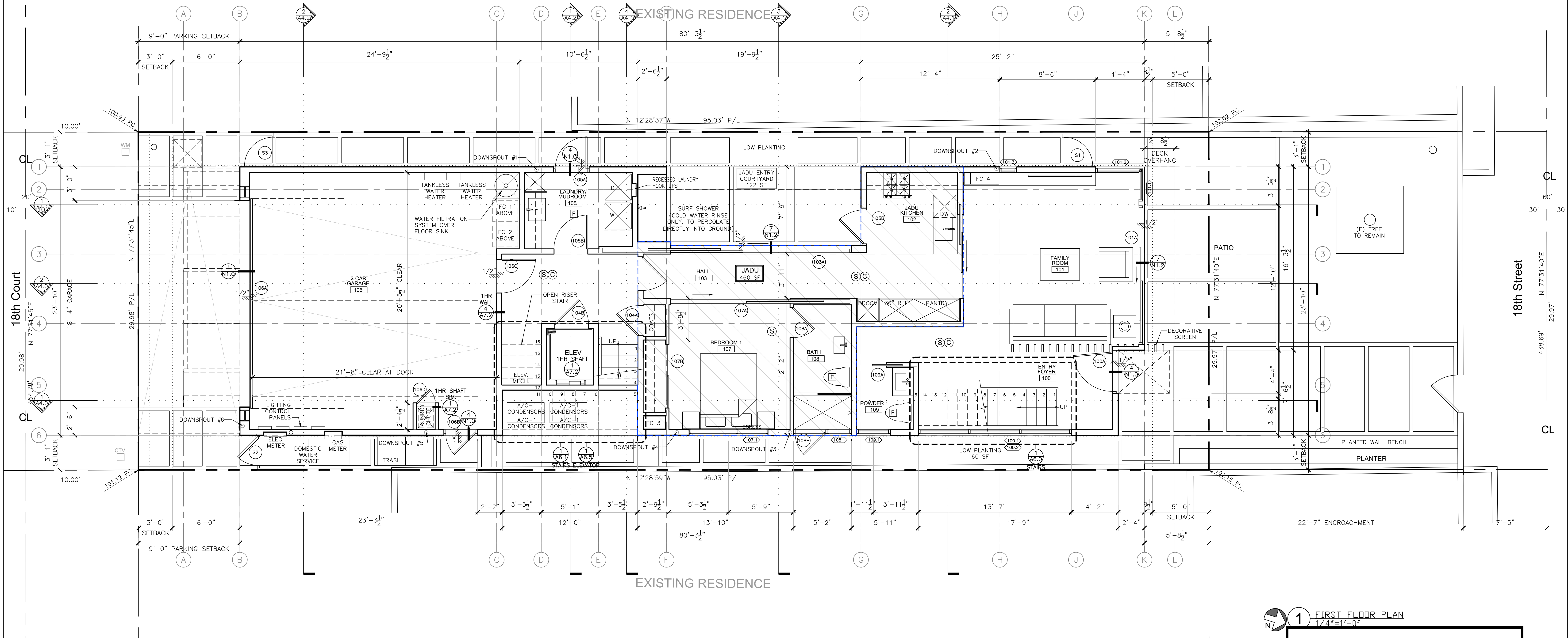
1. PARKING AREA IS TO BE CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN (7') ABOVE F.F. TO ANY CLG., BEAM, PIPE, VENT, MECH. EQUIP. OR SIM. CONSTRUCTION.
2. PROVIDE ONE-HOUR OCCUP. SEPARATION ON GARAGE SIDE BETWEEN GARAGE AND DWELLING AND CEILING ABOVE.
3. DOORS BETWEEN GARAGE AND THE DWELLING UNIT SHALL HAVE A MINIMUM FIRE PROTECTION RATING OF 20 MIN AND SELF-CLOSING AND SELF-LATCHING DEVICES, OR SOLID WOOD OR SOLID OR HONEYCOMB CORE STEEL NOT LESS THAN 1-3/8" INCHES THICK.
4. GARAGE FLOOR SURFACES SHALL BE OF AN APPROVED NONCOMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY.
5. THE GARAGE SHALL BE SEPARATED FROM THE DWELLING AND ITS ATTIC AREA IN ACCORDANCE WITH TABLE R302.6 (R302.6).
6. VISIBILITY OF A DRIVEWAY CROSSING A STREET PROPERTY LINE SHALL NOT BE BLOCKED BETWEEN A HEIGHT OF 3 FEET AND 9 FEET FOR A DEPTH OF 5 FEET FROM THE STREET PROPERTY LINE AS VIEWED FROM THE EDGE OF THE RIGHT-OF-WAY ON EITHER SIDE OF THE DRIVEWAY AT A DISTANCE OF 15 FEET OR AT THE NEAREST PROPERTY LINE INTERSECTING THE STREET PROPERTY LINE, WHICHEVER IS LESS.

GENERAL NOTES:

- A. ESCAPE OR RESCUE WINDOWS: SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND MINIMUM NET CLEAR OPENABLE WIDTH 20" AND HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.
- B. KITCHEN RANGE HOOD EXHAUST VENTILATION: MIN. EXHAUST RATE OF 100 CFM. MAX. SOUND RATING OF 3 SONES @ 100 CFM. AND VENTING DIRECTLY TO THE BUILDING EXTERIOR. (CMC 504.2, ASHRAE 62.2 AND BEES 150.0(c))
- C. FORCED AIR UNIT (FAU): CONDENSATE LINES FROM MECHANICAL EQUIPMENTS SHALL DISCHARGE TO PLUMBING FIXTURE OR AN APPROVED
- D. WATER CLOSET: SHALL HAVE 15 INCHES TO ANY WALL OR OBSTRUCTION ON EACH SIDE OF IT'S CENTERLINE AND 24 INCHES CLEAR SPACE IN FRONT (402.5 CPC).
- E. TANKLESS WATER HEATER: REGARDLESS OF PROPOSED WATER HEATING SYSTEM, SHALL HAVE (BEES 150.0) ~A120V ELECTRICAL RECEPTACLE THAT IS WITHIN 3 FEET FROM THE WATER HEATER. ~A CATEGORY III OR IV VENT, OR A TYPE B VENT WITH STRAIGHT PIPE. ~CONDENSATE DRAIN THAT IS NO MORE THAN 2 INCHES HIGHER THAN THE FINISH SURFACE BELOW. ~A GAS SUPPLY LINE WITH AVAILABLE CAPACITY FOR NOT LESS THAN 200,000 BTU/ HR SYSTEM.
- F. CLOTHES DRYER DUCT: DUCT SHALL BE METAL WITH MIN. 4 INCHES IN DIAMETER. THE EXHAUST DUCTS SHALL NOT EXCEED A TOTAL COMBINED HORIZONTAL AND VERTICAL LENGTH OF 14 FEET, INCLUDING TWO 90 DEGREE ELBOWS. A LENGTH OF 2 FEET SHALL BE DEDUCTED FOR EACH 90 DEGREE ELBOW IN EXCESS OF TWO. (CMC 04.4.2.1). LAUNDRY VENTILATION EXHAUST TERMINATE AT LEAST 3 FEET FROM PROPERTY LINE AND 3 FEET FROM OPENING INTO ANY BUILDINGS. (CMC. 504.5).
- G. FUTURE WATER HEATER HEATING: INSTALL ON THE COLD WATER SUPPLY PIPE AT THE TOP OF THE WATER HEATER A CAPPED "T" FITTING TO PLUMB FOR FUTURE SOLAR WATER HEATING.

SYMBOLS LEGEND:

- (S) 120-VOLT HARD WIRED & INTERCONNECTED SMOKE DETECTOR (WITH 9-VOLT BATTERY BACK-UP)
- (C) HARD WIRED & INTERCONNECTED CARBON MONOXIDE ALARM (WITH 9-VOLT BATTERY BACK-UP)
- (F) EXHAUST FAN - 110CFM & 1.0 SONE MAX. SOUND
- * FANS SHALL BE "ENERGY STAR" COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- * FANS, NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM, MUST BE CONTROLLED BY A HUMIDITY CONTROL.



LEE
MICHAEL LEE ARCHITECTS, INC.

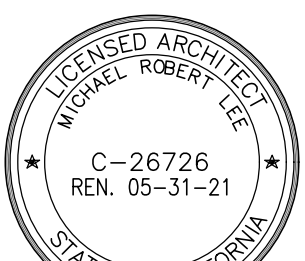
2200 Highland Avenue
Manhattan Beach, CA 90266
t. 310.545.5771
f. 310.545.4330
www.mleearchitects.com

The drawings and descriptions set forth on this sheet and all copyrights therein are, and shall remain the property of Michael Lee Architects. Use of this drawing is limited to a one-time use on the specific project and for the specific person(s) named herein. Any other use or reuse of said drawings is strictly prohibited without the express written permission of Michael Lee Architects. Copyright © 2008 by Michael Lee Architects. ALL RIGHTS RESERVED.

Stabler /
English
Residence

66 18th Street
Hermosa Beach, CA
90254

Professional Seal



Date: 09/08/2020

Revisions

By

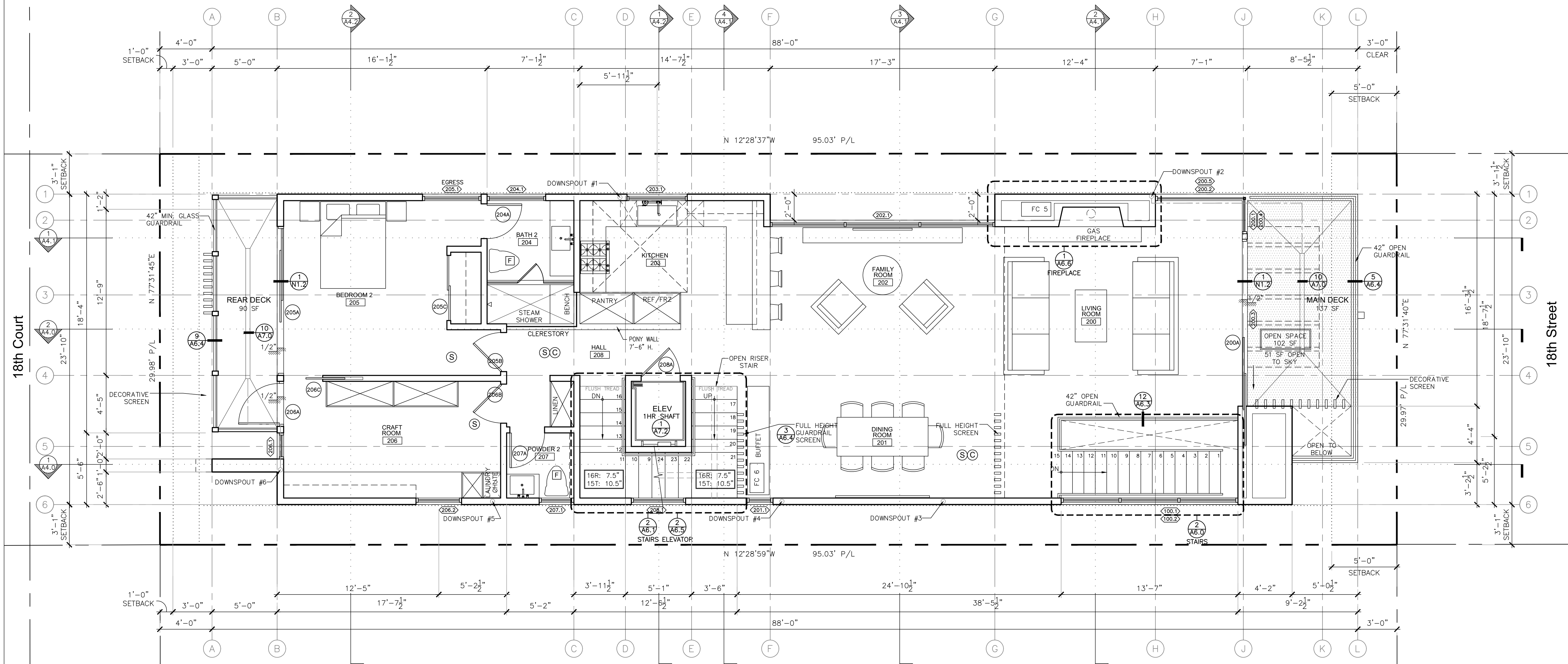
Exhibit 2

Page 7 of 16



California Coastal
Commission

0



 **1** SECOND FLOOR PLAN
1/4"=1'-0"

LEE
MICHAEL LEE ARCHITECTS, INC.

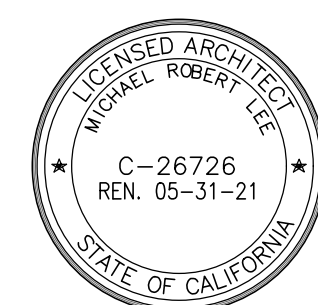
2200 Highland Avenue
Manhattan Beach, CA 90266
t. 310.545.5771
f. 310.545.4330
www.mleearchitects.com

The drawings and descriptions set forth on this sheet and all copyrights therein are, and shall remain the property of Michael Lee Architects. Use of this drawing is limited to a one-time use on the specific project and for the specific person(s) named hereon. Any other use or reuse of said drawings is strictly prohibited without the express written permission of Michael Lee Architects.
Copyright © 2008 by Michael Lee Architects.
ALL RIGHTS RESERVED.

Stabler /
English
Residence

66 18th Street
Hermosa Beach, CA
90254

Professional Seal



Date: 09/08/2020

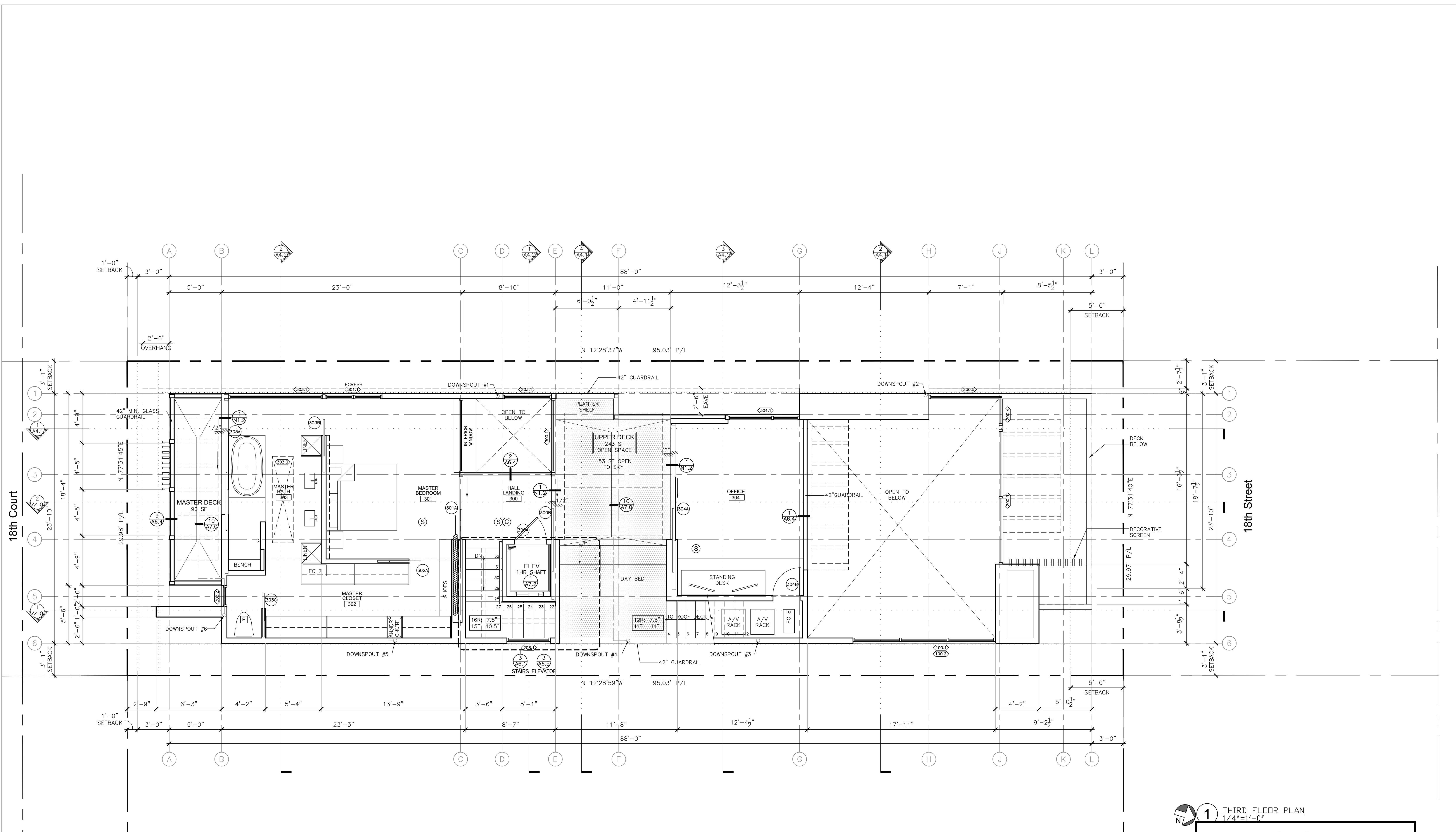
Revisions	By					Page 8 of 16
						 California Coastal Commission
						1

Exhibit 2

Page 8 of 16



1



1 THIRD FLOOR PLAN
1/4"=1'-0"

LEE
MICHAEL LEE ARCHITECTS, INC.

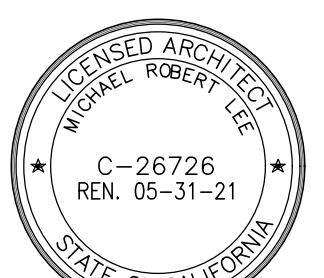
2200 Highland Avenue
Manhattan Beach, CA 90266
t. 310.545.5771
f. 310.545.4330
www.mleearchitects.com

The drawings and descriptions set forth on this sheet and all copyrights therein are, and shall remain the property of Michael Lee Architects. Use of this drawing is limited to a one-time use on the specific project and for the specific person(s) named herein. Any other use or reuse of said drawings is strictly prohibited without the express written permission of Michael Lee Architects.
Copyright © 2008 by Michael Lee Architects.
ALL RIGHTS RESERVED.

Stabler / English
Residence

66 18th Street
Hermosa Beach, CA 90254

Professional Seal



Date: 09/08/2020		By					
Revisions							

Exhibit 2

Page 9 of 16

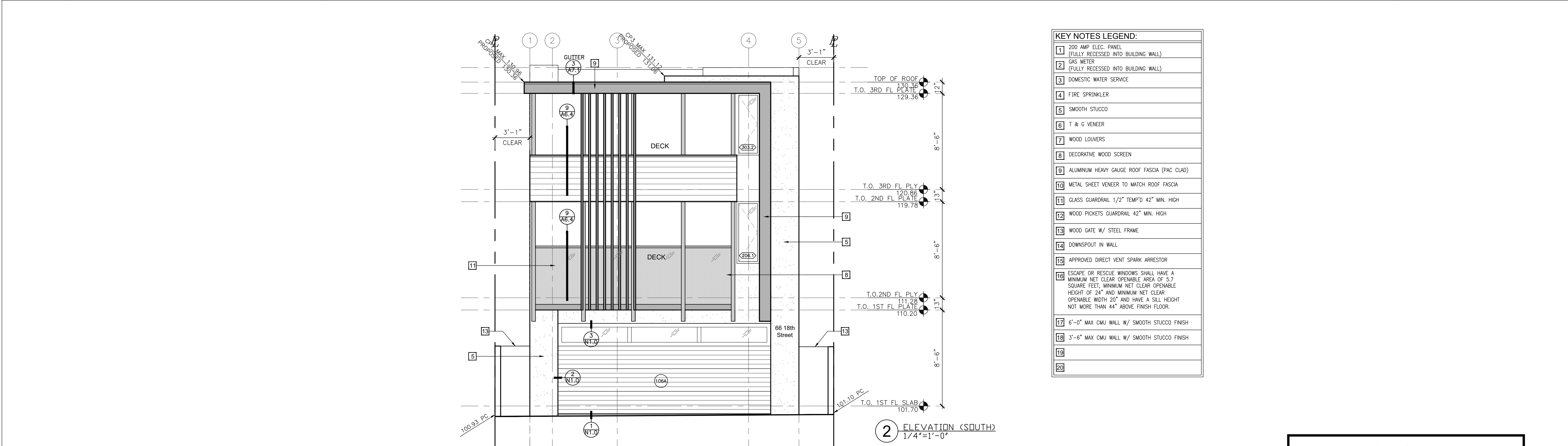
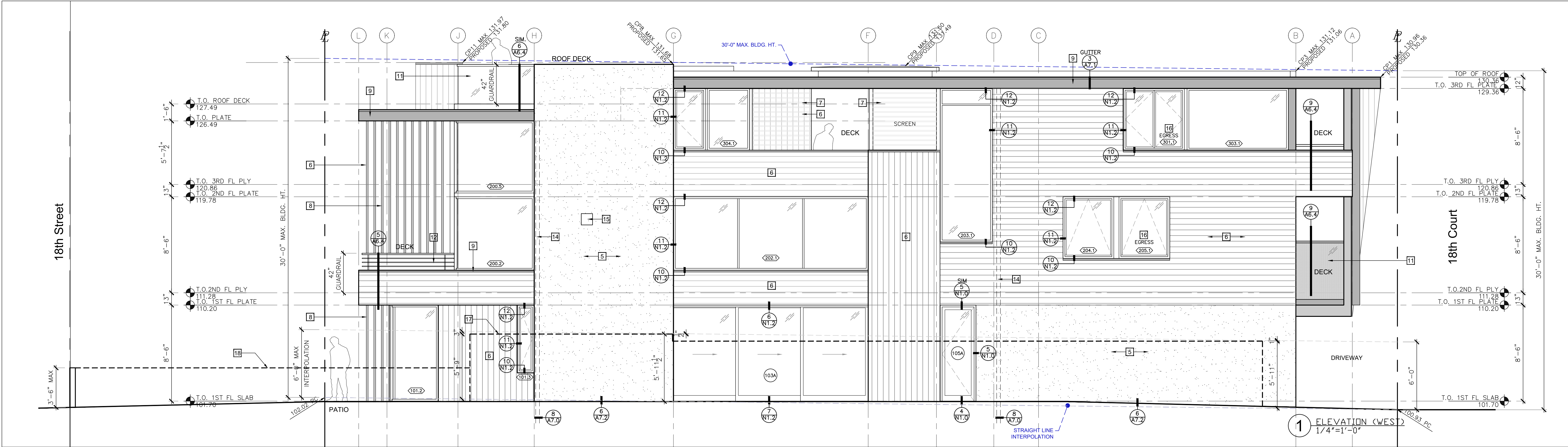


California Coastal
Commission

2



9/8/2020 10:25:52 .



KEY NOTES LEGEND:	
1	200 AMP ELEC. PANEL (FULLY RECESSED INTO BUILDING WALL)
2	GAS METER (FULLY RECESSED INTO BUILDING WALL)
3	DOMESTIC WATER SERVICE
4	FIRE SPRINKLER
5	SMOOTH STUCCO
6	T & G VENEER
7	WOOD LOUVERS
8	DECORATIVE WOOD SCREEN
9	ALUMINUM HEAVY GAUGE ROOF FASCIA (PAC CLAD)
10	METAL SHEET VENEER TO MATCH ROOF FASCIA
11	GLASS GUARDRAIL 1/2" TEMP'D 42" MIN. HIGH
12	WOOD PICKETS GUARDRAIL 42" MIN. HIGH
13	WOOD GATE W/ STEEL FRAME
14	DOWNSPOUT IN WALL
15	APPROVED DIRECT VENT SPARK ARRESTOR
16	ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND MINIMUM NET CLEAR OPENABLE WIDTH 20" AND HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.
17	6'-0" MAX CMU WALL W/ SMOOTH STUCCO FINISH
18	3'-6" MAX CMU WALL W/ SMOOTH STUCCO FINISH
19	
20	

LEE

MICHAEL LEE ARCHITECTS, INC.

2200 Highland Avenue
Manhattan Beach, CA 90266
t. 310.545.5771
f. 310.545.4330
www.mleearchitects.com

The drawings and descriptions set forth on this sheet and all copyrights therein are, and shall remain the property of Michael Lee Architects. Use of this drawing is limited to a one-time use on the specific project and for the specific person(s) named hereon. Any other use or reuse of said drawings is strictly prohibited without the express written permission of Michael Lee Architects.
Copyright © 2008 by Michael Lee Architects.
ALL RIGHTS RESERVED.

Stabler / English
Residence

66 18th Street
Hermosa Beach, CA 90254

Professional Seal

MICHAEL ROBERT LEE
C-26726
REN. 05-31-21
STATE OF CALIFORNIA

Date: 09/08/2020

Revisions

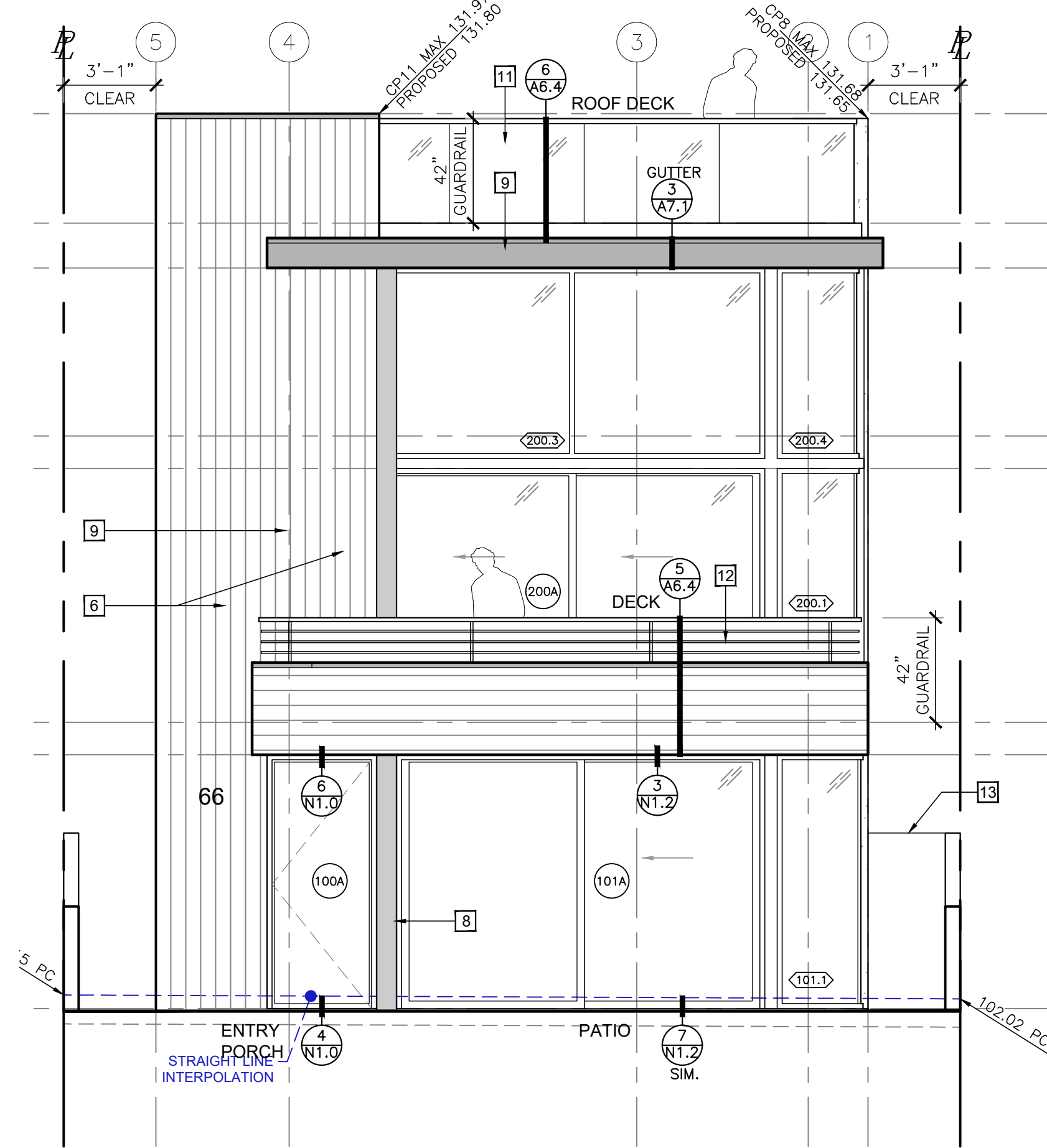
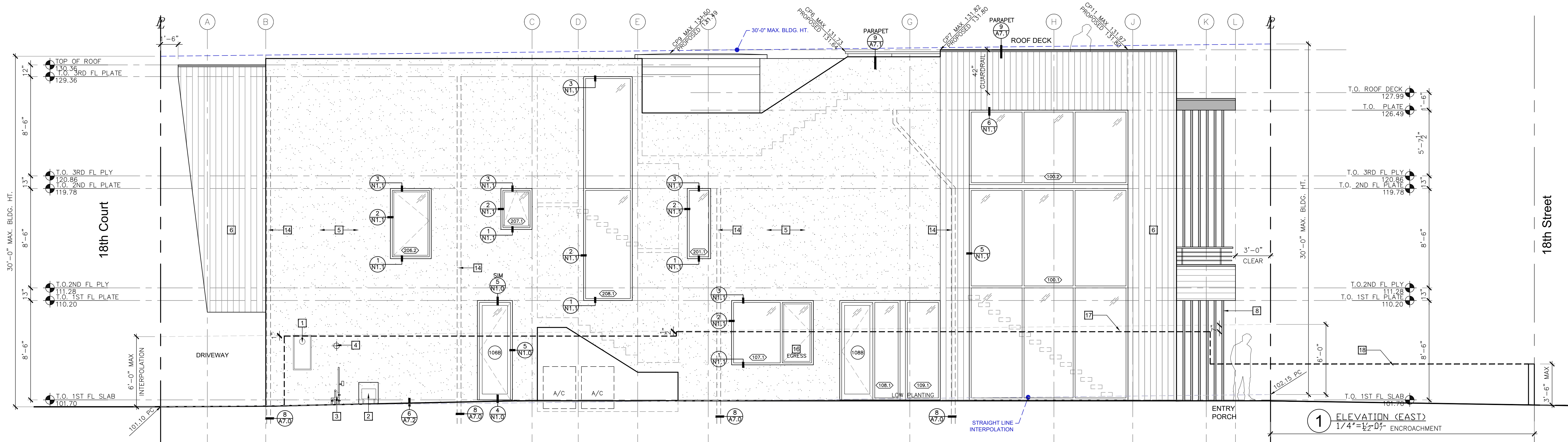
By

Exhibit 2

Page 11 of 16

 California Coastal Commission

9/8/2020 10:26:10 AM



KEY NOTES LEGEND:	
1	200 AMP ELEC. PANEL (FULLY RECESSED INTO BUILDING WALL)
2	GAS METER (FULLY RECESSED INTO BUILDING WALL)
3	DOMESTIC WATER SERVICE
4	FIRE SPRINKLER
5	SMOOTH STUCCO
6	T & G VENEER
7	WOOD LOUVERS
8	DECORATIVE WOOD SCREEN
9	ALUMINUM HEAVY GAUGE ROOF FASCIA (PAC CLAD)
10	METAL SHEET VENEER TO MATCH ROOF FASCIA
11	GLASS GUARDRAIL 1/2" TEMP'D 42" MIN. HIGH
12	WOOD PICKETS GUARDRAIL 42" MIN. HIGH
13	WOOD GATE W/ STEEL FRAME
14	DOWNSPOUT IN WALL
15	APPROVED DIRECT VENT SPARK ARRESTOR
16	ESCAPE OR RESCUE WINDOWS SHALL HAVE A MINIMUM NET CLEAR OPENABLE AREA OF 5.7 SQUARE FEET, MINIMUM NET CLEAR OPENABLE HEIGHT OF 24" AND MINIMUM NET CLEAR OPENABLE WIDTH 20" AND HAVE A SILL HEIGHT NOT MORE THAN 44" ABOVE FINISH FLOOR.
17	6'-0" MAX CMU WALL W/ SMOOTH STUCCO FINISH
18	3'-6" MAX CMU WALL W/ SMOOTH STUCCO FINISH
19	
20	

LEE
MICHAEL LEE ARCHITECTS, INC.

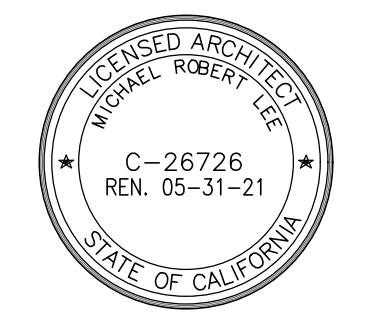
2200 Highland Avenue
Manhattan Beach, CA 90266
t. 310.545.5771
f. 310.545.4330
www.mleearchitects.com

The drawings and descriptions set forth on this sheet and all copyrights therein are, and shall remain the property of Michael Lee Architects. Use of this drawing is limited to a one-time use on the specific project and for the specific person(s) named herein. Any other use or reuse of said drawings is strictly prohibited without the express written permission of Michael Lee Architects. Copyright © 2008 by Michael Lee Architects. ALL RIGHTS RESERVED.

Stabler /
English
Residence

66 18th Street
Hermosa Beach, CA
90254

Professional Seal



Date: 09/08/2020

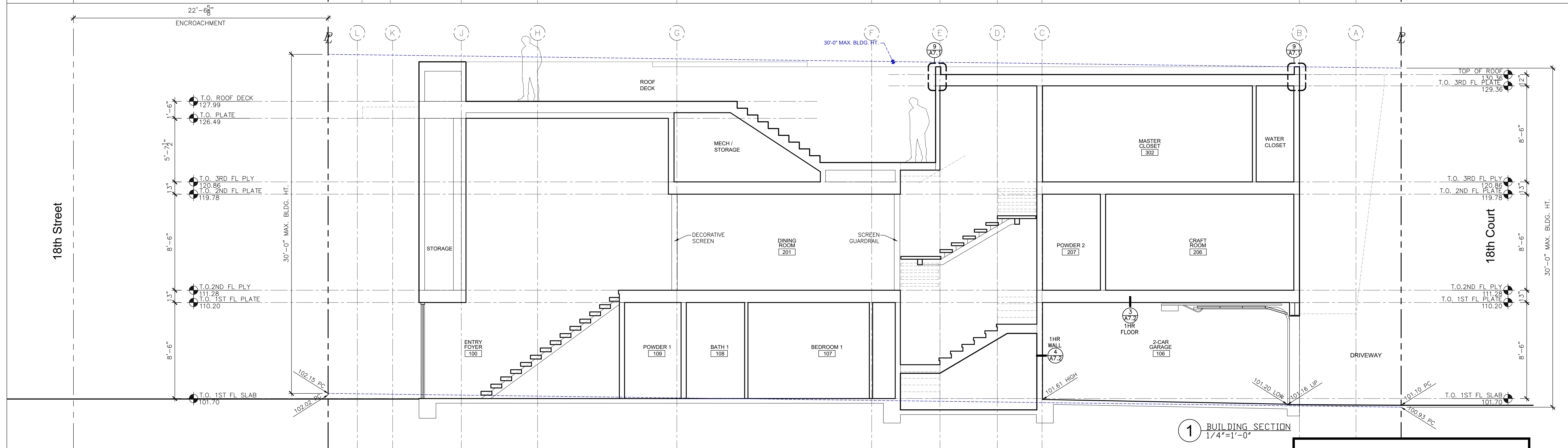
Revisions	By			

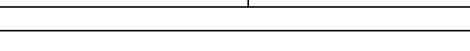
Exhibit 2

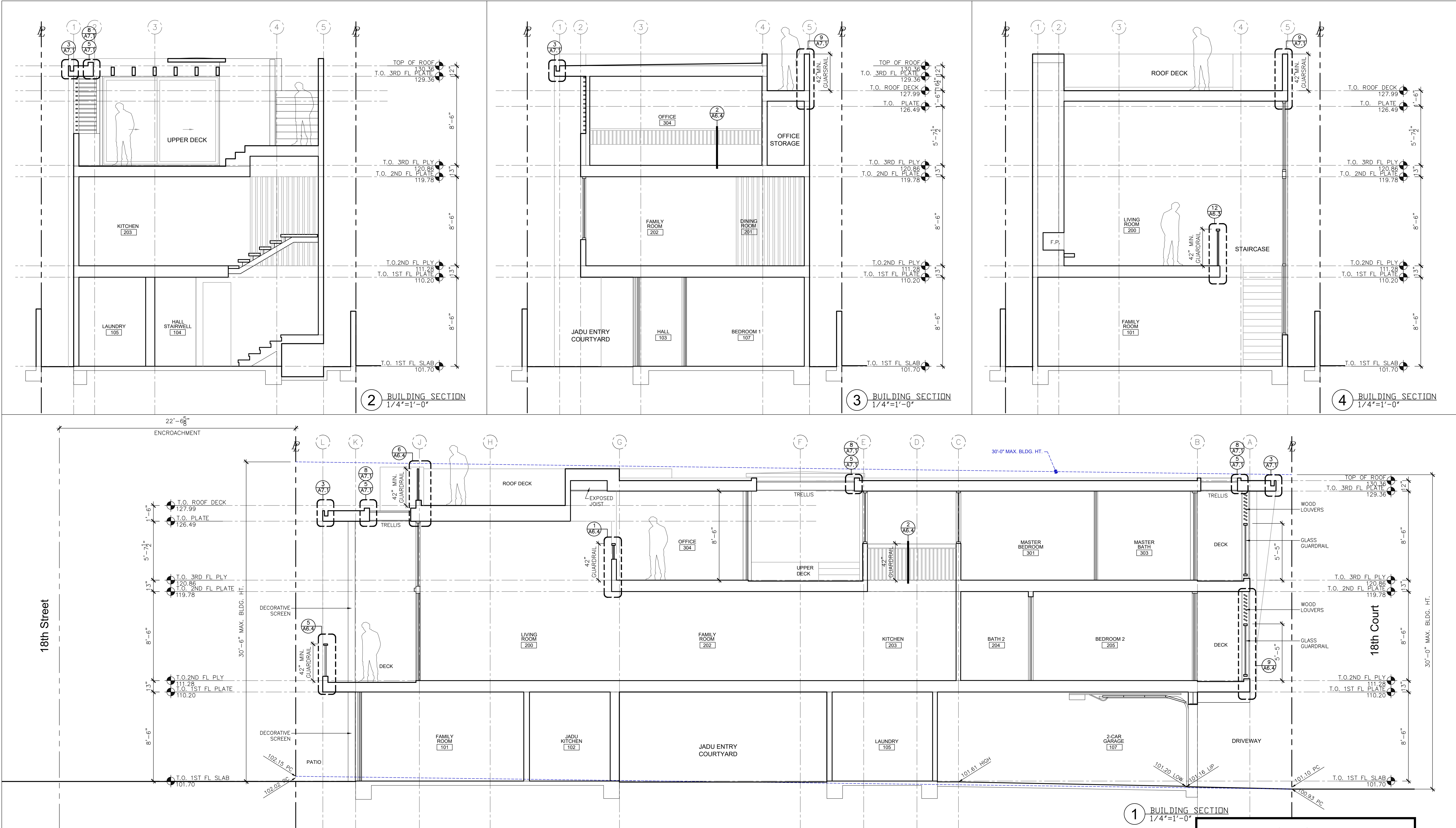
Page 12 of 16



California Coastal
Commission



 MICHAEL LEE ARCHITECTS, INC.	2200 Highland Avenue Manhattan Beach, CA 90266 t. 310.545.5771 f. 310.545.4330 www.mleeearchitects.com	The drawings and descriptions set forth on this sheet and all copyrights therein are, and shall remain the property of Michael Lee Architects. Use of this drawing is limited to a one-time use on the specific project and for the specific person(s) named herein. Any other use or reuse of said drawings is strictly prohibited without the express written permission of Michael Lee Architects. Copyright © 2008 by Michael Lee Architects. ALL RIGHTS RESERVED.	Stabler / English Residence 66 18th Street Hermosa Beach, CA 90254	Professional Seal 	Date: 09/08/2020				Exhibit 2 Page 13 of 16  California Coastal Commission	0		
					Revisions	By						



LEE

MICHAEL LEE ARCHITECTS, INC.

2200 Highland Avenue
Manhattan Beach, CA 90266
t. 310.545.5771
f. 310.545.4330
www.mleearchitects.com

The drawings and descriptions set forth on this sheet and all copyrights therein are, and shall remain the property of Michael Lee Architects. Use of this drawing is limited to a one-time use on the specific project and for the specific person(s) named herein. Any other use or reuse of said drawings is strictly prohibited without the express written permission of Michael Lee Architects.
Copyright © 2008 by Michael Lee Architects.
ALL RIGHTS RESERVED.

Stabler / English
Residence

66 18th Street
Hermosa Beach, CA 90254

Professional Seal

Date: 09/08/2020

Revisions	By			

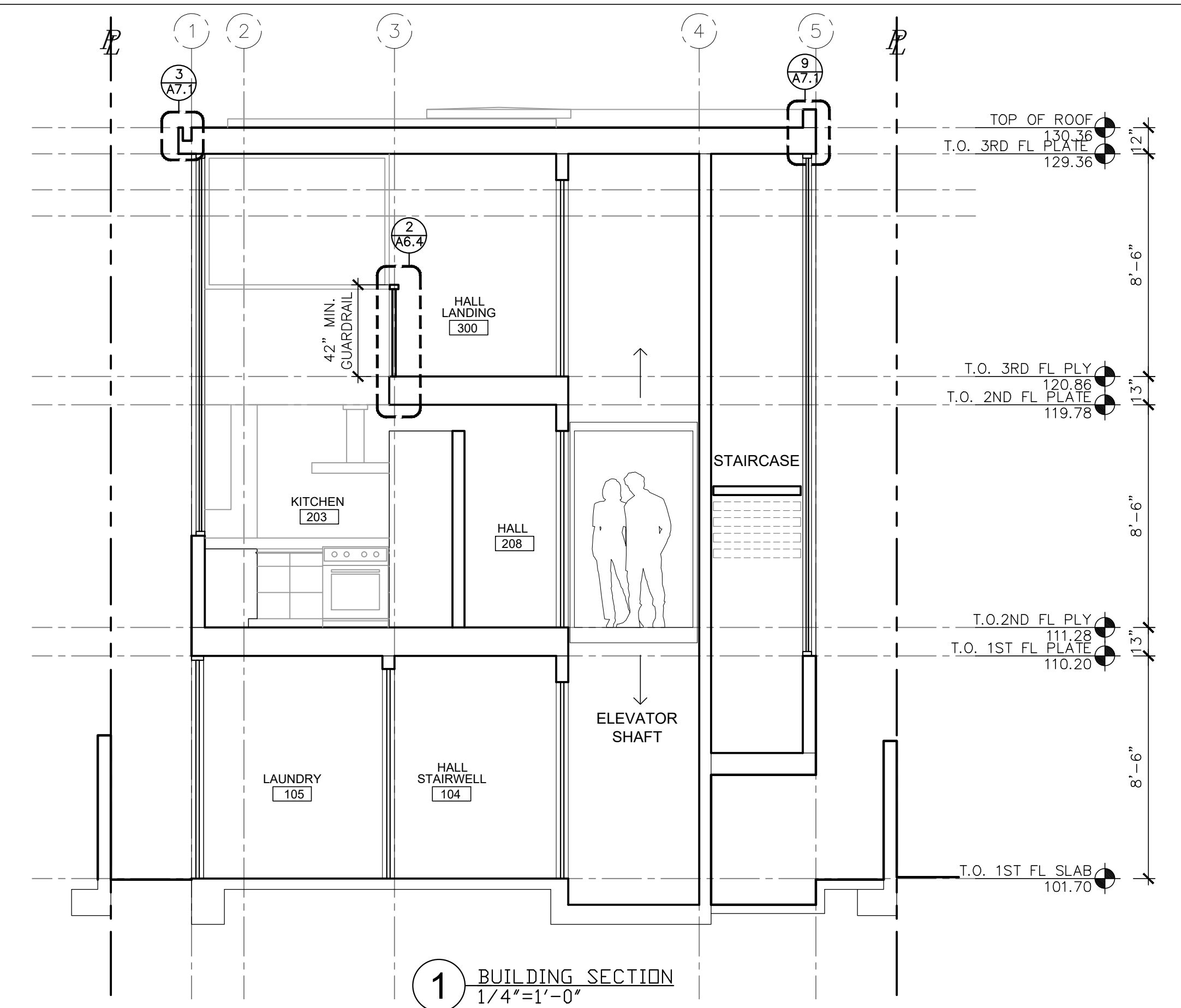
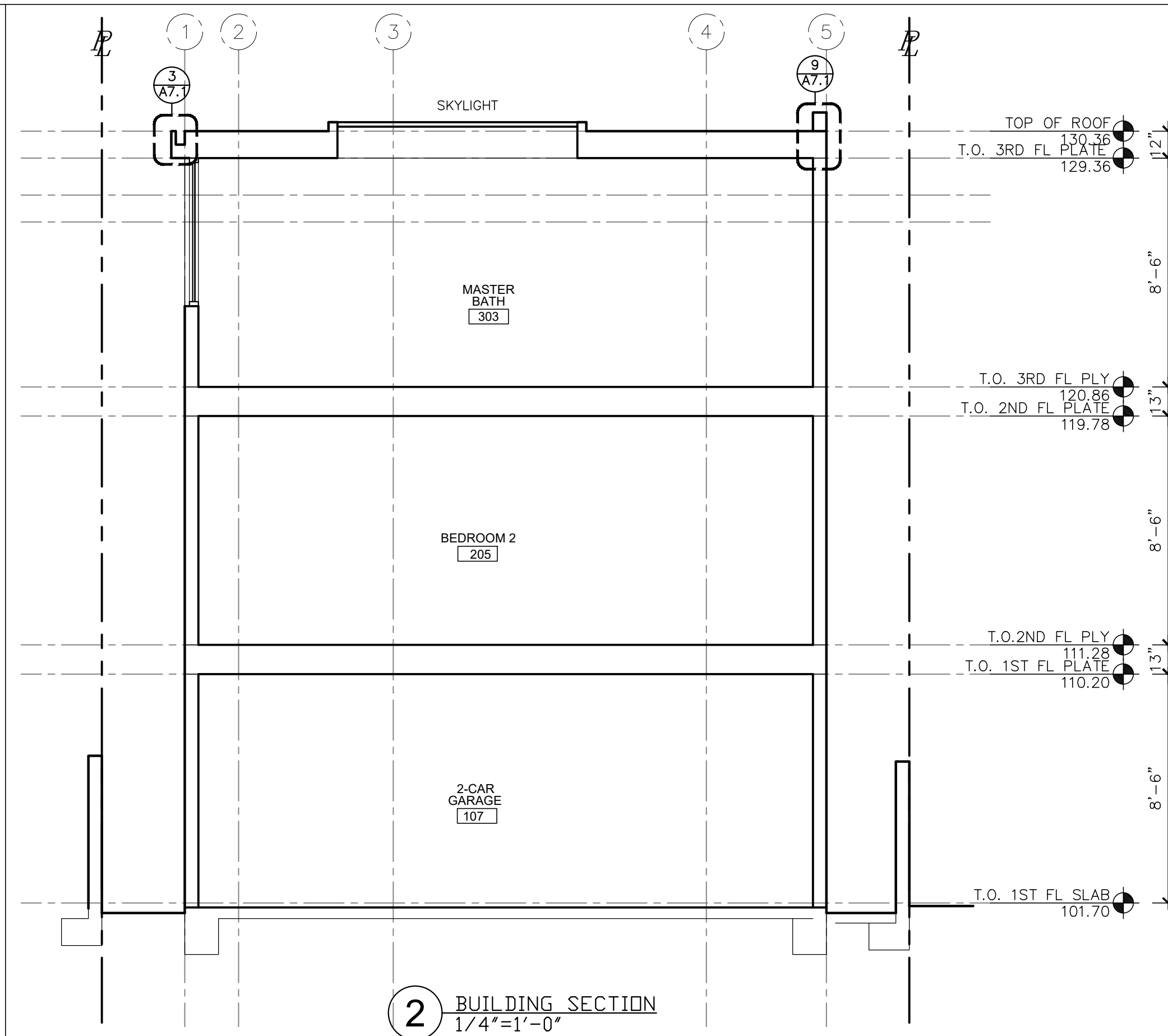
Exhibit 2

Page 14 of 16

California Coastal Commission

1

9/8/2020 10:32:39 AM



8/2020 10:34:20 AM

LEE

MICHAEL LEE ARCHITECTS, INC.

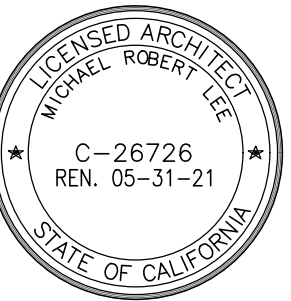
2200 Highland Avenue
Manhattan Beach, CA 90266
t. 310.545.5771
f. 310.545.4330
www.mleearchitects.com

The drawings and descriptions set forth on this sheet and all copyrights therein are, and shall remain the property of Michael Lee Architects. Use of this drawing is limited to a one-time use on the specific project and for the specific person(s) named herein. Any other use or reuse of said drawings is strictly prohibited, without the express written permission of Michael Lee Architects. Copyright © 2018 by Michael Lee Architects. ALL RIGHTS RESERVED.

Stabler /
English
Residence

66 18th Street
Hermosa Beach, CA
90254

Professional Seal



Date: 09/08/2020

Revisions By

Exhibit 2

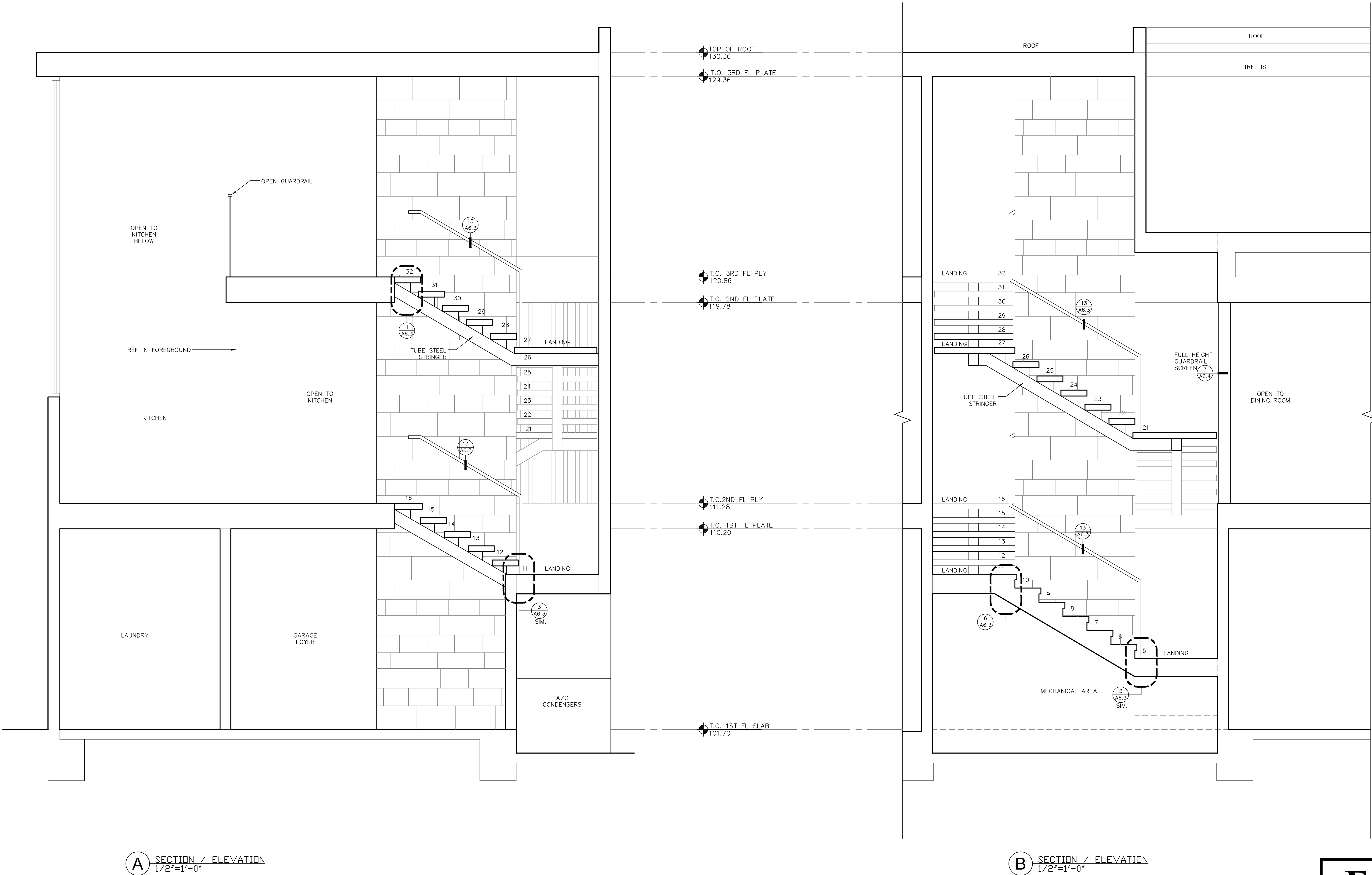
Page 16 of 16



California Coastal
Commission

atural

1b



A SECTION / ELEVATION
1/2"=1'-0"

B SECTION / ELEVATION
1/2"=1'-0"

- STAIR NOTES:
- A. 7.75" MAXIMUM RISE & MINIMUM 10" RUN (R311.7.5)
 - B. MINIMUM 6'-8" HEADROOM CLEARANCE. (R311.7.2)
 - C. MINIMUM 36" CLEAR WIDTH. (311.7.1)
 - D. HANDRAIL 34" TO 38" HIGH ABOVE TREAD NOSING. (R311.7.8.1)
 - E. HANDGRIP PORTION OF HANDRAIL SHALL NOT LESS THAN 1.25" AND MORE THAN 2" CROSS SECTIONAL DIMENSION HAVING A SMOOTH SURFACE WITH NO SHARP CORNERS. (R311.7.8.3)
 - F. MAXIMUM 4" CLEAR SPACING OPENING BETWEEN RAILS. (312.1.3)

Commission Approvals of Housing Density Reduction Projects in Hermosa Beach Since 2014

	Date Approved	Units Before Project	Units After Project	Net Unit Loss
5-13-1348-W	2/13/2014	2	1	-1
5-13-1239-W	2/13/2014	2	1	-1
5-14-0006-W	3/12/2014	3	1	-2
5-14-0002-W	3/12/2014	2	1	-1
5-14-0528-W	4/11/2014	2	1	-1
5-14-1056-W	8/13/2014	2	1	-1
5-14-1687-W	11/18/2014	2	1	-1
5-15-0619-W	7/09/2015	2	1	-1
5-15-0612-W	8/12/2015	2	1	-1
5-15-0552-W	8/12/2015	3	2	-1
5-15-0968-W	9/15/2015	2	1	-1
5-15-1234-W	10/09/2015	2	1	-1
5-15-1969-W	2/11/2016	2	1	-1
5-15-1799	4/14/2016	2	1	-1
5-16-0153	7/14/2016	2	1	-1
5-16-0628-W	9/08/2016	2	1	-1
5-17-0016-W	2/08/2017	1	0	-1
5-17-0030-W	2/08/2017	2	1	-1
5-17-0040-W	5/12/2017	2	1	-1
5-17-0100-W	5/12/2017	5	1	-4
5-17-0285-W	6/07/2017	3	1	-2
5-17-0691-W	10/12/2017	2	1	-1
5-17-0822-W	10/27/2017	2	1	-1
5-17-0823-W	11/09/2017	2	1	-1
5-17-0802-W	11/09/2017	2	1	-1
5-17-0792	3/08/2018	2	1	-1
5-17-1005	7/11/2018	2	1	-1
5-18-0651	11/07/2018	3	1	-2
5-18-0827	2/07/2019	2	1	-1
5-18-0949	3/06/2019	2	1	-1
5-19-0137	9/12/2019	2	1	-1
5-19-0195	10/17/2019	2	1	-1
5-19-1209	11/13/2019	3	2	-1
5-19-0955	6/12/2020	2	1	-1
5-19-1244	9/10/2020	2	1	-1
5-20-0142	9/10/2020	2	1	-1
5-20-0223	9/10/2020	2	1	-1
5-19-1215	10/08/2020	3	2	-1
5-19-1220	10/08/2020	2	1	-1

Exhibit 3

Page 1 of 1



California Coastal
Commission