

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
301 E. OCEAN BLVD., SUITE 300
LONG BEACH, CA 90802-4830
(562) 590-5071



F10c

A-5-LGB-20-0003 (Knudson)

November 19, 2021

EXHIBITS

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Exhibit 2 – Proposed Project Plans

Exhibit 3 – Excerpts From Original Construction Plans (1968)



Main Beach

Laguna Beach

Project Site



California Coastal Commission
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Exhibit 1
Page 1 of 2

Figure 1: Vicinity Map

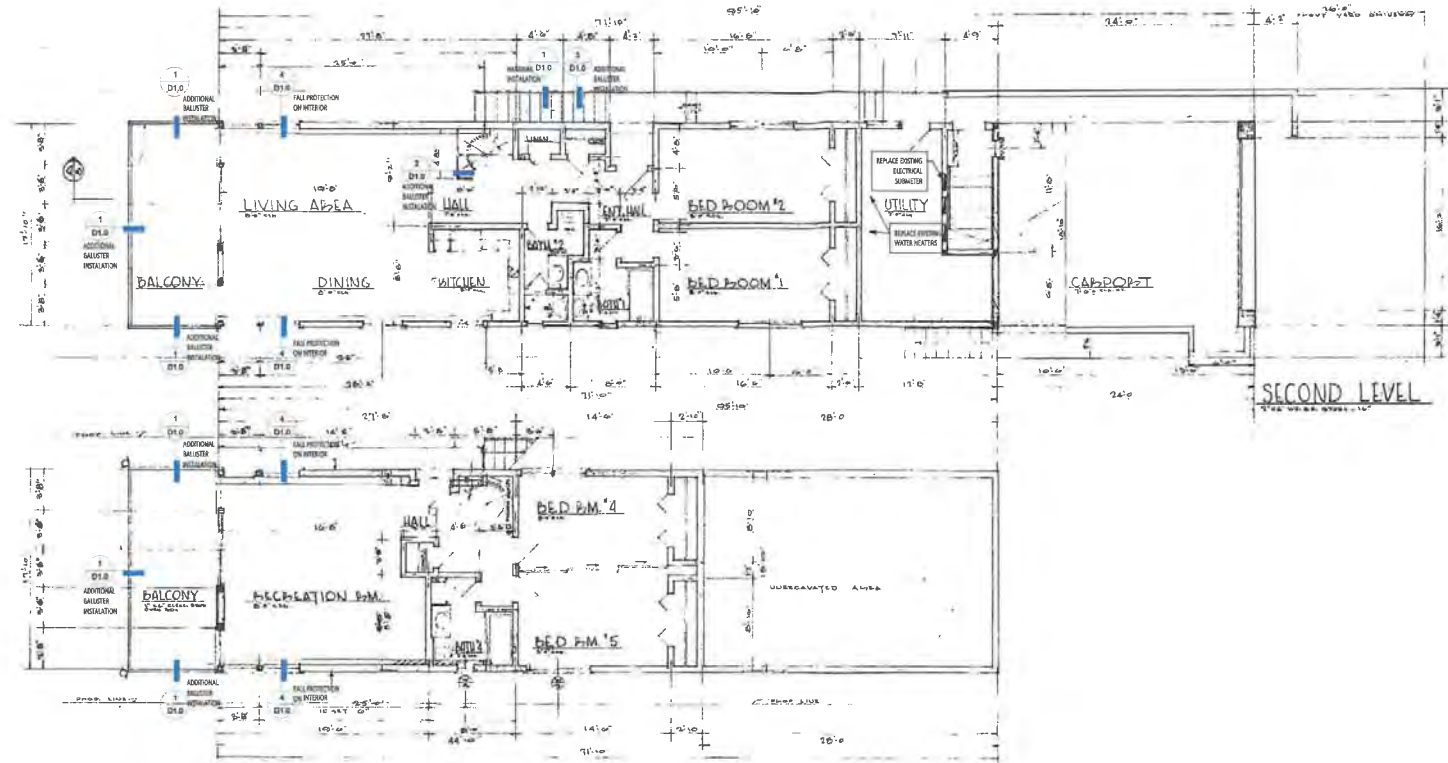


California Coastal Commission
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Exhibit 1
Page 2 of 2

Figure 2: Project Site

S1	LOFT FRAMING PLAN & DETAILS
S2	PLANS & DETAILS & STRUCTURAL GENERAL NOTES

5-LGB-20-0019



1 UNIT 2 FLOOR PLANS
3/8" = 1'-0"

FLOOR PLAN LEGEND

	NEW CONC. WALL, REFER TO STRUCTURAL
	NEW 2x6 WOOD STUD WALLS
	NEW 2x4 WOOD STUD WALLS
	1HR FIRE RATED
	DOOR TAG
	WINDOW TAG
	EGRESS SYMBOL
	TEMPERED GLAZING
	KEYNOTE
	ELEVATION CALLOUT
	SECTION CALLOUT

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RHODES FAMILY TRUST

RHODES DUPLEX
1045 GAVIOTA DR.
LAGUNA BEACH, CA
APN # 644-076-05
SAFETY UPDATES

PRINCIPAL: HOMER OATMAN
PROJECT DIRECTOR: CORY ADAMS
PROJECT DESIGNER: BEHTASH AZAR

PROJECT NUMBER: 2019006

SUBMITTAL:	DATE	DESCRIPTION
06/25/19		FIRST CITY REVIEW
06/26/19		PLANNING / CDP SUBMITTAL
08/21/19		PLANNING / CDP SUBMITTAL 2

REVISION:	NO.	DATE	DESCRIPTION

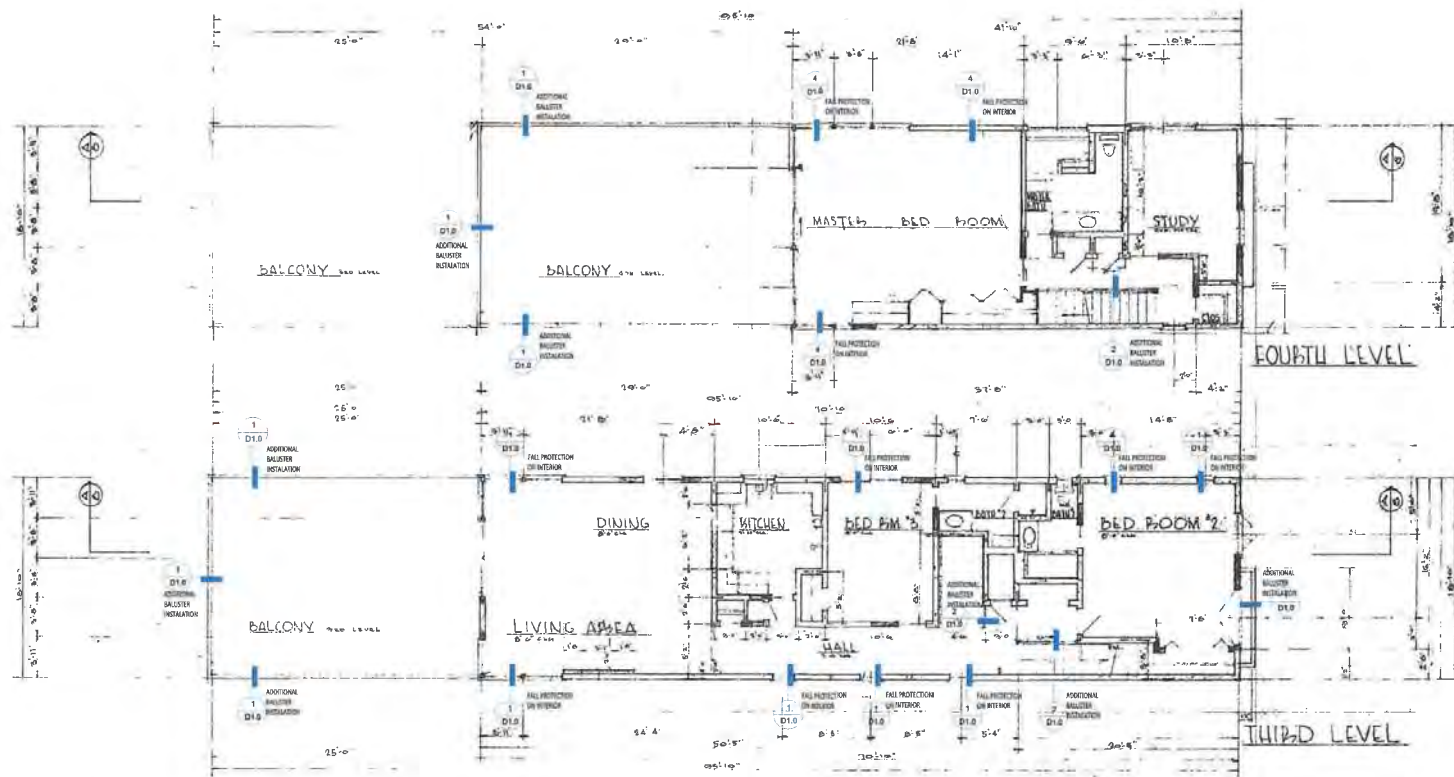
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Scale: See individual task or task drawings, except as noted.

LOWER LEVEL FLOOR PLANS

A3.1



1 UNIT 1 FLOOR PLANS
3/16" = 1'-0"

FLOOR PLAN LEGEND	
	NEW CONC. WALL, REFER TO STRUCTURAL
	NEW 2x6 WOOD STUD WALLS
	NEW 2x4 WOOD STUD WALLS
	1HR FIRE RATED
	DOOR TAG
	WINDOW TAG
	EGRESS SYMBOL
	TEMPERED GLAZING
	KEYNOTE
	ELEVATION CALLOUT
	SECTION CALLOUT


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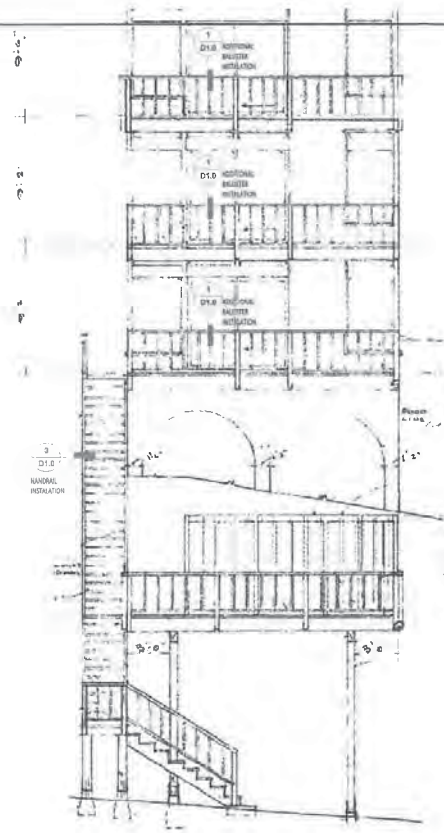
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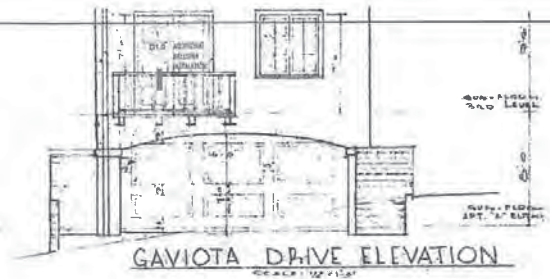
NOTE: THE ORIGINAL SET OF THIS PROJECT'S PERMIT IS KEPT HERE.

UPPER LEVEL FLOOR
 PLANS
A3.2

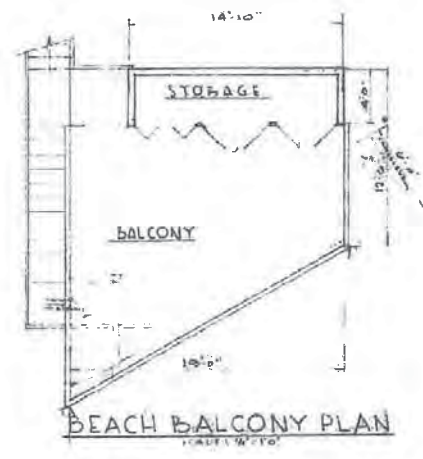


WEST ELEVATION
SCALE: 1/8" = 1'-0"

1 EAST & WEST ELEVATIONS
1/8" = 1'-0"



GAVIOTA DRIVE ELEVATION
SCALE: 1/8" = 1'-0"



BEACH BALCONY PLAN
SCALE: 1/8" = 1'-0"

ELEVATION LEGEND

---	PROPERTY LINE
---	SETBACK LINE
---	NATURAL GRADE/HEIGHT LIMIT
◆	KEYNOTE
SM	DETAIL CALLOUT

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NOTE: THE PROJECT IS NOT TO BE CONSIDERED A PERMIT.

EXTERIOR
ELEVATIONS

A6.0



1 NORTH ELEVATION
1/8" = 1'-0"

ELEVATION LEGEND

	PROPERTY LINE
	SETBACK LINE
	NATURAL GRADE/HEIGHT LIMIT
	KEYNOTE
	DETAIL CALLOUT



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NOTE: THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE FOLLOWING:

EXTERIOR
ELEVATIONS

A6.1

California Coastal Commission

A-5-LGB-20-0003

Exhibit 2

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TOP OF COL LINE - MASTER PLAN

1st LEVEL AUP - FLOOR 2

2nd LEVEL AUP - FLOOR 3

3rd LEVEL AUP - FLOOR 4

4th LEVEL AUP - FLOOR 5

1 SOUTH ELEVATION
1/8" = 1'-0"

ELEVATION LEGEND

- PROPERTY LINE
- SETBACK LINE
- NATURAL GRADE/HEIGHT LIMIT
- KEYNOTE
- DETAIL CALLOUT



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NOTE: THE ORIGINAL SET OF PERMITTED SHEETS IS KEPT AT:

EXTERIOR
ELEVATIONS

A6.2



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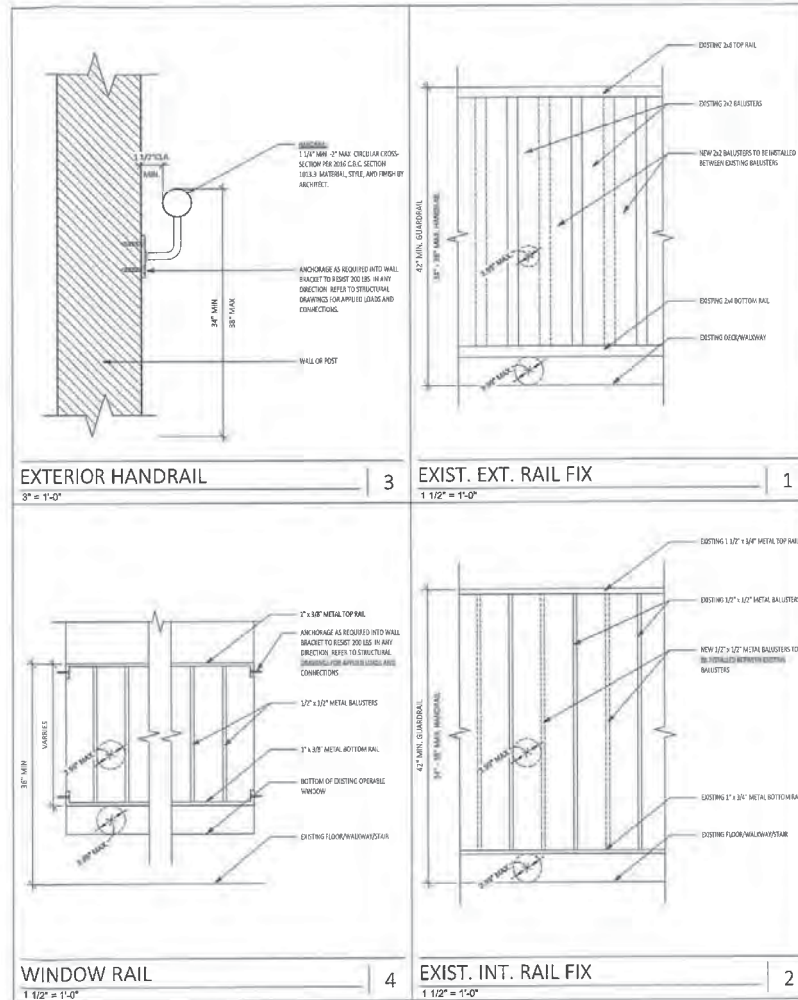
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NOTE: THE ARCHITECT'S WORK IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT WRITTEN PERMISSION.

DETAILS

D1.0



(N) BM TO (E) COL	N.T.S.	(N) BM TO (E) BRACE	DETAIL	DAMAGED BEAM	1
					2
GUARDRAIL DETAIL	N.T.S.			DAMAGED BEAM	2
					3
				DAMAGED JOIST CONN.	3
					4
				DAMAGED GUARDRAIL.	4

OWNER / APPLICANT

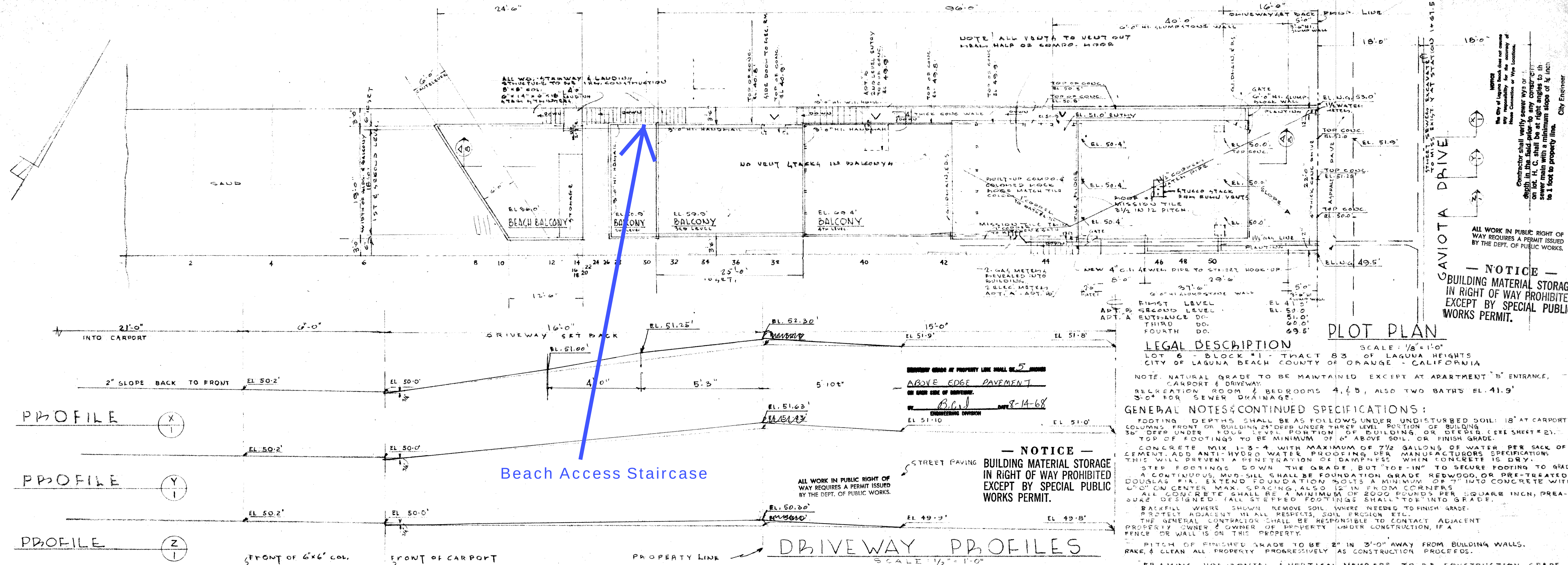
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LAGUNA BEACH, CA 92651
PLANS & DETAILS
STRUCTURAL GENERAL NOTES

WILLIAM SIMPSON & ASSOCIATES, INC.
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23 ORCHARD, SUITE 200
LAKE FOREST, IL 60045
P (848) 206-8929
F (848) 206-8905
www.williamsimpson.com



DATE: 04/25/19
BY: A. HONAT
CHECKED: C. HONAT
DESIGNED: M. JAFFAR
SCALE: AS SHOWN
SHEET: 04/25/19

7264
S-2



Beach Access Staircase

ROOM FINISH SCHEDULE APT. "A"

ROOM	FLOOR	WALLS	CEILING	CASING	BASE	WAINSCOT	PAINT			WOODWORK	REMARKS
ENTRANCE DECK	TERRAZZO AT ENTRANCE, WALK CONC. KIDNEY COLOR	EXT. STUCCO	NONE	2" x 2" AROUND DOORS & WINDOWS	NONE	NONE	WALLS: COLOR IN STUCCO	CEILING: NONE	1 COAT FLAT 2 COATS ALKYD FLAT ENAMEL	FRONT DOOR GLAZE ANTIQUE FINISH (IF NOT PRE-FINISHED) HARDWOOD, OTHER STAIN. GLAZE APT. B & REC RM. DOORS.	
CARPORT	TERRAZZO AT ENTRANCE, WALK CONC. KIDNEY COLOR	DO.	EXP. PARTS & SHEATHING	NONE	DO.	DO.	DO.	2 COATS HEAVY OLYMPIC STAIN	DO.		
ENTRANCE STAIR	TERRAZZO AT ENTRANCE, WALK CONC. KIDNEY COLOR	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
ENTRANCE HALL	CARPET OVER HEAVY PAD DO. PLYWOOD SUB.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
LIVING AREA	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
DINING AREA	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
BED ROOM #2	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
BED ROOM #3	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
CLOSETS	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
KITCHEN	QUALITY EQUAL TO KENTILE VINYL MODA MODERNA	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
BATH #1	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
BATH #2	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
STAIR HALL	CARPET HEAVY PAD	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
MASTER B.D.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
STUDY & CLOSET	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
MASTER BATH	HEAVY CARPET PAD AND CERAMIC TILE	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
FURNACE CLOS.	PLY. SUB. FL.	ACOUSTICAL PLATE, HEAVY TEXTURE	ACOUSTICAL PLATE, HEAVY TEXTURE	NONE	NONE	NONE	NONE	NONE	DO.		
UTILITY RM.	VINYL MODERNA	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
RECREATION RM.	CARPET HEAVY PAD	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
HALL	VINYL KENTILE MODA MODERNA OR EQUAL	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
BED RM. #4	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
BED RM. #5	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
CLOSETS	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
BATHROOM #4	VINYL KENTILE MODA MODERNA OR EQUAL	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		

FRONT DOOR CHIMES "NUTONE" L-28 ACCESS-BUILT TWO NOTES WITH 3" X 8" CUT OUT, 6" H. HOUSING 2" DEEP KNOCK OUTS. NUTONE P.B. GL. SILVER, WITH LIGHT IN CHIME PUSH BUTTON AT FRONT DOOR.

MAIL BOX, PURMA-BILT -- "P.O. 13" X 16" 7/8" P.O. 14 1/8" X 18 1/4" X 210-3 ACCESS MODEL NOTE PUSH BUTTON FROM EACH APARTMENT TO BOX & INTERCOM. SHALL BE INSTALLED WITH THIS UNIT.

PRE-FABRICATED FIREPLACE SHALL BE INSTALLED ACCORDING TO LOCAL CODE.

ALL CONCRETE FLAT WORK SHALL BE COLORED, KENAMARK CONCRETE STAIN AS PER MANUFACTURER'S SPECIFICATIONS.

ALL MASONRY WALLS ADJACENT TO BUILDING WHERE BACK FILL OCCURS SHALL BE COATED WATER-PROOFED WITH ASPHALT PREPARATION ON FILL SIDE.

PROTECT ALUMINUM FRAMES ETC. WITH ACKER & ACKER INC. MAGIC SPRAY MASK. METAL, GLASS & W.D.

FRONT DOOR THRESHOLD ALL ENTRANCES SHALL BE "HOME WEATHERSTRIP #200 AB (449 B) V" MULTIFLEX WITH INTER-LOCK JAMB. & HEAD WEATHERSTRIP

FIBERGLASS INSULATION TO BE INSTALLED AS FOLLOWS: UNDER FIRST LEVEL SUB-FLOOR, STAPLE BATTENS TO FLOOR JOISTS - 4" THICK BATTENS.

ALL OTHER LEVELS TO HAVE 2" THICKNESS OF FIBER GLASS INSULATION BETWEEN FLOORS AS EXPOSED WOOD. INSTALL 3/4" THICK RIGID FIBERGLASS UNDER ALL FLOOR JOISTS BEFORE DRYWALL MATERIAL & AC-CUSTICAL CEILING IS BLOWN ON. SEE DETAIL (7)

TELEVISION CABLE FROM TV RECEPT. TO CONDUIT-TRANCE ON ROOF SHALL BE HEAVY DUTY, STENO SPRAYED TO BE WIND AFTER, FRAMING & BRACKET OUTER DRYWALL IN APT. A & B GARAGE.

GROUT SILLS AS REQUIRED FOR FIRM BEARING

EAVES MUST CLEAR PROPERTY LINE BY 30"

20% MAXIMUM GRADE GARAGE FLOOR TO PROPERTY LINE

NOTE: CONSULT BUILDING DEPARTMENT PRIOR TO PLACING OR CEMENTING ANY EARTH OR DEBRIS UPON ANY CUT OR FILL SLOPE. COPY OF GRADING ORDINANCE 440 AVAILABLE AT BUILDING DEPARTMENT.

NOTE: COMPLIANCE WITH SECTION 2802 OF THE UNIFORM BUILDING CODE MUST BE STIPULATED AND/OR SPECIFIED BEFORE FOOTING TRENCH INSPECTION WILL BE MADE.

LIVING AREA 4332 &
DECK 716 &
CARPORT 403 &

YOUR ATTENTION IS CALLED TO SEC. 315-B-UPC

ENCL. 59 GLASS OF THE U. B. C., 1964 EDITION

LEGAL DESCRIPTION

LOT 6 - BLOCK 1 - TRACT 83 OF LAGUNA HEIGHTS CITY OF LAGUNA BEACH COUNTY OF ORANGE - CALIFORNIA

NOTE: NATURAL GRADE TO BE MAINTAINED EXCEPT AT APARTMENT "B" ENTRANCE, RECREATION ROOM & BEDROOMS 4 & 5, ALSO TWO BATHS EL. 41.9' 3.0' FOR SEWER DRAINAGE.

GENERAL NOTES & CONTINUED SPECIFICATIONS:

FOOTING DEPTHS SHALL BE AS FOLLOWS UNDER UNDISTURBED SOIL: 18" AT CARPORT, 24" UNDER 24" DEEP UNDER THREE LEVEL PORTION OF BUILDING, OR DEEPER (SEE SHEET #2). 36" DEEP UNDER FLOOR LEVEL PORTION OF BUILDING, OR DEEPER (SEE SHEET #2). TOP OF FOOTINGS TO BE MINIMUM OF 6" ABOVE SOIL, OR FINISH GRADE.

CONCRETE MIX 1-3-4 WITH MAXIMUM OF 7 1/2 GALLONS OF WATER PER SACK OF CEMENT. ADD ANT-HYDRATE WATER. PROOFING SPECIFICATIONS: THIS WILL PREVENT A PENETRATION OF DAMPNESS WHEN CONCRETE IS DRY.

STEP FOOTINGS DOWN THE GRADE, BUT "TOP-IN" TO SECURE FOOTING TO GRADE. A CONTINUOUS, MUD-SILL SHALL BE FOUNDATION GRADE REDWOOD, OR PRE-TREATED, DOUGLAS FIR, EXTEND FOUNDATION BOLTS A MINIMUM OF 2" INTO CONCRETE WITH 4" ON CENTER MAX. SPACING. ALSO 2" IN FROM CORNERS.

ALL CONCRETE SHALL BE A MINIMUM OF 2000 POUNDS PER SQUARE INCH, PRE-SURE DESIGNED. (ALL STEPPED FOOTINGS SHALL "TOP-IN" TO GRADE.)

BACKFILL WHERE SHOWN REMOVE SOIL, WHERE NEEDED TO FINISH GRADE. PROTECT ADJACENT IN ALL RESPECTS, SOIL PROTECTION ETC.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ADJACENT PROPERTY OWNER & OWNER OF PROPERTY UNDER CONSTRUCTION, IF A FENCE OR WALL IS ON THIS PROPERTY.

PITCH OF FINISHED GRADE TO BE 2" IN 3'-0" AWAY FROM BUILDING WALLS. RAKE & CLEAN ALL PROPERTY PROGRESSIVELY AS CONSTRUCTION PROCEEDS.

FRAMING HORIZONTAL & VERTICAL MEMBERS TO BE CONSTRUCTION GRADE LUMBER, OR BETTER, FREE OF TERMITES, ROT, MOLD, OR AN ABUNDANCE OF KNOTS, LOOSE, OR OTHERWISE, UNLESS OTHERWISE SPECIFIED ON PLANS. DIAGONAL BRACE AT ALL CORNERS, WHERE POSSIBLE AND WITHIN EVERY 25' DIAGONAL FEET, OR AS SHOWN ON PLANS. ELEVATION SHALL BE TOP PLATE SPACING 4'-0" MINIMUM. ALL INTERIOR WALLS TO BE DIAGONAL SPACED, WHERE THERE ARE NO SHEAR WALLS, FIRE BLOCK HALF WAY UP WALL BETWEEN FLOOR & CEILING.

SHEAR WALLS, AS INDICATED ON PLANS, & ELEVATIONS SHALL BE 3/4" PLYFORM BLOCK AND NAIL ALL 16" O.C. IN FIELD.

EXPOSED LINTELS, OUTRIGGERS, BEAMS, ROOF JOISTS, RAFTERS, COLUMNS, OR OTHER MEMBERS UNLESS OTHERWISE SPECIFIED, SHALL BE ON SELECT QUALITY, OR SELECT STRUCTURAL, WITH FEW KNOTS, AND MUST BE TIGHT.

DRYWALL OR LATH & PLASTER, FOR INTERIOR FINISH, INSTALLED, OR MIXED, AND TRIMMED AS PER LOCAL CODE. (SEE SPECIFICATIONS.)

ALL EXTERIOR STUCCO SHALL BE MIXED & TROWELED AS PER LOCAL CODE. (SEE SPECIFICATIONS.) EXTERIOR STUCCO COLOR TO BE CHOSEN BY COLOR CONSULTANT. A SAMPLE WILL BE SHOWN BEFORE PROCEEDING.

ALL ELECTRICAL WORK & PLUMBING WILL BE CARRIED THROUGH AS PER LOCAL CODE. ALL ELECTRICAL CONVENIENCE OUTLETS IN WALL SHALL BE 6" ABOVE FLOOR EXCEPT THOSE NOTED ON PLANS.

LUMBER - FUEL GAS KEY FOR FIREPLACE OR OTHER SHALL BE 6" ABOVE FLOOR ROOF. MISSION TILE COVER ALL AREAS INDICATED ON DRAWINGS AS FOLLOWS: SAN VALLE CLAY MISSION TILE - 18" LONG, 7/8" AT LARGE END TAPERED TO 6" AT SMALL END. TILE TO BE LAYED FROM MAIN PARTS OR DEFECTS IMPAIRING THE DURABILITY OF THE TILE. TILE TO BE FLUSHED FROM BACK THROUGH RED, BROWN, THE TILE FASTENERS SHALL CONNECT EVERY TILE. (FINISH G.I. OR COPPER TILE TIES.)

ROOFING FELT: 2 LAYERS 30" FELT HOT MOPPED BETWEEN, AND ON TOP OF LAYERS. SHEET METAL FLASH WHERE SHOWN ON DRAWINGS.

APPLICATION: SWEEP ROOF SURFACE CLEAN. COVER KNOT HOLES WITH TIN. LAY ROOF FELT AT RIGHT ANGLE TO GABLE, LAP FELT MIN OR 12" HOT MOP SOLIDLY 25" PER SQUARE, APPROX. BETWEEN LAYERS. BLIND NAIL WITH LARGE HEADED GALV. ROOFING NAILS. CLAY ROOF TILE SPACING 10 1/2" O.C. AND EXPOSED NOT TO EXCEED 4". DO NOT LAY UP COVER TILE VARY EXPOSURE FROM 2" TO 4" BREAKING ALL HORIZONTAL LINES. USE 10 PERCENT EXTRA COVER TILE FOR VARIANCE IN EXPOSURE. (TILES CAN BE IRREGULAR.)

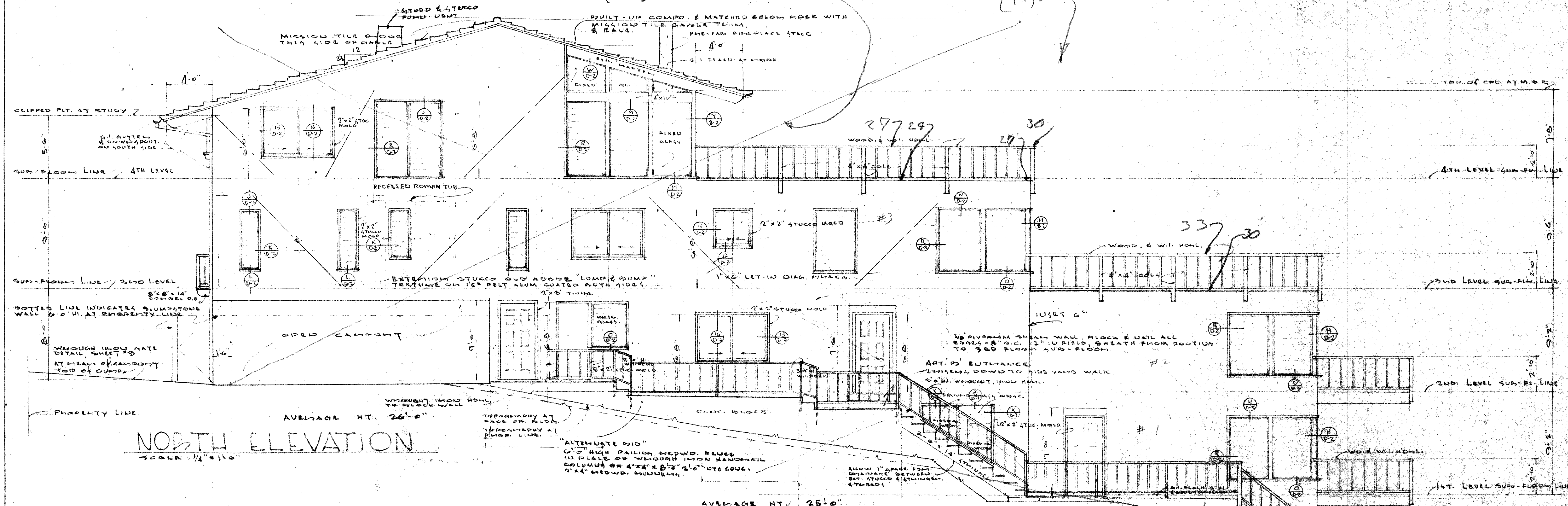
EQUIPMENT: KITCHEN DISHWASHER TO BE GAFFER & SATER DELUXE WITH (JET RINCE) GARBAGE DISPOSAL TO BE WASTE KING HUSH MODEL #7000. RANGE TOP TO BE GAFFER & SATER GAS 27" WIDE, OVEN TO BE GAFFER & SATER 2 OVEN "GALA" WITH BLACK GLASS DOORS, APARTMENT "B" RANGE SHALL BE 30" MODERN MAID CLEAN A-MATIC TOWN HOUSE SERIES WITH BLACK GLASS DOOR. 20" DEEP 30" KITCHEN SINK TO BE WOOD BRASS WITH 1/2" HOLES. SEE INTERIOR ELEVATIONS FOR WIDTH. NUTONE BUILT-IN FOOD CENTER #200N WATER CLOSET SEATS THROUGHOUT SHALL BE OLSONITE SOLID, WHITE #40 PLUMBING: MASTER BATH APT. "A" WATER CLOSET KOHLER OF KOHLER CHAMPLAIN IC-3290 EBA WHITE SEAT K-4690 - LAV TO BE CRANE OVAL TIARA UNDER COUNTER MOUNTED, 10" X 16" WHITE, HARCRAFT CRYSTAL-GLO GOLD FINISH WIDE SPREAD LAVATORY FAUCET, ROMA TEECESS TUB 20" VALVE DIVERTERS TO HOT & COLD WATER. LOWER HEAD ARM, PLAN 4. DIVERTER SPURT - GOLD FINISH. 20-4008 WITH DDD UNIONS. 20-4048 WITH 1/2" NOMINAL DIRECT SWEAT, LESS UNION, TUB STOPPER AND OVERFLOW TO BE GOLD FINISH COORDINATED FOR A 2'-0" DEEP TUB. TUB TO BE OF CERAMIC TILE FINISH (SEE INTERIOR ELEVATIONS.) A GALVANIZED 16 GAUGE LINING SHALL BE UNDER CERAMIC TILE, HOT MOP BELOW LINING.

BEACH FRONTAGE DUPLEX for Mr. EARL S. FAIRBANK 1045 GAVIOTA DR. LAGUNA BEACH, CALIFORNIA

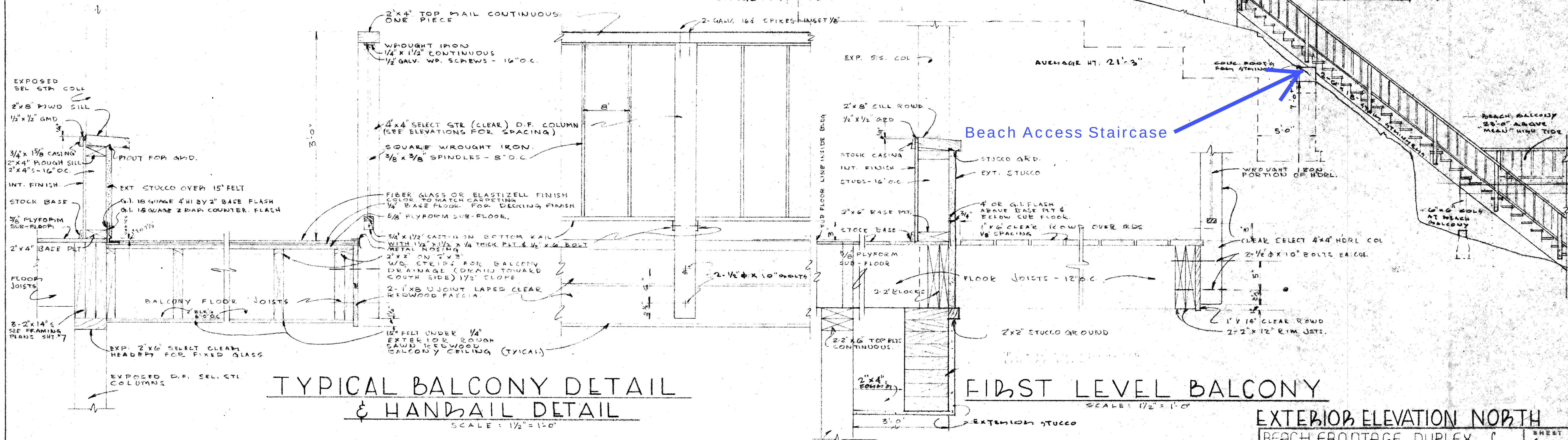
BRENT S. TOREY A. I. B. D. building designer
SUZETTE M. DARNEY, color interiors and decor
STUDIO 1120 CAROLITA STREET LAGUNA BEACH, CALIFORNIA

1 of 11
2-1-68
SCALE
AS NOTED

32 (34) (41)



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



TYPICAL BALCONY DETAIL
& HANDRAIL DETAIL
SCALE: 1/2" = 1'-0"

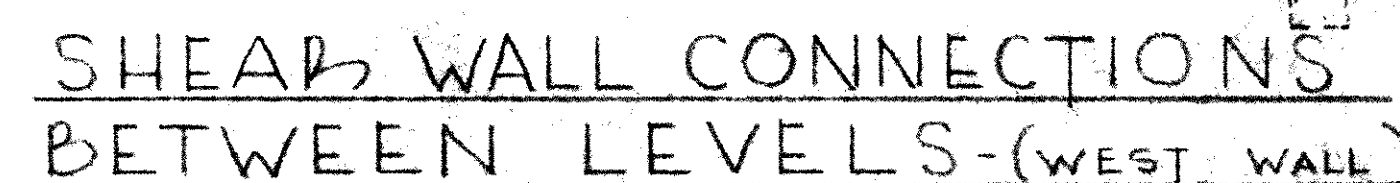
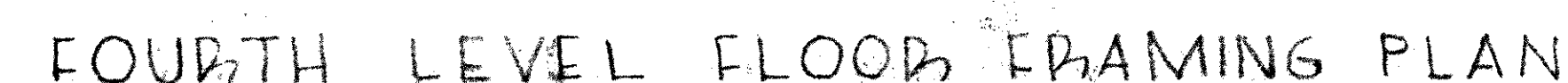
FIRST LEVEL BALCONY
SCALE: 1/2" = 1'-0"

EXTERIOR ELEVATION NORTH

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The acceptance and/or use of this drawing shall be construed as an acceptance of the foregoing conditions and as an admission of the exclusive ownership in and to this drawing of BRENT S. TOBEY, designer of same.

BEACH FRONTAGE DUPLEX for		SHEET 11
MR. EARL S. FAIRBANK 1045 GAVIOTA DR. LAGUNA BEACH CALIFORNIA		
BRENT S. TOBEY A. I. B. D., building designer		1-31-68
SUZETTE M. DABNEY, color interiors and decor.		SCALE
STUDIO 1320 CARMELITA STREET LAGUNA BEACH CALIFORNIA		AS NOTED



- Beach Access Staircase

EXTERIOR ELEVATIONS WEST & EAST

BEACH FRONTAGE DUPLEX
Mr. EARL S. FAIRBAIN 1045 GAVIOTA DR.
LAGUNA BEACH CALIFORNIA

BRENT S. TOBEY A. B. D. building designer
SUZETTE M. DABNEY, color - interiors and decor.
STUDIO 1320 CARMELITA STREET
LAGUNA BEACH CALIFORNIA

SHEET
7 of 7
SCALE
AS NOTED