

## **CALIFORNIA COASTAL COMMISSION**

SOUTH COAST DISTRICT OFFICE  
301 E. OCEAN BLVD., SUITE 300  
LONG BEACH, CA 90802-4830  
(562) 590-5071



# **F5a**

**5-19-1220 (Dennis)**

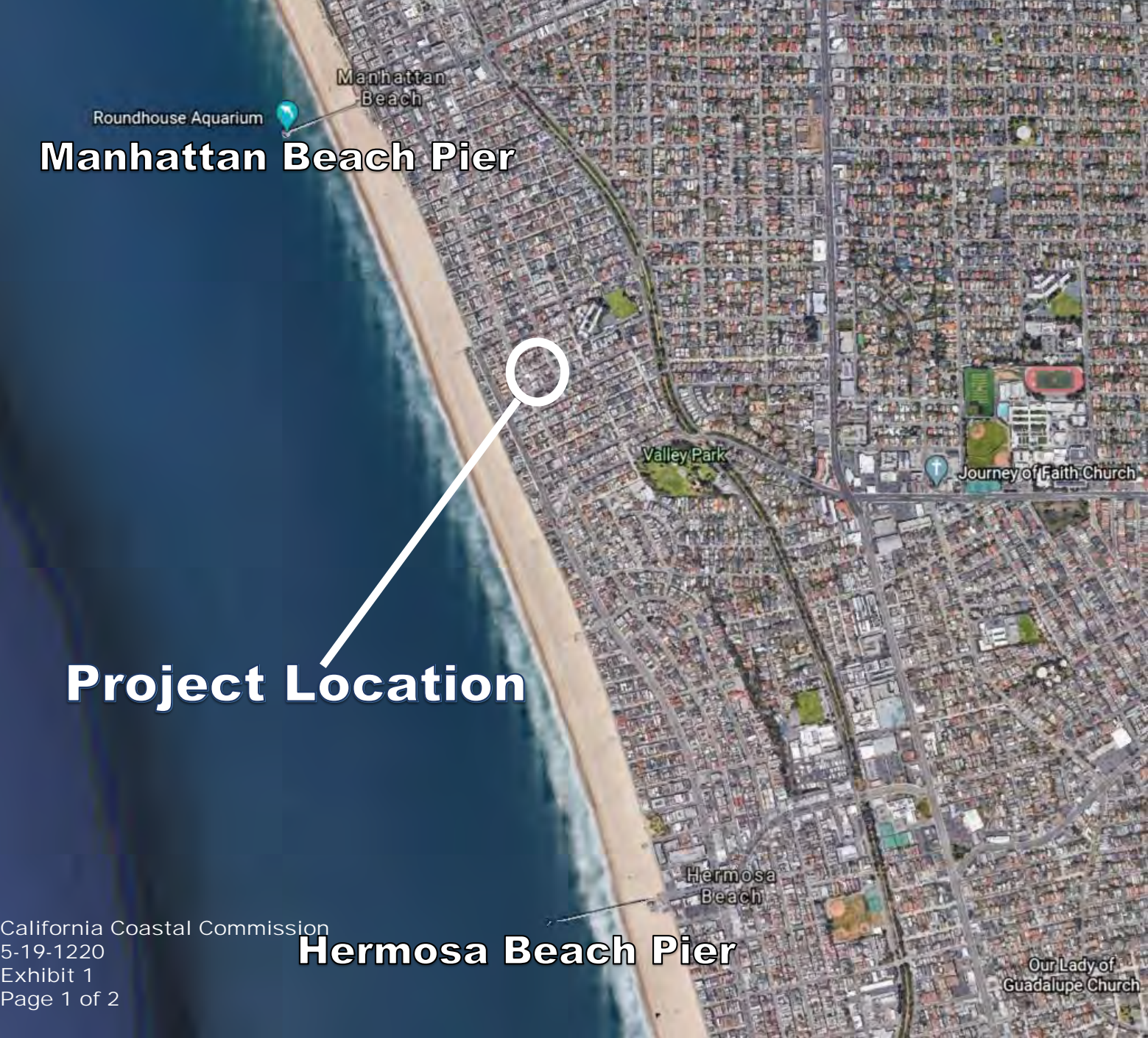
**July 10, 2020**

### **EXHIBITS**

#### **Table of Contents**

Exhibit 1 – Vicinity Map and Project Location

Exhibit 2 – Project Plans



**Manhattan Beach Pier**

**Project Location**

**Hermosa Beach Pier**





Project Site

Highland Avenue

33rd Place

Longfellow Avenue





S1	PRELIMINARY
S2	PRELIMINARY
S3	PRELIMINARY

	ALUMINUM		BATT INSULATION
	WOOD FINISH		RIGID INSULATION
	CONCRETE		PLYWOOD
	CONCRETE MASONRY UNIT		GLASS
	EARTH		STEEL
	STONE		CERAMIC TILE
	GRAVEL		METAL STUD IN PLAN
	SAND		METAL TRACK BELOW
	GYPSUM BOARD		METAL STUD IN ELEVATION
	PLASTER IN SECTION & ELEVATION		
	CONCRETE IN PLAN & ELEVATION		
	CEMENT PLASTER		

PROJECT INCLUDES DEMOLITION OF EXISTING 2 FAMILY RESIDENCE AND CONSTRUCTION OF A NEW 3 STORY RESIDENCE SINGLE FAMILY HOME WITH BASEMENT, ATTACHED 3-CAR GARAGE, POOL, AND ROOF DECK.

\_\_\_\_\_

Exhibit 2  
Page 1 of 7

1. EXCAVATIONS, BACKFILL AND COMPACTION REQUIREMENTS:

- COMPLY WITH ALL REQUIREMENTS OF THE GEOTECHNICAL ENGINEERING REPORT, SOIL REPORT AND/OR SHORING ENGINEERING REPORT FOR ALL EXCAVATIONS, BACKFILL AND COMPACTION.

2. CONDITIONS DEVIATING FROM DRAWINGS OR GEOTECHNICAL/SOILS REPORTS:

- IF, DURING THE COURSE OF EXCAVATION, SHORING, BACKFILL OR COMPACTION, ANY CONDITIONS ARE UNCOVERED WHICH DEVIATE FROM WHAT IS SHOWN ON THE DRAWINGS, GEOTECHNICAL/SOILS REPORTS OR SHORING ENGINEERING (IF ANY) THAT IS OTHER THAN ANTICIPATED BY NORMAL CONSTRUCTION EXPERIENCE, IMMEDIATELY NOTIFY THE

- [illegible]

20. **SHOING:**
- ALL CORNER LOTS SUBJECT TO YARD REQUIREMENTS SHALL BE REQUIRED TO PROVIDE A TRIANGULAR AREA OF ONE OR MORE FEET IN WIDTH. THE TRIANGLE FORMING THE CORNER ANGLE SHALL EACH BE TEN FEET IN LENGTH AND BE FORMED BY THE AFORESAIDED ANGLE. (PER HEMC 1746.00)
21. **SEPARATE PERMITS:**
- SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS, DEMOLITION AND SEWER CAPS OR TO ANY OTHER BUILDING. THEN SUCH PERMIT MUST BE OBTAINED BEFORE OR AT THE TIME THIS PROPOSED BUILDING

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**SITE SECTION 6** 6  
SCALE: 1/4" = 1'-0"

**SITE SECTION 5** 5  
SCALE: 1/4" = 1'-0"

**SITE SECTION 4** 4  
SCALE: 1/4" = 1'-0"

**SITE SECTION 3** 3  
SCALE: 1/4" = 1'-0"

**SITE SECTION 2** 2  
SCALE: 1/4" = 1'-0"

**SITE SECTION 1** 1  
SCALE: 1/4" = 1'-0"

**DRIVEWAY PROFILE NOTE**

DRIVEWAY PROFILES EXCEEDING 10% GRADE WILL BE STAKED AND VERIFIED BY LICENSED PROFESSIONAL LAND SURVEYOR. VERIFICATION OF DRIVEWAY GRADES WILL BE DONE PRIOR TO POURING THE GARAGE SLAB. DRIVEWAY GRADES EXCEEDING 15% ARE NOT PERMITTED.

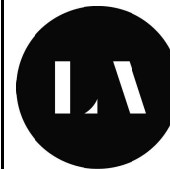
**D.S. 3** **11**

**D.S. 2** **10**  
SCALE: 1/4" = 1'-0"

**D.S. 1** **9**  
SCALE: 1/4" = 1'-0"

# SITE SECTION 8

**SITE SECTION 7**  
SCALE: 1/4" = 1'-0"



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

PROJECT NAME  
DENNIS RESIDENCE

PROJECT NUMBER  
18150

**CLIENT**  
GEORGE AND TALLIE DENNIS

PROJECT ADDRESS  
3205 HIGHLAND AVE.  
HERMOSA BEACH, CA 90254

PROJECT ADDRESS  
3205 HIGHLAND AVE.  
HERMOSA BEACH, CA 90254

**ARCHITECT**  
**ANTHONY LANEY AIA**  
**LANEY LA, INC.**  
**13110 HAWTHORNE BLVD**  
**HAWTHORNE CA 90250**  
**(310) 498-2455**  
**ANTHONY@LANEY.LA**

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PROJECT NO:
MODEL FILE:
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SHEET TITLE
<b>SITE PLAN</b>

A.012

5-19-1220

Exhibit 2  
Page 2 of 7



LANEY LA  
LIFESTYLE + ARCHITECTURE

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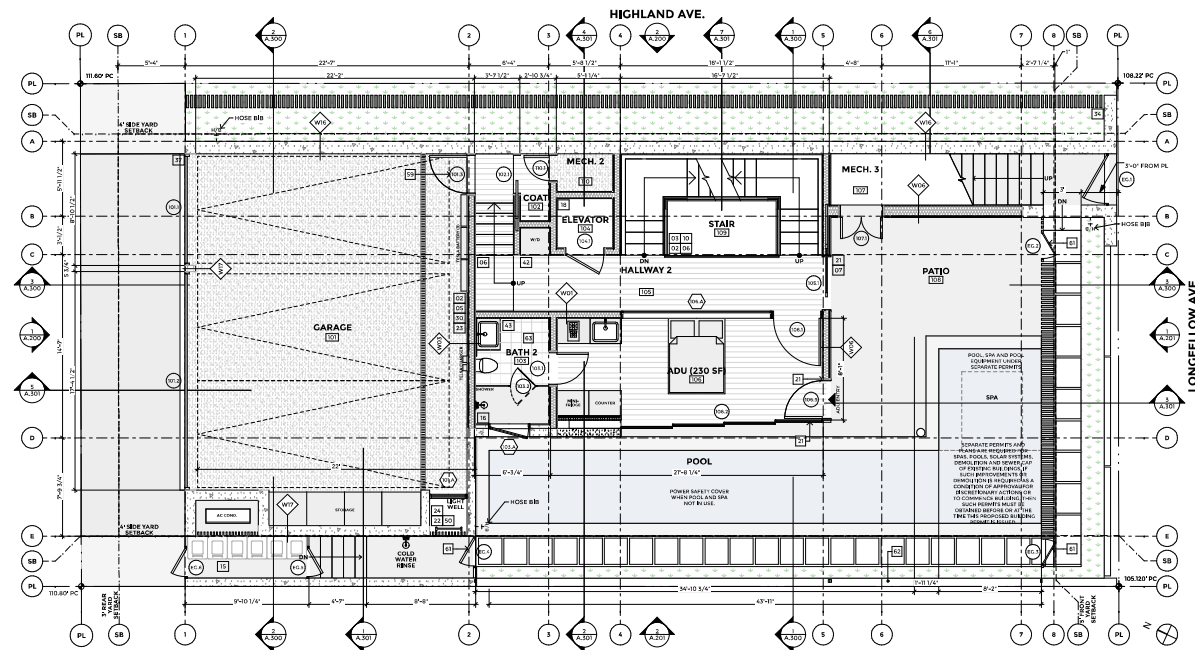
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PROJECT NO: 18150  
MODEL FILE: TEAMWORK  
DRAWN BY: JB  
CHK'D BY: AX  
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SHEET TITLE  
FIRST FLOOR PLAN

## KEYNOTES

- ALL EXTERIOR WOOD STUDS TO BE 2x4 @ 16" O.C., UNLESS OTHERWISE NOTED. INTERIOR WOOD STUD PLUMBING WALLS TO BE MINIMUM 2x6 @ 16" O.C. - CRC SECTION. 2320.11.3 TO ALL OTHER INTERIOR STUD WALLS TO BE MIN. 2x4 @ 16" O.C. TYP. UNLESS OTHERWISE NOTED (REFER TO WALL ASSEMBLY).
- ALL WALLS AND CEILING IN USABLE SPACE, GARAGE, UTILITY, MECHANICAL, UNDER STAIR AND CLOSETS SHALL HAVE 5/8" TYPE-X FIRE RESISTANT Gypsum BOARD.
- PROVIDE ONE-HOUR FIRE RATED - 5/8" TYPE-X GYP BOARD AT ALL WALLS, CEILING AND UNDER STAIRS.
- ALL EXTERIOR WALLS LOCATED WITHIN 5' OF PROPERTY LINE SHALL BE ONE HOUR FIRE RATED PER CRC TABLE R302.1 (1).
- REQUIRED PARKING AREA IS TO BE CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN 7'-0" ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONSTRUCTION.
- INTERIOR AND EXTERIOR STAIR 1" MIN. TREAD AND 7/8" MAX. RISEL.
- ALL EXTERIOR HARDSCAPE OR LANDSCAPE TO SLOPE MIN. 2% AWAY FROM BUILDING.
- SLOPE DECK SURFACE TO DECK DRAINING TYP. 1/4" PER FT. MINIMUM. PROVIDE SCUPPER OR OVERFLOW 2" ABOVE DECK SURFACE.
- 4" MIN. MIN. COUNTERSINK.
- 3/4" - 1" MIN. STAIR RAIL ABOVE NOSEING.
- ELECTRICAL SERVICE PANEL LOCATION TO INCLUDE A 3" DIAMETER STUB-OUT CONDUIT.
- GAS-FIRED WATER HEATER WITH RECIPE PUMP AS PER ENERGY REQ. PROVIDE 1" HIGH PLATFORM FOR MECHANICAL EQUIP. SEE TITLE-24 NOTES. VENT TO OUTSIDE.
- PROVIDE MECHANICAL VENTILATION IN ADDITION TO NATURAL VENTILATION PER CRC 402.3 (SEE ELECTRICAL PLAN FOR MECH).
- AC CONDENSER PER SPECIFICATIONS.
- RECYCLE/TRASH CAN.
- TILED SHOWER W/ RECESSED SHELF 5" ABOVE FLOOR. TILE HEIGHT TO BE 72" ABOVE FLOOR MINIMUM IN SECTION AREA.
- ARTIFICIAL LIGHT IN BASEMENT SHALL PRODUCE AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES (ES LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE FLOOR LEVEL - PER CRC R303.02 (1). COPY OF LIGHT METER TEST REPORT SHALL BE SUBMITTED TO CITY INSPECTOR FOR APPROVAL.
- ELEVATOR PER MANUFACTURER SPECS. ONE-HOUR CONSTRUCTION AT ELEVATOR SHAFT SEE ASME/ANSI A17.1.
- DOORS WITH DIRECT ACCESS TO THE POOL SHALL BE EQUIPPED WITH AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND/OR SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL 2017 AND CRC SECTION 310.1. THE DEACTIVATION SWITCH SHALL BE LOCATED AT LEAST 5 INCHES (1372 mm) ABOVE THE THRESHOLD OF THE DOOR. PER CRC AND 105.2. SEE DOOR SCHEDULE FOR APPLICABLE DOORS.
- SUMP PUMP - AUTO PUMP TEST OR APPROVED EQUAL.
- 5/8" TYPE-X GYP BOARD AT ALL GARAGE WALLS AND CEILING PER ONE-HOUR FIRE RATED DETAIL.
- SLOPE CONCRETE SLAB MINIMUM 2% TO DRAIN.
- ALL ROOF SEE ROOF PLAN A10.
- CURBNEY, NOT TO EXCEED 5" ABOVE THE HEIGHT LIMIT AND NOT TO EXCEED 3" IN WIDTH AND 5' IN LENGTH.
- DECKING ASSEMBLY WITH DEXO-TEX WATERPROOF MEMBRANE OR APPROVED EQUAL, E.C. # 1792.
- PARAPET, SATELLITE ANTENNA, BARS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
- FLOOR/ROOF JOIST PER STRUCTURAL.
- FINISHED CONCRETE FLOOR.
- CONCRETE FOUNDATION WALL.
- FINISHED WOOD FLOOR.
- TIE FLOOR.
- LANDSCAPING.
- POCKET SHADE.
- DRAIN.
- DRIVEWAY, SLOPE 2% MIN. TO DRAIN.
- SOFFIT.
- BUILT-IN REFRIGERATOR AND FREEZER W/ WATER LINE - SELECTED BY OWNER.
- DISHWASHER SPACE.
- GAS RANCE WITH OVERHEAD WOOD.
- WASHER AND DRYER.
- CABINETS W/ STONE COUNTERTOP.
- WATERCLOSET - SELECTED BY OWNER.
- SHOWER NOZZLE.
- PREPLACE.
- SKYLIGHT.
- INSULATION PER T-24.
- BUILT-IN CABINET.
- EMERGENCY EXIT LADDER TO GRADE ABOVE.
- NEOLITH STONE SLAB SIDING.
- BOARD-FORMED CONCRETE.
- PAUL WOOD ALUMINUM SCREEN.
- 2X WOOD VERTICAL PICKET FENCE.
- TEMPERED GLASS RAIL.
- BLACK METAL FASCIA.
- EXTRA FASCIA OR APPROVED EQ.
- PERMANENTLY FIXED STEEL EGRESS LADDER.
- 1/2" BIRCH SOLID WOOD DOOR OR 20 MINUTE REBATE DOOR, FINISH WITH A SELF-CLOSING AND SELF-ATTACHING DEVICE.
- WINDOWS LOCATED WITHIN 24" OF DOORS.
- WINDOWS BY THE STAIRWAY/LANDING AND BY THE SHOWER SHALL BE TEMPERED GLAZING PER CRC SECTION R605.4.
- POOL GATES OPEN AWAY FROM THE SWIMMING POOL, AND ARE SELF-CLOSING WITH A SELF-ATTACHING OR BELT PLEASANT LOWER THAN 60-INCHES ABOVE THE GROUND.
- FENCE DOOR OPEN ON TOP OF CONCRETE SET WALL (MINIMUM HEIGHT OF 60 INCHES).
- 4" WASTE LINE SHALL BE USED FOR THE WHOLE BUILDING.



FIRST FLOOR PLAN  
SCALE 1/4" = 1'-0"

### WALL ASSEMBLIES

W01	5/8" GYP BOARD W/ 1/4" - 1/8" FINISH 2 x 6 STUD WALL 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH
W02	5/8" GYP BOARD W/ 1/4" - 1/8" FINISH 1/2" PLYWOOD SHEATHING 2 x 6 STUD WALL 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH
W03	5/8" GYP BOARD W/ 1/4" - 1/8" FINISH 1/2" PLYWOOD SHEATHING 2 x 6 STUD WALL 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH
W04	STONE TILE PER SPECS MORTAR SET AND SCRATCH COAT METAL LATH WEATHER RESISTANT MEMBRANE 1/2" PLYWOOD SHEATHING 2 x 10 STUD WALL @ 16" O.C. 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH
W05	STONE TILE PER SPECS MORTAR SET AND SCRATCH COAT METAL LATH WEATHER RESISTANT MEMBRANE 1/2" PLYWOOD SHEATHING 2 x 10 STUD WALL @ 16" O.C. 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH

### WALL ASSEMBLIES

W06	STONE TILE PER SPECS MORTAR SET AND SCRATCH COAT METAL LATH WEATHER RESISTANT MEMBRANE 1/2" PLYWOOD SHEATHING 2 x 6 STUD WALL @ 16" O.C. 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH
W07	10" CONCRETE WALL 2 x 4 STUD WALL @ 16" O.C. 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH
W08	STONE TILE PER SPECS MORTAR SET AND SCRATCH COAT METAL LATH WEATHER RESISTANT MEMBRANE 1/2" PLYWOOD SHEATHING 2 x 10 STUD WALL @ 16" O.C. 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH
W09	STONE TILE PER SPECS MORTAR SET AND SCRATCH COAT METAL LATH WEATHER RESISTANT MEMBRANE 1/2" PLYWOOD SHEATHING 2 x 10 STUD WALL @ 16" O.C. 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH
W10	FOAM INSULATION BOARD 2" BLOCCING 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH

### WALL ASSEMBLIES

W11	8" CONCRETE WALL 2 x 4 STUD WALL @ 16" O.C. 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH
W12	8" CONCRETE WALL 2 x 4 STUD WALL @ 16" O.C. 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH
W13	5/8" GYP BOARD W/ 1/4" - 1/8" FINISH 1/2" PLYWOOD SHEATHING 2 x 6 STUD WALL 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH
W14	8" CONCRETE WALL 2 x 4 STUD WALL @ 16" O.C. 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH
W15	8" CONCRETE WALL 2 x 4 STUD WALL @ 16" O.C. 5/8" GYP BOARD W/ 1/4" - 1/8" FINISH
W16	8" CONCRETE WALL PER STRUCTURAL

### GENERAL NOTES

- VERIFY SHEAR WALL LOCATION PER STRUCTURAL. SUB 16/32" SHEAR PANEL FOR 1/2" PLYWOOD SHEATHING WHERE APPLICABLE.
  - VERIFY INSULATION PER LOCATION AS DESCRIBED IN T-24.
  - IMPERVIOUS SURFACE SHALL BE SLOPED AWAY FROM THE BUILDING AT 2% MINIMUM SLOPE FOR A MINIMUM DISTANCE OF 10 FEET. LOT SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS - PER C.E.C. SECTION ENG.3.
- EMERGENCY EXIT LADDER NOTES**
- EMERGENCY EXIT LADDER TO GRADE ABOVE. EMERGENCY EGRESS LADDER - WINDOW WELLS WITH A VERTICAL DEPTH OF MORE THAN 44 INCHES SHALL BE EQUIPPED WITH AN APPROVED PERMANENTLY AFFIXED LADDER OR STEPS. LADDERS OR RUNGS SHALL HAVE AN INSIDE WIDTH OF AT LEAST 12". SHALL PROJECT AT LEAST 3" FROM THE WALL AND SHALL BE SPACED NOT MORE THAN 18" ON CENTER VERTICALLY FOR THE FULL HEIGHT OF THE WINDOW WELL. THE LADDER OR STEPS SHALL NOT INCREASE IN THE REQUIRED DIMENSIONS OF THE WINDOW WELL BY MORE THAN 6". THE LADDER OR STEPS SHALL NOT BE OBSTRUCTED BY THE EMERGENCY ESCAPE AND RESCUE OPENING. LADDERS OR STEPS REQUIRED BY THIS SECTION OF CODE (2022.5.3) ARE EXEMPT FROM THE STRENGTH REQUIREMENTS OF SECTION 2022.5.3.2 WITH THE FOLLOWING AS SHOWN:
  - EMERGENCY ESCAPE AND RESCUE OPENING WITH FINISHED FLOOR HEIGHT BELOW THE ADJACENT GROUND LEVEL SHALL BE PROVIDED WITH A WINDOW WELL MEETING THE FOLLOWING HORIZONTAL AREA SHALL BE AT LEAST 9 SQUARE FEET AND MINIMUM DIMENSION OF 36 INCHES - PER SECTION R602.1 AND R602.2.

### LIGHT AND VENTILATION NOTES

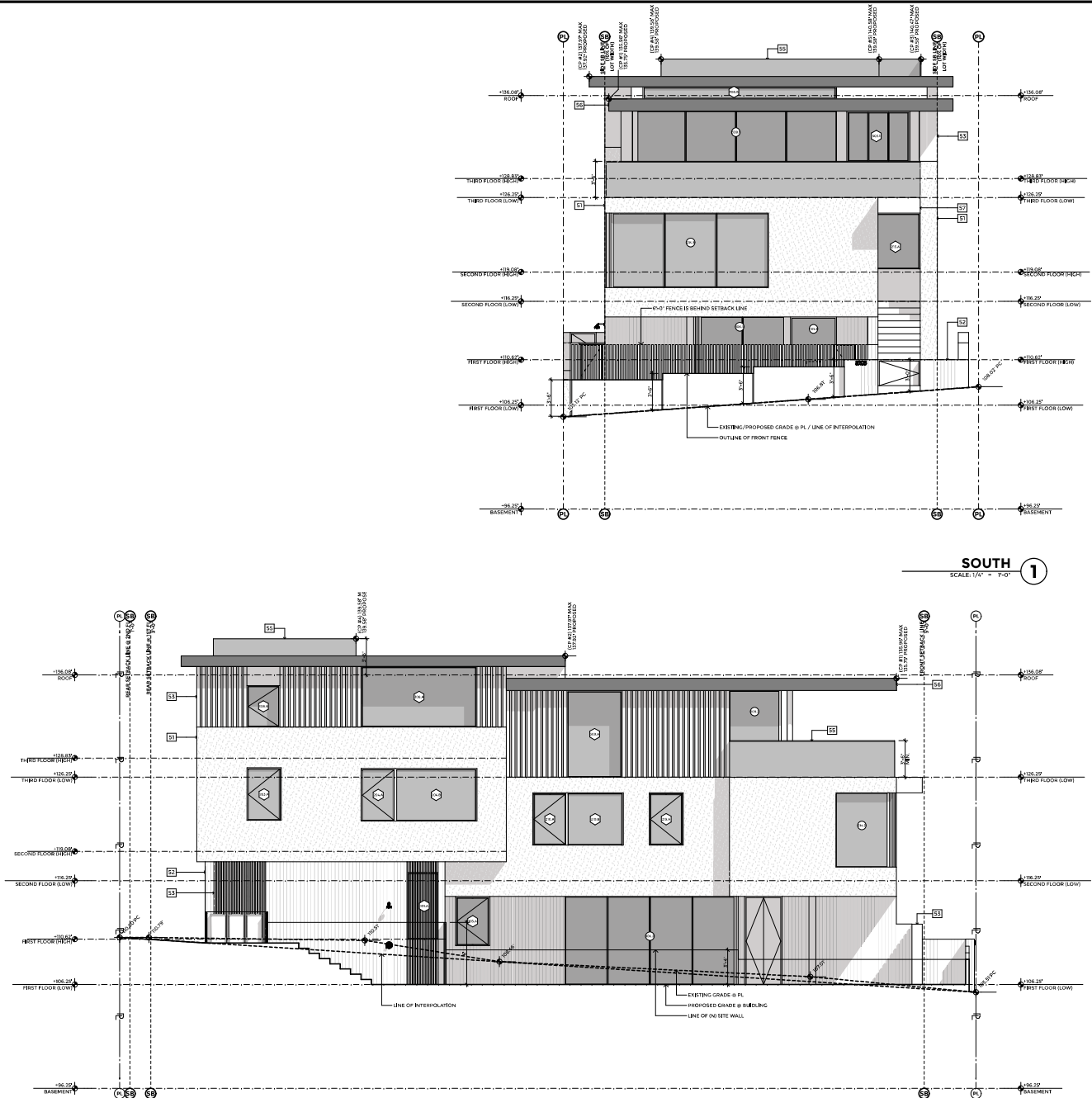
- PROJECT SHALL USE WHOLE-HOUSE MECHANICAL VENTILATION SYSTEM INSTALLED IN ACCORDANCE WITH THE CALIFORNIA MECHANICAL CODE - PER CRC R303.0 (1) AND CMC 405.1.3 AND 2018 RESIDENTIAL COMPLIANCE MANUAL. DEDICATED VENTILATION AIR DUCT TO CONNECT TO RETURN PLenum OF THE AIR HANDLER AND TO THE DWELLING EXTERIOR.
  - CERTIFICATE OF VERIFICATION (CV) SHALL BE COMPLETED, REGISTERED AND BENEVOLENTED BY THE HIRER. THE REGISTERED CVR FORM SHALL BE MADE AVAILABLE TO THE BUILDING DEPARTMENT AND BUREAU.
- PUMBLING FIXTURES AND FITTINGS MAX. FLOW RATES**
- |                           |                            |
|---------------------------|----------------------------|
| A. WATER CLOSETS          | 1.28 GALLONS/FLUSH         |
| B. SHOWERHEADS - SINGLE   | 2.0 GPM @ 80 PSIG          |
| C. SHOWERHEADS - MULTIPLE | 2.0 GPM @ 80 PSIG COMBINED |
| D. LAVATORY FAUCETS       | 1.2 GPM @ 80 PSIG          |
| E. KITCHEN FAUCETS        | 1.5 GPM @ 80 PSIG          |
- PUMBLING NOTE**
- ALL NEW FIXTURES SHALL BE WATER CONSERVING. CRC 401.3
- ENERGY NOTES**
- ALL NEW FIXTURES SHALL BE WATER CONSERVING. CRC 401.3
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California Coastal Commission  
540-1-220

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## KEYNOTES

- 01 ALL EXTERIOR WOOD STUDS TO BE 2x6 @ 16" O.C., U.N.O. ALL INTERIOR WOOD STUDS TO BE MINIMUM 2x6 @ 16" O.C. - CBC SECTION 2202.11.10 ALL OTHER INTERIOR STUD WALLS TO BE MIN. 2x4 @ 16" O.C. - 7'5" UNCLD. INSULATION REFER TO WALL ASSEMBLY.
- 02 ALL WALLS AND CEILING IN USABLE SPACE, GARAGE, UTILITY, MECHANICAL, UNDER STAIR AND CLOSETS SHALL HAVE 5/8" TYPE-X FIRE RESISTANT Gypsum BOARD.
- 03 PROVIDE ONE-HOUR FIRE RATED - 5/8" TYPE X GYP. BOARD AT ALL WALLS, CEILING AND UNDER STAIRS.
- 04 ALL EXTERIOR WALLS LOCATED WITHIN 5' OF PROPERTY LINE SHALL BE ONE HOUR FIRE RATED PER CBC TABLE 602.1(1).
- 05 REQUIRED RAINING AREA IS TO BE CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN 7'-0" ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONSTRUCTION.
- 06 INTERIOR AND EXTERIOR STAIR 11" MIN. TREAD AND 7 3/4" MAX. RISE.
- 07 ALL EXTERIOR HARDSCAPE OR LANDSCAPE TO SLOPE MIN. 2% AWAY FROM BUILDING.
- 08 SLOPE DECK SURFACE TO DECK DRAINS TYP. 1/4" PER FT. MINIMUM. PROVIDE SCURPER OR OVERFLOW 2" ABOVE DECK SURFACE.
- 09 42" MIN. HIGH GUARDRAIL.
- 10 34" 3/8" MIN. STAIR RAIL ABOVE NOISE.
- 11 ELECTRICAL SERVICE PANEL LOCATION TO INCLUDE A 3" DIAMETER STUB-OUT CONDUIT.
- 12 GAS-FIRED WATER HEATER WITH RISCIC PUMP AS PER ENERGY REQ. PROVIDE 18" HIGH PLATFORM FOR MECHANICAL EQUIP. SEE TITLE-24 NOTES. VENT TO OUTSIDE.
- 13 PROVIDE MECHANICAL VENTILATION IN ADDITION TO NATURAL VENTILATION PER CBC 402.3 (SEE ELECTRICAL PLAN FOR SIZING).
- 14 AC CONDENSER PER SPECIFICATIONS.
- 15 RECYCLE/TRASH CAN.
- 16 TILED SHOWER W/ RECESSED SHELF 3" ABOVE FLOOR. TILE HEIGHT TO BE 72" ABOVE FLOOR MINIMUM PER SECTION 610.2.2.
- 17 ARTIFICIAL LIGHT IN BASEMENT SHALL PRODUCE AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES (60 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE FLOOR LEVEL - PER CBC (303.3.2). COPY OF LIGHT METERS TEST REPORT SHALL BE SUBMITTED TO CITY INSPECTOR FOR APPROVAL.
- 18 ELEVATOR PER MANUFACTURER SPEC. ONE-HOUR CONSTRUCTION AT ELEVATOR SHAFT SEE ASME/ANSI A17.1.
- 19 DOORS WITH DIRECT ACCESS TO THE POOL SHALL BE EQUIPPED WITH AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND/OR SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL 2017. THE DISARM/TEST SWITCHES SHALL BE LOCATED AT LEAST 34 INCHES (875 mm) ABOVE THE THRESHOLD OF THE DOOR. PER CBC AND 105.2, SEE DOOR SCHEDULE FOR APPLICABLE DOORS.
- 20 SUMP PUMP - AUTO PUMP TEST OR APPROVED EQUAL.
- 21 5/8" TYPE X GYP. BOARD AT ALL GARAGE WALLS AND CEILING PER 1-HOUR FIRE RATED DETAIL.
- 22 SLOPE CONCRETE SLAB MINIMUM 2% TO DRAIN.
- 23 ALL ROOF SEE ROOF PLAN A110.
- 24 CHIMNEY, NOT TO EXCEED 9' ABOVE THE HEIGHT LIMIT AND NOT TO EXCEED 3" IN WIDTH AND 9" IN LENGTH.
- 25 DECKING ASSEMBLY WITH DEK-OTEX WATERPROOF MEMBRANE OR APPROVED EQUAL, ECC # 1797.
- 26 PARABOLIC, SATELLITE ANTENNA, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
- 27 FLOOR/ROOF JOIST PER STRUCTURAL.
- 28 FINISHED CONCRETE FLOOR.
- 29 CONCRETE FOUNDATION WALL.
- 30 FINISHED WOOD FLOOR.
- 31 TILE FLOOR.
- 32 LANDSCAPING.
- 33 POCKET SHADE.
- 34 DRAIN.
- 35 DRIVEWAY, SLOPE 2% MIN. TO DRAIN.
- 36 SOFFIT.
- 37 BUILT-IN REFRIGERATOR AND FREEZER W/ WATER LINE - SELECTED BY OWNER.
- 38 DISHWASHER SPACE.
- 39 GAS RANGE WITH OVERHEAD HOOD.
- 40 WASHER AND DRYER.
- 41 CABINETS W/ STONE COUNTERTOP.
- 42 WATERCLOSET - SELECTED BY OWNER.
- 43 SHOWER NOZZLE.
- 44 FIREPLACE.
- 45 SKYLIGHT.
- 46 INSULATION PER T-24.
- 47 BUILT-IN CABINET.
- 48 EMERGENCY EXIT LADDER TO GRADE ABOVE.
- 49 NEOLITH STONE SLAB SIDING.
- 50 BOARD-FORMED CONCRETE.
- 51 FAUX WOOD ALUMINUM SCREEN.
- 52 2X WOOD VERTICAL PICKET FENCE.
- 53 TEMPERED GLASS RAIL.
- 54 BLACK METAL FASCIA.
- 55 EXTRA FASCIA OR APPROVED EQ.



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5-19-220

Exhibit 2  
Page 4 of 7



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

PROJECT NAME  
DENNIS RESIDENCE

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MARK DATE DESCRIPTION

MARK	DATE	DESCRIPTION

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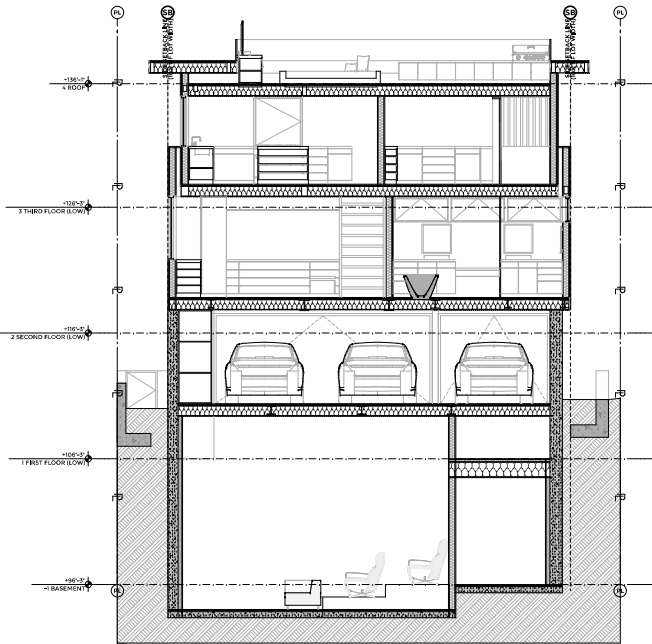
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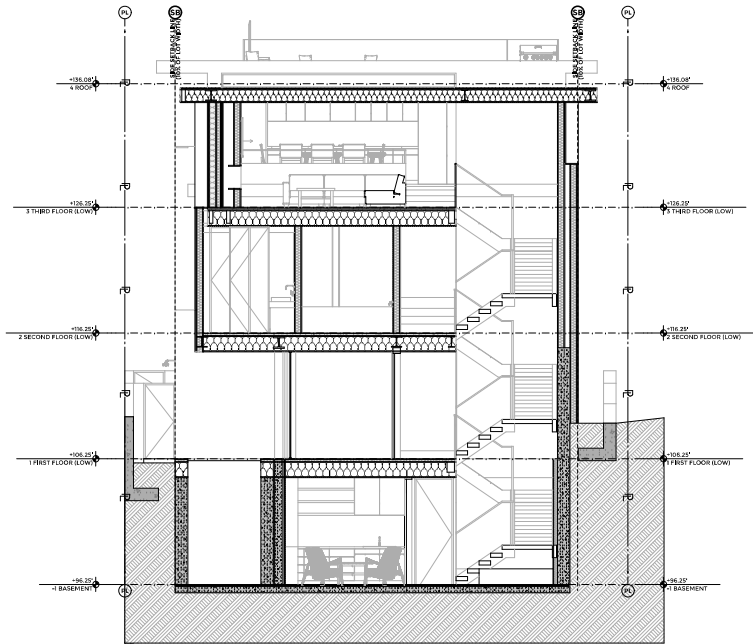


## KEYNOTES

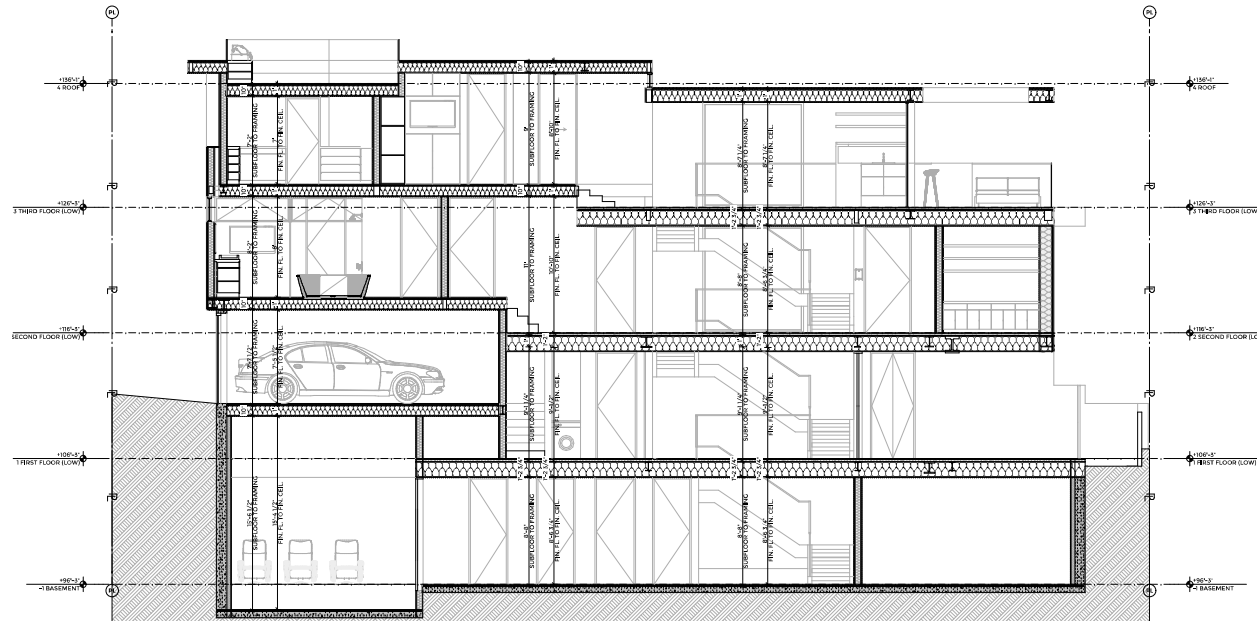
- 01 ALL EXTERIOR WOOD STUDS TO BE 2x6 @ 16" O.C. U.N.O. ALL INTERIOR WOOD STUD FLOORING WALLS TO BE MINIMUM 2x6 @ 16" O.C. - CBC SECTION 2202.11.10 ALL OTHER INTERIOR STUD WALLS TO BE MIN. 2x4 @ 16" O.C. - 7'x4" UNO. INSULATION REFER TO WALL ASSEMBLY.
- 02 ALL WALLS AND CEILING IN USABLE SPACE, GARAGE, UTILITY, MECHANICAL, UNDER STAIR AND CLOSETS SHALL HAVE 5/8" TYPE-X FIRE RESISTANT OPTIMUM BOARD.
- 03 PROVIDE ONE-HOUR FIRE RATED - 5/8" TYPE X GYP. BOARD AT ALL WALLS, CEILING AND UNDER STAIRS.
- 04 ALL EXTERIOR WALLS LOCATED WITHIN 5' OF PROPERTY LINE SHALL BE ONE HOUR FIRE RATED PER CBC TABLE 602.10.
- 05 REQUIRED RAINING AREA IS TO BE CLEAR OF ANY OBSTRUCTIONS NOT LESS THAN 7'-0" ABOVE THE FINISH FLOOR TO ANY CEILING, BEAM, PIPE, VENT, MECHANICAL EQUIPMENT OR SIMILAR CONSTRUCTION.
- 06 INTERIOR AND EXTERIOR STAIR 11" MIN. TREAD AND 7 1/2" MAX. RISE.
- 07 ALL EXTERIOR HARDSCAPE OR LANDSCAPE TO SLOPE MIN. 2% AWAY FROM BUILDING.
- 08 SLOPE DECK SURFACE TO DECK DRAINS TYP. 1/4" PER FT. MINIMUM. PROVIDE SCUPPER OR OVERFLOW 2" ABOVE DECK SURFACE.
- 09 42" MIN. HIGH GUARDRAIL.
- 10 34" 38" MIN. STAIR RAIL ABOVE NOSEING.
- 11 ELECTRICAL SERVICE PANEL LOCATION TO INCLUDE A 3" DIAMETER STUB-OUT CONDUIT.
- 12 GAS-FIRED WATER HEATER WITH RISCOR PUMP AS PER ENERGY BEC. PROVIDE 18" HIGH PLATFORM FOR MECHANICAL EQUIP. SEE TITLE-24 NOTES. VENT TO OUTSIDE.
- 13 PROVIDE MECHANICAL VENTILATION IN ADDITION TO NATURAL VENTILATION PER CMC 402.3 (SEE ELECTRICAL PLAN FOR SIZING).
- 14 AC CONDENSER PER SPECIFICATIONS.
- 15 RECYCLE/TRASH CAN.
- 16 TILED SHOWER W/ RECESSED SHELF 3" ABOVE FLOOR. TILE HEIGHT TO BE 72" ABOVE FLOOR MINIMUM PER SEC. 109-6.0072.
- 17 ARTIFICIAL LIGHT IN BASEMENT SHALL PRODUCE AN AVERAGE ILLUMINATION OF 6 FOOT CANDLES (60 LUX) OVER THE AREA OF THE ROOM AT A HEIGHT OF 30 INCHES ABOVE FLOOR LEVEL. - PER CMC 303.3(2). COPY OF LIGHT METERS TEST REPORT SHALL BE SUBMITTED TO CITY INSPECTOR FOR APPROVAL.
- 18 ELEVATOR PER MANUFACTURER SPEC. ONE-HOUR CONSTRUCTION AT ELEVATOR SHAFT (SEE ASME/ANSI A17).
- 19 DOORS WITH DIRECT ACCESS TO THE POOL SHALL BE EQUIPPED WITH AN ALARM THAT PRODUCES AN AUDIBLE WARNING WHEN THE DOOR AND/OR SCREEN, IF PRESENT, ARE OPENED. THE ALARM SHALL BE LISTED IN ACCORDANCE WITH UL 2017. THE START/STOP SWITCHES SHALL BE LOCATED AT LEAST 34 INCHES (875 mm) ABOVE THE THRESHOLD OF THE DOOR. PER CBC AND 105.2, SEE DOOR SCHEDULE FOR APPLICABLE DOORS.
- 20 SUMP PUMP - AUTO PUMP TYP. OR APPROVED EQUAL.
- 21 5/8" TYPE X GYP. BOARD AT ALL GARAGE WALLS AND CEILING PER 1-HOUR FIRE RATED DETAIL.
- 22 SLOPE CONCRETE SLAB MINIMUM 2% TO DRAIN.
- 23 ALL ROOF SEE ROOF PLAN A110.
- 24 CHIMNEY, NOT TO EXCEED 9' ABOVE THE HEIGHT LIMIT AND NOT TO EXCEED 3' IN WIDTH AND 9' IN LENGTH.
- 25 DECKING ASSEMBLY WITH DECK-TEX WATERPROOF MEMBRANE OR APPROVED EQUAL, ICC # 1797.
- 26 PARABOLIC SATELLITE ANTENNA, RAILS, SKYLIGHTS, ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT.
- 27 FLOOR/ROOF JOIST PER STRUCTURAL.
- 28 FINISHED CONCRETE FLOOR.
- 29 CONCRETE FOUNDATION WALL.
- 30 FINISHED WOOD FLOOR.
- 31 TILE FLOOR.
- 32 LANDSCAPING.
- 33 POCKET SHADE.
- 34 DRAIN.
- 35 DRIVEWAY, SLOPE 2% MIN. TO DRAIN.
- 36 SLOPE.
- 37 BUILT-IN REFRIGERATOR AND FREEZER W/ WATER LINE - SELECTED BY OWNER.
- 38 DISHWASHER SPACE.
- 39 GAS RANGE WITH OVERHEAD HOOD.
- 40 WASHER AND DRYER.
- 41 CABINETS W/ STONE COUNTERTOP.
- 42 WATERCLOSET - SELECTED BY OWNER.
- 43 SHOWER NOZZLE.
- 44 FIREPLACE.
- 45 SKYLIGHT.
- 46 INSULATION PER T-24.
- 47 BUILT-IN CABINET.
- 48 EMERGENCY EXIT LADDER TO GRADE ABOVE.
- 49 NEOLITH STONE SLAB SIDING.
- 50 BOARD-FORMED CONCRETE.
- 51 FAUX WOOD ALUMINUM SCREEN.
- 52 2X WOOD VERTICAL PICKET FENCE.
- 53 TEMPERED GLASS RAIL.
- 54 BLACK METAL FASCIA.
- 55 EXTRA FASCIA OR APPROVED EQ.



CROSS SECTION 2  
SCALE: 1/4" = 1'-0"



CROSS SECTION 1  
SCALE: 1/4" = 1'-0"



California Coastal Commission  
LONG SECTION 3  
5-19-1220



**LANEY LA**  
LIFESTYLE + ARCHITECTURE

PROJECT NAME  
DENNIS RESIDENCE

PROJECT NUMBER  
18150

CLIENT  
GEORGE AND TALLIE DENNIS

PROJECT ADDRESS  
3305 HIGHLAND AVE.  
HERMOSA BEACH, CA 90254

ARCHITECT  
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LANEY LA, INC.  
13110 HAWTHORNE BLVD.  
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(310) 498-2455  
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MARK DATE DESCRIPTION

MARK	DATE	DESCRIPTION

PROJECT NO.  
MODEL FILE:  
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SHEET TITLE  
SECTIONS

**A.300**



# **WATER USE CALCULATIONS:**

LOT AREA: 3,302 SF  
BLDG FOOTPRINT: 1,488 SF  
DRIVEWAY: 252 SF

## **LANDSCAPE/HARDSCAPE AREA**

= LOT-BLDG FTRPT  
= 3,302 SF - 1,488 SF  
= 1,814 SF

## **REQUIRED PERMEABLE (50%)**

= 1,814 SF X .50(50%)  
= 907 SF

PROVIDED PERMEABLE  
= 950 SF  
= 950 SF > 907 SF

## **LANDSCAPE CALCULATION**

### **TOTAL PERMEABLE / LANDSCAPE**

= 950 SF

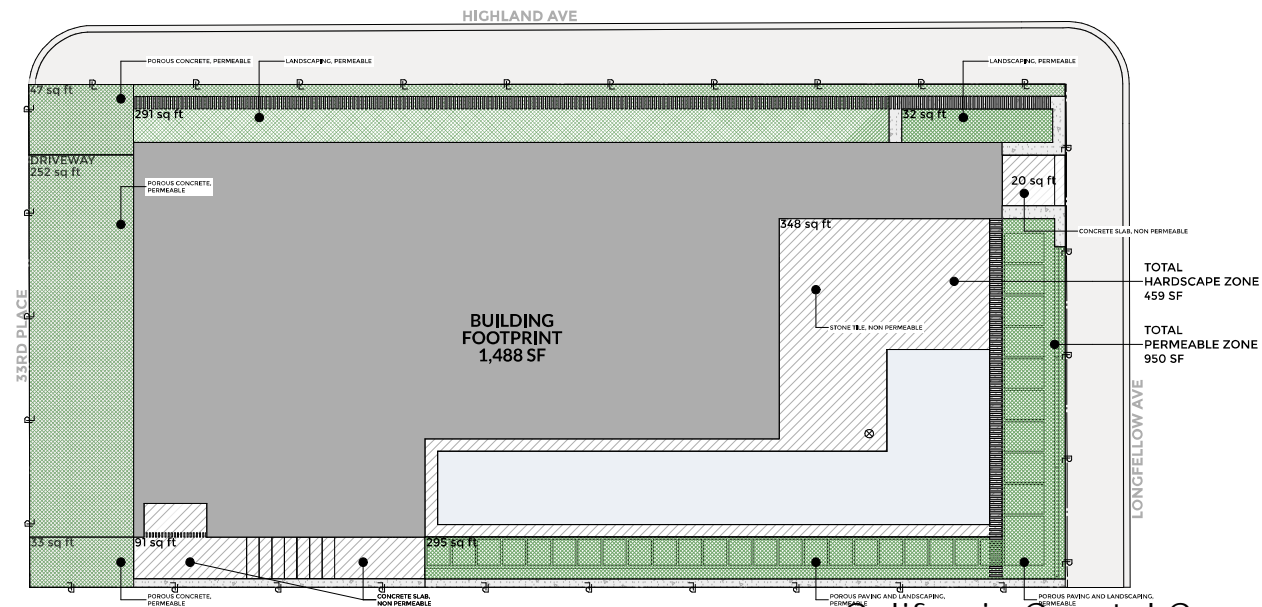
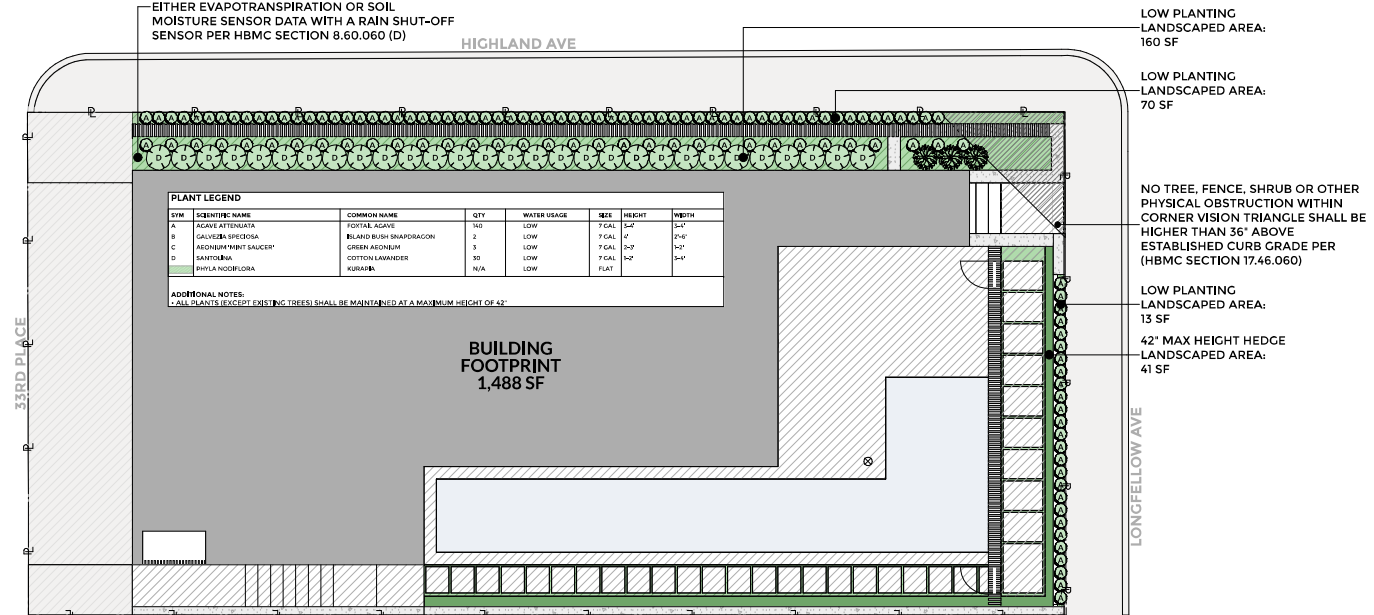
### **PERMEABLE AREA**

= 627 SF

### **LANDSCAPED AREA**

= 323 SF

ALL LANDSCAPED AREAS ARE TO BE IRRIGATED WITH AN AUTOMATIC IRRIGATION SYSTEM USING EITHER EVAPOTRANSPIRATION OR SOIL MOISTURE SENSOR DATA WITH A RAIN SHUT-OFF SENSOR PER HBMC SECTION 8.60.060 (D)



**LANEY LA**  
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**SHEET TITLE**  
**LANDSCAPE PLAN**

California State Commission  
5-19-1220

Exhibit 2  
Page 6 of 7

**L.100**

