

## **CALIFORNIA COASTAL COMMISSION**

SOUTH COAST DISTRICT OFFICE  
301 E. OCEAN BLVD., SUITE 300  
LONG BEACH, CA 90802-4830  
(562) 590-5071



# **F17a**

**5-19-0955 (Lesman)**

**June 12, 2020**

## **EXHIBITS**

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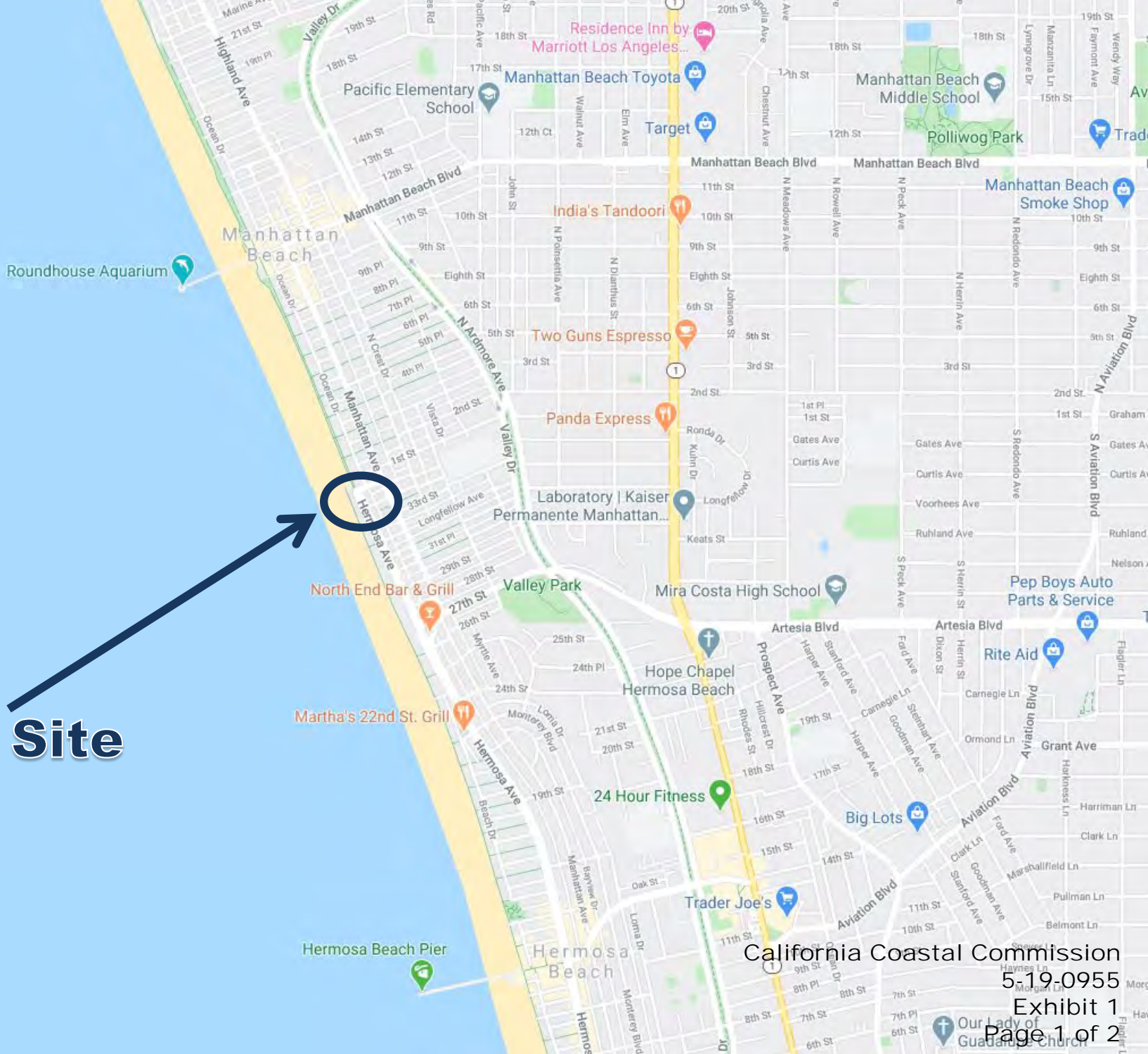
Exhibit 3 – CoSMoS Analysis

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Exhibit 5 – Photo of Existing Development

Exhibit 6 – City of Hermosa Beach ADU Development Standards

**Project Site**



California Coastal Commission

5-19-0955

Exhibit 1

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35th Street

Hermosa Avenue

Project Site

The Strand

Culvert





SURVEY AND  
TOPOGRAPHY

FOR  
DAVID LESMAN  
704 MANHATTAN AVENUE  
MANHATTAN BEACH, CA 90266  
PHONE 310-379-1190

JOB ADDRESS  
3435 HERMOSA AVENUE  
HERMOSA BEACH, CA 90254

LEGAL DESCRIPTION

LOT 5  
THE DALE TRACT  
M.B. 21-141  
APN 4181-034-004

THIS MAP CORRECTLY REPRESENTS A SURVEY  
MADE BY ME OR UNDER MY DIRECTION IN  
CONFORMANCE WITH THE REQUIREMENTS OF  
PROFESSIONAL LAND SURVEYORS' ACT

GARY J. ROEHL R.C.E. 30826

DRAWN BY RW CHECK BY TS

DRAWN ON JANUARY 22, 2019

REVISIONS  
ADDITIONAL ELEVATIONS MAY 24, 2019

LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
	EXISTING ELEVATION		EXISTING CONTOUR
	BLOCK WALL		EXISTING FENCE
	BEGINNING OF CURB RETURN		CENTERLINE
	CURB LINE		EASTERLY
	ELECTRIC METER		FOUND
	FINISH FLOOR		FIRE HYDRANT
	FLOW LINE		GARAGE FINISH FLOOR
	GAS METER		GAS METER
	LEAD AND TAG		MANHOLE
	NORTH ARROW		PROPERTY CORNER (PROP. CORNER)
	PROPERTY LINE (PROP. LINE)		POWER POLE
	POWER POLE		PARAPET
	SPRING AND WASHER		SOUTHERLY
	STREET		SANITARY SEWER CLEAN OUT
	SANITARY SEWER MANHOLE		STAGE (STAGE & TAG)
	STREET LIGHT		TOP OF CURB
	TOP OF WALL (TOP OF WALL)		TOP OF DRIVEWAY APRON
	WATER METER		WESTERLY

NOTES:  
1. ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDING UNLESS OTHERWISE NOTED.  
2. BOUNDARY MEASUREMENTS ARE NOT NECESSARILY SET ON PROPERTY CORNERS, PLEASE REFER TO THE METERS ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENN ENGINEERS FOR CLARIFICATION AT (310) 542-8433 OR 800-AM TO SURVIL.  
3. ANY CHANGES OR MODIFICATIONS MADE TO THIS PLAN WITHOUT THE CONSENT OF DENN ENGINEERS SHALL BE THE RESPONSIBILITY OF THE CLIENT AND SHALL BE AT THE CLIENT'S RISK. DENN ENGINEERS SHALL NOT BE RESPONSIBLE FOR ANY DAMAGE OR LOSS OF DATA OR INFORMATION OF ANY KIND, INCLUDING ANY ATTORNEY'S FEES OR COSTS INCURRED BY ANY PARTY, ARISING FROM THE USE OF THIS PLAN.  
4. SHEET 1 OF 1

Copyright © 2019 DENN ENGINEERS

Scale 1" = 8'

DATE: 01/22/19

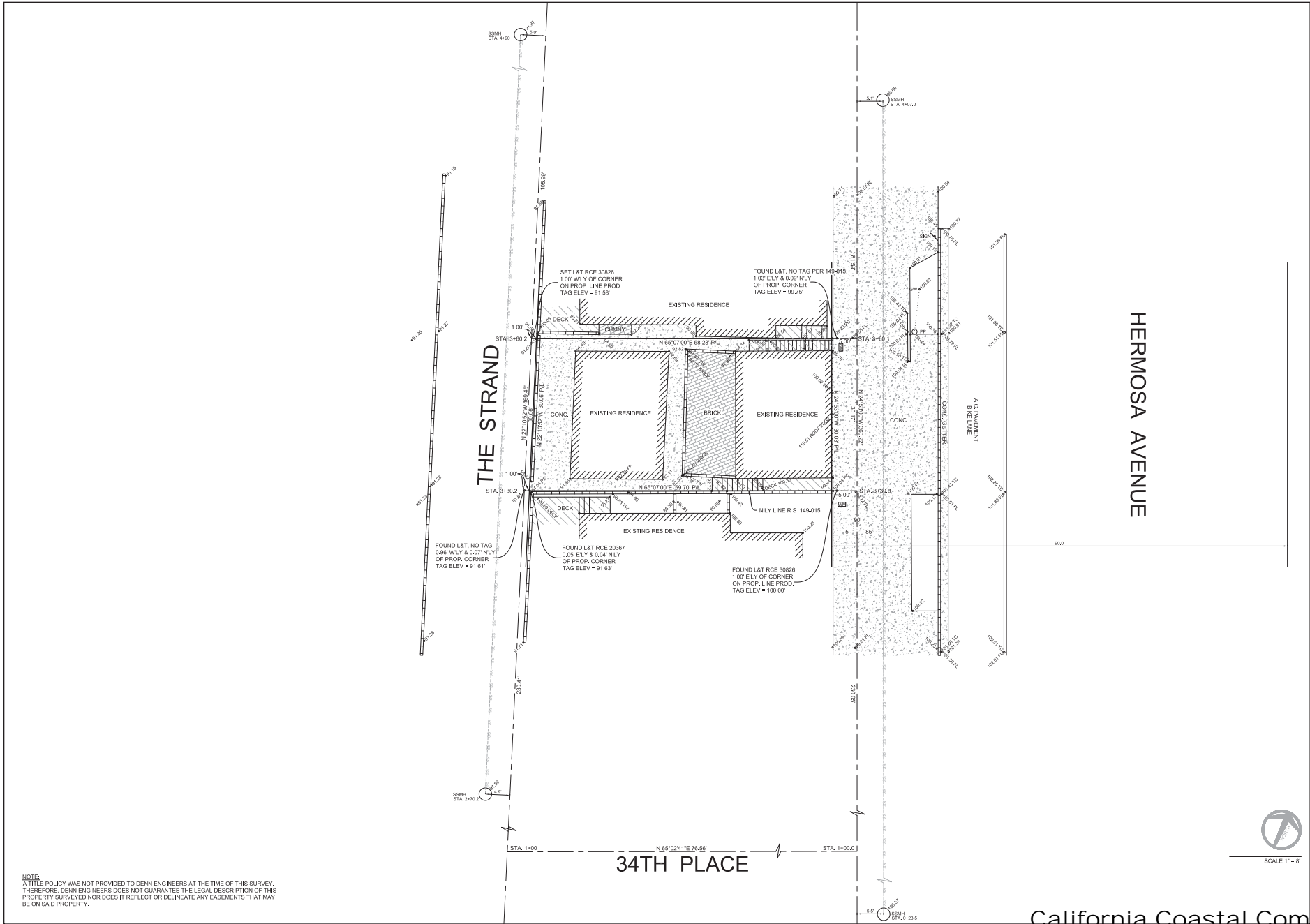
SHEET 1 OF 1

05-19-0955

Exhibit 2

Page 2 of 14

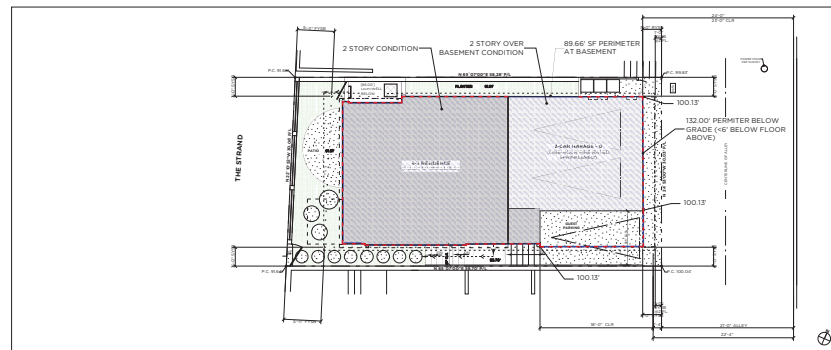
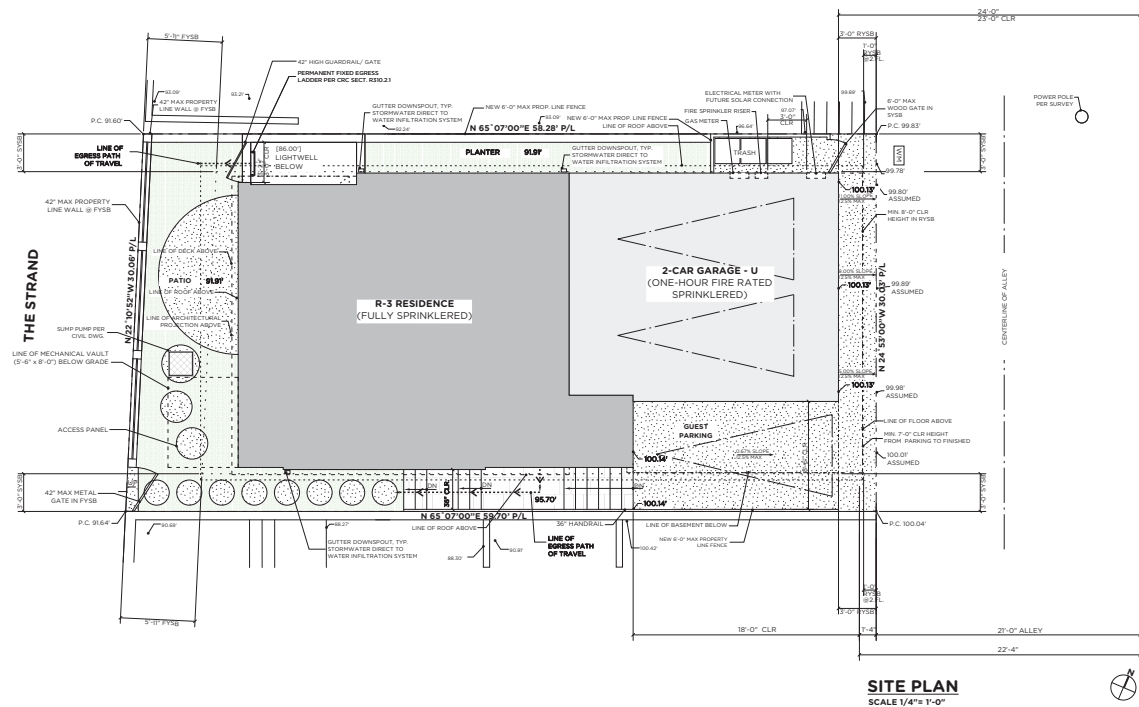
NOTE:  
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY.  
THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS  
PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY  
BE ON SAID PROPERTY.



NOT FOR CONSTRUCTION

REVISIONS
DATE
6/2/19
SCALE
AS NOTED
PROJECT NUMBER
2019.01
SUBMITTALS
04/05/19 PLANNING SUBMITTED
05/20/19 PLANNING RE-SUBMITTED
07/23/19 PLANNING RE-SUBMITTED

PROJECT NAME
<b>LESMAN RESIDENCE</b>
PROJECT ADDRESS
3435 HERMOSA AVENUE, HERMOSA BEACH
SHEET NAME
<b>SITE PLAN</b>
SHEET NUMBER
<b>A-0.5</b>



**PERIMETER BASEMENT CALCS:**  
BUILDING PERIMETER AT BASEMENT = 144.00'  
PERIMETER BELOW GRADE (<6" BELOW FLOOR ABOVE) = 132.00'  
132.00'/144.00' = 91.67%  
(SUB BASEMENT 100% BELOW GRADE)

**LEGEND**  
2 STORY OVER BASEMENT CONDITION  
PERIMETER AT BASEMENT  
PERIMETER BELOW GRADE (<6" BELOW FLOOR ABOVE)

**COMMUNITY DEVELOPMENT**  
PROOF OF RECORDATION OF APPROVED CCARS SHALL BE SUBMITTED TO THE COMMUNITY DEVELOPMENT DIRECTOR WITHIN THREE (3) MONTHS AFTER RECORDATION OF THE FINAL MAP.  
THE PROJECT SHALL COMPLY WITH ALL REQUIREMENTS OF THE BUILDING DIVISION, PUBLIC WORKS DEPARTMENT, AND FIRE DEPARTMENT, AND THE CITY OF HERMOSA BEACH MUNICIPAL CODE.  
**SITE DRAINAGE**  
ALL SITE DRAINAGE SHALL TERMINATE AT PUBLIC RIGHT OF WAY VIA NON-CORROSIVE DEVICE PER HBHC.  
**SITE IRRIGATION**  
ALL LANDSCAPING AREAS ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM. PLANS MUST BE CONSISTENT WITH MUNICIPAL CODE CHAPTERS 8.5.6 AND 8.6.0.  
**PEDESTRIAN PROTECTION**  
PEDESTRIAN PROTECTION SHALL BE PROVIDED PER CIVIL SECTION 310.3 DURING CONSTRUCTION.  
**STORM WATER NOTE:**  
PER HBHC SECTION 8.44.065, 8.00% OF THE SITE STORM WATER SHALL BE CAPTURED ON SITE VIA PERMEABLE SURFACES AND/OR A WATER INFILTRATION SYSTEM PER CIVIL ENGINEER DRAWINGS (UNDER SEPARATE PERMIT).  
**HOUSE ADDRESS**  
BUILDING ADDRESS SHALL BE PROVIDED IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET PER CIVIL SECTION 310.1.  
15.04.070 PROTECTION OF PRIVATE PROPERTY DURING CONSTRUCTION. CITY MAY REQUIRE POSTING OF A BOND FOR PROPERTY DAMAGE ADJACENT TO CONSTRUCTION SITE.

LEGEND
NON HIGH WATER USE PLANTS / PERMEABLE
STERRING STONES WITH GRAVEL INFILL / PERMEABLE
TILE / NOT PERMEABLE
CONCRETE / NOT PERMEABLE
RETAINING WALLS AND FENCES
R3-RESIDENCE
U-GARAGE

**SUMP PUMP, DRAINAGE, INFILTRATION SYSTEM AND EROSION CONTROL PER CIVIL DRAWINGS**



NOT FOR  
CONSTRUCTION

REVISIONS

DATE  
2/23/19

SCALE  
1/4" = 1'-0"

PROJECT NUMBER  
2018.01

SUBMITTALS  
04/05/19 PLANNING SUBMITTED  
05/29/19 PLANNING RE-SUBMITTED  
07/23/19 PLANNING RE-SUBMITTED

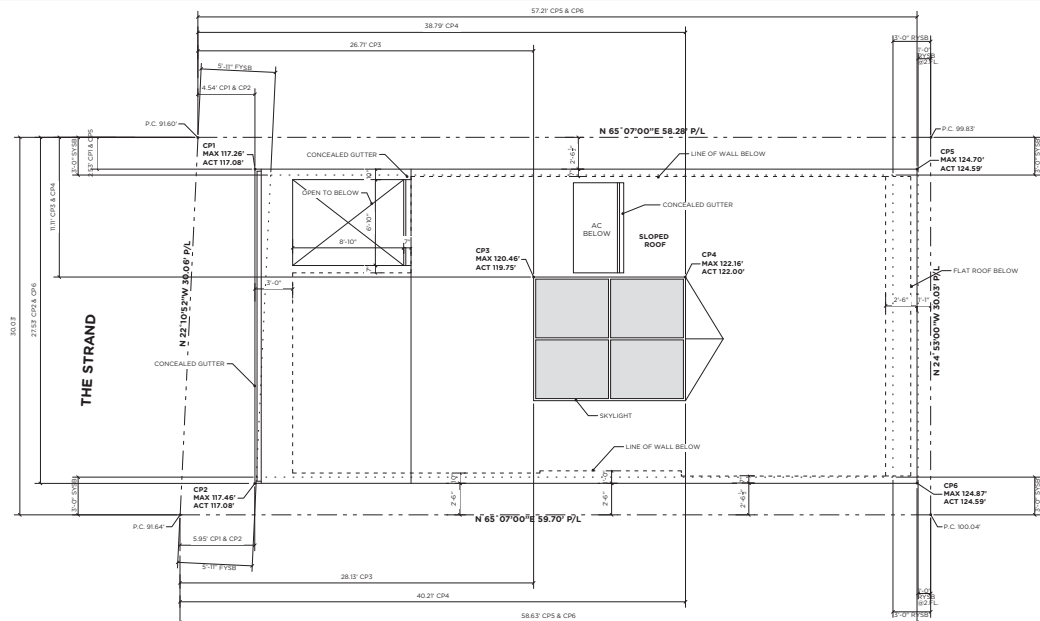
PROJECT NAME  
**LESMAN  
RESIDENCE**

PROJECT ADDRESS  
3435 HERMOSA AVENUE,  
HERMOSA BEACH

SHEET NAME

**CP-PLAN &  
CALCS.**

SHEET NUMBER  
**A-0.7**



CP-1			
P.C.D. Elevation 91.60'	Lot Width = 39.00'	P.C.A. Elevation 91.60'	
Point (A)		Point (B)	
Lot Length = 58.70'			
P.C.D. Elevation 100.00'			
Point (A)	Lot Width = 39.00'	P.C.B. Elevation 99.80'	
Point (B)		Point (C)	
Lot Length = 58.70'			
Dotted Lines = Property Lines			
Critical Height Calculation For: Lesman Residence			
Address: 3435 HERMOSA AVENUE, HERMOSA BEACH, CA 90254			
Item No.	1	2	3
Item No.	4	5	6
Item No.	7	8	9
Item No.	10	11	12
Item No.	13	14	15
Item No.	16	17	18
Item No.	19	20	21
Item No.	22	23	24
Item No.	25	26	27
Item No.	28	29	30
Item No.	31	32	33
Item No.	34	35	36
Item No.	37	38	39
Item No.	40	41	42
Item No.	43	44	45
Item No.	46	47	48
Item No.	49	50	51
Item No.	52	53	54
Item No.	55	56	57
Item No.	58	59	60
Item No.	61	62	63
Item No.	64	65	66
Item No.	67	68	69
Item No.	70	71	72
Item No.	73	74	75
Item No.	76	77	78
Item No.	79	80	81
Item No.	82	83	84
Item No.	85	86	87
Item No.	88	89	90
Item No.	91	92	93
Item No.	94	95	96
Item No.	97	98	99
Item No.	100	101	102
Item No.	103	104	105
Item No.	106	107	108
Item No.	109	110	111
Item No.	112	113	114
Item No.	115	116	117
Item No.	118	119	120
Item No.	121	122	123
Item No.	124	125	126
Item No.	127	128	129
Item No.	130	131	132
Item No.	133	134	135
Item No.	136	137	138
Item No.	139	140	141
Item No.	142	143	144
Item No.	145	146	147
Item No.	148	149	150
Item No.	151	152	153
Item No.	154	155	156
Item No.	157	158	159
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Item No.	166	167	168
Item No.	169	170	171
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Item No.	205	206	207
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Item No.	220	221	222
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Item No.	226	227	228
Item No.	229	230	231
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Item No.	238	239	240
Item No.	241	242	243
Item No.	244	245	246
Item No.	247	248	249
Item No.	250	251	252
Item No.	253	254	255
Item No.	256	257	258
Item No.	259	260	261
Item No.	262	263	264
Item No.	265	266	267
Item No.	268	269	270
Item No.	271	272	273
Item No.	274	275	276
Item No.	277	278	279
Item No.	280	281	282
Item No.	283	284	285
Item No.	286	287	288
Item No.	289	290	291
Item No.	292	293	294
Item No.	295	296	297
Item No.	298	299	300
Item No.	9		



NOT FOR CONSTRUCTION

REVISIONS
DATE
SCALE
PROJECT NUMBER
SUBMITTALS
04/08/19 PLANNING SUBMITTED
05/20/19 PLANNING RE-SUBMITTED
07/23/19 PLANNING RE-SUBMITTED

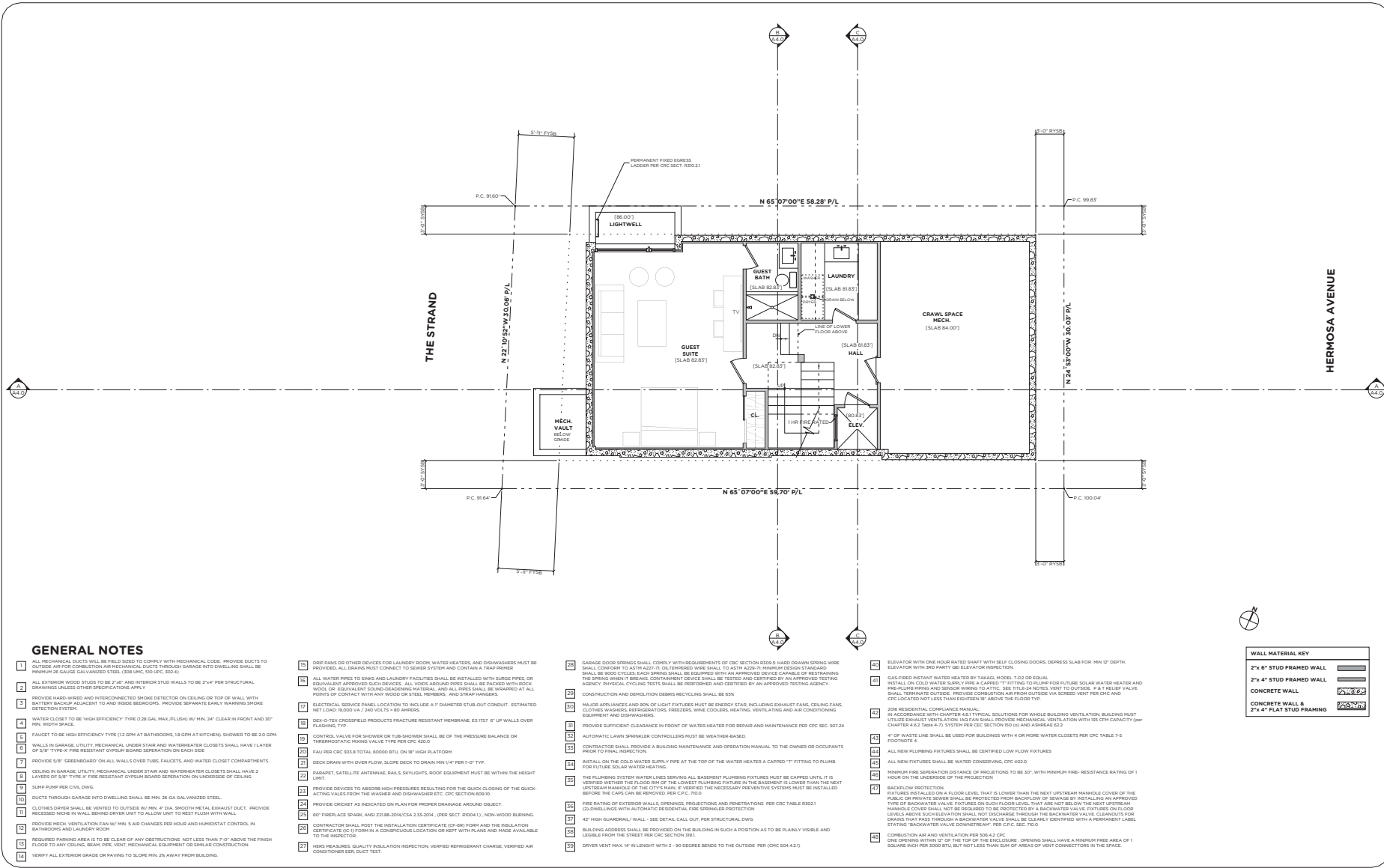
PROJECT NAME
LESMAN RESIDENCE

PROJECT ADDRESS
3435 HERMOSA AVENUE, HERMOSA BEACH

SHEET NAME
------------

SUB-BASEMENT

SHEET NUMBER
A-1.0



WALL MATERIAL KEY	
2"x 6" STUD FRAMED WALL	
2"x 4" STUD FRAMED WALL	
CONCRETE WALL	
CONCRETE WALL & 2"x 4" FLAT STUD FRAMING	







NOT FOR  
CONSTRUCTION

REVISIONS

DATE

SCALE

PROJECT NUMBER

SUBMITTALS

PROJECT NAME

LESMAN  
RESIDENCE

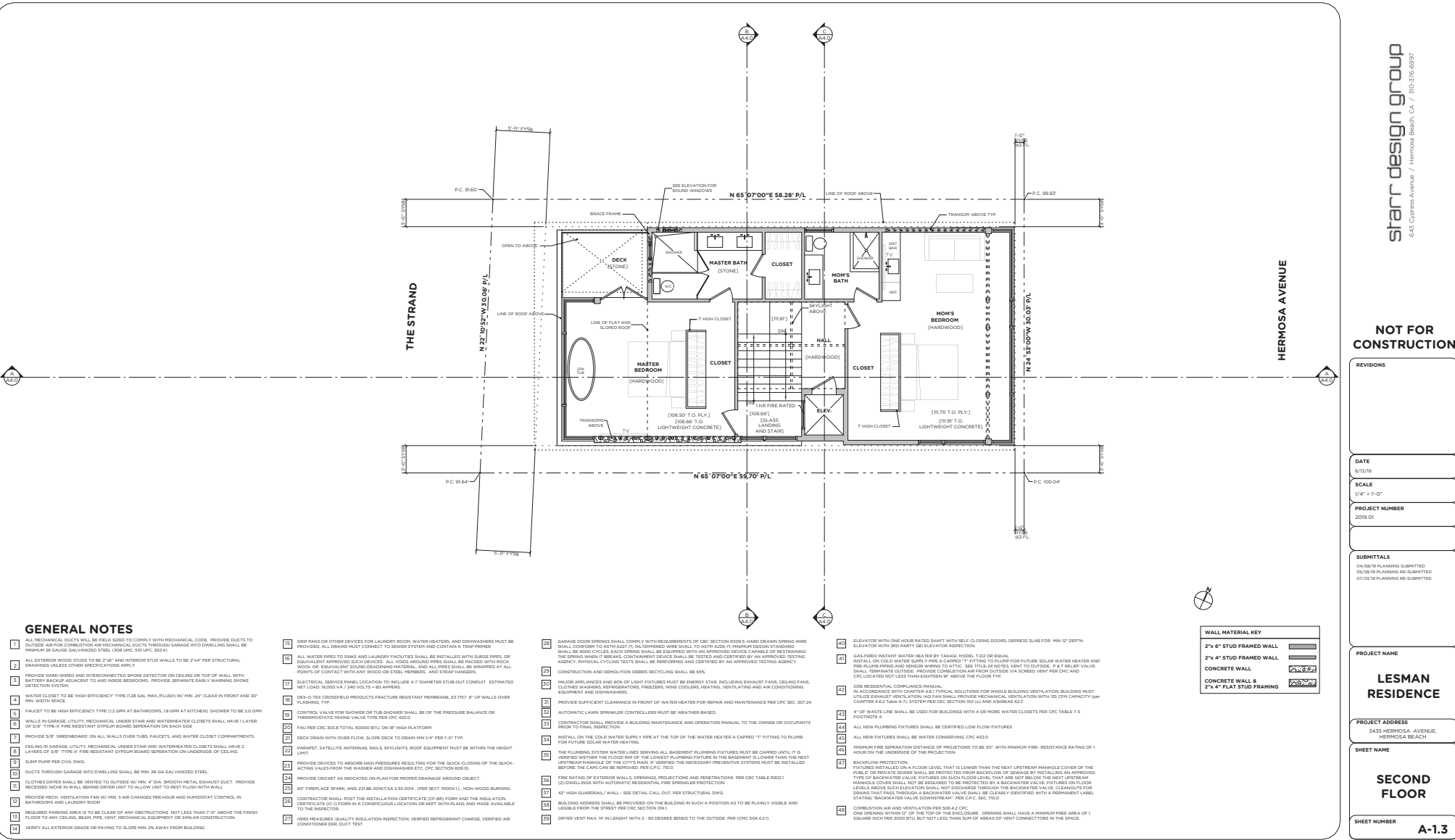
PROJECT ADDRESS

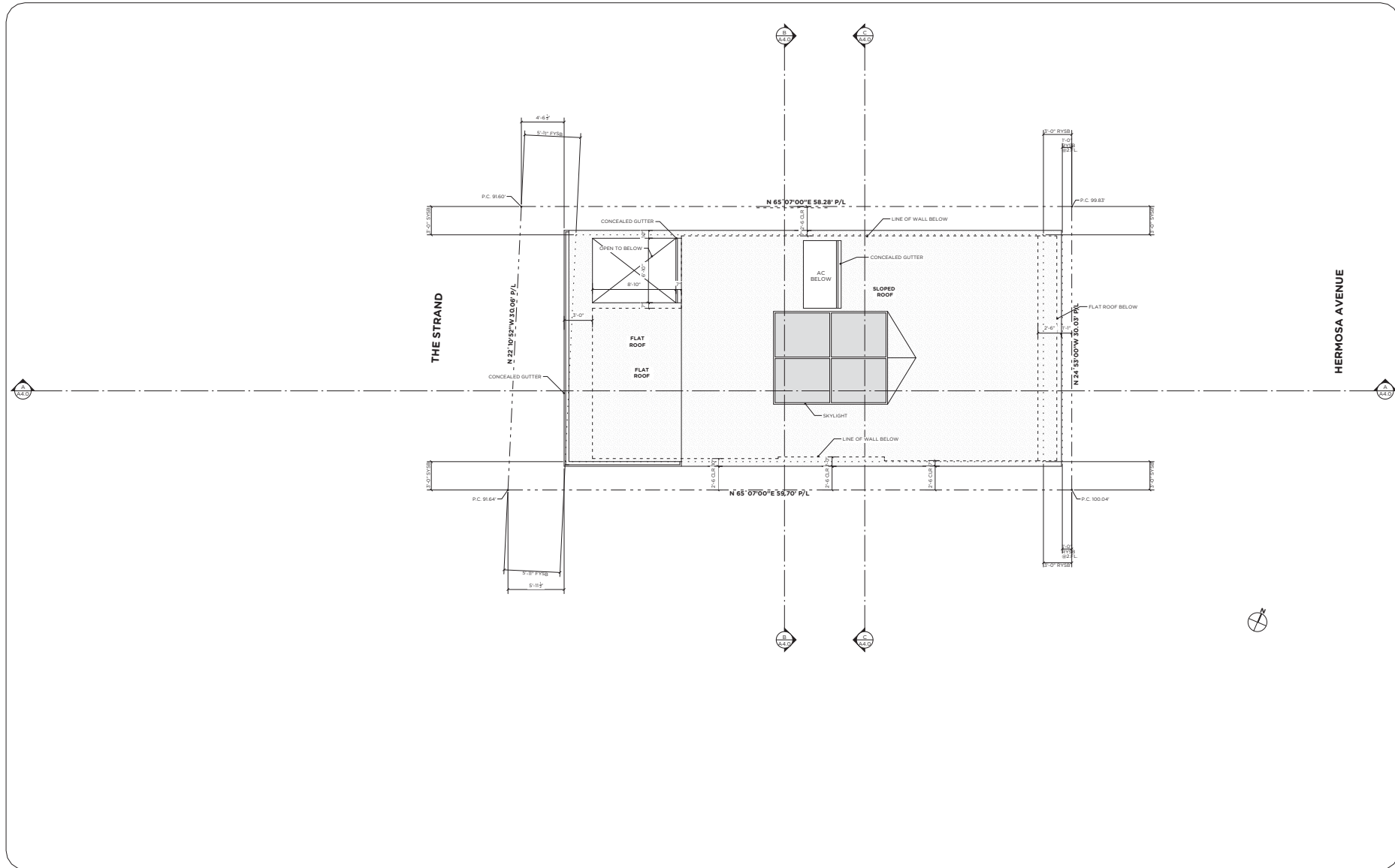
SHEET NAME

SECOND  
FLOOR

SHEET NUMBER

A-1.3





NOT FOR CONSTRUCTION

REVISIONS
DATE 7/23/19
SCALE 1/4" = 1'-0"
PROJECT NUMBER 2019.01
SUBMITTALS 04/08/19 PLANNING SUBMITTED 05/20/19 PLANNING RESUBMITTED 07/23/19 PLANNING RESUBMITTED
PROJECT NAME <b>LESMAN RESIDENCE</b>
PROJECT ADDRESS 3435 HERMOSA AVENUE, HERMOSA BEACH
SHEET NAME <b>ROOF PLAN</b>
SHEET NUMBER <b>A-1.4</b>

NOT FOR CONSTRUCTION

REVISIONS

DATE	08/15/2019
SCALE	1/4" = 1'-0"
PROJECT NUMBER	2019.01

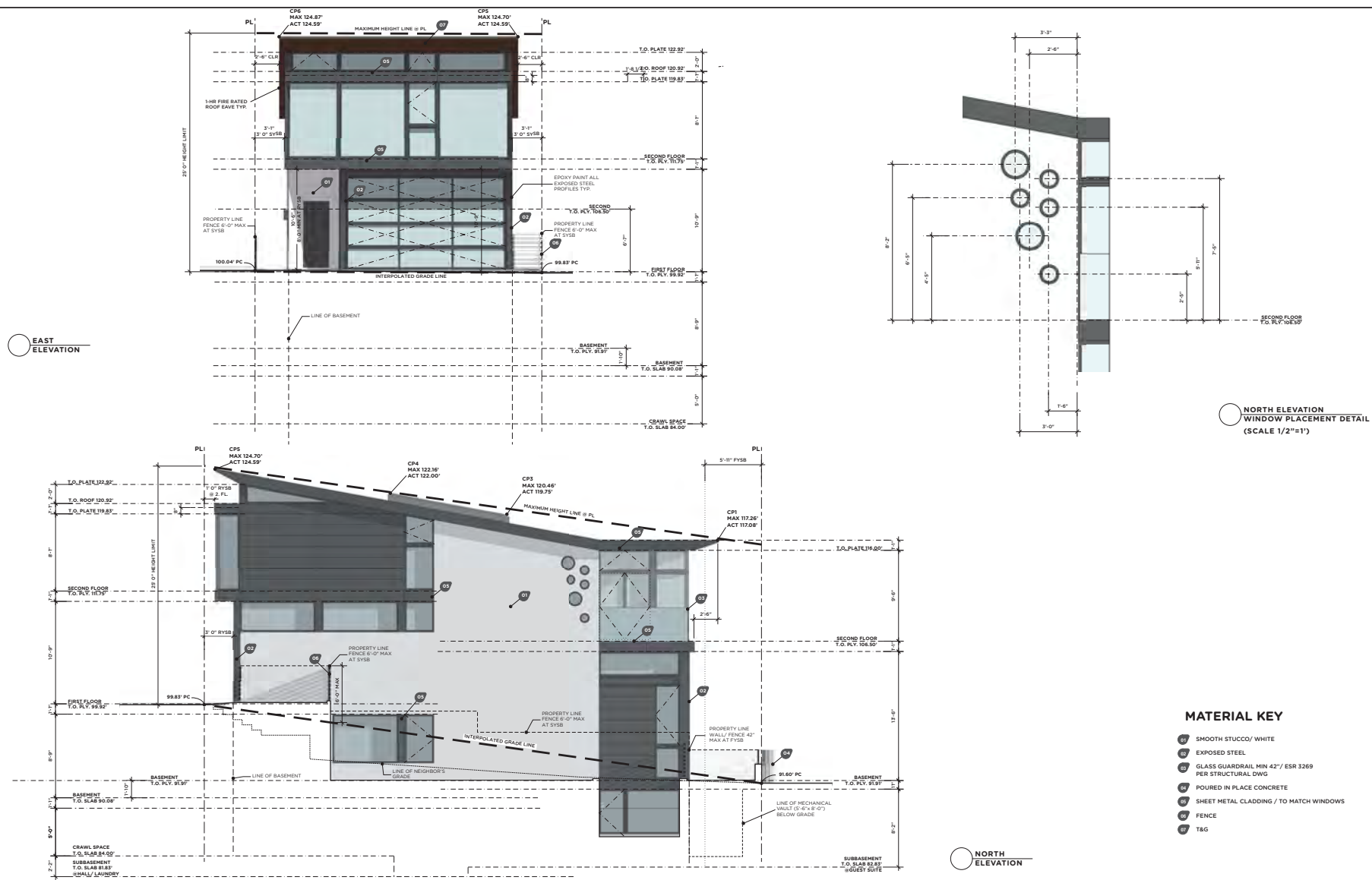
DESIGNED BY: JAVIER VILLALBA, P.E.
DRAWN BY: JAVIER VILLALBA, P.E.
CHECKED BY: JAVIER VILLALBA, P.E.
DATE: 08/15/2019

PROJECT NAME	LESMA RESIDENCE
--------------	-----------------

PROJECT ADDRESS	3433 HERMOSA AVENUE, HERMOSA BEACH
-----------------	------------------------------------

SHEET NAME	ELEVATIONS
------------	------------

SHEET NUMBER	A3.0
--------------	------





- 01 SMOOTH STUCCO/ WHITE
- 02 EXPOSED STEEL
- 03 GLASS GUARDRAIL MIN 42" / ESR 3269  
PER STRUCTURAL DWG
- 04 POURED IN PLACE CONCRETE
- 05 SHEET METAL CLADDING / TO MATCH WINDOWS
- 06 FENCE
- 07 SKYLIGHT



## REVISIONS

DATE	08/15/2019
SCALE	1/4" = 1'-0"
PROJECT NUMBER	2019.01

08/08/19 PLANNING NC-CLERK TTEE  
25/25/18 PLANNING NC-CLERK TTEE  
07/25/19 PLANNING NC-CLERK TTEE

PROJECT NAME

LES MAN  
RESIDENCE

**PROJECT ADDRESS**  
3435 HERMOSA AVENUE,  
HERMOSA BEACH

**SHEET NAME**

## ELEVATIONS

SHEET NUMBER

### A3.1

**NOT FOR  
CONSTRUCTION**

REVISIONS

DATE

08/15/2019

SCALE

1/4" = 1'-0"

PROJECT NUMBER

2019.01

DESIGNER: STARR DESIGN GROUP  
3411 CAPITAL AVENUE, HERMOSA BEACH, CA 90254-8881  
310.316.1111  
WWW.STARRDESIGNGROUP.COM

PROJECT NAME

**LESMAN  
RESIDENCE**

PROJECT ADDRESS

3435 HERMOSA AVENUE,  
HERMOSA BEACH

SHEET NAME

**RENDERINGS**

SHEET NUMBER

**A3.2**



**SOUTH WEST  
RENDERING**



**SOUTH EAST  
RENDERING**



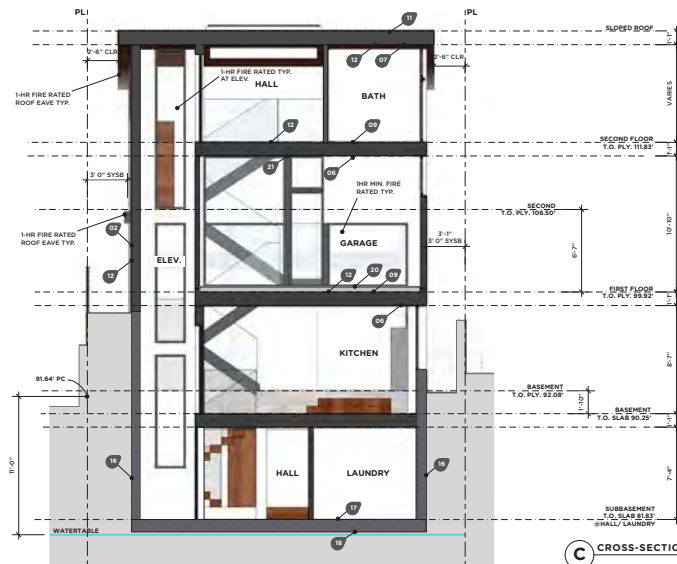
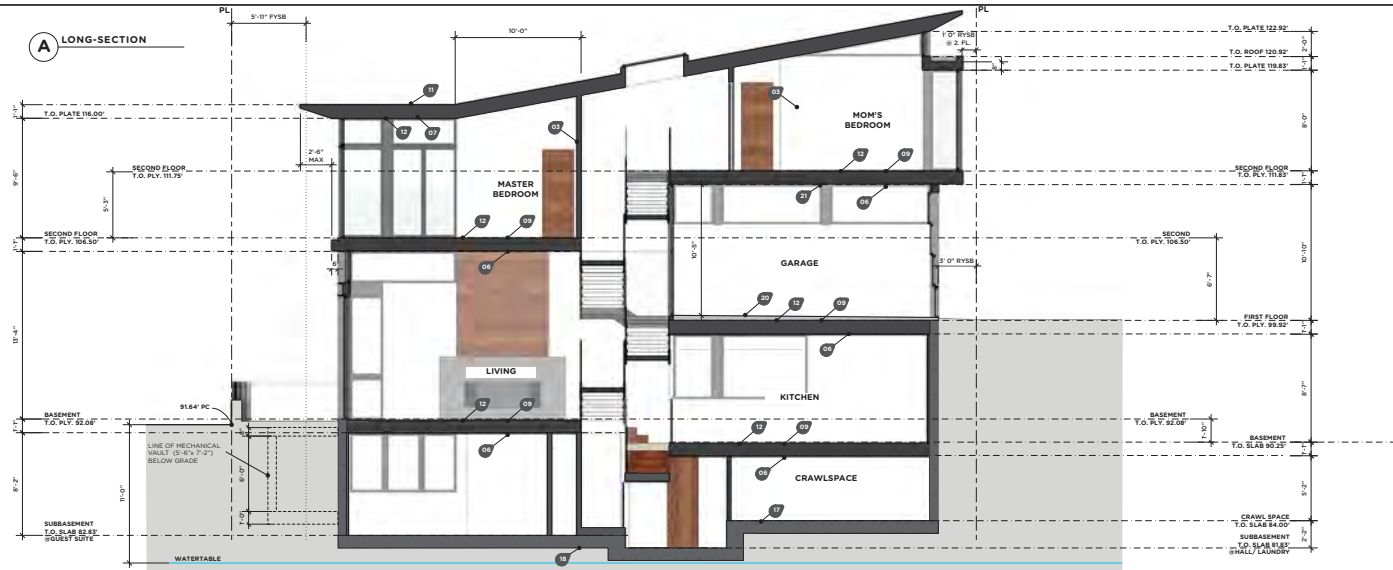
**NORTH EAST  
RENDERING**



**NORTH WEST  
RENDERING**

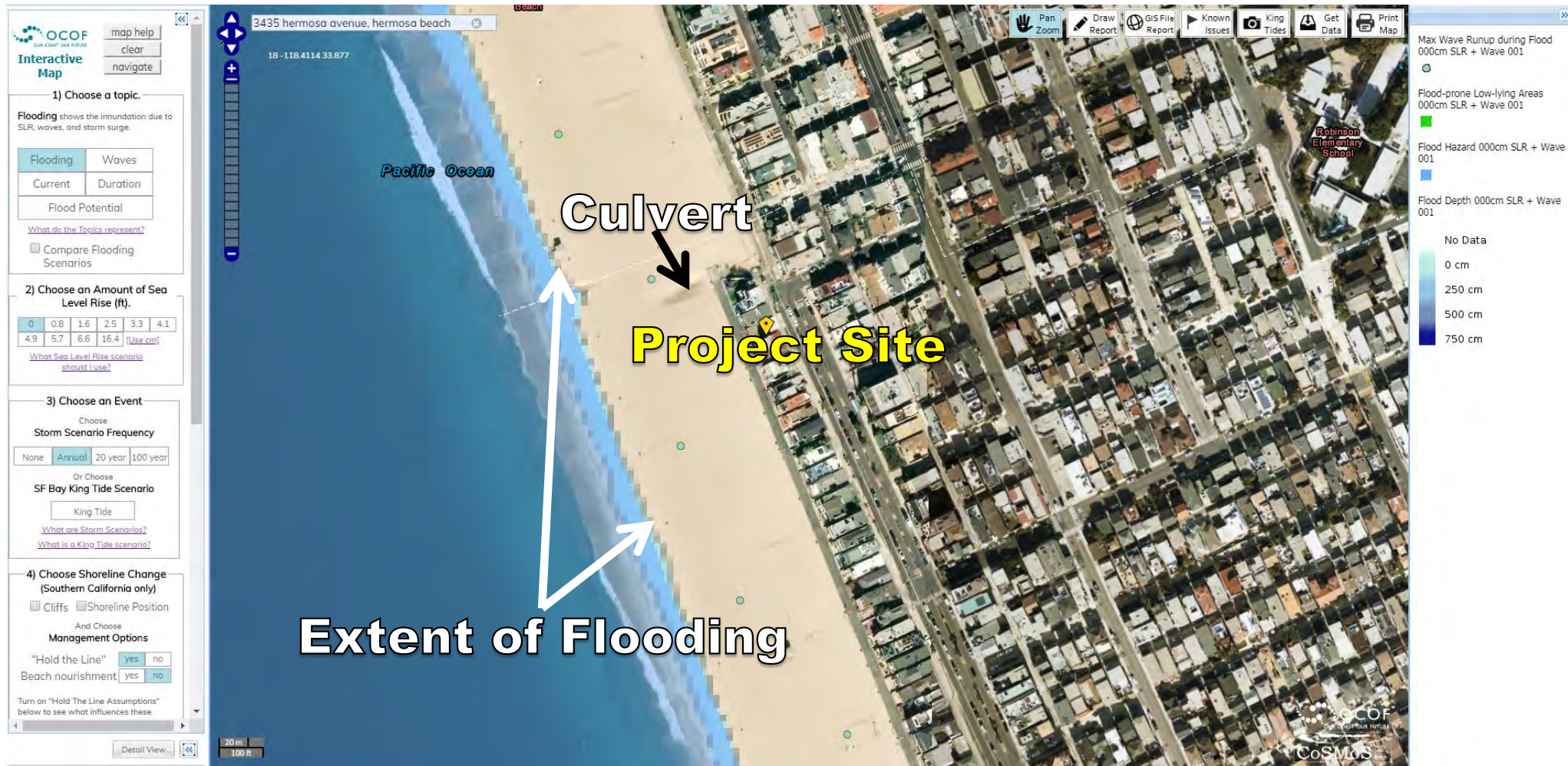
**C CROSS-SECTION**

- 
- This architectural floor plan illustrates a three-story residential building with a basement. The plan is oriented with a north arrow pointing towards the top-left. The overall dimensions are 24'-0" wide by 32'-0" deep. The layout includes a basement with a guest suite, a first floor with a living area, foyer, and master bedroom, and a second floor with a master bath and another master bedroom. A central staircase connects the levels. The plan is annotated with various dimensions, room names, and material callouts (e.g., 12, 13, 14, 15, 16, 17, 18, 19, 20, 21, 22, 23, 24, 25, 26, 27, 28, 29, 30, 31, 32, 33, 34, 35, 36, 37, 38, 39, 40, 41, 42, 43, 44, 45, 46, 47, 48, 49, 50, 51, 52, 53, 54, 55, 56, 57, 58, 59, 60, 61, 62, 63, 64, 65, 66, 67, 68, 69, 70, 71, 72, 73, 74, 75, 76, 77, 78, 79, 80, 81, 82, 83, 84, 85, 86, 87, 88, 89, 90, 91, 92, 93, 94, 95, 96, 97, 98, 99, 100, 101, 102, 103, 104, 105, 106, 107, 108, 109, 110, 111, 112, 113, 114, 115, 116, 117, 118, 119, 120, 121, 122, 123, 124, 125, 126, 127, 128, 129, 130, 131, 132, 133, 134, 135, 136, 137, 138, 139, 140, 141, 142, 143, 144, 145, 146, 147, 148, 149, 150, 151, 152, 153, 154, 155, 156, 157, 158, 159, 160, 161, 162, 163, 164, 165, 166, 167, 168, 169, 170, 171, 172, 173, 174, 175, 176, 177, 178, 179, 180, 181, 182, 183, 184, 185, 186, 187, 188, 189, 190, 191, 192, 193, 194, 195, 196, 197, 198, 199, 200, 201, 202, 203, 204, 205, 206, 207, 208, 209, 210, 211, 212, 213, 214, 215, 216, 217, 218, 219, 220, 221, 222, 223, 224, 225, 226, 227, 228, 229, 230, 231, 232, 233, 234, 235, 236, 237, 238, 239, 240, 241, 242, 243, 244, 245, 246, 247, 248, 249, 250, 251, 252, 253, 254, 255, 256, 257, 258, 259, 260, 261, 262, 263, 264, 265, 266, 267, 268, 269, 270, 271, 272, 273, 274, 275, 276, 277, 278, 279, 280, 281, 282, 283, 284, 285, 286, 287, 288, 289, 290, 291, 292, 293, 294, 295, 296, 297, 298, 299, 300, 301, 302, 303, 304, 305, 306, 307, 308, 309, 310, 311, 312, 313, 314, 315, 316, 317, 318, 319, 320, 321, 322, 323, 324, 325, 326, 327, 328, 329, 330, 331, 332, 333, 334, 335, 336, 337, 338, 339, 340, 341, 342, 343, 344, 345, 346, 347, 348, 349, 350, 351, 352, 353, 354, 355, 356, 357, 358, 359, 360, 361, 362, 363, 364, 365, 366, 367, 368, 369, 370, 371, 372, 373, 374, 375, 376, 377, 378, 379, 380, 381, 382, 383, 384, 385, 386, 387, 388, 389, 390, 391, 392, 393, 394, 395, 396, 397, 398, 399, 400, 401, 402, 403, 404, 405, 406, 407, 408, 409, 410, 411, 412, 413, 414, 415, 416, 417, 418, 419, 420, 421, 422, 423, 424, 425, 426, 427, 428, 429, 430, 431, 432, 433, 434, 435, 436, 437, 438, 439, 440, 441, 442, 443, 444, 445, 446, 447, 448, 449, 450, 451, 452, 453, 454, 455, 456, 457, 458, 459, 460, 461, 462, 463, 464, 465, 466, 467, 468, 469, 470, 471, 472, 473, 474, 475, 476, 477, 478, 479, 480, 481, 482, 483, 484, 485, 486, 487, 488, 489, 490, 491, 492, 493, 494, 495, 496, 497, 498, 499, 500, 501, 502, 503, 504, 505, 506, 507, 508, 509, 510, 511, 512, 513, 514, 515, 516, 517, 518, 519, 520, 521, 522, 523, 524, 525, 526, 527, 528, 529, 530, 531, 532, 533, 534, 535, 536, 537, 538, 539, 540, 541, 542, 543, 544, 545, 546, 547, 548, 549, 550, 551, 552, 553, 554, 555, 556, 557, 558, 559, 560, 561, 562, 563, 564, 565, 566, 567, 568, 569, 570, 571, 572, 573, 574, 575, 576, 577, 578, 579, 580, 581, 582, 583, 584, 585, 586, 587, 588, 589, 590, 591, 592, 593, 594, 595, 596, 597, 598, 599, 600, 601, 602, 603, 604, 605, 606, 607, 608, 609, 610, 611, 612, 613, 614, 615, 616, 617, 618, 619, 620, 621, 622, 623, 624, 625, 626, 627, 628, 629, 630, 631, 632, 633, 634, 635, 636, 637, 638, 639, 640, 641, 642, 643, 644, 645, 646, 647, 648, 649, 650, 651, 652, 653, 654, 655, 656, 657, 658, 659, 660, 661, 662, 663, 664, 665, 666, 667, 668, 669, 670, 671, 672, 673, 674, 675, 676, 677, 678, 679, 680, 681, 682, 683, 684, 685, 686, 687, 688, 689, 690, 691, 692, 693, 694, 695, 696, 697, 698, 699, 700, 701, 702, 703, 704, 705, 706, 707, 708, 709, 710, 711, 712, 713, 714, 715, 716, 717, 718, 719, 720, 721, 722, 723, 724, 725, 726, 727, 728, 729, 730, 731, 732, 733, 734, 735, 736, 737, 738, 739, 740, 741, 742, 743, 744, 745, 746, 747, 748, 749, 750, 751, 752, 753, 754, 755, 756, 757, 758, 759, 760, 761, 762, 763, 764, 765, 766, 767, 768, 769, 770, 771, 772, 773, 774, 775, 776, 777, 778, 779, 780, 781, 782, 783, 784, 785, 786, 787, 788, 789, 790, 791, 792, 793, 794, 795, 796, 797, 798, 799, 800, 801, 802, 803, 804, 805, 806, 807, 808, 809, 810, 811, 812, 813, 814, 815, 816, 817, 818, 819, 820,





# Projected Flooding with 0 ft. Sea Level Rise



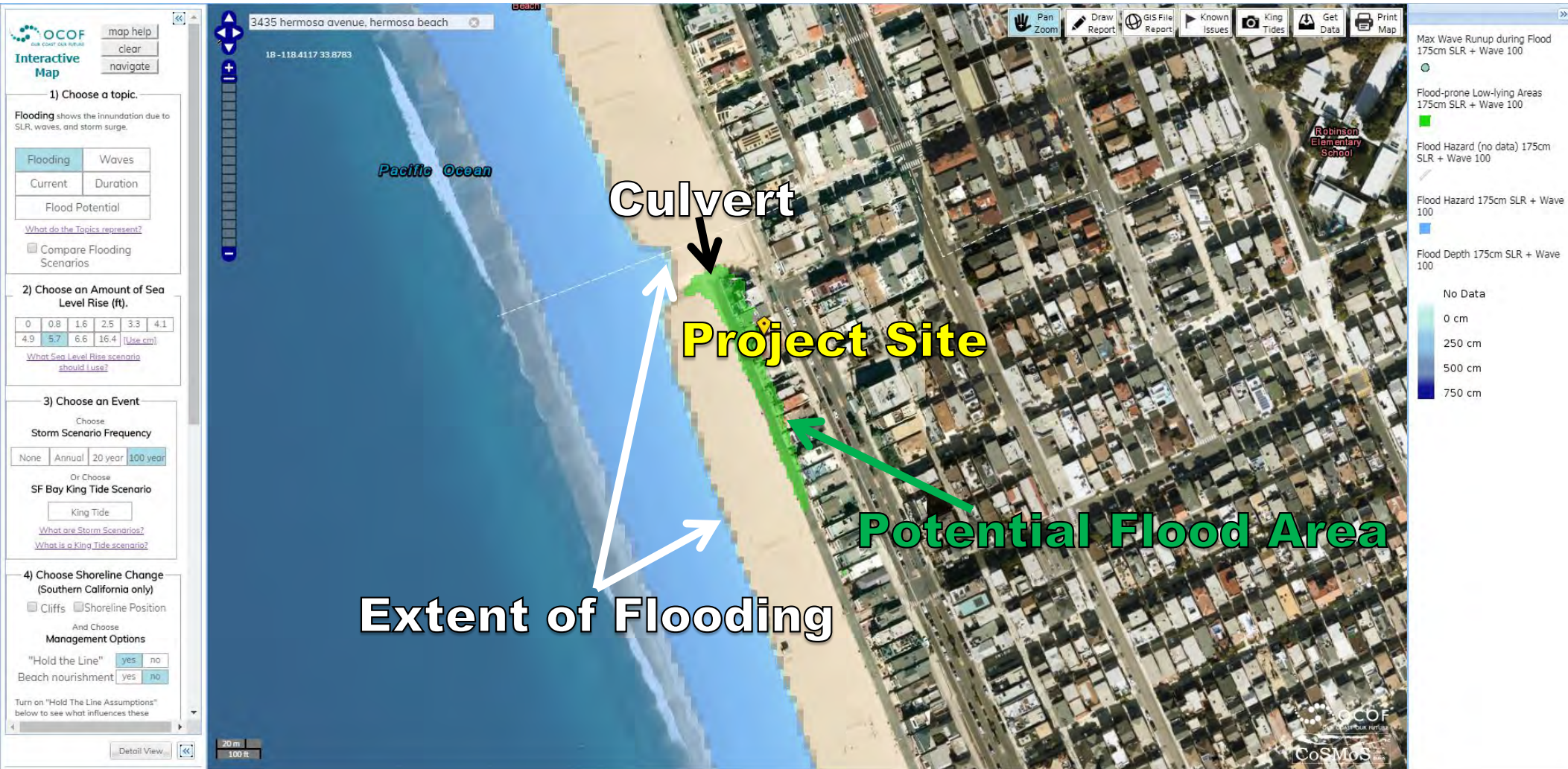


# Projected Flooding with 5.7 ft. Sea Level Rise and No Storm Scenario



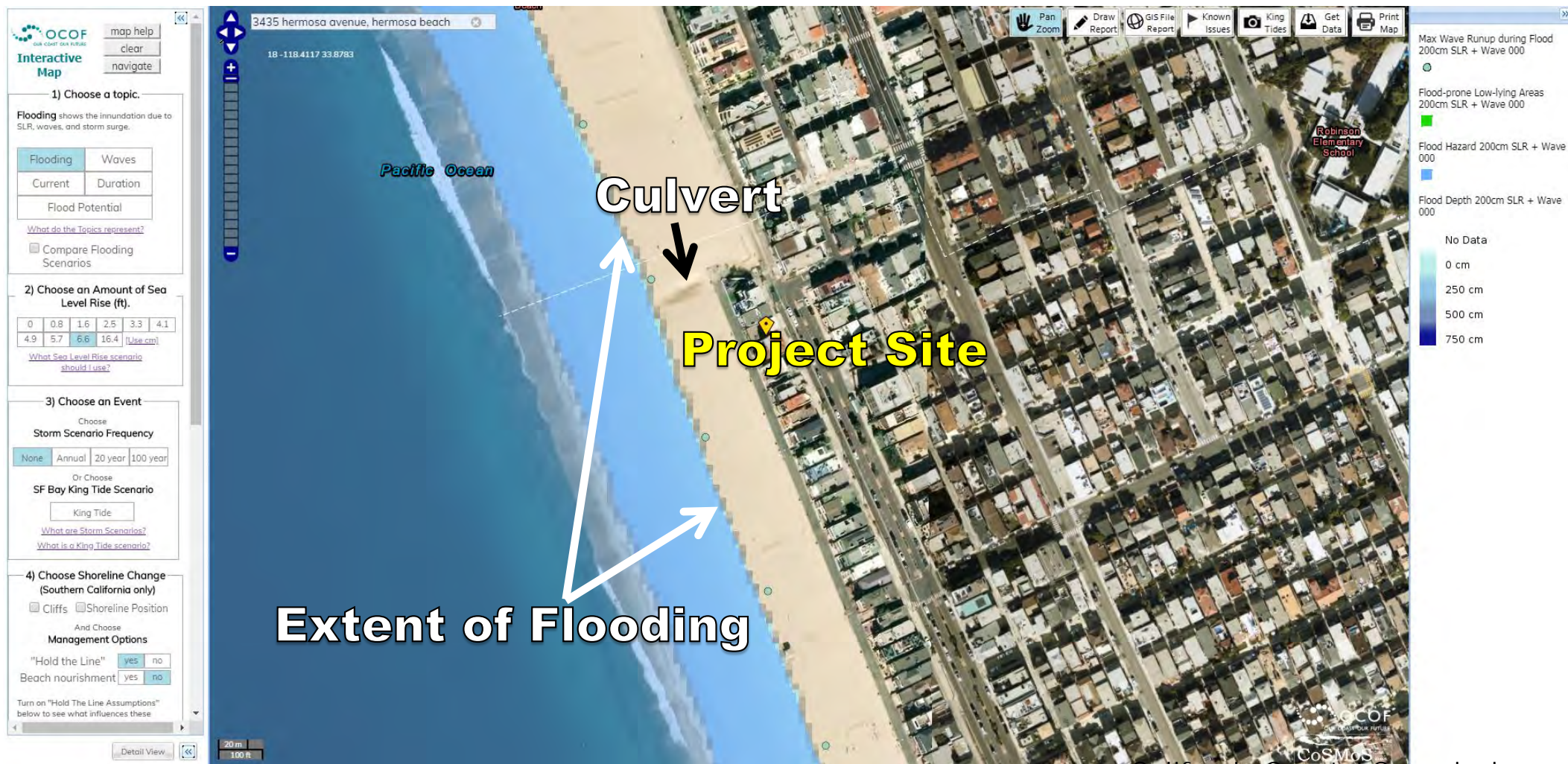


# Projected Flooding with 5.7 ft. Sea Level Rise and 100-Year Storm Scenario





# Projected Flooding with 6.6 ft. Sea Level Rise and No Storm Scenario



California Coastal Commission

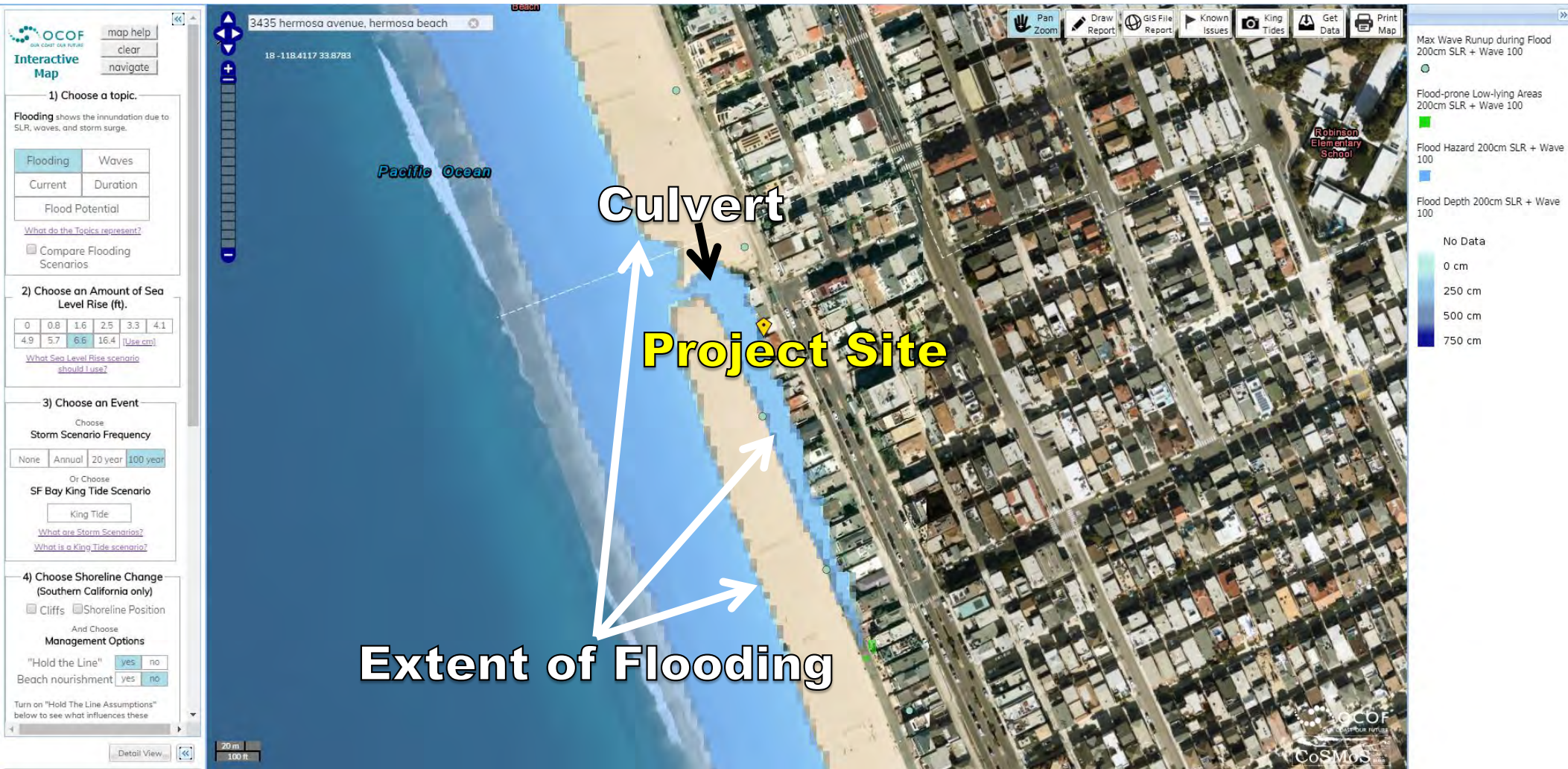
5-19-0955

Exhibit 3

Page 4 of 5



# Projected Flooding with 6.6 ft. Sea Level Rise and 100-Year Storm Scenario



A photograph of a coastal area. In the foreground, there is a large, circular concrete culvert partially buried in sand. Two wooden poles are leaning against the culvert. Behind the culvert is a concrete wall. Above the wall, there are several houses, including a multi-story house with blue awnings and a white balcony. The sky is blue with some clouds.

# The Strand

**Culvert**





California Coastal Commission  
5-19-0955  
Exhibit 5











## CITY OF HERMOSA BEACH

COMMUNITY DEVELOPMENT DEPARTMENT | PLANNING DIVISION  
1315 VALLEY DRIVE | HERMOSA BEACH | CA 90254  
(310) 318-0242

# ACCESSORY DWELLING UNIT ORDINANCE SUMMARY

Accessory Dwelling Units (ADU) and Junior Accessory Dwelling Units (JADU) are regulated by Hermosa Beach Municipal Code Section [17.21](#). Ministerial review of all ADUs and JADUs will occur through a Planning plan check within 60-days of initial submittal.







	JADU	SINGLE UNIT – ADU			MULTI-UNIT – ADU	
ADU Type	 <b>CONVERSION</b> <i>Conversion of an interior portion of an existing single-unit dwelling</i>	 <b>CONVERSION</b> <i>Conversion of an interior portion of an existing or proposed single-unit dwelling or an existing detached accessory building</i>	 <b>ATTACHED</b> <i>Construction of a new ADU attached, or within a proposed addition, to an existing single-unit dwelling</i>	 <b>DETACHED</b> <i>Construction of a new ADU as a detached accessory building</i>	 <b>CONVERSION</b> <i>Conversion of an existing non-habitable portion of a multi-unit development</i>	 <b>DETACHED</b> <i>Construction of a new ADU as a detached accessory building</i>
Zoning	Any residential zoned properties (except the MHP Mobilehome Park Development District) that is improved with a single-family dwelling unit				Any residential zoned properties (except the MHP Mobilehome Park Development District) that is improved with a multi-family dwelling project	
Number of Units	One				At least one and no more than 25% of the existing unit count in the multi-unit development	Two
Allowed with Other ADU	May also provide detached single-unit ADU	No		May also provide JADU	No	
New Construction/Addition	Maximum 150 square feet to accommodate entrance		Yes		No	Yes
Minimum Lot Size	None					
Minimum Size	Must meet minimum efficiency unit requirements, as set forth in the Building Code					
Maximum Size (Square Feet)	500	No limit	Studio/One-Bedroom = 850 Two Bedroom = 1,000 Can be no more than 50% of primary dwelling	Studio and One-Bedroom = 850 Two Bedroom = 1,000		
Maximum Size Exception	None	None	Application of floor area limit or site coverage shall not reduce ADU below 800 square feet		None	Application of floor area limit or site coverage shall not reduce ADU below 800 square feet
Maximum Height (Feet)	N/A	N/A	Per Base Zone	16	N/A	16
Front Setback (Feet)	Per Base Zone					



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COMMUNITY DEVELOPMENT DEPARTMENT | PLANNING DIVISION  
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	<b>Side Setback (Feet)</b>	N/A	N/A	Four or per base zone, whichever is less		N/A
<b>Rear Setback (Feet)</b>	N/A	N/A	Four or per base zone, whichever is less		N/A	Four
<b>Entrance</b>	Exterior entrance required				Independent entrance required	
<b>Internal Connection</b>	Internal connection to primary unit may be provided			N/A	Not permitted	
<b>Bathroom</b>	May share with primary dwelling unit	Bathroom is required				
<b>Kitchen</b>	Efficiency kitchen required	Full kitchen required				
<b>Parking</b>	None		One		None	One per unit
<b>Parking Exception</b>	N/A	Parking waived for the ADU if the property is: 1) within ½ mile walking distance to transit; 2) within an architecturally or historically significant district; 3) on-street parking permits are required and not provided to the occupant of the ADU; or 4) within one block of a car-share vehicle pick-up/drop-off location				
<b>Garage Conversion</b>	Allowed; Replacement parking may be required in the Coastal Zone		N/A		Allowed; Replacement parking may be required in the Coastal Zone	N/A
<b>Deed Restriction</b>	Prior to issuance of building permit, owner must record deed restriction (prepared by the City) noting the size of the unit, description of unit, prohibition on short term rentals, prohibiting the sale of the ADU/JADU, and specifying owner-occupancy requirement.					
<b>Owner-Occupancy</b>	Owner shall live in either unit	Owner-occupancy is not required for units built between January 1, 2020 and January 1, 2025				
<b>Short-Term Lodging</b>	Short-term lodging is prohibited.					
<b>Utility Connection</b>	A separate utility connection is not required		The City may require a separate utility connection			
<b>Fire Sprinklers</b>	Only required if required and provided on primary unit					
<b>Separate Conveyance</b>	ADUs and JADUs may not be sold separately					
<b>Design</b>	Shall have a similar style to the principal dwelling, including architectural style, roof pitch, color, and materials					
<b>Address</b>	All ADUs and JADUs shall be assigned a separate address from the primary unit(s)					