

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
301 E. OCEAN BLVD, SUITE 300
LONG BEACH, CA 90802-4325
VOICE (562) 590-5071
FAX (562) 590-5084



Click here to go
to staff report

W15c

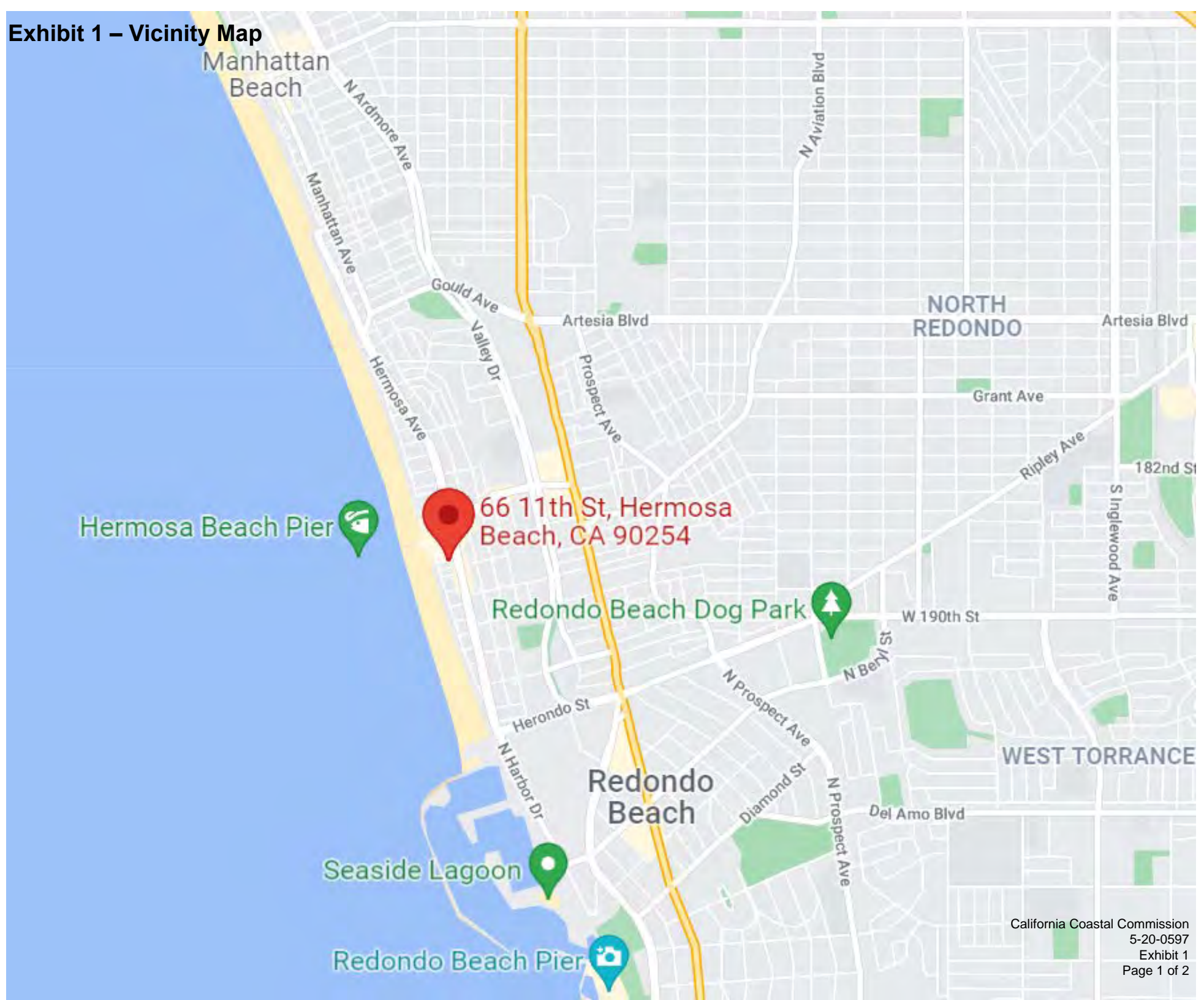
5-20-0597 (Franco)

DECEMBER 2, 2021

EXHIBITS

Exhibit 1 – Vicinity Map.....	2
Exhibit 2 – Unpermitted Development	4
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Exhibit 1 – Vicinity Map



66 11th St

Vicinity Map

Legend

66 11th St

Clothing

Golden Coast

66 11th St

Crafty Minds Brews + Bites

Sea Sprite

Hermosa Beach Volleyball

Brother's Burritos

11th St

11th St

Parking Lot A

Beach Dr

ie's Pizzeria

Google Earth

Data USGS

California Coastal Commission

5-20-0597

Exhibit 1

Page 2 of 2

100 ft

September 13, 2021

Chloe Seifert
Coastal Program Analyst
California Coastal Commission
301 E. Ocean Blvd., Suite #300
Long Beach, CA 90802

RE: Application No. 5-20-0597 (66 11th Street, Hermosa Beach, Los Angeles County

Dear Ms. Seifert:

This will help you understand and clarify the timeline in which the construction, permits that were approved and inspections by the city of Hermosa Beach at 66 11th Street, Hermosa Beach.

- 1) On July 10th, 2019 plans were approved and given back for new façade remodel and rooftop deck. **Permit #B16-00386**. This permit allowed us to remove the tile in front of the building, repaint the building and add metal awnings to the front of the building to give it the modern look. The roof was removed on both buildings to add rooftop deck. Once we removed the roof from the rear building. The architect and engineer came back out to do calculations. They made the determination to stop work to recalculate the engineering. They felt the rear building was not safe in its present condition to continue the construction of the roof top deck. That building was left alone until we got revised plans, engineering and calculations resubmitted for approval.
- 2) On November 19th, 2019 plans for the outside ADA bathroom were approved **Permit #B19-00426**.
- 3) On July 21st, 2020 we had a Zoom meeting with the architect and city officials to discuss the rear building being a hazard and unsafe to the surrounding neighbors it could collapse if left that way. This is during *corona virus*, and everyone was working from home. The building was never red tagged; it was a major concern for the city to continue with the demo of the rear building. The city didn't allow any construction to be done after the demo on the first floor of the rear building until Coastal Commission gives back the approved plans to either build back the 2 studio units or leave it as 1 handicap Ada parking and 1 parking space for hotel use.
- 4) On August 11th 2020 second revised plans were approved and given back to continue construction **Permit #B16-00386**.
- 5) On September 3rd, 2020 the rear building was demolished.
- 6) On July 29th, 2020 third revision plans were approved for a glass covering, new stair height for the middle courtyard area with new calculations. Construction material changed to glass and steel to provide a visually open covered walkway, new stairway at second floor height, and walkway bridge. The glass and steel elements are replacing your traditional wood construction. This change coincides with the modern architectural small boutique hotel which show on the city approved plans. The first floor rear of the building as you can see on

the photo is not built out yet. It's left as a shell until final Coastal Commission approval is received to keep as approved by the city as parking or to convert back to 2 studio units.

Thank you for taking the time to clarify the construction and timing of the project, I have attached the photos, permit cards and all correction notices given to us upon inspections. Please don't hesitate to call me if you have any questions (310) 629-2411.

Best Regards,

Walter Franco

CODE ENFORCEMENT
1315 VALLEY DRIVE
HERMOSA BEACH CA 90254



City of Hermosa Beach

Civic Center, 1315 Valley Drive, Hermosa Beach, California 90254-3884

000229 229 1 SP 0.500
T1 P1 *****SNGLP
FRANCO,WALTER AND SANDRA TRS
8118 VILLAVERDE DR
WHITTIER CA 90605-1337



August 11, 2020

Dear FRANCO,WALTER AND SANDRA TRS:

Recently you received a warning letter from the City of Hermosa Beach regarding operation of a short-term vacation rental at 66 11th St, Unit 106, Hermosa Beach, CA. This letter was distributed by Host Compliance, a contractor assisting the City with its short-term rental monitoring program.

Due to an error in letter recipient selection, you received the notice intended for property-owners currently operating a short-term vacation rental. If you are no longer advertising or renting your property, please disregard the notice.

We apologize for any the inconvenience and/or confusion caused because of this error.

Thank you for your understanding.

Respectfully,

City of Hermosa Beach

41093117-000229-01-01-00



CITY OF HERMOSA BEACH

1315 Valley Drive, Room 103

Hermosa Beach, CA 90254

(310) 318-0235

RESIDENTIAL BUILDING REPORT

DATE: 8-11-08	REPORT NO.: X0800138
ADDRESS: 66 11 th Street	APPROXIMATE AGE: 97
OWNER: Kopeikin Trust	BEDROOMS: At least 11
NO. OF UNITS: 11	BATHS: At least 11
LOT: NE 0.33 FT OF LOT 14 AND ALL OF LOT 15	KITCHENS: 11
BLOCK: 11	WET BAR: 0
TRACT: Hermosa Beach	PARKING SPACES ENCLOSED: 0
ZONE: C-2	PARKING SPACES OPEN: 0
USE OF RECORD: Apartment	ASSESSED LAND: \$1,634,260
LOT SIZE:	ASSESSED IMPROVEMENT: \$10,612
GENERAL PLAN DESIGNATION: General Commercial	(Information Provided by Owner/Agent)

"Errors or omissions in said report shall not bind or stop the City from enforcing any and all building and zoning codes against seller, buyer, and any subsequent owner. Said report does not guarantee the structural stability of any existing building nor does it relieve the owner, his agent, architect or builder from designing and building a structurally stable building meeting the requirements of adopted building, plumbing and electrical codes." (Ordinance No. N.S. 460)

PERMIT #:	DATE:	TYPE OF CONSTRUCTION:
573	9/1/30	Garage
3374	12/22/44	Remodel
3382	6/2/45	Remodel
3855	3/12/46	Stucco
4596	8/22/47	Alter Plumbing
5393	4/1/49	Alter Apartments
6199	2/19/51	Re-Roof
5977	11/14/57	Three Furnaces
11806	9/26/62	Sandblast front of building
8094	1/13/64	Electrical
13064	10/17/74	Water Heater
17833	12/8/78	Sandblasting
19141	2/15/83	Sandblasting
35370	5/11/87	Underground Electrical
E97-00260	12/13/99	Electrical
E99-00330	12/13/99	Electrical
<u>SEE PAGE 2</u>	<u>ATTACHED</u>	<u>FOR THE REST OF THE HISTORY</u>

OTHER:	DATE:	TYPE OF ACTION:
L-5 #14	11-15-05	Legal Determination for Two Dwelling Units at 66 11 th Street
Res P.C. 05-66	12-7-05	Validating the legality of two additional units, for a total of eleven Dwelling units – eight in the front building and three in the rear bldg.

NO. OF UNITS CONSTRUCTED BY PERMIT: _____ Records start from 1930

(Additional Information and Conditions on Page 2 of this report)

"Unless otherwise indicated in this report the inspection of the premises HAS NOT included an inspection of the interior of the premises. The permission of the owner of the property is required for the City Inspector to make an inspection of the interior premises. You have the right to require, as a condition of the purchase of the property, that the owner request an inspection by a City Inspector of the interior of the premises. This report cannot offer maximum protection without an inspection of the interior of the premises. For further information concerning the nature of this report you should read Chapter 15.44 of the City code of the City of Hermosa Beach." (Ordinance No. N.S. 460)

I certify that a complete copy of the above report, including Page Two was delivered to me prior to consummation of the agreement of sale of above described property.

Buyer

Signature

Buyer's Address

Date

THIS REPORT EXPIRES SIX MONTHS FROM DATE OF ISSUE.

ONE COPY TO: BUYER, SELLER, FILE COPY (TO BE RETURNED TO COMMUNITY DEVELOPMENT)

CITY OF HERMOSA BEACH

1315 Valley Drive, Room 103
Hermosa Beach, CA 90254
(310) 318-0235

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PERMIT #:	DATE:	TYPE OF CONSTRUCTION:
B05-00139	1-31-07	Interior remodel as needed for 3 of 11 unit apartment building.
B05-00406	1-31-07	Interior remodel (8 Units), exterior stair, roof
B05-00552	1-31-07	Remodel bathrooms/kitchens-rewire/re-plumb/new windows (8-units)
B05-00667	1-31-07	Add front & rear balconies & interior foundation
B05-00684	1-31-07	Foundation only-add construction footings under interior bearing shear walls @ interior hall & laundry room
B06-00117	5-18-06	Sandblasting & scaffolding
E05-00056	1-31-07	Interior remodel as needed for 3 of 11 unit apartment building.
E05-00219	1-31-07	Remodel bathrooms/kitchens-rewire/re-plumb/new windows (8-units)
E06-00165	6-1-06	Piggyback
M05-00065	1-31-07	2 A/C units
M05-00098	1-31-07	Remodel bathrooms/kitchens-rewire/re-plumb/new windows (8-units)
P05-00051	1-31-07	Interior remodel as needed for 3 of 11 unit apartment building
P05-00181	1-31-07	Remodel bathrooms/kitchens-rewire/re-plumb/new windows (8-units)

OTHER:	DATE:	TYPE OF ACTION:

NO. OF UNITS CONSTRUCTED BY PERMIT: _____ Records start from 1930
(Additional Information and Conditions on Page 2 of this report)

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I certify that a complete copy of the above report, including Page Two was delivered to me prior to consummation of the agreement of sale of above described property.

Buyer

Signature

Buyer's Address

Date

THIS REPORT EXPIRES SIX MONTHS FROM DATE OF ISSUE.

ONE COPY TO: BUYER, SELLER, FILE COPY (TO BE RETURNED TO COMMUNITY DEVELOPMENT)

ADDITIONAL COMMENTS:

Smoke Detectors required pursuant to Section 13113.7 of the Health & Safety Code.

Exterior Inspection Yes

Interior Inspection No

This certificate is based upon examination of Building and Zoning records of the City and an interior inspection of the property on _____ and I hereby certify that the information contained hereon, together with the attached Page 1, constitutes a complete and accurate record of the development and use of the property in question.

Signature _____

Title _____

This certificate is based upon examination of Building and Zoning records of the City and a visual inspection of the property. Seller did not authorize an interior inspection of the property. I hereby certify that to the best of my knowledge the information contained hereon, together with the attached Page 1, constitutes a complete and accurate report of the existing records of the property in question.

ROBERT ROLLINS

Signature

CODE ENFORCEMENT OFFICER

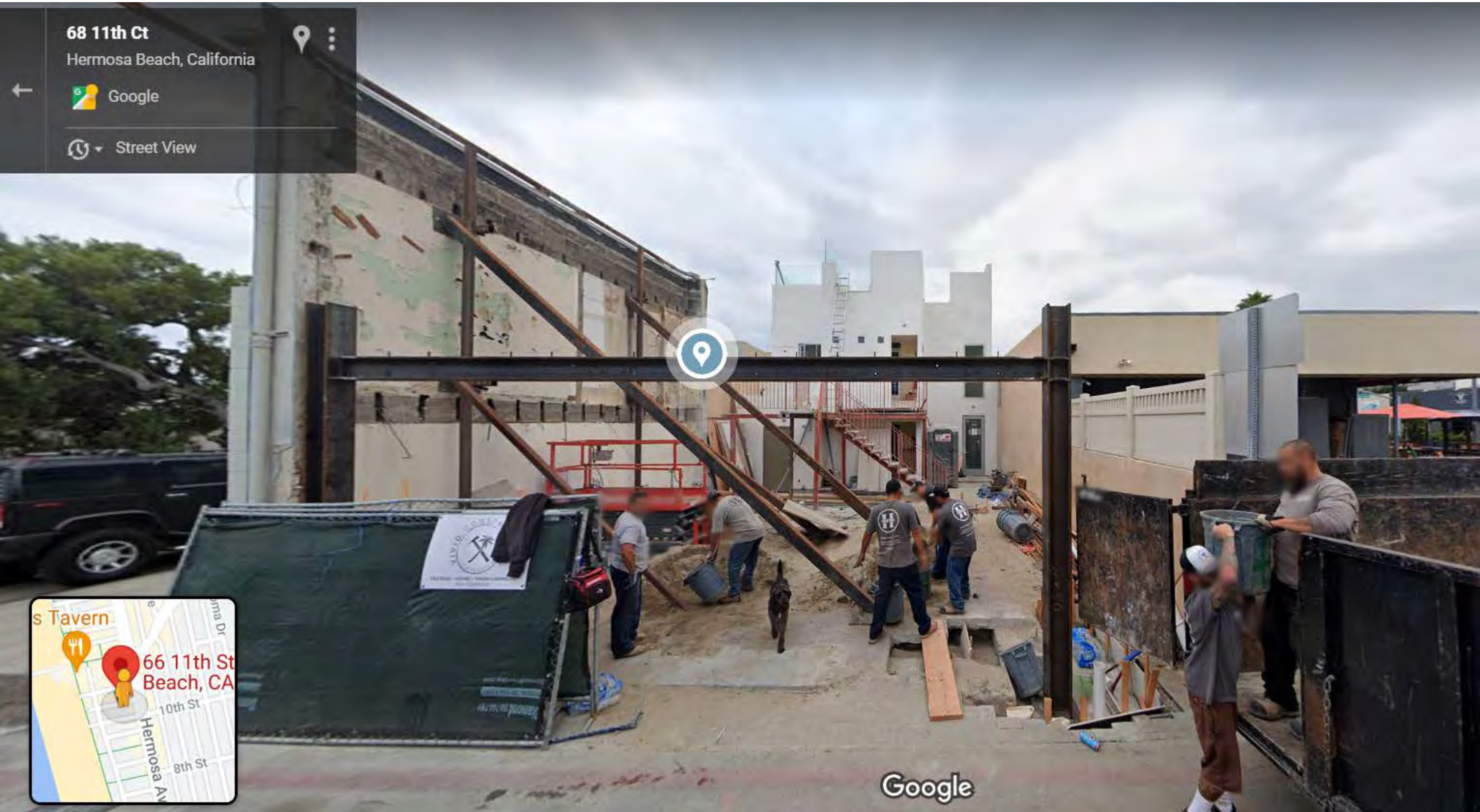
Title

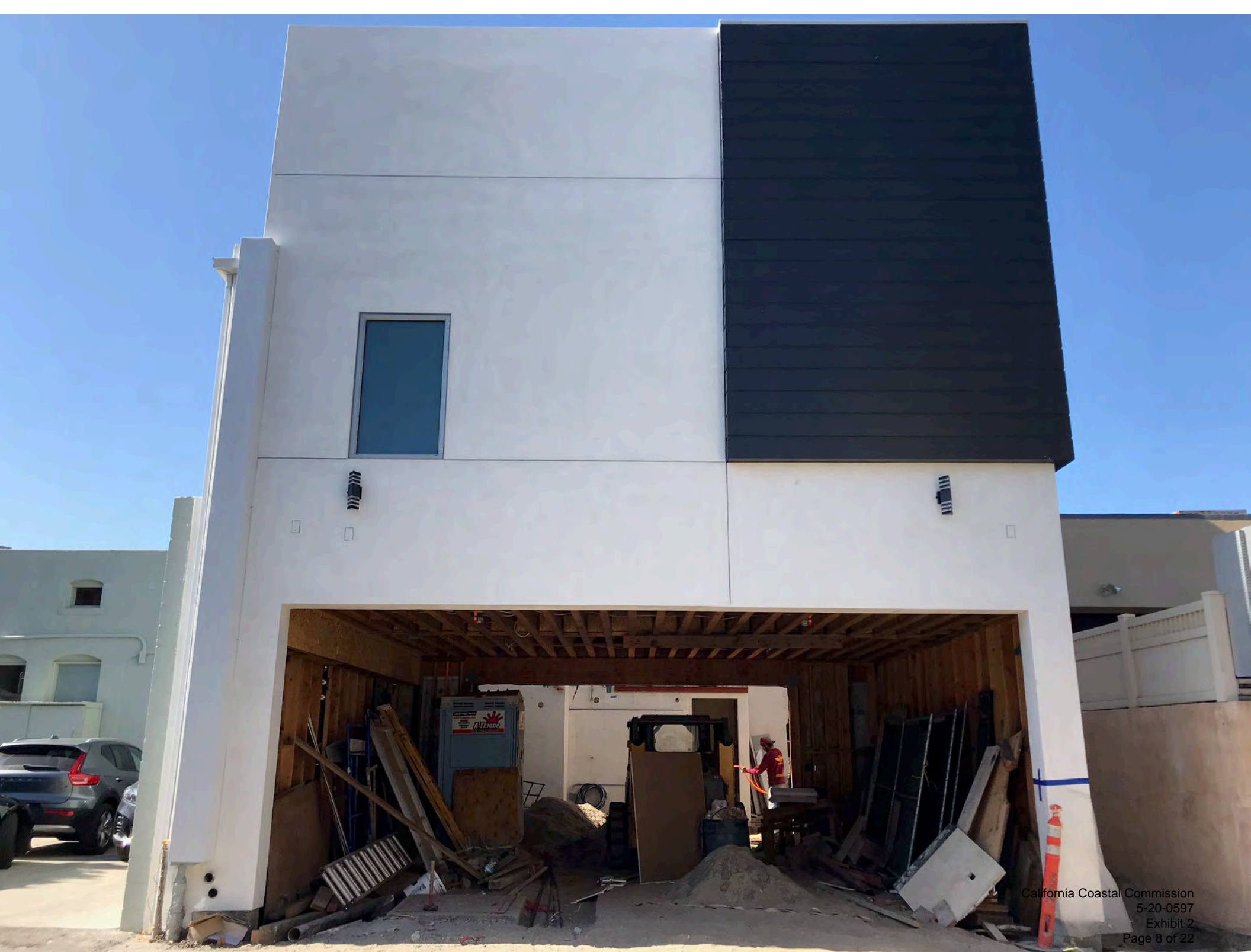
This certificate is based upon examination of Building and Zoning records of the City and a visual inspection of the property. I hereby certify that said records are incomplete and do not reflect the above-stated use of the property. It appears that there may have been construction without benefit of permit, or alterations which may be in violation of the Zoning regulations. It is recommended that further investigation be conducted.

Signature _____

Title _____

* Report does not include any reference to Public Works conditions.







#6

Waiting on Coastal Commission to approve on either build back 2 Studio Units or keep it for parking for the Hotel use.

#6 Glass covering, staircase, second floor
walkway bridge.

waiting on Coastal Commission / Code Enforcement
to allow us to continue construction.





City of Hermosa Beach
1315 VALLEY DRIVE
HERMOSA BEACH, CA 90254
BUILDING PERMIT

Job Address: 66 11TH ST
Location: 66 11th Street "Surfside Suites"
Parcel No: 4187-004-013

Record #: B16-00386

Status: Issued
Issued: 07/18/2019
Completed:
Expires: 09/11/2021

Appl Type: In House Plan Check - Alteration/Remodel

Census Class: 434- Add/ Alter Dwellings/
Pools

Description: Facade upgrade and new roof deck (1201 sq. ft.) to 11-unit
apartment building

Lot Size:

Units:

Bldgs:

Stories: 2

Valuation: \$500,000.00

Use Zone:

Owner:
FRANCO, WALTER AND SANDRA TRS
FRANCO TRUST
08118 VILLAVERDE DR
WHITTIER, CA 906050000

Phone:

Architect:

Contractor:
ICAZA CONSTRUCTION
3528 LAUREL AVENUE

MANHATTAN BEACH, CA 90266

Phone: 310-480-0385
License: 1004074

Fee Item	Unit	Item Total
Building	1.00	\$5,333.44
General Plan Maint. Fee	1.00	\$1,500.00
Building Plan Check	1.00	\$4,266.75
Fire Hydrant	1.00	\$112.89
Seismic Fees	1.00	\$65.00
BSC Admin Fees	1.00	\$20.00
Total Building Permit Fee:		\$11,298.08
Total Payments:		\$11,298.08
Balance Due:		\$0.00

*****FOR INSPECTION REQUESTS PLEASE CALL (310) 318-0218*****

I hereby certify that I have read and examined this permit and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. No person shall be allowed to perform work under this permit in violation of the labor code of the State of California. I further state that I am properly licensed as required by Section 7031.5 of the State License Business and Professionals Code (or claim exemption under Section 7044). If any subcontractors are employed on this project, I understand that I am responsible for submitting a subcontractors list before the project is finalized.

SIGNATURE OF CONTRACTOR
OR AUTHORIZED AGENT

SIGNATURE OF OWNER
(IF OWNER / BUILDER)



City of Hermosa Beach
1315 VALLEY DRIVE
HERMOSA BEACH, CA 90254
BUILDING PERMIT

Job Address: 66 11TH ST
Location: 66 11th Street
Parcel No: 4187-004-013

Record #: B19-00426

Status: Issued
Issued: 11/19/2019
Completed:
Expires: 06/16/2020

Appl Type: In House Plan Check - Alteration/Remodel

Census Class: 434- Add/ Alter Dwellings/
Pools

Description: Scope: ADA restroom on grade, remodel 2nd floor unit above
garage, structural upgrade on rear alley building, and new laundry room &

Lot Size:

Units:

Bldgs:

Stories:

Valuation: \$30,000.00

Use Zone:

Owner: FRANCO, WALTER AND SANDRA TRS FRANCO TRUST 08118 VILLAVERDE DR WHITTIER, CA 906050000 Phone:	Architect:	Contractor: ICAZA CONSTRUCTION 3528 LAUREL AVENUE MANHATTAN BEACH, CA 90266 Phone: 310-480-0385 License: 1004074
------------------------------------------------------------------------------------------------------------------------	------------	-----------------------------------------------------------------------------------------------------------------------------------------

Fee Item	Unit	Item Total
Building	1.00	\$722.24
Building Plan Check	1.00	\$2,347.79
Records Technology	1.00	\$214.90
Seismic Fees	1.00	\$3.90
BSC Admin Fees	1.00	\$2.00
Total Building Permit Fee:		\$3,290.83
Total Payments:		\$3,290.83
Balance Due:		\$0.00

*****FOR INSPECTION REQUESTS PLEASE CALL (310) 318-0218*****

I hereby certify that I have read and examined this permit and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. No person shall be allowed to perform work under this permit in violation of the labor code of the State of California. I further state that I am properly licensed as required by Section 7031.5 of the State License Business and Professionals Code (or claim exemption under Section 7044). If any subcontractors are employed on this project, I understand that I am responsible for submitting a subcontractors list before the project is finished.

SIGNATURE OF CONTRACTOR
OR AUTHORIZED AGENT

SIGNATURE OF OWNER
(IF OWNER / BUILDER)

FRAMING

Floor Joists _____
 Rough Electrical _____
 U.G. Utilities _____
 Rough Plumbing _____
 Gas _____
 Water _____
 DWV _____
 Shower Pan _____
 Rough Mechanical _____
 Platform / Access _____
 Piping _____
 Vents / Ducts _____
 Fire Sprinklers Rough 4-14-21 JA
 Roof Sheathing _____
 Height Verification _____
 Roof Insulation _____
 OK To Cover _____
 Framing _____
 Insulation _____
 Other _____
 Approved To Cover _____

★ COVER NO WORK UNTIL ABOVE IS SIGNED ★

INTERIOR

Gyp Lath _____
 Gyp Wall Board _____
 Shower Lath _____
 Other _____

EXTERIOR

Lath _____
 Veneer / Fastening _____
 Plaster _____
 Other _____

NAILING / FASTENING TO BE SIGNED BEFORE TAPE OR PLASTER APPLIED

MISCELLANEOUS

Public Works Final _____
 Sublist _____
 Planning Division Final _____
 Fire Dept. Final _____
 L.A. County Health _____

FINALS

Electrical _____
 Plumbing _____
 Gas _____
 Mechanical _____
 Gas Co. Notified _____
 Edison Notified _____
 Job Completed _____
 Certificate of Occupancy _____

Waste Recycling Report & Manifest

CC&R's Recorded

★ Post This Card in a Conspicuous Place ★

BUILDING INSPECTION CARD

CITY OF HERMOSA BEACH

COMMUNITY DEVELOPMENT DEPARTMENT

PHONE 318-0235

INSPECTION REQUESTS: 318-0218

Job Address 66 11th ST
 Owner FRANCO TRUST Phone 310 629-2411
 Lot _____ Block _____
 Tract _____
 Building Permit No. B16-00386 Date _____
 Building Contractor _____ Phone _____
 Electrical Permit No. EP-00186 Date _____
 Electrical Contractor _____ Phone _____
 Plumbing Permit No. PI9-00149 Date _____
 Plumbing Contractor _____ Phone _____
 Mechanical Permit No. MP-00111 Date _____
 Mechanical Contractor _____ Phone _____
 Sewer Permit No. _____
 Temp. Power Permit No. _____ Approved _____
 Demo Permit _____ Date _____
 Demo Contractor _____ Phone _____
 Demolition _____

FOUNDATION

Forms _____
 Steel _____
 Grade Beam _____
 UFER Ground _____
 Grout Lifts _____
 Approval to Pour _____

DO NOT POUR CONCRETE UNTIL ABOVE IS SIGNED

CONCRETE SLAB FLOOR

Steel _____
 Electrical (ground work) _____
 Plumbing (ground work) _____
 Gas Piping _____
 Other _____
 Approval to Pour _____

DO NOT POUR SLAB FLOOR UNTIL ABOVE IS SIGNED

6580773
CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST

MON. TUES. ☒ WED. THURS.

AM (9-12) PM (1-4:30)

INSPECTION REQUESTED:

Roof sheeting

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

Roof peak
structural OK

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR [Signature] DATE 11-21-15

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST

MON. TUES. WED. ☒ THURS.

AM (9-12) PM (1-4:30)

INSPECTION REQUESTED:

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

Provide structural
observation
for roof peak
floor joists

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR [Signature] DATE 10-21-15

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST

MON. TUES. WED. THURS.

AM (9-12) PM (1-4:30)

INSPECTION REQUESTED:

Extension work

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

Extension work OK
Roof peak OK

California Coastal Commission
Exhibit 2
Page 2 of 2
Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218
Please make corrections and proceed with work
INSPECTOR [Signature] DATE 12-18-15

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th St.

MON. _____ TUES. _____ WED. _____ THURS. ☒

AM _____ (9-12) PM ☒ (1-4:30)

INSPECTION REQUESTED:

~~REPAIR~~ Floor Strengthening

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

2nd Story Floor
Strengthening OK

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR PVALURS DATE 11-12-20

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th St

MON. _____ TUES. ☒ WED. _____ THURS. _____

AM ☒ (9-12) PM _____ (1-4:30)

INSPECTION REQUESTED:

PLUMBING / Electrical

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

- DECK ELECTRICAL
OK

- DECK DRILL OK

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR PVALURS DATE 10-29-20

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th St

MON. _____ TUES. ☒ WED. _____ THURS. _____

AM _____ (9-12) PM _____ (1-4:30)

INSPECTION REQUESTED:

Reign Framing & Plumbing

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

- RAIL PLUMBING
OK

Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

Please make corrections and proceed with work

INSPECTOR PVALURS DATE 11-14-20

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST.

MON. TUES. WED. THURS. ☒

AM (9-12) PM (1-4:30)

INSPECTION REQUESTED:

EXT - WATER

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

EXTENSION
WATER PROOFING
OK

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR: [Signature] DATE: 6/4/20

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST

MON. TUES. WED. THURS. ☒

AM (9-12) PM (1-4:30)

INSPECTION REQUESTED:

ELECTRICAL / MECHANICAL

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

ROUGH ELECTRICAL
OK

ROUGH MECHANICAL
OK

ROUGH PLUMBING OK

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR: [Signature] DATE: 8/3/20

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST

MON. TUES. WED. THURS. ☒

AM (9-12) PM (1-4:30)

INSPECTION REQUESTED:

EXTENSION WATER

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

EXTENSION WATER
BASE WATER PROOFING
MUST BE VERIFIED

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST

MON. TUES. ☒ WED. THURS.

AM (9-12) PM (1-4:30)

INSPECTION REQUESTED: SHOWER UNIT

Drummond / Shower Pan

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

- Drummond OK

- Shower Unit OK

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR FVAVES DATE 7-15-20

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST

MON. TUES. WED. ☒ THURS.

AM (9-12) PM (1-4:30)

INSPECTION REQUESTED: ROOF SHEDDING

Elzerman / Plumbing

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

- ROOF SHEDDING OK

- ROOF ELZERMAN OK

- ROOF PLUMBING OK

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR FVAVES DATE 7-13-20

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST

MON. TUES. ☒ WED. THURS.

AM (9-12) PM (1-4:30)

INSPECTION REQUESTED: INSULATION / SHOWER PAN

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

- INSULATION OK

- SHOWER PAN OK

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

California Coastal Commission

Exhibit 1

Page 4 of 20

DATE 7-15-20

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST.

MON. ☐ TUES. ☐ WED. ☐ THURS. ☒

AM ☒ (9-12) PM ☐ (1-4:30)

INSPECTION REQUESTED:

M. BERTON, C.A.

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

ROUGH ~~INTERIOR~~
OK (RBRN BUILDING)

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR F. VALDES DATE 1-28-24

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST.

MON. ☐ TUES. ☐ WED. ☐ THURS. ☒

AM ☒ (9-12) PM ☐ (1-4:30)

INSPECTION REQUESTED:

FRAMING

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

FRAMING OK

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR F. VALDES DATE 2-25-24

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

ADDRESS: 66 11th ST.

MON. ☐ TUES. ☐ WED. ☐ THURS. ☒

AM ☒ (9-12) PM ☐ (1-4:30)

INSPECTION REQUESTED:

FRAMING / ROOF

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

ROOF DECKS OK

California Coastal Commission
INSPECTION REQUESTS (310) 318-0218
Please make corrections and proceed with work
EXHIBIT 8 of 2
INSPECTOR F. VALDES DATE 1-6-24

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST

MON. _____ TUES. ☒ WED. _____ THURS. _____

AM _____ (9-12) PM _____ (1-4:30)

INSPECTION REQUESTED: Shower unit
Drum
Exterior wall

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

Shower unit OK

Drum OK

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR F. Davis DATE 3-9-24

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST

MON. _____ TUES. ☒ WED. _____ THURS. _____

AM _____ (9-12) PM _____ (1-4:30)

INSPECTION REQUESTED: Exterior wall

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

Exterior wall
OK (Per Building)

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR F. Davis DATE 3-15-24

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST

MON. _____ TUES. _____ WED. ☒ THURS. _____

AM ☒ (9-12) PM _____ (1-4:30)

INSPECTION REQUESTED: Insulation

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

WALL INSULATION OK

Ceiling INSULATION OK

Shower pan OK

TRUCK OK

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR F. Davis DATE 3-3-24

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th St.
MON. ☒ TUES. ☐ WED. ☐ THURS. ☐
AM ☒ (9-12) PM ☐ (1-4:30)

INSPECTION REQUESTED:

V.L. Plumbing

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

UNDER GRAMM
PLUMBING OK
(NOA RESTROOM)

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR [Signature] DATE 12-16-19

Add Ada Bathroom
CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

PHONE (310) 318-0235
INSPECTION REQUESTS (310) 318-0218

MISCELLANEOUS PERMIT

STREET ADDRESS OF JOB 66 11th St.

Date 11/19/19 Permit # B19-00426

Owner Walter Phone

Lot Block Tract

Contractor ICAZA Construction

Phone # (310) 480-0385

TYPE OF CONSTRUCTION

FINAL

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th St.
MON. ☒ TUES. ☐ WED. ☐ THURS. ☐
AM ☐ (9-12) PM ☒ (1-4:30)

INSPECTION REQUESTED:

ADA RESTROOM FOUNDATION

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

ADA RESTROOM
FOOTING/SLAB
OK TO POUR

Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218
Please make corrections and proceed with work
Inspector [Signature] DATE 12-17-19

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: # 66 11th St

MON. _____ TUES. _____ WED. _____ THURS. ☒

AM ☒ (9-12) PM _____ (1-4:30)

INSPECTION REQUESTED:

Restroom: Entrance e/m

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

RESTROOM OK
TO WATER PROOF

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR hansy DATE 4-2-20

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th St

MON. ☒ TUES. _____ WED. _____ THURS. _____

AM _____ (9-12) PM _____ (1-4:30)

INSPECTION REQUESTED:

Entrance

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

ADA RESTROOM
WEST WALL MUST
BE PROPERLY WATER
PROOFED & FIRE
RATED

EXTERIOR WALLS
MUST BE PROPERLY
WATER PROOFED AT
BASE

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR F. Wong DATE 4-6-20

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST

MON. _____ TUES. ☒ WED. _____ THURS. _____

AM ☒ (9-12) PM _____ (1-4:30)

INSPECTION REQUESTED:

FOUNDATION

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

PAD FOOTINGS
AT NORTH REAR
PURV REVISION

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR FV DUBS DATE 10-13-20

CITY OF HERMOSA BEACH
COMMUNITY DEVELOPMENT DEPARTMENT
BUILDING DIVISION

JOB ADDRESS: 66 11th ST

MON. _____ TUES. _____ WED. _____ THURS. _____

AM _____ (9-12) PM _____ (1-4:30)

INSPECTION REQUESTED: EXTERIOR / MISC.

EXTER. LIGHT / RUMBS

Correction Notice

Inspection of your work revealed that the following is not in accordance with the codes governing the work in this jurisdiction.

(APA RESTROOM)
EXTERIOR LIGHT
IS INCOMPLETE, SEE
SOUTH-WEST CORNER
AT TOP

ROUGH ELECTRICAL
OK

EXTERIOR,
BOTTOM SECTION
WHERE MUD SILL
IS LESS THAN 6"
FROM EXTERIOR FINISHED
SURFACE, PROPER
WATER PROOFING IS
MISSING

☐ Please make corrections and call for reinspection
INSPECTION REQUESTS (310) 318-0218

☐ Please make corrections and proceed with work

INSPECTOR FV DUBS DATE 10-13-20

Exhibit 3 – City-Approved Project Plans

Project Summary:

Job Address:

66 11th street
Hermosa Beach, CA
90254

Zone:

C-2

Building Type:

Multi-Family Residential

Occupancy Group:

R-1 (BLDG. #1) R-2 (BLDG. #2), S-2 (PARKING)

Construction Type:

Type V-B
SPRINKLERED AT SOUTH BLDG. #2
NON SPRINKLERED AT NORTH BLDG. #1
CONTRACTOR TO SUBMIT PLANS TO BLDG. DEPT
FOR APPROVAL

Number of Stories:

2 Stories

Lot Area:

95.5 x 30.5 = 2,912.75 SF

Legal Description:

APN 4187-004-013
LOT 15 & A PORTION OF LOT 14,
BLOCK 11
HERMOSA BEACH
M.B. 1-25-26

Project Data:

Scope of work:
Remodel

Permissible Lot Coverage
65% Max coverage

Living Area:

Existing

Addition

Total

First Floor

1,701 S.F.

0 S.F.

1701 S.F.

Second Floor

1,701 S.F.

0 S.F.

1701 S.F.

Roof Deck

0 S.F.

1,201 S.F.

1,203 S.F.

Total Building Area
(Including Garage)

3,402 S.F.

1,201 SF

Contacts

Project Designer

Pablo Escutia
E² Design Studio
2020 Hermosa Ave #7A
Hermosa Beach CA, 90254
310-658-0993

Structural Engineer

Survey Civil Engineer

Denn Engineers
3914 Del Amo Blvd. #921
Torrance, CA 90503
(310) 542-9433

General Notes:

1. GENERAL CONTRACTOR + SUBCONTRACTORS SHALL READ ALL THE NOTES ON THESE PLANS (SET) PRIOR TO SIGNING ANY CONTRACT AND CONSTRUCTION. IF ANY ADDITIONAL INFORMATION ARE REQUIRED TO CLARIFY THE CONTRACTOR SHALL ASK THE ARCHITECT. SEE GENERAL NOTES FOR MORE INFORMATION.

2. ACOD NOTIFICATION IS REQUIRED 10 DAYS BEFORE BEGINNING ANY DEMOLITION WORK. REQUIRED FORM IS AVAILABLE AT THE COMMUNITY DEVELOPMENT DEPARTMENT. PROVIDE PROOF OF NOTIFICATION (MAIL WITH RETURN RECEIPT) 10 DAYS BEFORE BUILDING PERMIT IS ISSUED, OR COMPLETE ASBESTOS NOTIFICATION WAIVER.

3. ALL BUILDING FEATURES PROJECTING INTO REQUIRED SETBACKS SHALL BE INSTALL PER CODE.

4. SEPARATE PERMITS AND PLANS ARE REQUIRED FOR SPAS, POOLS, SOLAR SYSTEMS,DEMOLITION AND SEWER CAP OF EXISTING BUILDINGS. IF SUCH IMPROVEMENTS OR DEMOLITION IS REQUIRED AS A CONDITION OF APPROVAL FOR DISCRETIONARY ACTIONS OR TO COMMENCE BUILDING, THEN SUCH PERMITS MUST BE OBTAINED BEFORE OR AT THE TIME THE PROPOSED BUILDING PERMIT IS ISSUED.

5. SOILS REPORT SHALL BE PROVIDED TO THE BUILDING DEPARTMENT FOR ALL CUTS, FILLS, AND EARTHWORK AS REQUIRED PER CODE

6. STUMPS AND ROOTS SHALL BE REMOVED TO A DEPTH OF 12" IN THE AREA OCCUPIED BY THE BUILDING.

7. ALL HOSE BIBS MUST BE PROTECTED BY BACK FLOW PREVENTION AND HAVE AN ANTI-SIPHON DEVICE

8. ALL WINDOW COVERINGS REQUIRED BY CFR. FORM SHALL BE POSTED PRIOR TO FINAL INSPECTION.

9. WRITTEN APPROVAL FROM THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (SCAQMD). (714)396:2000 PER RULE 1403 FOR THE PROPER DISPOSAL OF ASBESTOS.

10. ONLY LOS ANGELES COUNTY HEALTH DEPARTMENT APPROVED DEVICES MAY BE UTILIZED FOR LANDSCAPE IRRIGATION BACK FLOW PREVENTION DEVICES.

11. VERIFY CLEARANCES WITH OVERHEAD UTILITY LINES FROM ALL PERMANENT AND TEMPORARY STRUCTURE INCLUDING SCAFFOLDING AND OTHER WORKING AREAS DURING CONSTRUCTION. CLEARANCE TO BE 8 FT. HORIZONTAL AND 12 FT. VERTICAL. VERIFY WITH SOUTHERN CALIFORNIA EDISON CO. BEFORE COMMENCING CONSTRUCTION.

12. PROVIDE SURVEY STAKES PRIOR TO FOUNDATION INSPECTION TO VERIFY LOT LINES.

13. THE ARCHITECT IS NOT RESPONSIBLE FOR SITE GRADING OR DRAINAGE. CONTRACTOR SHALL CONSULT A LICENSED CIVIL ENGINEER.

14. IT IS THE GENERAL CONTRACTORS/BUILD. CONTRACTOR RESPONSIBILITY TO VERIFY THAT THE BUILDING IS WITHIN THE HEIGHT LIMIT PRIOR TO FRAMING THE ROOF RAFTERS. CONTACT THE CIVIL SURVEY CONSULTANTS.

15. ALL EXISTING SURFACE DRAINAGE WHICH IS ALTERED DUE TO NEW BUILDING ADDITION SHALL BE MODIFIED TO PROVIDE AND TERMINATE AT PUBLIC RIGHT OF WAY VIA –NON EROSIIVE DEVISE PER CITY HAVING JURISDICTION. NO SURFACE WATER SHALL CROSS OVER NEIGHBORING PROPERTY LINE.

16. CONTRACTOR TO SCHEDULE APPOINTMENT WITH SOUTHERN CALIFORNIA EDISON FOR TEMPORARY POWER AND LOCATION OF SERVICE.

17. CONTRACTOR SHALL POST THE INSTALLATION CERTIFICATE (CF–6R) FORM AND INSULATION CERTIFICATE (IC–1) FORM IN A CONSPICUOUS LOCATION OR KEPT WITH PLANS AND MADE AVAILABLE TO THE INSPECTOR.

18. CONTRACTOR SHALL PROVIDE COPIES OF THE CALIFORNIA GUIDE TO HOME COMFORT AND ENERGY SAVINGS, CF–1R, MF–1R, CF–6R AND IC–1 FORM TO THE BUILDING OWNER.

19. PROVIDE UNDERGROUND DRAINAGE SYSTEM FOR DOWN SPOUTS, PLANTER AREAS, AND ALL AREAS REQUIRING POSITIVE DRAINAGE.

20. SLOPE ALL PROPOSED SURFACE WATER RUNOFF TOWARDS STREET. CONTRACTOR TO CONFIRM AND VERIFY 1% MIN. SLOPE REQUIRED. NO SURFACE RAIN WATER RUNOFF AND OR IRRIGATION RUNOFF SHALL CROSS OVER NEIGHBORING PROPERTIES.

21. BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IS SUCH A POSITION AS TO BE PLAINLY VISIBLE & LEGIBLE FROM STREET. PER CRC SECTION 319.1

22. THIS BUILDING SITE SHALL COMPLY WITH PROTECTION OF PEDESTRIANS DURING CONSTRUCTION. PER CRC SECTION 318.3

23. THE BLDG. SHALL COMPLY WITH SECURITY REQMTS.

24. COOKING EQUIPMENT MUST BE LISTED FOR RESIDENTIAL USE.

25. LOCATION OF SERVICES SHALL BE APPROVED BY SOUTHERN CALIFORNIA EDISON COMPANY, GAS COMPANY AND ALL OTHER UTILITY COMPANIES.

26. CONTRACTOR SHALL SUBMIT TEMPORARY SHORING PLAN (UNDER SEPARATE PERMIT) WHERE OCCURS

27. ALL WORK IN THE PUBLIC RIGHT OF WAY MUST BE ACCOMPANIED BY AN ENCROACHMENT PERMIT ISSUED BY THE PUBLIC WORKS DEPARTMENT.

BEST MANAGEMENT PRACTICE

1. ALL PERSONS WORKING AT THE SITE SHOULD OBTAIN, READ AND UNDERSTAND THE BEST MANAGEMENT PRACTICES PAMPHLET FOR THE TYPE OF CONSTRUCTION BEING DONE.

2. STOCKPILES OF SOIL, DEBRIS CEMENT SAND TOP–SOIL ETC MUST BE COVERED WITH WATERPROOF MATERIAL OR BERMED TO PREVENT BEING WASHED AWAY.

3. FUELS OILS PAINTS SOLVENTS AND OTHER LIQUID MATERIALS MUST BE KEPT INSIDE BERMED AREAS. SPILLS MUST NOT BE WASHED INTO THE STREET.

4. WASTE CONCRETE MUST NOT BE WASHED INTO THE STREET, STORM DRAINS OR PUBLIC RIGHT OF WAY. ALL DUST AND SLURRY FROM CONCRETE CUTTING MUST ME REMOVED USING WET/DRY VAC OR EQUIVALENT.

5. TRASH AND OTHER CONSTRUCTION SOLID WASTE MUST BE PLACED IN A COVERED TRASH RECEPTACLE. ERODED SOIL FROM DISTURBED SLOPES MUST BE CONTAINED USING BERM SILT FENCES SETTING BASINS OR GOOD EROSION MANAGEMENT PRACTICES.

6. WASH WATER FOR CLEANING CONSTRUCTION EQUIPMENT MUST BE KEPT ON–SITE WITHIN A CONTAINMENT AREA BEST

NOTES:

BUILDING ADDRESS SHALL BE PROVIDED ON BUILDING IN SUCH POSITION TO BE PLAINLY VISIBLE FROM THE STREET

PROVIDE WATER CONSERVATIONS FIXTURES PER CGBC 4.303. THESE INCLUDE 1.28 GPF W/C, MAXIMUM 2.0 GPM @80 PSI FOR SINGLE SHOWER HEADS.

GAS FIREPLACES SHALL BE DIRECT-VENT SEALED-COMBUSTION TYPE . ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH US EPA PHASE II EMISSION LIMITS PER CGBC 4.503.

CITY, STATE, NATIONALLY APPLICABLE CODES:

Hermosa Beach , California 90254

BUILDING SHALL COMPLY WITH
2016 CALIFORNIA BUILDING CODE, 2016 CALIF. GREEN BUILDING CODE,
2016 CALIF. RESIDENTIAL CODE, 2016 CALIFORNIA PLUMBING CODE,
2016 CALIFORNIA MECHANICAL CODE,
2016 CALIFORNIA ELECTRICAL CODE, T-24 ENERGY CONSERVATION
REGULATIONS, STATE OF CALIFORNIA AND CITY OF HERMOSA BEACH
AND 2016 CALIFORNIA RESIDENCIAL CODE

DOOR NOTES (FOR NEW AND REPLACEMENTS)

1. ALL DOORS AND HARDWARE SHALL MEET ADA, TITLE-24 AND CBC/IBC MINIMUM REQUIREMENTS. U.N.O

2. ALL DOOR HARDWARE TO BE MOUNTED AT 47" A.F.F., U.N.O. (HANDLES/PANIC HARDWARE)

3. EXIT DOORS SHALL SWING IN THE DIRECTION OF THE PATH OF EXIT TRAVEL WHERE THE AREA SERVED HAS AN OCCUPANT LOAD THAT REQUIRES MORE THAN ONE EXIT

4. EXIT DOORS SHALL BE OPERABLE FROM THE INSIDE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE OR EFFORT

5. EXIT SIGNS SHALL BE INSTALLED AT REQUIRED EXITS AND AS INDICATED ON PLANS. SEE FIRELIFE- SAFETY AND EGRESS PLANS FOR FURTHER INFORMATION

6. MAXIMUM EFFORT TO OPERATE DOOR SHALL NOT EXCEED 5 POUNDS FOR INTERIOR APPLIED TO LATCH SIDE


7. LOCKING DEVICES MUST BE READILY DISTINGUISHABLE AS BEING LOCKED OR UNLOCKED

8. ALL DOORS WITH LATCHING TYPE HARDWARE SHALL HAVE LEVER TYPE HANDLES PER CODE

9. UNDERCUT DOOR IF REQUIRED FOR PER MECHANICAL CODE

10. PROVIDE 20"x16" LOUVER AT BOTTOM OF DOOR PER MANUFACTURE SPECIFICATIONS

VICINITY MAP



Sheet Index:

Architectural

A-0.1

TITLE SHEET

A-1.0

SITE AND ROOF PLANS

A-1.1

SURVEY

A-2.0

(E) NORTH BLDG. #1 FLOOR PLANS

A-2.1

PROPOSED NORTH BLDG. #1 PLANS

A-2.2

(E) SOUTH BLDG. #2 DEMO FLOOR PLANS

A-2.3

PROPOSED SOUTH BLDG #2 PLANS

A-3.0

PROPOSED ELEVATIONS

A-3.1

PROPOSED ELEVATIONS

A-4.0

PROPOSED SECTIONS

A-4.1

PROPOSED SECTIONS

A-5.0

INTERIOR ELEVATIONS

A-5.1

INTERIOR ELEVATIONS

A-6.0

DETAILS

A-6.1

DETAILS

AE-1

ELECTRICAL PLANS

Structural

S1.0

GENERAL NOTES

S1.1

GENERAL NOTES

S1.2

TYP DETAILS

S1.3

TYP DETAILS

S2.0

STRL PLANS

S3.0

DETAILS

S3.1

DETAILS

HF1X1

HARDY FRAME

HF1X2

HARDY FRAME

HF1X3

HARDY FRAME

design studio

318 17th st Manhattan Beach
www.e2designstudio.com
e: pablo@e2designstudio.com
tel: 310 658 0993

SURF SIDE SUITES

66 11TH ST
HERMOSA BEACH CA, 90254

STAMP:

Designer of Record:
Pablo E. Escutia

Engineer of Record:

Revision:
No. Date Description

Drawing Title:
TITLE SHEET

SHEET No:
A0.1

California Coastal Commission
5-20-0597
Exhibit 3
Page 1 of 30

CRITICAL POINTS :

CP 1:
PROPOSED = 127.13'
MAX HGT = 128.71'

CP 2:
DELETED

CP 3:
PROPOSED = 127.31'
MAX HGT = 128.83'

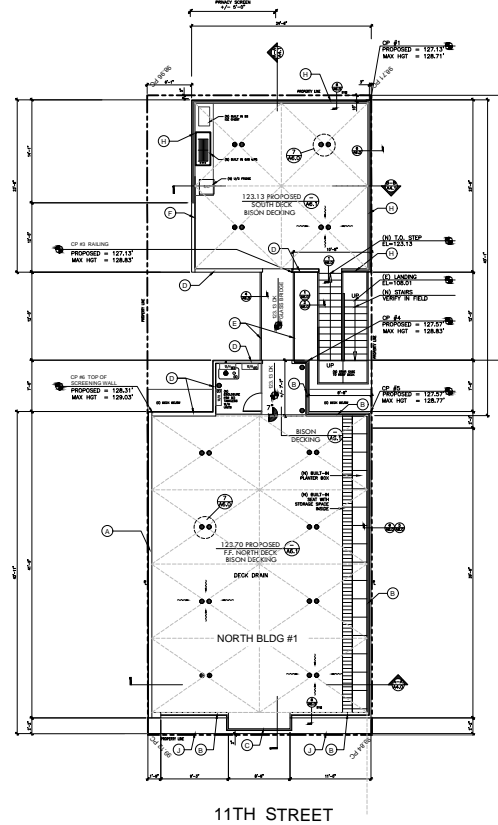
CP 4:
PROPOSED = 127.57'
MAX HGT = 128.73'

CP 5:
PROPOSED = 127.57'
MAX HGT = 128.77'

CP 6:
PROPOSED = 128.31'
MAX HGT = 129.03'

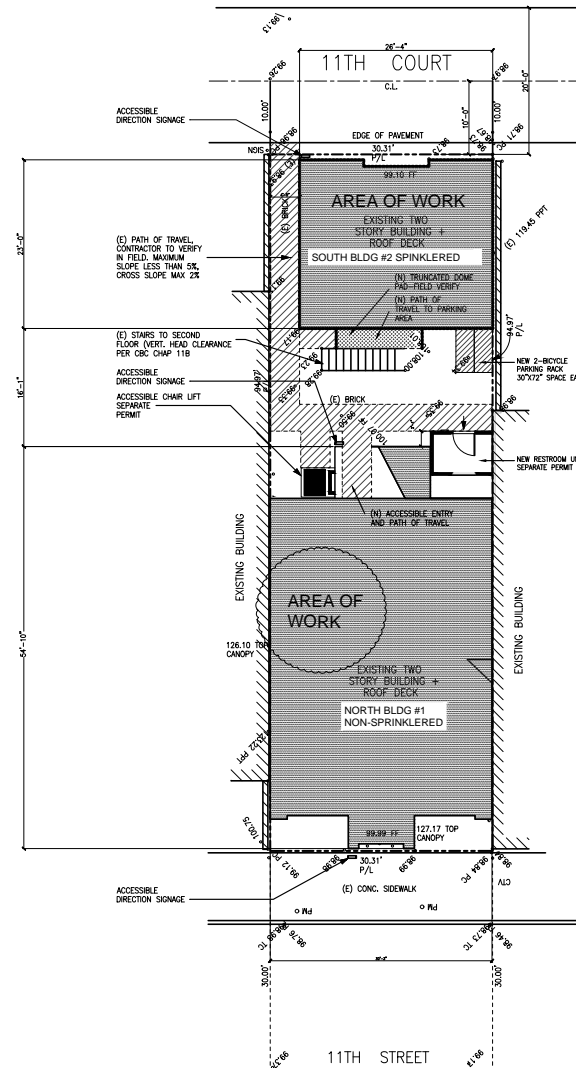
MATERIAL & HEIGHT LEGEND		
SYL	MATERIAL	PROPOSED ELEVATION
(A)	(N) 48" H. SOLID GUARDRAIL OR PER PLAN	128.31
(B)	(N) 18" SOLID PARAPET AND 30" HIGH TEMPERED GLASS GUARDRAIL ABOVE TOTAL OVERALL HT ABOVE DECK=+48" OR PER PLAN (ICC ESR-3269)	127.57
(C)	(N) 48" HIGH TEMPERED GLASS GUARDRAIL (ICC ESR-3269)	127.57
(D)	(N) 48" H. SOLID GUARDRAIL	127.13
(E)	(N) 48" H. METAL & GLASS GUARDRAIL (ICC ESR-3269)	127.13
(F)	(N) 54" H. SOLID GUARDRAIL	127.63
(G)	PRIVACY SCREEN (DELETED)	128.31
(H)	(N) 18" SOLID PARAPET AND 30" HIGH TEMPERED GLASS GUARDRAIL ABOVE TOTAL OVERALL HT ABOVE DECK=+48" (ICC ESR-3269)	127.13
(J)	(N) ROOF PLATFORM, PER PLAN	123.70

ROOF FINISH DECKING
BISON PRODUCTS
P: 800.333.4234
F: 303.825.9986
701 Ogden St. Bldg 2 #120
Denver, CO 80204
Bison Pedestals
Versajust Pedestals: 1250 lbs/pedestal FoS:3
Level-It Pedestals: 750 lbs/pedestal FoS:3
Screwjack Pedestals: 1000 lbs/pedestal FoS:3
Bison Wood Tiles
Fire Rating: Class A Spread of Flame, meets ASTM E108
Slip Resistance: Exceeds ASTM C1028



ATTIC VENTS
NORTH BLDG. #1
986 SF ATTIC SPACE / 150 S.F. = 6.57 SF ATTIC VENTING

PROPOSED ROOF PLAN
SCALE: 1/8"=1'-0"



PROPOSED SITE PLAN
SCALE: 1/8"=1'-0"



318 17th St Manhattan Beach
www.e2designstudio.com
e: pablo@e2designstudio.com
tel: 310.658.0993

SURF SIDE SUITES

66 11TH ST
HERMOSA BEACH CA, 90254

STAMP:

Designer of Record:
Pablo E. Escutia

All Plans, Designs and other information represented by these drawings are owned by and are the property of e2 design studio and shall remain confidential and not be used for any other project without the written permission of e2 design studio.

Engineer of Record:

Revision:
No. Date Description

Drawing Title:
SITE & ROOF PLANS

SHEET No:

A1.0



318 17th St Manhattan Beach
www.e2designstudio.com
e: pablo@e2designstudio.com
tel: 310 658 0993

SURF SIDE SUITES

66 11TH ST
HERMOSA BEACH CA, 90254

STAMP:

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REFER TO
ORIGINAL
STAMPED COPY

Designer of Record:
Pablo E. Escutia

Engineer of Record:

Revision:	No.	Date	Description

Drawing Title:
SURVEY

SHEET No:

A1.1

SURVEY AND
TOPOGRAPHY

WALTER FRANCO
66 11TH STREET
HERMOSA BEACH, CA 90254
PHONE 310-658-0993 (PABLO)

66 11TH STREET
HERMOSA BEACH, CA 90254

LOT 15 & A PORTION OF LOT 14,
BLOCK 11
HERMOSA BEACH
M.B. 1:25-20
APN 4187-004-013

HERMOSA AVENUE



SCALE 1" = 8'

DENN ENGINEERS
3914 DEL AMO BLVD, SUITE 921
Torrance, CA 90503 (310) 542-9433

LEGEND

- EXISTING BUILDING
- CONCRETE
- BRICK
- WOOD DECK
- EXISTING ELEVATION
- EXISTING CONTOUR
- BLOCK WALL
- EXISTING FENCE
- BEGINNING OF CURB RETURN
- CENTERLINE
- CHAINLINK
- EASTERNLY
- ELECTRIC METER
- FOUND
- FENCE
- FRESH FLOOR
- FIRE HYDRANT
- FLOW LINE
- GAS METER
- GUY WIRE
- LEAD AND TAG
- MANHOLE
- NORTHERLY
- PROPERTY CORNER / PROP. CORNER
- PROPERTY LINE / PROP. LINE
- POWER POLE
- PASSEY
- SPRINKLER
- SPIKE AND WASHER
- SOUTHERLY
- SPIKE
- SANITARY SEWER CLEAN OUT
- SANITARY SEWER MANHOLE
- STAKE
- STREET LIGHT
- TOP OF CURB
- TOP OF WALL / T.O.W.
- TOP OF DRIVEWAY APRON
- WESTERNLY
- WATER METER

NOTE: ALL SETBACK DIMENSIONS SHOWN
ARE MEASURED TO EXTERIOR SURFACE OF
BUILDING UNLESS OTHERWISE NOTED.

BOUNDARY MONUMENTS ARE NOT NECESSARILY
SET ON PROPERTY CORNERS. PLEASE REFER TO
THE NOTATION ON THE PLANS FOR OFFSET
DISTANCES. IF THERE ARE ANY QUESTIONS,
PLEASE DO NOT HESITATE TO CONTACT DENN
ENGINEERS FOR CLARIFICATION AT:
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COSTS INCURRED IN ANY PROCEEDING THAT DENN
ENGINEERS MAY BE JOINED.

16-253

FOUND N&T PER R.S. 169-46
N 63°04'41"E / 0.15' OF C/L
ESTAB BY PRORATION

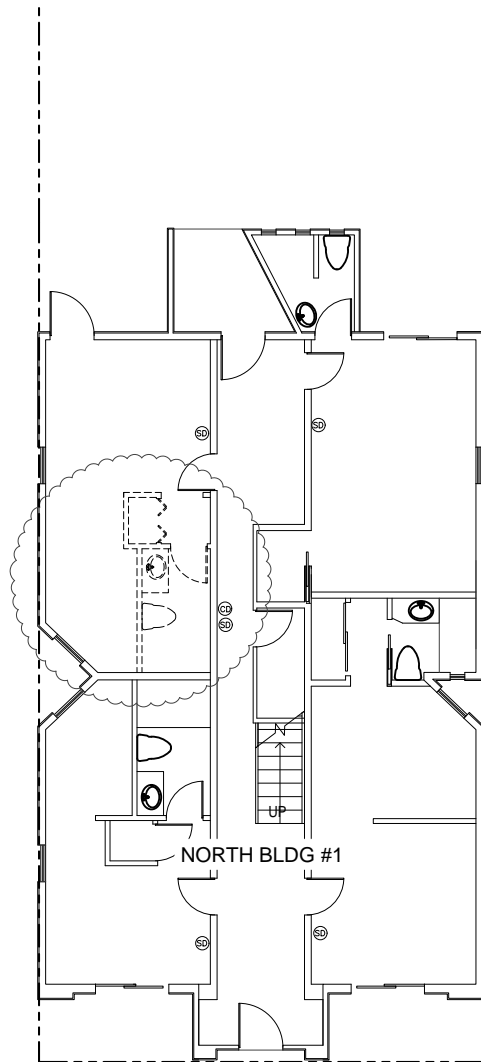
TO FOUND N&T LS 5909 @ 10TH STREET
PER R.S. 169-46

11TH STREET

11TH COURT

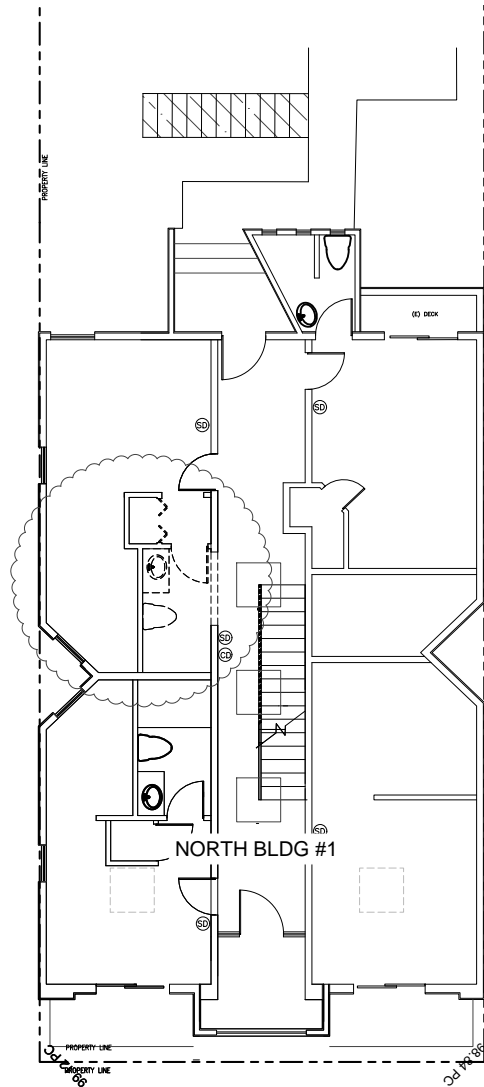
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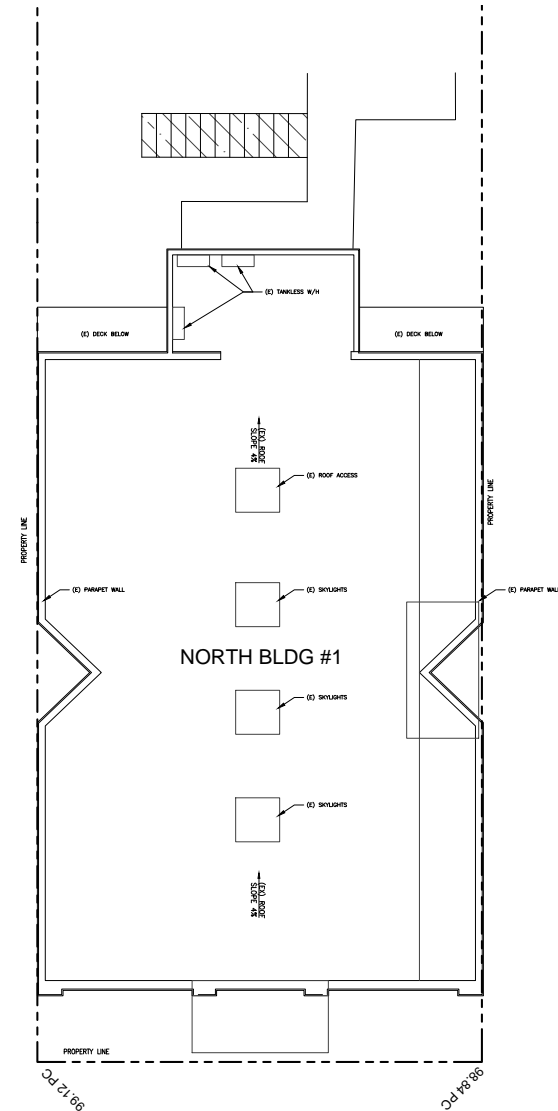
11TH STREET

(E) FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"



11TH STREET

(E) SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



(E) ROOF PLAN
SCALE: 3/16"=1'-0"



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STAMP:

Designer of Record:
Pablo E. Escutia

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Engineer of Record:

Revision:
No. Date Description

Drawing Title:
(E) NORTH BLDG.
#1 FLOOR PLANS

SHEET No:

A2.0



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Engineer of Record:

Revision:
No. Date Description

Drawing Title:
PROPOSED NORTH
#1 BLDG. PLANS

SHEET No:

A2.1

KEY NOTES

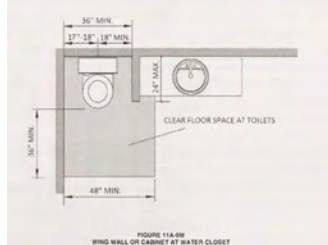
1. FRONT ENTRANCE/EXIT DOOR MUST BE MIN. 32" (MIN. 48") CLEAR OPENING WITH 1-3/4" MIN. THICK SOLID CORE LEAD BOLT MUST BE OPERABLE FROM INSIDE THE HOUSE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE AND EFFORT.
2. TWO/CHIMNEY 5'-0" MAXIMUM W/ SHOWER CHIMNEY COMPARTMENTS AND WALLS ABOVE BATHROOM WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONPOROUS SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE FLOOR. (CFC 6307.2) PROVIDE TEMPERED GLASS ENCLOSURE MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE NONFIRE RESISTANT. GLASS ENCLOSURE DOORS AND PANELS MUST BE LABELED CATEGORY - 2. SWING DOOR OUTWARD. NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1.024 SQ. FT. OF FLOOR AREA, AND ENCLOSURE 30 INCH DIA. CIRCLE.
3. 2'-0"x2'-0" CLEAR SPACE IN FRONT OF TOILET FOR NON-ACCESSIBLE STALLS
4. BUILT-IN FURNITURE: (CONTRACTOR/INTERIOR DESIGNER TO PROVIDE SHOP DRAWINGS FOR DESIGNER AND CITY FOR APPROVAL).
5. EMERGENCY ESCAPE AND RESCUE FROM SLEEPING ROOM/MIN. NET CLEAR OPENING DIMENSIONS OF 24" HEIGHT, 20" CLEAR WIDTH, 5.7 SQ. FT. AREA (5.0 SQ. FT. AT GRADE FLOOR) AND 44" MAX TO BOTTOM OF CLEAR OPENING IS REQ'D.
6. WATER CLOSETS TO HAVE A MAXIMUM FLOW RATE OF 1.28 GALLONS PER MINUTE. SEE PLAN FOR ACCESSIBLE STALL
7. LANDING AREA'S ADJACENT TO DOORS SHALL HAVE A MEASURED LENGTH IN THE DIRECTION OF TRAVEL NO LESS THAN 36" OR PER ACCESSIBILITY REQ'TS.
8. GAS CLOTHES DRYER SHALL BE VENTED TO THE OUTSIDE. EXHAUST IS LIMITED TO 14' WITH 2 ELBOWS. THIS SHALL BE REDUCED BY 2' FOR EVERY ELBOW IN EXCESS OF TWO. PROVIDE MIN. 4" DIA.
9. PROVIDE 30"x48" CLR. SPACE
10. PROVIDE 3" FLOOR DRAIN IN LAUNDRY ROOM
11. ACCESSIBLE STALL. SEE PLAN DETAIL THIS SHEET

LEGEND

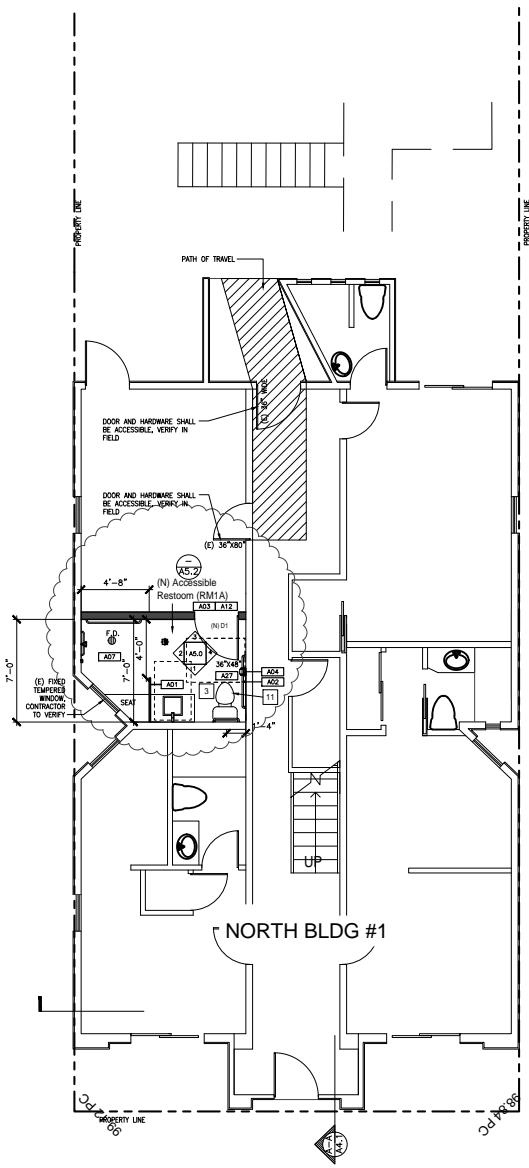
- EXISTING WALL TO REMAIN
- EXISTING WALL TO BE REMOVED
- (N) 2X STUD WALL
- FACE OF STUD DIMENSION & FACE OF PLYWOOD DIMENSION
- DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER
- LIGHT FIXTURE (LED)
- EXHAUST FAN W/50 CUBIC FEET PER MINUTE W/CEILING HUMIDITY SENSING BATHROOM EXHAUST FAN
- SMOKE ALARMS, SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. SHALL BE EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED PER CODE.
- CARBON MONOXIDE DETECTOR, SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING. SHALL BE EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED PER CODE.
- RECESSED LED CAN/EXHAUST FAN W/HUMIDISTAT

Keynote Legend	
Key #	Description
A01	WALL PARTITION
A02	WALLS (AND OR FLOORS) MUST BE REINFORCED TO SUPPORT GRAB BARS AS REQUIRED BY GRAB DETAILS
A03	ATTN: AN INTERNATIONAL ACCESSIBILITY SYMBOL, TYPICAL AT ALL ACCESSIBLE ENTRANCES
A04	TOILET PAPER HOLDER
A05	FLOOR MOUNT METAL PARTITION
A06	SINK AND CLOSET
A07	SLOPE MIN. 2% 1/4"X12" TO POSITIVE FLOW
A08	5/8" TYPICAL GREEN GIP. BOL. @ 6" O.C. SUPPORTED BY 2X @ 16" O.C. AT WALLS IN BATHROOM
A09	FULLY RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE STAINLESS STEEL
A10	THIS SINK TO BE MAXIMUM 1/2" MAXIMUM
A11	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A12	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A13	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A14	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A15	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A16	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A17	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A18	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A19	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A20	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A21	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A22	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A23	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A24	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
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A96	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A97	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A98	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A99	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM
A100	TOILET SINK TO BE MAXIMUM 1/2" MAXIMUM

WASHER AND DRYER BY:
Alliance Laundry Systems LLC
Attn: Speed Queen Sales
Shepard Street PO Box 990
Ripon, WI 54971-0990



TYPICAL ACCESSIBLE STALL PLAN
SCALE: 1/4"=1'-0"

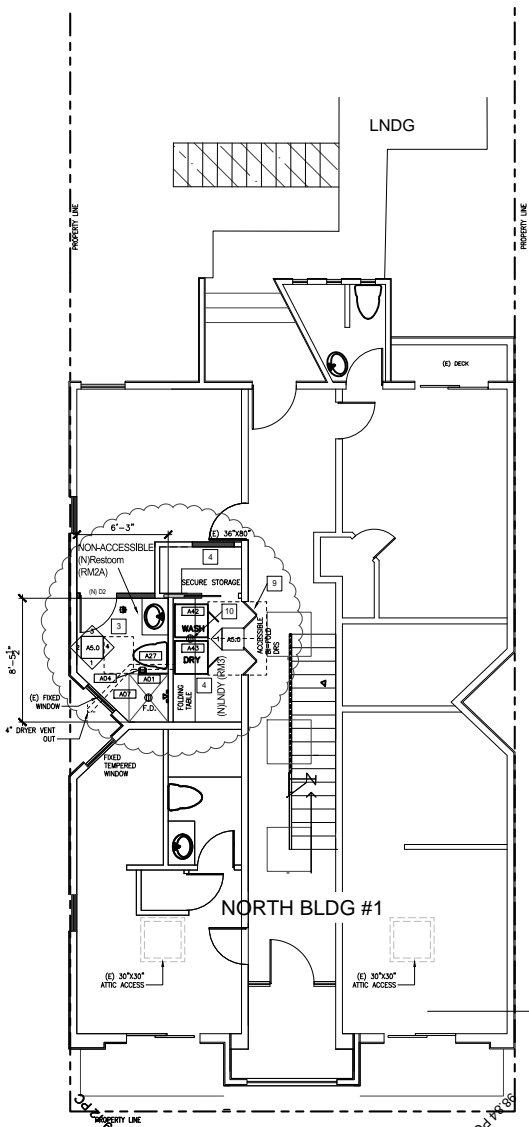


11TH STREET

PROPOSED FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"



NORTH



11TH STREET

PROPOSED SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"

Finish Schedule						
Room #	Room Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Ceiling Height
N01A	Accessible Restroom	Porcelain Tile (Slip Resistant)	Porcelain Tile	Porcelain Tile/Vinyl	Wall Covering	5/8" Gyp. Bd. (Painted)
N02A	Non-Accessible Restroom	Porcelain Tile (Slip Resistant)	Porcelain Tile	Porcelain Tile/Vinyl	Wall Covering	5/8" Gyp. Bd. (Painted)

Door Schedule											
Door #	Type	Door				Frame					
		Width	Height	Thickness	Material	Finish	Hardware	Type	Jamb	Head	Comments
N01D1	A	3'-0"	7'-0"	1 3/4"	Wood	Painted	Level Handle	Wood	Wood	Wood	Provide Self Closure
N02D1	A	3'-0"	7'-0"	1 3/4"	Wood	Painted	Level Handle	Wood	Wood	Wood	



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HERMOSA BEACH CA, 90254

STAMP:

Designer of Record:
Pablo E. Escutia

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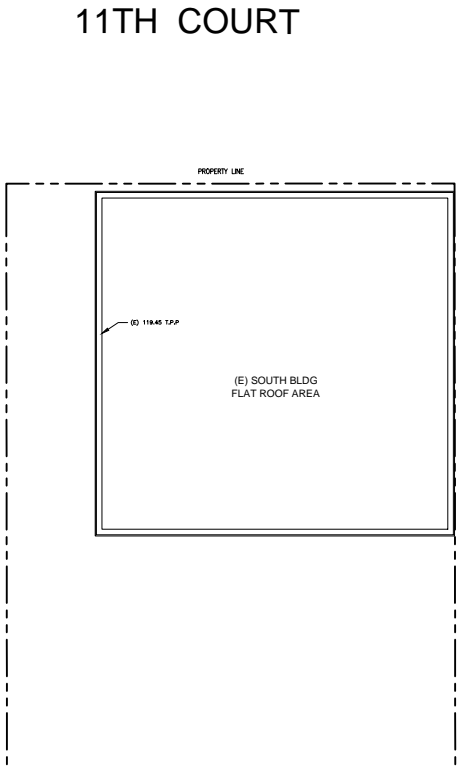
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Revision:
No. Date Description

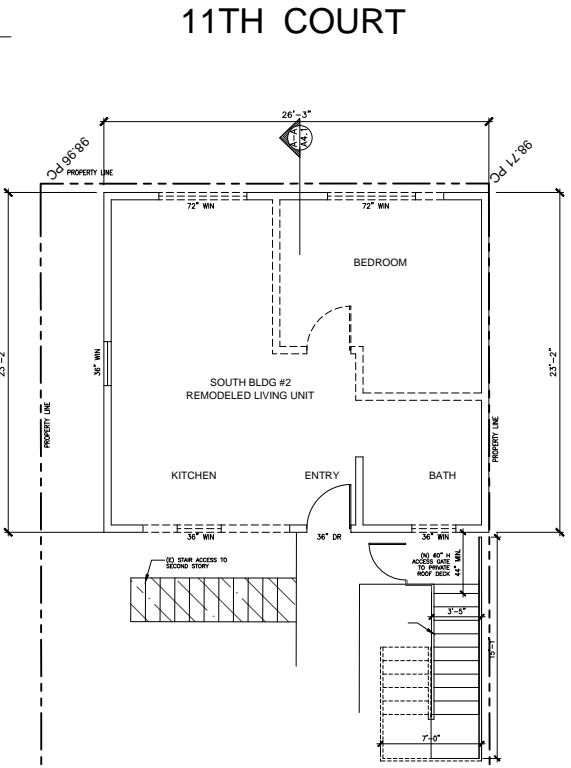
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(E) SOUTH BLDG. #2
DEMO FLOOR PLANS

SHEET No:

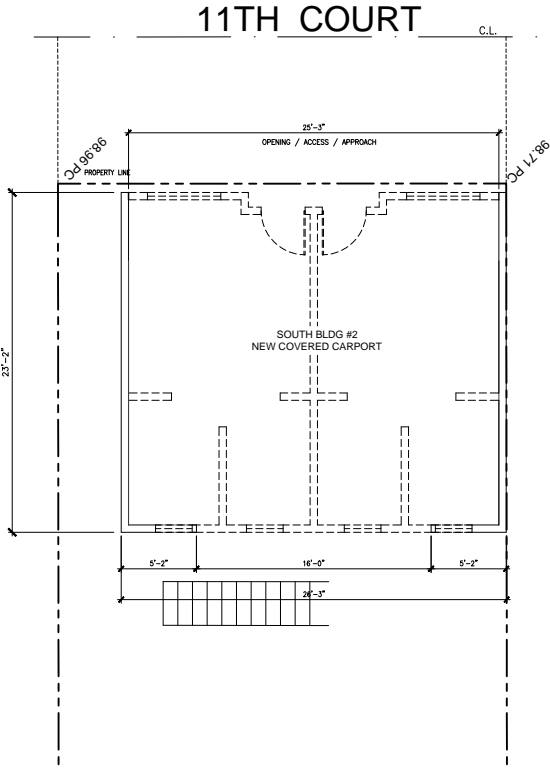
A2.2



(E) ROOF PLAN
SCALE: 3/16"=1'-0"



(E) SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



(E) FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"



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Revision:
No. Date Description

Drawing Title:
PROPOSED SOUTH
BLDG #2 PLANS

SHEET No:

A2.3

California Coastal Commission

5-20-0597

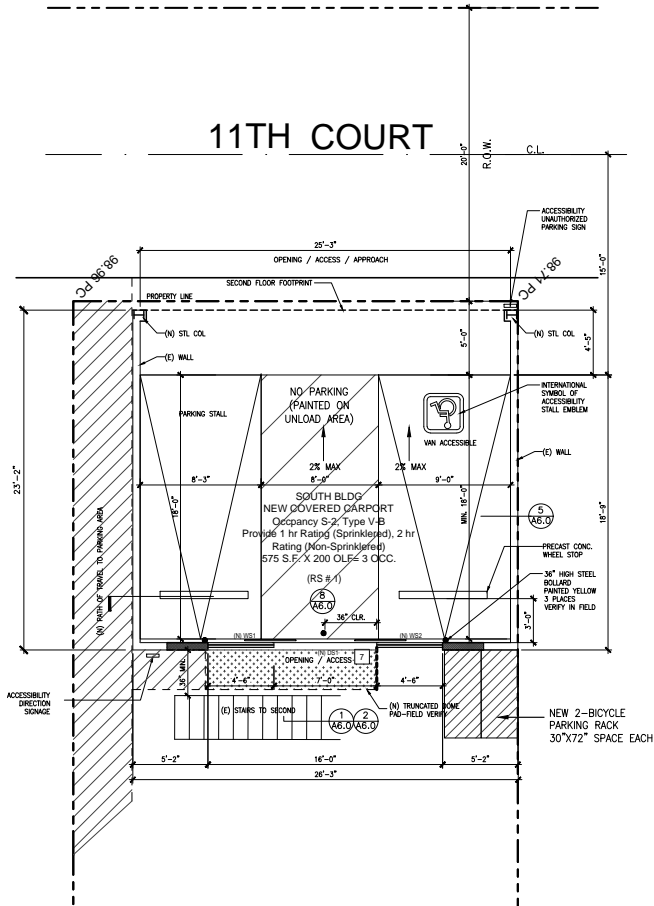
Exhibit 3

Page 7 of 30

Finish Schedule							
Room #	Room Name	Floor Finish	Base Finish	Wall Finish	Ceiling Finish	Ceiling Height	
RS #1	Parking Area	Concrete Slab Non Slip	6" Tile	Stucco Ext. Plaster	7/8" Thick Stucco Fin.	7' MIN.	Noted
RS #2	Sleeping Rm	Hardwood	Wood	GWB Painted	5/8" Gyp. Bd (Painted)	7' MIN.	
RS #3	Restroom	Porcelain Tile (Slip Resistant)	Porcelain Tile	Porcelain Tile/Vinyl Wall Covering	5/8" Gyp. Bd (Painted)	7' MIN.	
RS #4	Restroom	Porcelain Tile (Slip Resistant)	Porcelain Tile	Porcelain Tile/Vinyl Wall Covering	5/8" Gyp. Bd (Painted)	7' MIN.	

Door Schedule									
Door #	Type	Width	Height	Thickness	Material	Finish	Hardware	Frame	Comments
(N)D01	SLIDING	7'-0"	8'-0"	1 3/4"	GLASS		Level Handle/Accessible	METAL	TEMPERED ACCESSIBLE DOOR
(N)D02	PANEL	2'-8"	8'-0"	1 3/4"	WOOD		Level Handle	WOOD	
(N)D03	PANEL	2'-8"	8'-0"	1 3/4"	WOOD		Level Handle	WOOD	
(N)D05	PANEL	5'-0"	8'-0"	1 3/4"	WOOD		Level Handle	WOOD	

Window Schedule						
Door #	Type	Width	Height	Finish	Frame	Comments
(N)W01	FIXED	4'-6"	7'-0"	CLEAR	ALUM.	TEMPERED
(N)W02	FIXED	4'-6"	7'-0"	CLEAR	ALUM.	TEMPERED
(N)W03	SLIDING	6'-0"	5'-0"	CLEAR	ALUM.	
(N)W04	BIFOLD	10'-0"	8'-0"	CLEAR	ALUM.	TEMPERED

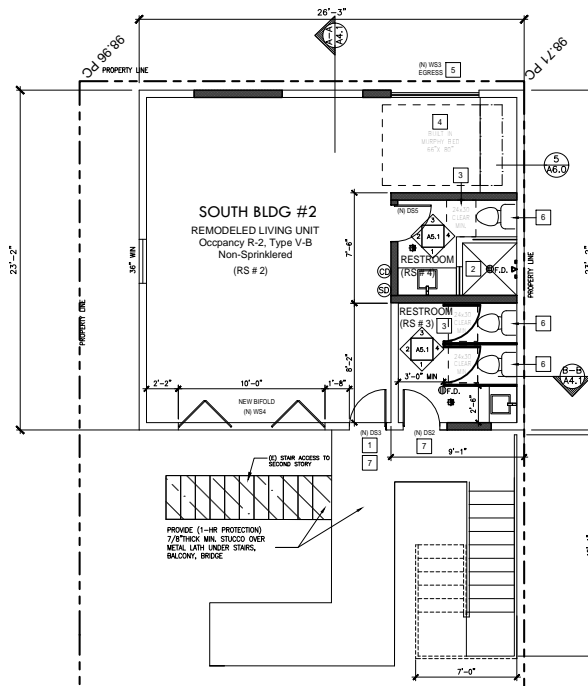


(N) SOUTH BLDG. FIRST FLOOR PLAN
SCALE: 1/4"=1'-0"

Keynote Legend	
Key #	Description
A01	METAL PARTITION
A02	WALLS (AND/OR FLOORS) MUST BE REINFORCED TO SUPPORT GRAB BARS AS REQUIRED BY GRAB DETAILS
A03	WALLS AND FLOORS MUST BE REINFORCED TO SUPPORT GRAB BARS AS REQUIRED BY GRAB DETAILS
A04	TOILET PAPER HOLDER
A05	FLOOR MOUNT METAL PARTITION
A06	SHOWER AND TUB
A07	SLOPE MIN. 2% 1/4"X1/4" TO POSITIVE DRAIN
A08	5/8" THICK GLASS DOOR, 1/2" X 1/2" GLASS SUPPORTED BY 2X 6 1/4" O.C. AT WALLS IN BATHROOM
A10	FULLY RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE STAINLESS STEEL
A11	THRESHOLD TO BE MINIMUM 1/4" BULBING
A12	1/2" W/4000 PSI PAN
A13	GRAB BAR, STAINLESS STEEL, 36\"/>

- KEY NOTES**
1. FRONT ENTRANCE/EXIT DOOR MUST BE MIN. 32" (MAX 48") CLEAR OPENING WIDTH 1-3/4" MIN. THICK SOLID CORE DEAD BOLT MUST BE OPERABLE FROM INSIDE THE HOUSE WITHOUT THE USE OF A KEY OR ANY SPECIAL KNOWLEDGE AND EFFORT.
 2. TUB/SHOWER: 5'-0" BATHUB W/ SHOWER. SHOWER COMPARTMENTS AND WALLS ABOVE BATHUB WITH SHOWER HEADS SHALL BE FINISHED WITH A SMOOTH, NONABSORBENT SURFACE TO A HEIGHT NOT LESS THAN 72 INCHES ABOVE FLOOR. (ENCL. A03.01.2) PROVIDE TEMPERED GLASS ENCLOSURE. MATERIALS OTHER THAN STRUCTURAL ELEMENTS SHALL BE MOISTURE RESISTANT. GLASS ENCLOSURE DOORS AND PANELS MUST BE LABELED CATEGORY-2. SHOWER DOOR OUTWARD NET AREA OF SHOWER RECEPTOR SHALL BE NOT LESS THAN 1.04 SQ. FT. OF FLOOR AREA, AND ENCOMPASS 30 INCH DIA. CIRC. AREA.
 3. 2'-0"X4'-0" CLEAR SPACE IN FRONT OF TOILET, FOR NON-ACCESSIBLE STALLS
 4. BUILT-IN FURNITURE: (CONTRACTOR/INTERIOR DESIGNER TO PROVIDE SHOP DRAWINGS FOR DESIGNER AND CITY FOR APPROVAL).
 5. EMERGENCY ESCAPE AND RESCUE FROM SLEEPING ROOMS: MIN. NET CLEAR OPENING DIMENSIONS OF 24" HEIGHT, 20" CLEAR WIDTH, 5.7 SQ. FT. AREA (5.0 SQ. FT. AT GRADE FLOOR) AND 44" MAX TO BOTTOM OF CLEAR OPENING IS REQUIRED.
 6. WATER CLOSETS TO HAVE A MAXIMUM FLOW RATE OF 1.28 GALLONS PER MINUTE. SEE PLAN FOR ACCESSIBLE STALL.
 7. LANDING AREA'S ADJACENT TO DOORS SHALL HAVE A MEASURED LENGTH IN THE DIRECTION OF TRAVEL NO LESS THAN 36" OR PER ACCESSIBILITY REQUIREMENTS.
 8. GAS CLOTHES DRYER SHALL BE VENTED TO THE OUTSIDE. EXHAUST IS LIMITED TO 14" WITH 2 ELBOWS. THIS SHALL BE REDUCED BY 2" FOR EVERY ELBOW IN EXCESS OF TWO. PROVIDE MIN. 4" DIA.
 9. PROVIDE 30"X48" CLR. SPACE
 10. PROVIDE 3" FLOOR DRAIN IN LAUNDRY ROOM
 11. ACCESSIBLE STALL, SEE PLAN DETAIL THIS SHEET

LEGEND	
---	EXISTING WALL TO REMAIN
---	EXISTING WALL TO REMOVED
---	(N) 2X STUD WALL
---	FACE OF STUD DIMENSION & FACE OF PLYWOOD DIMENSION & EXT. WALLS
---	DUPLEX RECEPTACLE WITH GROUND FAULT INTERRUPTER
---	LIGHT FIXTURE (LED)
---	EXHAUST FAN W/50 CUBIC FEET PER MINUTE W/CEILING HUMIDITY SENSING BATHROOM EXHAUST FAN
---	SWITCH
---	SMOKE ALARMS, SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, SHALL BE EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED PER CODE.
---	CARBON MONOXIDE DETECTOR, SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING, SHALL BE EQUIPPED WITH A BATTERY BACKUP AND INTERCONNECTED PER CODE.
---	RECESSED LED CAN/EXHAUST FAN W/HUMIDISTAT



(N) SOUTH BLDG. SECOND FLOOR PLAN
SCALE: 1/4"=1'-0"



A3.0

mission
0-0597

Exhibit 3
Page 6 of 22

California Coastal Commission
5-20-0597
Exhibit 3
Page 8 of 30



FINISH FLOOR ELEVATIONS (F.F.E.) NOTE:
ALL DIMENSIONS ARE ARE +/-, THE CONTRACTOR SHALL
VERIFY ALL DIMENSIONS AND CONDITIONS INCLUDING F.F.E.
ELEVATIONS SHOWN ON ALL OF THE ARCHITECTURAL
SHEETS.

USER NAME:



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Designer of Record:
Pablo E. Escutia

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Engineer of Record:

Revision:

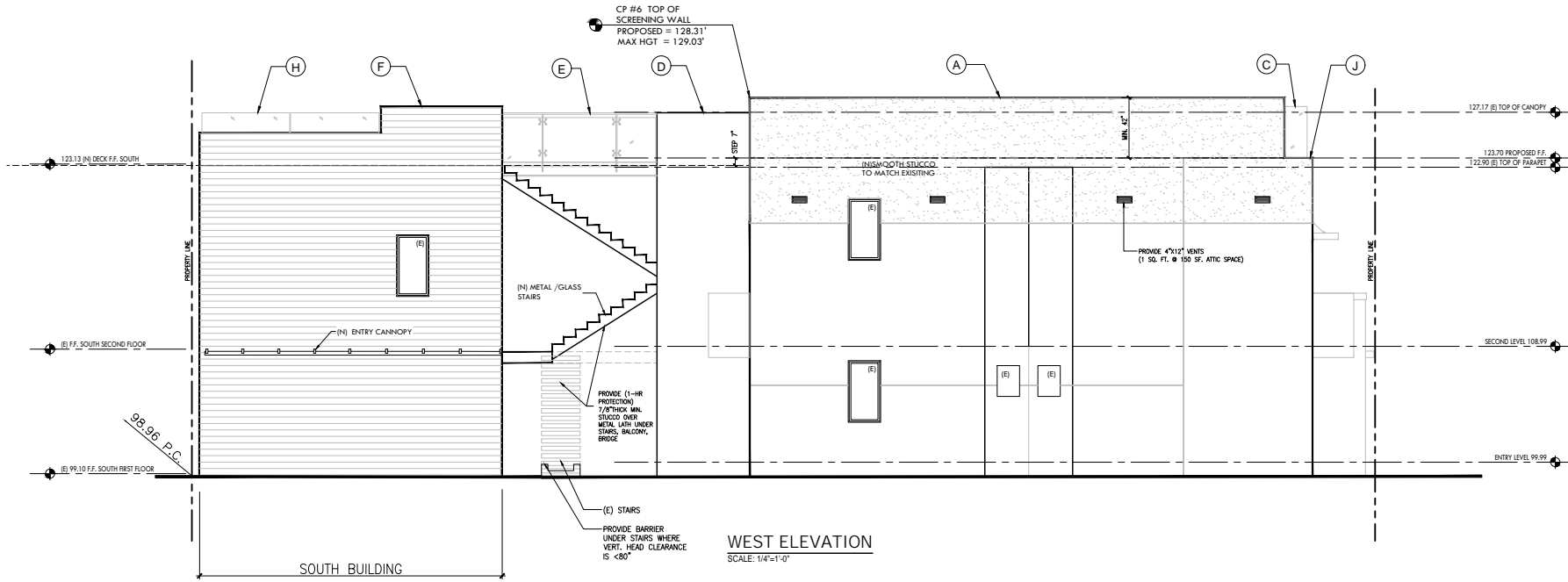
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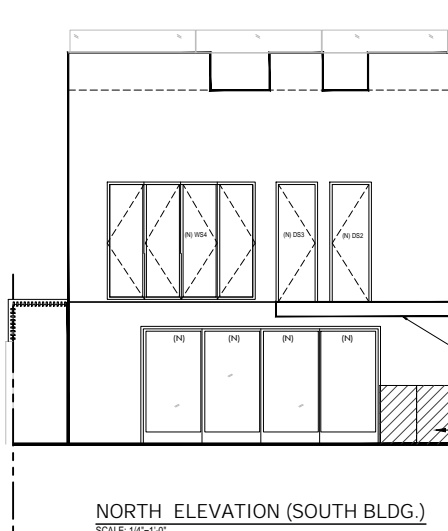
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A3.1

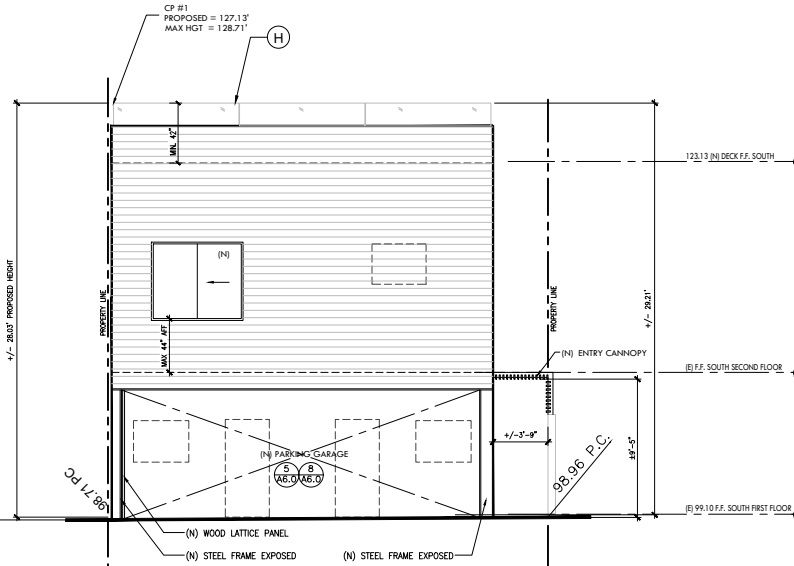
California Coastal Commission
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WEST ELEVATION
SCALE: 1/4"=1'-0"



NORTH ELEVATION (SOUTH BLDG.)
SCALE: 1/4"=1'-0"



SOUTH ELEVATION
SCALE: 1/4"=1'-0"

MATERIAL & HEIGHT LEGEND		
SYM.	MATERIAL	PROPOSED ELEVATION
A	(N) 6-6" HT. SOLID GUARDRAIL, OR PER PLAN	128.31
B	(N) 18" SOLID PARAPET AND 30" HIGH TEMPERED GLASS GUARDRAIL, ABOVE TOTAL OVERALL HT ABOVE DECK=48" OR PER PLAN (ICC ESR-3269)	127.57
C	(N) 48" HIGH TEMPERED GLASS GUARDRAIL, (ICC ESR-3269)	127.57
D	(N) 48" HT. SOLID GUARDRAIL	127.13
E	(N) 48" HT. METAL & GLASS GUARDRAIL, (ICC ESR-3269)	127.13
F	(N) 54" HT. SOLID GUARDRAIL	127.63
G	PRIVACY SCREEN (DELETED)	128.31
H	(N) 18" SOLID PARAPET AND 30" HIGH TEMPERED GLASS GUARDRAIL, ABOVE TOTAL OVERALL HT ABOVE DECK=48" (ICC ESR-3269)	127.13
J	(N) ROOF PLATFORM, PER PLAN	123.70

FINISH FLOOR ELEVATIONS (F.F.E.) NOTE:
ALL DIMENSIONS ARE +/-, THE CONTRACTOR SHALL
VERIFY ALL DIMENSIONS AND CONDITIONS INCLUDING F.F.E.
ELEVATIONS SHOWN ON ALL OF THE ARCHITECTURAL
SHEETS.



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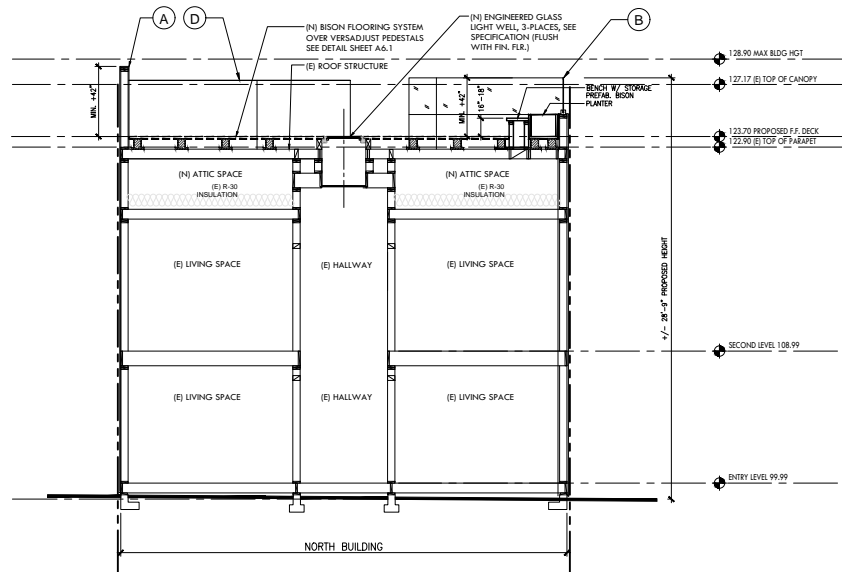
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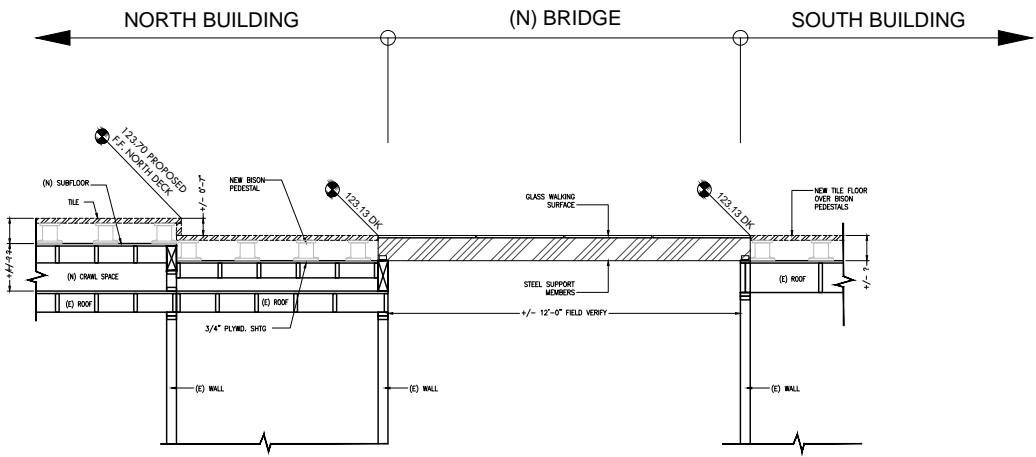
Drawing Title:
PROPOSED SECTIONS

SHEET No:

A4.0



SECTION A-A (NORTH BLDG)
SCALE: 1/4"=1'-0"



BRIDGE TO BUILDINGS SECTION
SCALE: 1/2"=1'-0"

MATERIAL & HEIGHT LEGEND		
SYM.	MATERIAL	PROPOSED ELEVATION
(A)	(N) 48" H. SOLID GUARDRAIL, OR PER PLAN	128.31
(B)	(N) 18" SOLID PARAPET AND 30" HIGH TEMPERED GLASS GUARDRAIL ABOVE TOTAL OVERALL HT ABOVE DECK=48" OR PER PLAN (ICC ESR-3289)	127.57
(C)	(N) 48" HIGH TEMPERED GLASS GUARDRAIL (ICC ESR-3289)	127.57
(D)	(N) 48" H. SOLID GUARDRAIL	127.13
(E)	(N) 48" H. METAL & GLASS GUARDRAIL (ICC ESR-3289)	127.13
(F)	(N) 54" H. SOLID GUARDRAIL	127.63
(G)	PRIVACY SCREEN	128.31
(H)	(N) 18" SOLID PARAPET AND 30" HIGH TEMPERED GLASS GUARDRAIL ABOVE TOTAL OVERALL HT ABOVE DECK=48" (ICC ESR-3289)	127.13
(J)	(N) ROOF PLATFORM, PER PLAN	123.70

FINISH FLOOR ELEVATIONS (F.F.E.) NOTE:
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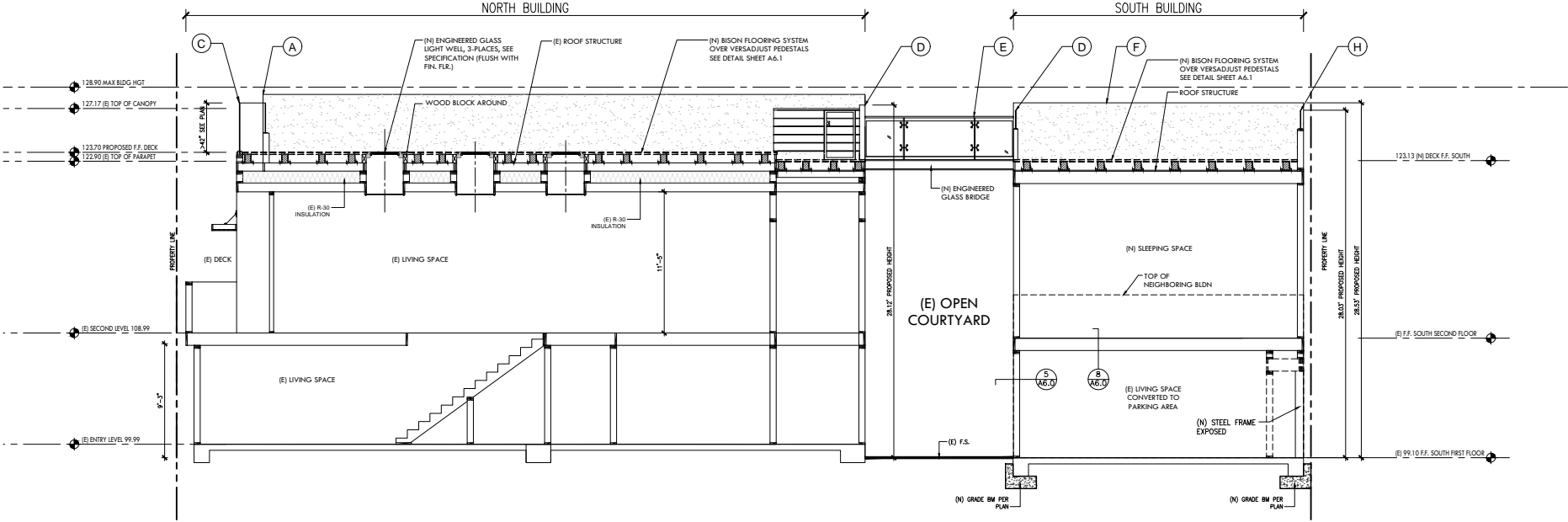
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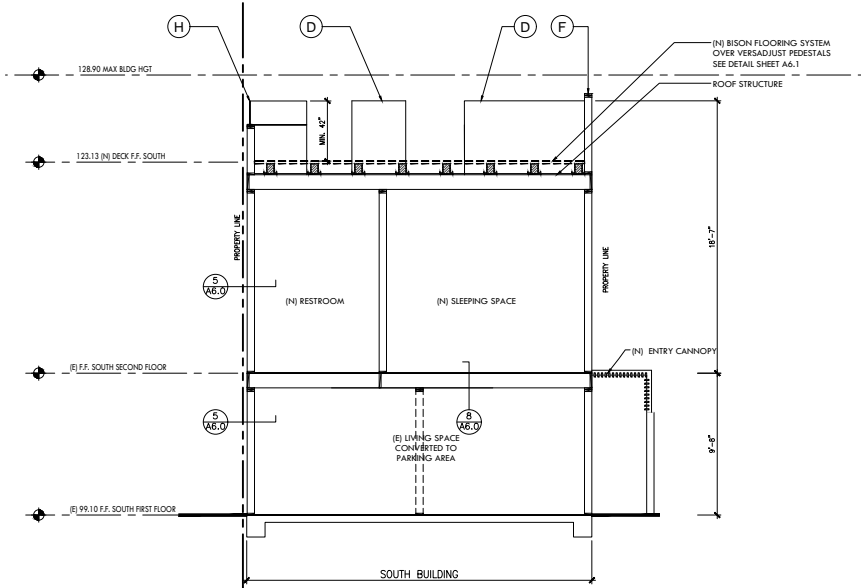
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PROPOSED SECTIONS

SHEET No:

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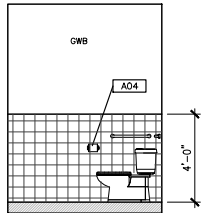
SECTION A-A
SCALE: 1/4"=1'-0"



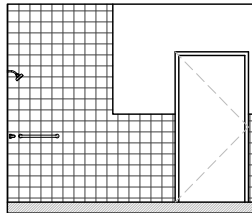
SECTION B-B (SOUTH BLDG)
SCALE: 1/4"=1'-0"

MATERIAL & HEIGHT LEGEND		
SYM.	MATERIAL	PROPOSED ELEVATION
(A)	(N) 48" H. SOLID GUARDRAIL, OR PER PLAN	128.31
(B)	(N) 18" SOLID PARAPET AND 30" HIGH TEMPERED GLASS GUARDRAIL ABOVE TOTAL OVERALL HT ABOVE DECK=48" OR PER PLAN (ICC ESR-3289)	127.57
(C)	(N) 48" HIGH TEMPERED GLASS GUARDRAIL (ICC ESR-3289)	127.57
(D)	(N) 48" H. SOLID GUARDRAIL	127.13
(E)	(N) 48" H. METAL & GLASS GUARDRAIL (ICC ESR-3289)	127.13
(F)	(N) 54" H. SOLID GUARDRAIL	127.63
(G)	PRIVACY SCREEN	128.31
(H)	(N) 18" SOLID PARAPET AND 30" HIGH TEMPERED GLASS GUARDRAIL ABOVE TOTAL OVERALL HT ABOVE DECK=48" (ICC ESR-3289)	127.13
(J)	(N) ROOF PLATFORM, PER PLAN	123.70

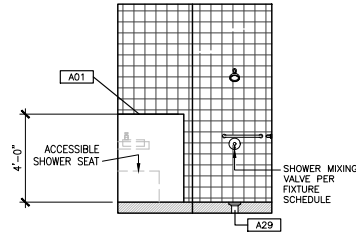
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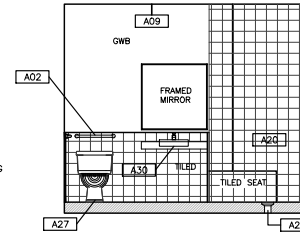
ELEVATION - 4



ELEVATION - 3

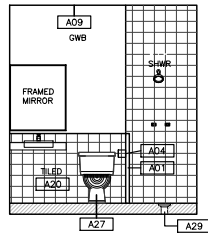


ELEVATION - 2

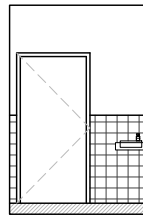


ELEVATION - 1

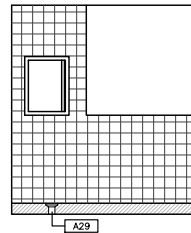
(N) Accessible Restroom (RM1A) RESTROOM ELEVATIONS
SCALE: 3/8"=1'-0"



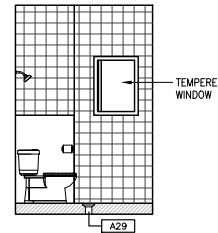
ELEVATION - 4



ELEVATION - 3



ELEVATION - 2

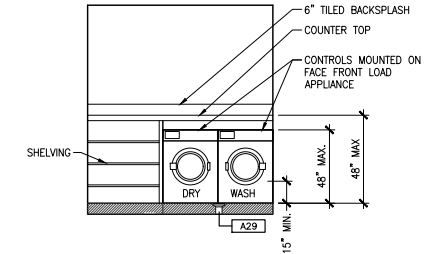


ELEVATION - 1

(N) Restroom (RM2A) RESTROOM ELEVATIONS
SCALE: 3/8"=1'-0"

Keynote Legend	
Key #	Description
A01	METAL PARTITION
A02	WALLS (AND OR FLOORS) MUST BE REINFORCED TO SUPPORT GRAB BARS AS REQUIRED BY GRAB DETAILS
A03	AFFIX AN INTERNATIONAL ACCESSIBILITY SYMBOL, TYPICAL AT ALL ACCESSIBLE ENTRANCES
A04	TOILET PAPER HOLDER
A05	FLOOR MOUNT METAL PARTITION
A06	SINK AND COUNTER
A07	SLOPE MIN. 2% 1/4"X12" TO POSITIVE FLOW
A09	5/8" TYPE-X GREEN DWP. 60.0 CLO. SUPPORTED BY 2X 10" O.C. AT WALLS IN BATHROOM
A10	FULLY RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE STAINLESS STEEL
A12	THRESHOLD TO BE MAXIMUM 1/2" MAXIMUM
A20	TILE MANSUET PER PLAN
A25	GRAB BAR- STAINLESS STEEL GRAB BAR
A27	FLOOR MOUNTED TOILET, ACCESSIBLE TYPE PUBLIC TOILETS SHALL BE IDENTIFIED WITH REQUIRED SIGNAGE
A29	FLOOR DRAIN SET 1/2" BELOW FTE OF RESTROOM PERIMETER, SLOPE TO DRAIN, FIELD VERIFY
A30	PLUMBING: HOT WATER AND DRAIN PIPES ACCESSIBLE UNDER LAVATOIRES SHALL BE INSULATED OR COVERED
A41	1' X FLOOR TO CEILING BANSREEN WITH 1" GAP BETWEEN VERT. BOARDS, FINISH TO BE DETERMINED,
A42	FRONT LOADING GAS WASHER (ACCESSIBLE TYPE)
A43	FRONT LOADING GAS DRYER (ACCESSIBLE TYPE)

(N) LAUNDRY ROOM RM3 (ACCESSIBLE TYPES)
SCALE: 3/8"=1'-0"



ELEVATION 1



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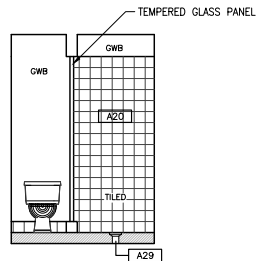
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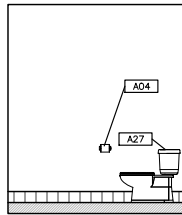
INTERIOR
ELEVATIONS

SHEET No:

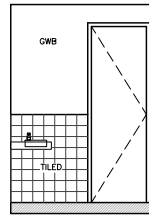
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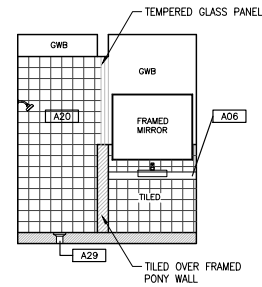
ELEVATION - 4



ELEVATION - 3

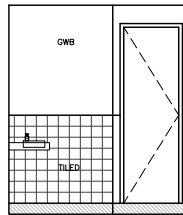


ELEVATION - 2

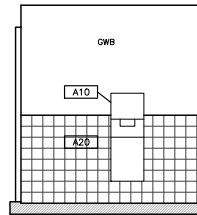


ELEVATION - 1

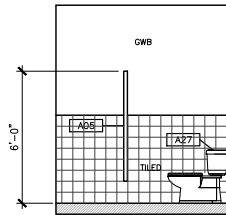
(RS # 4) RESTROOM ELEVATIONS
SCALE: 3/8"=1'-0"



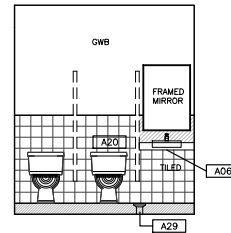
ELEVATION - 1



ELEVATION - 2



ELEVATION - 3



ELEVATION - 4

(RS # 3) RESTROOM ELEVATIONS
SCALE: 3/8"=1'-0"

Keynote Legend	
Key #	Description
A01	METAL PARTITION
A02	WALLS (AND OR FLOORS) MUST BE REINFORCED TO SUPPORT GRAB BARS AS REQUIRED BY GRAB DETAILS
A03	ADD AN INTERNATIONAL ACCESSIBILITY SYMBOL, TYPICAL AT ALL ACCESSIBLE ENTRANCES
A04	TOILET PAPER HOLDER
A05	FLOOR MOUNT METAL PARTITION
A06	SINK AND COUNTER
A07	SLOPE MIN. 2% 1/4"=12" TO POSITIVE FLOW
A08	5/8" TYPE-X GREEN GYP. BD. @ 16" O.C. AT WALLS IN BATHROOM
A10	FULLY RECESSED PAPER TOWEL DISPENSER AND WASTE RECEPTACLE STAINLESS STEEL
A12	THRESHOLD TO BE MAXIMUM 1/2" MAXIMUM
A20	TILE MANSOOT PER PLAN
A25	GRAB BAR STAINLESS STEEL GRAB BAR
A27	FLOOR MOUNTED TOILET, ACCESSIBLE TYPE PUBLIC TOILETS SHALL BE IDENTIFIED WITH REQUIRED SIGNAGE
A29	FLOOR DRAIN SET 1/2" BELOW FFE OF RESTROOM PERIMETER, SLOPE TO DRAIN, FIELD VERIFY
A30	PLUMBING: HOT WATER AND DRAIN PIPES ACCESSIBLE UNDER LAVATORIES SHALL BE INSULATED OR COVERED
A41	1" X FLOOR TO CEILING RAINSCREEN WITH 1" GAP BETWEEN VERT. BOARDS, FINISH TO BE DETERMINED
A42	FRONT LOADING GAS WASHER (ACCESSIBLE TYPE)
A43	FRONT LOADING GAS DRYER (ACCESSIBLE TYPE)



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No.	Date	Description

Drawing Title:
INTERIOR
ELEVATIONS

SHEET No:

A5.1



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Drawing Title:
DETAILS

SHEET No:

A-6.0

California Coastal Commission
5-20-0597
Exhibit 3
Page 14 of 30

FRONT LOAD WASHERS

FR7

FR7

Product Code	FR7000WN	FR7000WN (S)
Available Colors	White	White or Stainless Steel
Capacity - Cu. Ft.	3.5	3.5
Maximum Spin Velocity	1200	1200
Perforated Outer Tub	Yes	Yes
Protect Cycle	Yes	Yes
Wash Compartment	4	4
18" Holes Included	No	No
3" HP Variable Speed Induction Motor	Yes	Yes
TS-102" Door Opening	Yes	Yes
ADA Compliant	Yes	Yes
Pre-rinse	Yes	Yes
Spin Speed Selections	4	4
Temperature Selections	4	4
Soft Level Controls	4	4
Door Remaining Display	Yes	Yes
Frontal Available	White/Black	White/Black
Shuffle Cycle	Yes	Yes
Along Time	Yes	Yes
Sanitize with Clor	Yes	Yes
Delay Start	Yes	Yes
Control Location	Front	Front
Warranty	5 Year Parts & Labor	5 Year Parts & Labor
Model No.	AFN10001151W13	AFN10001151W13 (S)

Agency approvals: cslus
Speed Queen by Alliance Laundry Systems

Dimensions

Dimensions	W-Width	H-Height	D-Depth	Depth with Door Open	Depth with Rear & Door
FR7000WN	26-7/8"	43-3/8"	27-3/8"	53-7/8"	21-3/8"
FR7000WN (S)	26-7/8"	43-3/8"	27-3/8"	53-7/8"	21-3/8"
Frontal	26-7/8"	43"	27"	53-7/8"	21-3/8"

Speed Queen

DRYERS

DR3

DR5

DR7

DR7

Product Code	DR3000WS	DR5000WS	DR7000WS	DR7000WS (S)
Available Colors	White	White	White	White or Stainless Steel
Capacity - Cu. Ft.	3.5	3.5	3.5	3.5
Exhausted Cylinder	Yes	Yes	Yes	Yes
Protect Cycle	Yes	Yes	Yes	Yes
Wash Compartment	4	4	4	4
18" Holes Included	No	No	No	No
3" HP Variable Speed Induction Motor	Yes	Yes	Yes	Yes
TS-102" Door Opening	Yes	Yes	Yes	Yes
ADA Compliant	Yes	Yes	Yes	Yes
Pre-rinse	Yes	Yes	Yes	Yes
Spin Speed Selections	4	4	4	4
Temperature Selections	4	4	4	4
Soft Level Controls	4	4	4	4
Door Remaining Display	Yes	Yes	Yes	Yes
Frontal Available	White/Black	White/Black	White/Black	White/Black
Shuffle Cycle	Yes	Yes	Yes	Yes
Along Time	Yes	Yes	Yes	Yes
Sanitize with Clor	Yes	Yes	Yes	Yes
Delay Start	Yes	Yes	Yes	Yes
Control Location	Front	Front	Front	Front
Warranty	5 Year Parts & Labor	5 Year Parts & Labor	5 Year Parts & Labor	5 Year Parts & Labor
Model No.	ADG10001151W13	ADG10001151W13	ADG10001151W13	ADG10001151W13 (S)

Agency approvals: cslus
Speed Queen by Alliance Laundry Systems

Dimensions

Dimensions	W-Width	H-Height	D-Depth	Depth with Door Open	Depth with Rear & Door
DR3000WS / DR5000WS	26-7/8"	43-3/8"	28"	56"	21-3/8"
DR3000WS / DR5000WS	26-7/8"	43-3/8"	28"	56"	21-3/8"
DR7000WS / DR7000WS (S)	26-7/8"	43-3/8"	28"	56"	21-3/8"
DR7000WS / DR7000WS (S)	26-7/8"	43-3/8"	28"	56"	21-3/8"

Agency approvals: cslus, CSA on star, NIA gas board

Speed Queen

ROOF DECK DRAIN DETAIL

7

BRIDGE GUARDRAIL CONNECTION

4

GUARDRAIL DETAIL

10

STAIR TO LANDING CONNECTION

6

STAIR TO RAILING DETAIL

2

WASHER AND DRYER FRONT LOADING ONLY APPROXIMATE

FLOOR/CEILING WOOD-FRAMED

ICC-ES EVALUATION REPORT ESR-3087

1 HOUR FLOOR / CEILING ASSEMBLY

WOOD-FRAMED WALL

ICC-ES EVALUATION REPORT ESR-3087

1 HOUR WALL ASSEMBLY

FALSE BALCONY SAFETY GLASS RAILING

GLASS RAILING SUPPORT FITTING

STAIR TO LANDING CONNECTION

STAIR TO RAILING DETAIL

STAIR DETAIL

USER NAME:



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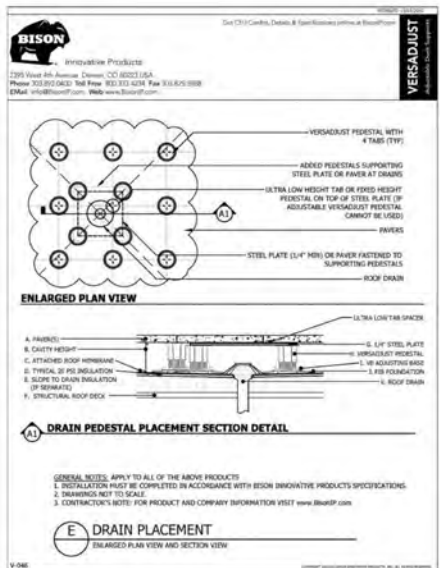
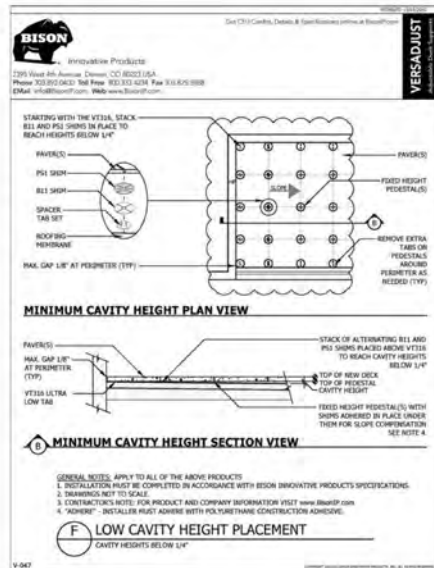
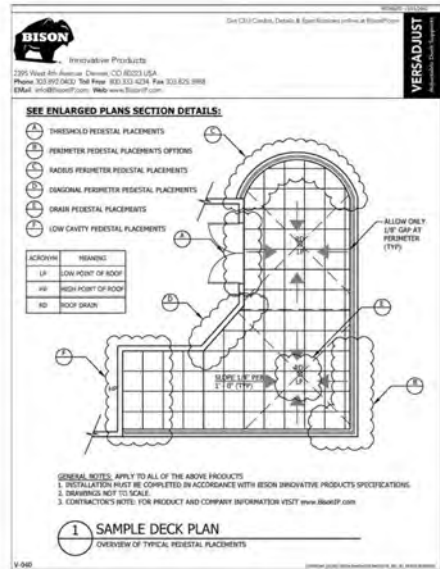
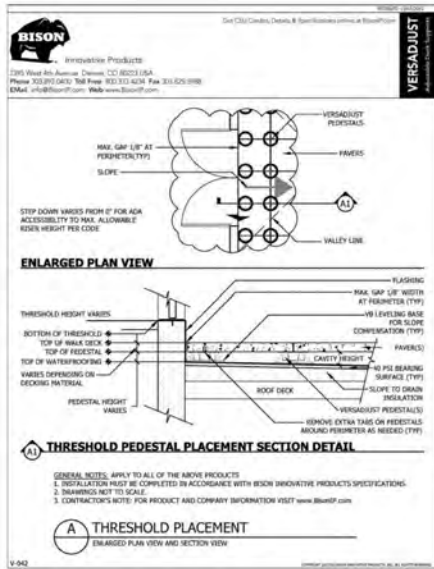
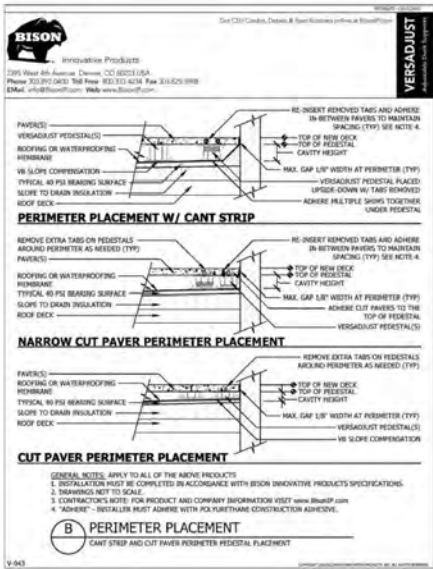
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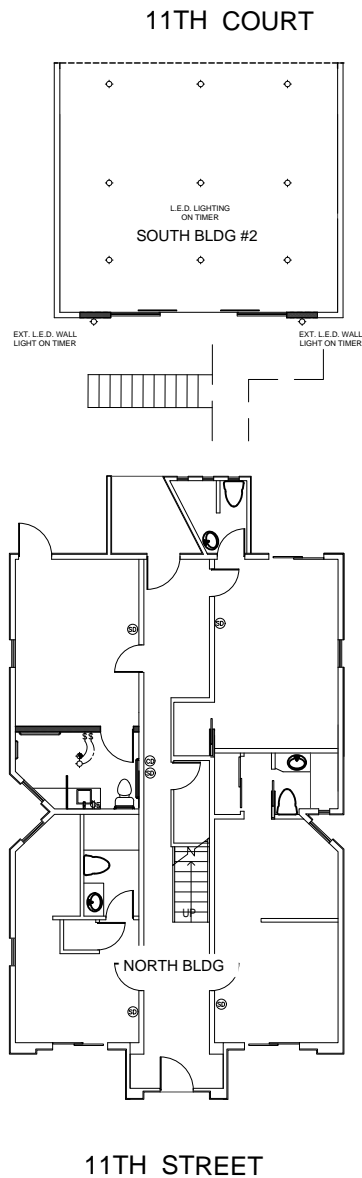
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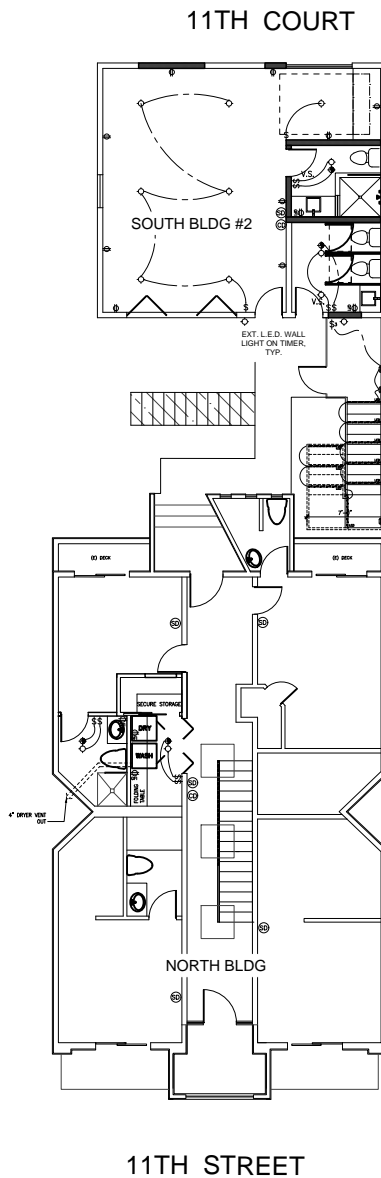
A-6.1



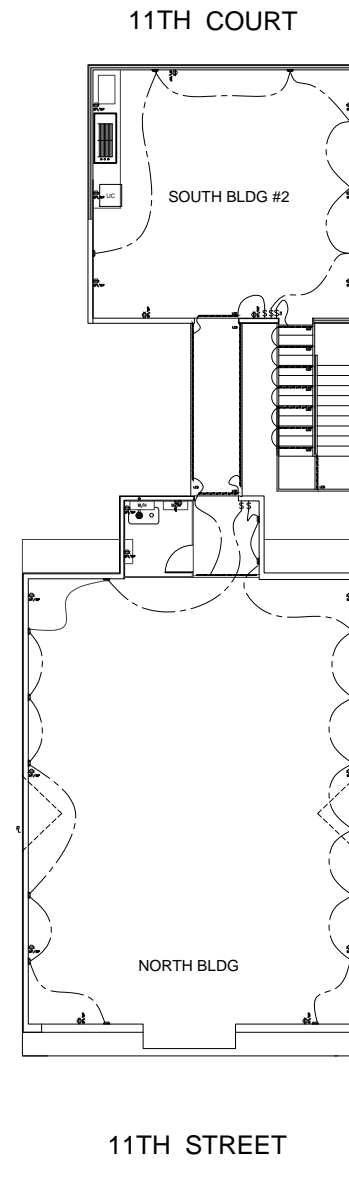
USER NAME:



ELECTRICAL FIRST FLOOR PLAN
SCALE: 3/16"=1'-0"




ELECTRICAL SECOND FLOOR PLAN
SCALE: 3/16"=1'-0"



ELECTRICAL ROOF PLAN
SCALE: 3/16"=1'-0"



LEGEND	
1	1. 1/2" DIA. WALL MOUNTED LAMP
2	2. 1/2" DIA. WALL MOUNTED LAMP
3	3. 1/2" DIA. WALL MOUNTED LAMP
4	4. 1/2" DIA. WALL MOUNTED LAMP
5	5. 1/2" DIA. WALL MOUNTED LAMP
6	6. 1/2" DIA. WALL MOUNTED LAMP
7	7. 1/2" DIA. WALL MOUNTED LAMP
8	8. 1/2" DIA. WALL MOUNTED LAMP
9	9. 1/2" DIA. WALL MOUNTED LAMP
10	10. 1/2" DIA. WALL MOUNTED LAMP
11	11. 1/2" DIA. WALL MOUNTED LAMP
12	12. 1/2" DIA. WALL MOUNTED LAMP
13	13. 1/2" DIA. WALL MOUNTED LAMP
14	14. 1/2" DIA. WALL MOUNTED LAMP
15	15. 1/2" DIA. WALL MOUNTED LAMP
16	16. 1/2" DIA. WALL MOUNTED LAMP
17	17. 1/2" DIA. WALL MOUNTED LAMP
18	18. 1/2" DIA. WALL MOUNTED LAMP
19	19. 1/2" DIA. WALL MOUNTED LAMP
20	20. 1/2" DIA. WALL MOUNTED LAMP
21	21. 1/2" DIA. WALL MOUNTED LAMP
22	22. 1/2" DIA. WALL MOUNTED LAMP
23	23. 1/2" DIA. WALL MOUNTED LAMP
24	24. 1/2" DIA. WALL MOUNTED LAMP
25	25. 1/2" DIA. WALL MOUNTED LAMP
26	26. 1/2" DIA. WALL MOUNTED LAMP
27	27. 1/2" DIA. WALL MOUNTED LAMP
28	28. 1/2" DIA. WALL MOUNTED LAMP
29	29. 1/2" DIA. WALL MOUNTED LAMP
30	30. 1/2" DIA. WALL MOUNTED LAMP
31	31. 1/2" DIA. WALL MOUNTED LAMP
32	32. 1/2" DIA. WALL MOUNTED LAMP
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SURF SIDE SUITES

66 11TH ST
HERMOSA BEACH CA, 90254

STAMP:

Designer of Record:
Pablo E. Escutia

Engineer of Record:

Revision:
No. Date Description

No.	Date	Description

Drawing Title:
ELECTRICAL PLAN
BLDG. # 1 & 2

SHEET No:
AE1

California Coastal Commission
5-20-0597
Exhibit 3
Page 16 of 30

Project Description

The SW Hotel 66 11th Street, Hermosa Beach, CA

The applicants, Sandra and Walter Franco, are the owners of the 11-unit apartment building at 66 11th Street in Hermosa Beach. The site is a 2,912.75 sq. ft. lot located in the City's Downtown District, approximately 375 feet east of the beach. The lot is within the Restricted Commercial (C-2) zoning district with a Recreational Commercial General Plan land use designation. The zoning designation is C-2, General Commercial, which includes retail, restaurant, and hotel uses. Adjacent to the lot are commercial properties -- a restaurant use to the east and an office use to the west

On site are two, two-story structures built in 1911. They are separated by a courtyard and connected by a second-floor walkway. The front, or main, building facing 11th Street has six studio units and two one-bedroom units. The rear building has two studio units and a one-bedroom unit.

The applicants purchased the property in 2008, at which time it was used as an apartment building. Because it is located in a commercial zone, this use of the property is legal non-conforming. In 2017, the applicants began using the units for short-term vacation rentals (STVR).¹

In 2017, the applicants began roof renovation, to include addition of a rooftop deck. During construction, structural deterioration was discovered, leading to addition internal structural work. In light of the more extensive internal renovation required, the applicants decided to apply to the City for approval to operate the property as a hotel. The proposed hotel will add to the limited stock of hotel rooms available within walking distance to the beach in this area. Close proximity to the beach provides a unique opportunity for Coastal visitors to enjoy a variety of recreational activities, shopping, and dining within blocks of their hotel. The hotel units will be "smart units" where the guests will be able to access information, pay online, and access the unit by a unique code number. This provides flexible check-in to allow maximum room access and fit travel schedules.

On July 21, 2020, the City approved a Precise Development Plan and Parking Plan permitting the applicants to operate the existing buildings as a hotel. The project includes the renovation of nine of the existing units and the addition of a ground floor ADA restroom. The structures will be brought into compliance with the State's current Building Codes and Green and Energy Codes, including installation of building insulation, energy-efficient windows, mechanical systems, appliances, and electronics.

The City zoning code requires the applicants to provide one parking space per hotel room, and at least 25 percent of the required spaces must be on site. To meet this

¹ During the application process for hotel use, the City determined that STVR use of the site was not permitted due to the lack of adequate parking.

requirement, the applicants will convert the two rear ground floor studio units into two parking spaces (one of which is ADA). This will result in nine hotel rooms and a requirement for two on-site parking spaces. The two new on-site parking spaces will fulfill the 25% on-site parking requirement. They will be accessed from the alley at the rear of the site. No new curb cut is required, and existing on-street parking will be unaffected.

The remaining seven required parking spaces will be purchased through the City's in-lieu parking program.² The applicant also will purchase monthly City parking passes for guests, as needed depending on occupancy and guest needs. These passes allow parking in the City's 24-hour public parking lots and 24-hour metered parking spaces. The City parking lots are located between 50 and 650 feet from the site. Lot A (130 parking spaces) is across the street from the site (50 feet). Lot B (37 parking spaces) is located one and a half blocks (500 feet) from the site. Lot C (261 parking spaces) is approximately two blocks (650 feet) from the site.

Hotel uses have peak times that coincide with times of the week where public parking is more available when compared to general retail and office uses. The overall public parking lot occupancy for Lots A, B and C is between 79% to 95% during weekday evenings and weekend afternoons. Public parking spaces are provided throughout the Downtown, which is located within Zone 2 of the Coastal Zone public parking supply. In Zone 2, the overall occupancy rates for public parking lots and metered street parking spaces range between 51% and 62% during weekday evenings and weekend afternoons.

With respect to this particular site, the City's Consulting Traffic Engineer concluded that the project as proposed is a less intensive use than apartment use. Peak hour trips generated by the proposed project are expected to be 3 trips during a.m. and p.m., compared to 6 trips for apartment use. The Traffic Engineer noted that the parking required for apartment use is 28 on-site spaces, versus the nine required for the proposed hotel. There are also alternative transportation options for hotel guests that will reduce parking demand, such as ride sharing services (Uber, Lyft, Taxis), bicycles, and public transportation. Once in the Downtown District, walking and bicycling are the primary means for traveling. The hotel will have a bicycle rack accommodating four bicycles. Within one block of the hotel are stops for the Beach Cities Transit bus line connecting Hermosa Beach with Redondo Beach, Manhattan Beach, and El Segundo.

² See Hermosa Beach Municipal Code Section 17.44.040(E). The City's in-lieu fee program collects funds that can be used for future improvements to the City's public parking. This reflects an agreement with the Coastal Commission as part of the City's certified Coastal Land Use Plan, establishing an approved program for payment of fees in-lieu of providing all required parking on-site. The intent is to allow for the development of smaller properties in the downtown where it is not possible or not practical to provide all required parking on-site. Currently the in-lieu fee amount is \$28,900 per required parking space not provided on-site. The fee was established by resolution of the City Council based on an appraisal completed in July 2006. The in-lieu funds are used to mitigate increased parking demand. The threshold limit was established at 100 parking spaces in 1982 and the City has not yet reached this threshold. At the time this project was approved, the City had 32 unallocated parking spaces in its in-lieu inventory.

Room rates will be in line with those charged by comparable lodging facilities in the immediate area (see table below).³

Table 4. Pricing and Availability of Existing Overnight Accommodations in the City

Hotel	Coastal Zone?	Number of Rooms	Low Season	Sample Nightly Rate* Shoulder Season	High Season	Average (mean)	Lower-Cost?	Moderate-Cost?
Beach House	Yes	96	\$309	\$309	\$459	\$359	No	No
Grandview Inn	Yes	17	\$169	\$209	\$229	\$202	No	No
Hampton Inn & Suites	No	70	\$144	\$215	\$254	\$204	No	No
Holiday Inn Express	No	80 rooms, 16 suites	\$165	\$180	\$200	\$182	No	Yes
Hermosa Hotel	No	81	\$155	\$199	\$269	\$208	No	No
Quality Inn & Suites	No	61 rooms, 12 suites	\$163	\$169	\$209	\$182	No	Yes
Sea Sprite Motel	Yes	88 rooms, 1 cottage suite (up to 10 visitors)	\$209	\$219	\$289	\$239	No	No
Surf City Hostel*	Yes	19 rooms (4-6 visitors per room)	\$35	\$39	\$45	\$40	Yes	N/A
Total Rooms: 462 rooms/ 32 suites								

* Excepting Surf City Hostel, reported prices are for available rooms assumed to accommodate two people. Prices listed for Surf City Hostel are per person. Price data collected from hotels.com and booking.com in August 2019.

The applicants propose to pay an in-lieu fee for two of the planned hotel rooms in order to meet the requirement to provide lower-cost accommodations.

Conversion to Hotel Units

Access to the Coast and Coastal facilities takes a number of forms, including recreational access and access to housing. This project is a vehicle to promote recreational access for visitors throughout the year. It replaces a similar commercial use – short-term vacation rentals – that was not compliant with the City’s parking standards. Although the structure is an apartment building, it sits in a commercial zone and does not contain residential dwelling units. Similarly, conversion of this building to a hotel is not a “Housing Development Project.”⁴ Therefore, it is not subject to the Housing Crisis Act’s provisions on replacement of dwelling units.⁵

³ Source: Lower-Cost Overnight Accommodations Study Report, Wood Environmental & Infrastructure Group (October 2019).

⁴ See California Government Code Sec. 65915(h)(2) (defining “Housing development project” as: “(A) Residential units only. (B) Mixed-use developments consisting of residential and nonresidential uses with at least two-thirds of the square footage designated for residential use. (C) Transitional housing or supportive housing.”)

⁵ California Government Code Sections 66300(d)(1) and (2) prohibit a city from approve a “housing development project” that will require the demolition of residential dwelling units, unless the project will create at least as many residential dwelling units as will be demolished, or approve a “housing development project” that will require the demolition of occupied or vacant protected units.

7. Room Rates and Feasibility Study of Incorporating Lower-Cost Accommodations

In response to my letter of December 7, 2020, you indicated that if the applicant is willing to provide at least two rooms as lower cost rooms, the applicant is not required to provide a feasibility study of providing such accommodations. You indicated that Lower Cost is either the Average Daily Rate (ADR) for economy hotels and motels in the Hermosa Beach market area or 75% of the 2019 peak season or 2019 annual ADR. We were not able to obtain the peak season ADR for 2019 or the annual ADR, but the Visit California website indicates that the year-to-date statewide ADR for November 2019 was \$173.08. (Please see the table below.) Accordingly, the low-cost rate for 2019 would have been close to 129.81. The applicant proposes to provide two rooms as lower cost rooms at this rate.

Tab 2 - Multi-Segment

Visit California

For the month of: November 2020

	Current Month - November 2020 vs November 2019												Year to Date - November 2020 vs November 2019											
	Occ %		ADR		RevPAR		Percent Change from November 2019						Occ %		ADR		RevPAR		Percent Change from Y					
	2020	2019	2020	2019	2020	2019	Occ	ADR	RevPAR	Room Rev	Room Avail	Room Sold	2020	2019	2020	2019	2020	2019	Occ	ADR	RevPAR	Room Rev		
United States	40.3	61.6	90.92	125.70	36.67	77.40	-34.5	-27.7	-52.6	-53.5	-1.9	-35.7	44.7	67.1	104.10	131.56	46.57	88.31	-33.3	-20.9	-47.3	-49.2		
Pacific	42.4	68.8	114.65	163.66	48.61	112.65	-38.4	-29.9	-56.8	-58.7	-4.3	-41.1	48.1	74.7	131.13	172.18	63.10	128.56	-35.5	-23.8	-50.9	-54.6		
California	45.3	71.2	117.55	166.33	53.27	118.35	-36.3	-29.3	-55.0	-57.0	-4.5	-39.2	50.1	76.0	132.8	173.08	66.58	131.58	-34.1	-23.2	-49.4	-52.8		
Central Coast+	49.0	65.6	170.69	175.20	83.60	114.96	-25.3	-2.6	-27.3	-27.3	-0.1	-25.4	50.7	72.3	166.29	191.23	84.26	138.18	-29.9	-13.0	-39.0	-39.5		
Central Valley+	57.7	64.5	90.28	95.30	52.12	61.46	-10.5	-5.3	-15.2	-13.4	2.1	-8.6	58.7	69.7	90.72	96.97	53.25	67.55	-15.7	-6.4	-21.2	-19.5		
Deserts+	47.3	62.8	123.38	133.84	58.39	84.05	-24.6	-7.8	-30.5	-31.3	-1.2	-25.5	48.8	62.8	119.79	138.64	58.52	87.10	-22.2	-13.6	-32.8	-40.4		
Gold Country+	52.2	68.1	96.32	120.14	50.32	81.82	-23.3	-19.8	-38.5	-38.6	-0.2	-23.5	55.5	76.6	102.29	125.48	56.77	96.11	-27.5	-18.5	-40.9	-40.7		
High Sierra+	46.8	48.0	127.91	123.62	59.88	59.38	-2.5	3.5	0.8	0.9	0.1	-2.5	49.8	65.2	144.50	156.71	71.98	102.10	-23.5	-7.8	-29.5	-32.4		
Inland Empire+	60.2	71.3	98.33	107.07	59.24	76.32	-15.5	-8.2	-22.4	-20.4	2.5	-13.4	60.6	72.5	97.64	107.35	59.16	77.86	-16.5	-9.0	-24.0	-22.6		
Los Angeles County+	43.6	76.5	123.60	177.11	53.92	135.48	-43.0	-30.2	-60.2	-61.7	-3.7	-45.1	49.9	80.4	140.92	181.57	70.39	145.98	-37.9	-22.4	-51.8	-54.8		

Best Regards,

Brandon Straus
Brandon Straus

P.C. RESOLUTION 20-17

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HERMOSA BEACH, CALIFORNIA, APPROVING A PRECISE DEVELOPMENT PLAN TO ALLOW CONVERSION OF AN 11 UNIT NON-CONFORMING APARTMENT BUILDING INTO A 9 UNIT HOTEL, INCLUDING REMOVAL OF 2 GROUND FLOOR UNITS AND PROVISION OF 2 NEW PARKING SPACES IN THE C-2 (RESTRICTED COMMERCIAL) ZONING DISTRICT AT 66 11TH STREET AND DETERMINATION THAT THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).

The Planning Commission of the City of Hermosa Beach does hereby resolve and order as follows:

Section 1. An application was filed on March 23, 2020, requesting approval of Precise Development Plan 20-3 to allow conversion of an 11 unit non-conforming apartment building into a 9 unit hotel, including removal of 2 ground floor units and provision of 2 new parking spaces and Parking Plan 20-1 to allow the 9-space parking requirement to be met with 2 on-site spaces plus fees in-lieu for 7 spaces, on a 2,912.75 square foot lot in the C-2 (Restricted Commercial) zoning district at 66 11th Street; and determination that the project is categorically exempt from the California Environmental Quality Act (CEQA).

Section 2. The project was originally scheduled as a public hearing item on the June 16, 2020 Planning Commission agenda. Due to a public noticing error affecting the public hearing items, a special meeting was held on June 22, 2020.

At the June 22, 2020 meeting, the Planning Commission continued the item to July 21, 2020 in order to consider additional questions by the Planning Commission and additional information provided.

The Planning Commission conducted a duly noticed public hearing to consider the application on July 21, 2020 at which time testimony and evidence, both oral and written, was presented to and considered by the Planning Commission.

Section 3. California Environmental Quality Act Section 15301 (Existing Facilities) [Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use]; and 15322 (In-Fill Development [Class 32 consists of projects characterized as in-fill development meeting the conditions described in this section.(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.(b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.(c) The project site has no value, as habitat for endangered, rare or threatened species.(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.(e) The site can be adequately served by all required utilities and public services].

Section 4. Based on the testimony and evidence received, the Planning Commission makes the following findings pertaining to the application for the Precise Development Plan pursuant to H.B.M.C. Section 17.58.030:

1. Distance from existing residential uses in relation to negative effects: Residential units are located approximately 35 feet south of the subject property across the 11th Court alley and a non-conforming single family residence is located 45 feet to the west, separated by a small office building, at 46 11th Street. The existing building is located at the subject property's north, south and west property lines, and the front portion of the east property line, with the rear portion of the property 44-feet maintaining a 4-foot side setback plus open patio area in center of property. The existing building will maintain the existing entrance/exit located at the center of the front of the building (11th Street frontage) which is oriented away from nearby residential uses, and vehicular access and garage entrance is provided from the 11th Court alley; across from residential buildings. Hotels are permitted by right within the C-2 zone. Pursuant to HBMC Section 8.24.040, the City's Noise Ordinance restricts commercial activities that are plainly audible from a residential dwelling unit's property line from 10:00 p.m. to 8:00 a.m. daily, which is included as a condition of approval. Lighting will be installed around the building and will be required to be downcast so to not disturb neighboring residential uses. The project includes a condition to require lighting be downcast and be non-disruptive to nearby uses. Lighting shall conform to HBMC Section 17.44.160(C).

The existing 1911 apartment structure is proposed to be adaptively re-used as a hotel with 9 units and 2 new parking spaces. The hotel use will be conducted indoors with outdoor areas including: an open ground-floor patio area on the central portion of the building, small 20-30 sq. ft. patio and unit deck areas for the hotel rooms, and a new 1,201 square foot roof deck. The interior of the structure is being converted from 11 apartment units with 11 bedrooms to 9 bedrooms in 9 hotel units, a new enclosed ADA restroom 42 sq. ft. on the 1st floor accessible from the common patio, and a new convenience sales area of 75 sq. ft. on the 2nd floor. The added 1,201 sq. ft. roof deck above the 2nd floor will be a shared amenity, which will be required to close from 10:00 p.m. through 8:00 a.m. daily. No entertainment, music, speakers, televisions, or audio or visual media of any type is permitted on the roof deck as conditions of approval. The hotel units will be "smart units" where the renters will be able to access information, pay online, and access the unit by a unique code number. Staff will be on-site from 8:00 a.m. through 10:00 p.m. minimum, and local management will be available 24-hours to assist guests and respond to guest or neighbor concerns. Therefore, negative impacts to existing residential uses are not anticipated.

2. The amount of existing or proposed off-street parking in relation to actual need: A comparison of the parking requirements for the existing and proposed uses is shown in the below table.

Parking Requirements for Existing and Proposed Parking

HBMC 17.44.030 Required Parking Spaces by Use

		Number Required	Number Provided	Deficit
EXISTING	11 Apartments	28	0	28
PROPOSED	9 Room Hotel	9	2	7

As illustrated above, HBMC 17.44.030 would require the existing 11-unit apartment building to provide 28 spaces; the property currently provides no parking. The proposed change in use to a 9-unit hotel with 2 on-site parking spaces greatly reduces the parking deficit from 28 to 7 spaces, which are proposed to be satisfied with an in-lieu parking fee payment. Therefore, the new hotel use will reduce parking demand significantly and will also provide in-lieu fees for the 7 space deficit, bringing the property and building into conformity for parking.

HBMC Section 17.44.040 (E) 2.b. requires building sites, where buildings will exceed a 1:1 gross floor area to building site area ratio, to provide a minimum of 25% of the required parking on-site with the remaining required parking authorized to be paid through in-lieu fee contributions with approval of a Parking Plan. The proposed project FAR totals 1.06, therefore, a minimum of 2 parking spaces (25% of 9 spaces) must be provided on-site. A Parking Plan is requested to allow the 9-space parking requirement to be met with 2 on-site spaces (including 1 ADA space) plus fees in-lieu for 7 spaces. HBMC Section 17.44.180 states when calculating parking spaces, any resulting fraction less than one-half shall be disregarded, in this case ($9 \times .25 = 2.25$) 2 spaces will be required on-site. Additionally, a bicycle rack accommodating four bicycles will be required as a condition of approval as recommended by the attached Parking and Traffic Study.

The purpose of the in-lieu fee program is to collect funds which can be used to for future improvements to the City's public parking. A Parking Plan is requested to allow the 9-space parking requirement to be met with 2 on-site spaces plus fees in lieu for 7 spaces. To provide some context in considering the request for approval of 7 in-lieu spaces, the current inventory of all City-approved in-lieu parking spaces is attached.

Hotel uses have peak times which coincide with times of the week where public parking is more available when compared to general retail and office uses. The nearest public surface parking lot, which contains 130 parking spaces, is located immediately across 11th Street (50 feet) away at 1101 Hermosa Avenue (Lot A) and allows 24-hour parking. Lot B contains 37 parking spaces and is located north of 13th Court; between Hermosa Avenue and Beach Drive, and is approximately one and a half blocks (500 feet) away. The public parking structure containing 261 parking spaces located at 13th Street and Hermosa Avenue (Lot C) is located approximately two blocks (650 feet) away and allows 24-hour parking. The overall public parking lot occupancy for Lots A, B and C is between 79% to 95% during weekday evenings and weekend afternoons. Public parking spaces are provided throughout the Downtown, which is located within Zone 2 of the Coastal Zone public parking supply (between 16th Street and 8th Street and as far east as Ardmore Avenue). In Zone 2, through a combination of public parking lots and metered street parking spaces, occupancy rates range between 51% and 62% during weekday evenings and weekend afternoons. A Parking and Traffic Study, prepared by the City's consultant Interwest for this project is attached.

3. The combination of uses proposed, as they relate to compatibility: The subject site will contain a total of 9 hotel units with 2 on-site parking spaces. Hotels are permitted by right within the C-2 zone, as they are seen as a low impact use, and all noise from the hotel use operations will be contained within the building and outdoor areas including the new roof deck, which will be required to close between 10:00 p.m. through 8:00 a.m. daily as a condition of approval. The hotel use would be compatible with surrounding commercial uses such as general and medical office, retail and restaurant uses and, as conditioned, would not negatively impact nearby residential uses. Therefore, adverse impacts are not anticipated.

4. The relationship of the estimated generated traffic volume and the capacity and safety of streets serving the area: The project will not introduce any hazards to mobility, as alterations to the surrounding streets are not proposed and the project's proposed modifications will not impact emergency access to the site. Emergency access and fire lanes and ingress and egress points will be maintained in full compliance with the Building and Safety Code and Fire Code. The project does not propose any features or modifications to existing circulation facilities that would have the potential to conflict with transportation/mobility plans. The total number of daily trips is significantly reduced from the existing 11-unit apartment use (66 trips) to the proposed hotel use (30 trips), a reduction of 55%. Peak hour trips

generated by the proposed project are expected to be reduced from 6 peak trips to 3 peak trips during a.m. and p.m., a reduction of 50%. The number of trips is well below the standard threshold of significance of 50 trips during a peak hour, indicating the project does not have the potential to result in significant impacts related to the capacity of local or regional roads or intersections. The parking demand is significantly reduced from 28 parking spaces to 9 parking spaces, 2 of which will be provided onsite and 7 proposed to pay in-lieu fees to satisfy the parking requirements. Therefore, adverse impacts are not anticipated.

5. The proposed exterior signs and decor, and the compatibility thereof with existing establishments in the area: The new commercial building will face 11th Street, which is comprised of a variety of commercial and non-conforming residential uses. Architectural treatments and design elements include wood and stone elements at the front, painted lap siding at the rear, glass deck railings, covered and recessed walkways, and balconies to provide a modern, pedestrian friendly streetscape that is compatible in size and architectural style with the surrounding area. The existing architectural elements above the roof line will be removed. The application request includes a proposed atrium glass feature on the roof deck that will be within the 30-foot height limit. A small wall sign and a small sign for the ADA parking space sign are shown on the renderings. The project includes a condition requiring a sign permit for new signage at the subject site in conformance with HBMC Section 17.50.

6. Building and driveway orientation in relation to sensitive uses, e.g., residences and schools: The existing building will maintain the entrance/exit located at the center of the front of the building (11th Street frontage) which is oriented away from nearby residential uses. The project will provide a new vehicular access point to the parking along the south alley (11th Court). The vehicular ingress/egress point is oriented to the south, across from garages of existing residential buildings, where it is least impactful to nearby residences. No new curb cuts are proposed and all on-street parking spaces will be preserved. No impacts are anticipated.

7. Noise, odor, dust and/or vibration that may be generated by the proposed use: The short duration of noise events generated during the anticipated 6-12 month construction period will temporarily result in increased ambient noise levels, but will not significantly impact the ambient noise environment over the long term or for a significant period of time. Compliance with the City's Noise Ordinance will effectively ensure that the project does not exceed adopted standards and successfully avoids significant construction-related temporary noise impacts. The hotel use will be conducted indoors with outdoor areas including: an open ground-floor patio area on the central portion of the building, small 20-30 sq. ft. patio and unit deck areas for the hotel rooms, and a new 1,201 square foot roof deck. The roof deck will be a shared amenity required to close between 10:00 p.m. through 8:00 a.m. daily. No entertainment, music, speakers, televisions, or audio or visual media of any type is permitted on the roof deck as conditions of approval. Commercial properties, a restaurant use to the east and an office use to the west, are immediately adjacent on each side of the subject property. The hotel units will be "smart units" where guests will be able to access information, pay online and enter the unit using a unique code. As such, significant noise impacts from the long-term operations are not anticipated.

HBMC Section 8.12 requires adequate solid waste collection and disposal facilities for all developments. A minimum four cubic yard roll off container is needed for the nine-unit hotel use. A fully enclosed trash enclosure with a roof is proposed along the east side of the existing structure where the container can be rolled to the edge of the property along the 11th Court alley. Therefore, with proposed conditions of approval, adverse impacts are not anticipated.

8. Impact of the proposed use to the city's infrastructure, and/or services:

The existing site has available utilities and services. The site has historically been occupied by a residential use. The City's Public Works Department has confirmed that adequate capacity exists to provide utilities for the proposed development.

9. Adequacy of mitigation measures to minimize environmental impacts in quantitative terms. The existing buildings will remain, with only necessary changes to convert the use from 11 apartment units to a 9 room hotel, which includes conversion of 2 small apartment units into an open parking area for 2 parking spaces (1 ADA and 1 regular), addition of a new ADA restroom available to the 1st floor central patio, and enclosure of a vending machine area for toiletries snacks, soda and water. California Environmental Quality Act Section 15301 (Existing Facilities) [Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use]; and 15322 (In-Fill Development [Class 32 consists of projects characterized as in-fill development meeting the conditions described in this section.](a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.(b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.(c) The project site has no value, as habitat for endangered, rare or threatened species.(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.(e) The site can be adequately served by all required utilities and public services] and the project would not result in any significant environmental impacts.

10. Other considerations that, in the judgment of the planning commission, are necessary to assure compatibility with the surrounding uses, and the city as a whole. The project is conditioned such that upon final approval of the Precise Development Plan the property owner shall be required to file with the City of Hermosa Beach the necessary business license for the hotel use and file the transient occupancy tax (TOT) reports and payments with the City of Hermosa Beach.

Additionally, the project will comply with the current edition of the California Building Codes, including the Green Code (Title 24 Part 11) and Energy Code (Title 24 Part 6) as adopted by the City of Hermosa Beach (HBMC Title 15). The California Building Codes and Green and Energy Codes require installation of building insulation, energy windows, occupancy/vacancy sensors on outlets and light fixtures, motion sensor light fixtures within stairways, energy efficient light fixtures (LED or florescent) throughout the interior and exterior and require compliance with mandatory star rated energy efficient mechanical systems, appliances, and electronics such as televisions to ensure no wasteful, inefficient, or unnecessary energy consumption. Therefore, the project will not result in wasteful, inefficient or unnecessary consumption of energy.

Section 5. Based on the foregoing, the Planning Commission hereby **approves** the proposed Precise Development Plan 20-3 subject to the following **Conditions of Approval**:

- 1. The project consisting of a 9-unit hotel development shall be substantially consistent with plans and application submitted and approved by the Planning Commission on July 21, 2020. The Community Development Director shall review and may approve minor modifications that do not otherwise conflict with the Municipal Code or requirements of this approval, provided that the use is not changed, intensity of use is not increased and the**

arrangement of space would not increase negative impacts. Any substantial deviation, changes to the floor plan, site plan, or building exterior which alter the primary function of the use as a hotel shall be subject to review and approval by the Planning Commission.

2. The subject site shall additionally comply with Parking Plan P.C. Resolution 20-18.
3. Prior to issuance of a certificate of occupancy, an 'Acceptance of Conditions' affidavit and recording fees shall be filed with the Los Angeles County Recorder stating that the applicant/property owner is aware of, and agrees to accept, all of the conditions of this permit of approval.
4. Upon final approval of the Precise Development Plan the property owner shall file with the City of Hermosa Beach the necessary business license for the hotel use and file the transient occupancy tax (TOT) reports and payments with the City of Hermosa Beach.
5. The applicant shall obtain and provide evidence to the Community Development Director of an approved Coastal Development Permit prior to issuance of the hotel certificate of occupancy.
6. The business shall prevent unruliness and boisterous activities of the patrons on the outdoor patios, rooftop decks, outside of the hotel, or in the immediate area.
7. Architectural treatments and accessory facilities, as well as all landscaping, shall be as shown on building elevations, site and floor plans. Precise building height compliance shall be reviewed at the time of plan check, to the satisfaction of the Community Development Director.
8. The roof deck shall be closed and locked between hours of 10:00 p.m. and 8:00 a.m. to minimize neighborhood impacts.
9. A minimum of 3 security cameras shall be installed on the rooftop deck and monitored to ensure guest compliance with hours of use. Video recordings will be stored for 2 weeks and available to City authorities when requested.
10. No live entertainment, music, speakers, televisions, or audio or visual media of any type, whether amplified or unamplified, shall be provided within any outdoor area.
11. The roof deck areas shall be available for verified guests and their guests only. The roof deck shall not be accessible to the public. The number of people on the roof deck areas shall not exceed the posted maximum occupancy allowed by the Building and Fire Codes, but shall in no case exceed 50 occupants
12. Prior to the final of building permits, the applicant shall submit to the Community Development Director for review and approval a business management plan that includes the following:
 - a. Identify all reasonably prudent business practices that the owner or owner's authorized agent will use to ensure that occupants and/or guests will occupy the hotel in a manner that complies with all applicable laws, rules, regulations, and permits.

b. Identify all reasonably prudent business practices to ensure that the occupants and/or guests of the hotel do not create unreasonable noise or disturbances, engage in disorderly conduct or illegal activity, or violate any applicable law, rule or regulation pertaining to the use and occupancy of the hotel. Upon notification that any occupant or guest of the hotel has created unreasonable noise or disturbances, engaged in disorderly conduct, or committed violations of any applicable, law, rule or regulation pertaining to the use and occupancy of the hotel, respond in a timely and appropriate manner to immediately halt or prevent a recurrence of such conduct.

c. Provide the name, address and telephone number of a local contact person who shall be available 24 hours per day, seven days per week for the purpose of responding to City staff and other hotel guest calls pertaining to complaints regarding the condition, operations, or conduct of occupants of the hotel or their guests and if directed by City staff, to personally proceed on-site within thirty (30) minutes from the call to resolve the problem.

d. Identify all reasonably prudent business practices to ensure that the hotel is used for overnight accommodations purposes only. This shall include using all prudent business practices to prohibit the rental to commercial party businesses.

e. A plaque shall be posted and maintained at all times within plain view of both entrances with emergency 24-hour contact telephone number. Management shall respond to guest inquiries or complaints within 30 minutes.

13. Keyless entry for all rooms shall be provided to reduce need for 24-hour on-site registration staffing.

14. Verified registered guests shall be 21 years of age minimum.

15. Rideshare shall be encouraged through online registration process and other feasible methods.

16. The owner shall provide discounts to all guests who are vehicle free.

17. The owner may not operate or advertise the property as a Short Term Vacation Rental.

18. All exterior lighting shall be downcast and fully shielded, and illumination shall be contained within the property boundaries. Lighting shall be energy-conserving and motion detector lighting shall be used for all lighting except low-level (three feet or less in height) security lighting and porch lights. Lamp bulbs and images shall not be visible from within any offsite residential unit. Exterior lighting shall not be deemed finally approved until 30 days after installation, during which period the Building Official may order the dimming or modification of any illumination found to be excessively brilliant or impacting to nearby properties.

19. Lighting for signage must be downcast and non-disruptive to nearby uses and compliant with HBMC Section 17.50 (Signs).

20. A sign permit shall be obtained for new signage at the subject site in conformance with HBMC Section 17.50.
21. A trash enclosure facility with roof, capable of accommodating a minimum four-yard roll off container shall be located along the east side of the existing structure, subject to review and approval of the Community Development Director.
22. The exterior of the premises shall be maintained in a neat and clean manner, and maintained free of graffiti at all times.
23. Noise emanating from the property shall be within the limitations prescribed by the City's Noise Ordinance (Hermosa Beach Municipal Code Chapter 8.24) and shall not create a nuisance to surrounding residential neighborhoods, and/or commercial establishments.
24. The establishment shall not adversely affect the welfare of the residents, and/or commercial and residential establishments nearby.
25. Prior to issuance of a Building Permit, an approved civil engineering plans prepared by a licensed civil engineer, and approved by Public Works, addressing grading, undergrounding of all utilities, pavement, sidewalk, curb and gutter improvements, on-site and off-site drainage (no sheet flow permitted), installation of utility laterals, and all other improvements necessary to comply with the HBMC Chapter 12.08.010 and Public Works specifications, shall be filed with the Community Development Department.
26. Project construction shall protect private and public property in compliance with HBMC Chapter 15.04.070 and 15.04.140. No work in the public right of way shall commence unless and until all necessary permits are attained from the Public Works Department including if required, an approved Residential or Commercial Encroachment Permit.
27. Sewer lateral video must be submitted with plan check submittal, if the developer plans to use the existing sewer lateral. Sewer lateral work may be required after review of the sewer lateral video.
28. Sewer main work may be required after review of sewer lateral video.
29. The project must comply with Storm Water and Urban Runoff Pollution Control Regulations (HBMC Ch. 8.44). Implement required Low Impact Development Standards, provide calculations and documents i.e. Appendix D and E of the Storm Water LID Guidelines.
30. The project and operations shall comply with all requirements of the Building Division, Public Works Department and Fire Department, and the City of Hermosa Beach Municipal Code.
31. An automatic sprinkler system is required per California Building Code Section 903.2.8.

32. Building plans shall be submitted to the Los Angeles County Fire Department for review and approval. Final fire inspections shall be coordinated with the Los Angeles County Fire Department.
33. The project shall maintain in conformance with all other applicable regulatory agency requirements and standards, including but not limited to: Los Angeles County Health Department, California Disabled Access Standards (Government Code Title 24), and Los Angeles County National Pollutant Discharge Elimination System Permit (NPDES).
34. The applicant shall submit all required plans and reports to comply with the City's construction debris recycling program including manifests from both the recycler and County landfill; at least 65% of demolition debris associated with demolition of the existing improvements and new construction shall be recycled.
35. The practice of washing and rinsing floor mats, equipment, tables, etc., or discharge of any liquids, other than Stormwater, onto the public right-of-way, into the parking lot drain or storm drains, is strictly prohibited. Discharge of liquids or wash water shall be limited to the sanitary sewer.
36. Exterior and interior water use shall comply with Hermosa Beach Municipal Code Chapter 8.56.
37. The subject property shall be developed, maintained and operated in full compliance with the conditions of this permit and any law, statute, ordinance or other regulation hereafter adopted that is applicable to any development or activity on the subject property. Failure of the permittee to cease any development or activity not in full compliance shall be a violation of these conditions.
38. The Planning Commission may review this Precise Development Plan and may amend the subject conditions or impose any new conditions if deemed necessary to mitigate detrimental effects on the neighborhood resulting from the subject Precise Development Plan.
39. Approval of this permit shall expire twenty-four (24) months from the date of approval by the Planning Commission, unless significant construction or improvements or the use authorized hereby has commenced. One or more extensions of time may be requested. No extension shall be considered unless requested, in writing to the Community Development Director including the reason therefore, at least 60 days prior to the expiration date. No additional notice of expiration will be provided.

Section 6. This permit shall not be effective for any purposes until the permittee and the owners of the property involved have filed at the office of the Planning Division of the Community Development Department their affidavits stating that they are aware of, and agree to accept, all of the conditions of this permit.

The Precise Development Plan shall be recorded, and proof of recordation shall be submitted to the Community Development Department prior to the issuance of a certificate of occupancy.

Each of the above conditions is separately enforced, and if one of the conditions of approval is found to be invalid by a court of law, all the other conditions shall remain valid and enforceable.

To the extent permitted by law, Permittee shall defend, indemnify and hold harmless the City of Hermosa Beach, its City Council, its officers, employees and agents (the "indemnified parties") from and against any claim, action, or proceeding brought by a third party against the indemnified parties and the applicant to attack, set aside, or void any permit or approval for this project authorized by the City, including (without limitation) reimbursing the City its actual attorney's fees and costs in defense of the litigation. The City may, in its sole discretion, elect to defend any such action with attorneys of its choice.

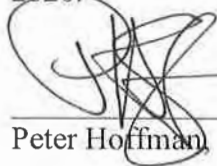
The permittee shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought against the City because of this permit. Although the permittee is the real party in interest in an action, the City may, at its sole discretion, participate at its own expense in the defense of the action, but such participation shall not relieve the permittee of any obligation under this condition.

Section 7. Pursuant to the Code of Civil Procedure Section 1094.6, any legal challenge to the decision of the Planning Commission, after a formal appeal to the City Council, must be made within 90 days after the final decision by the City Council.

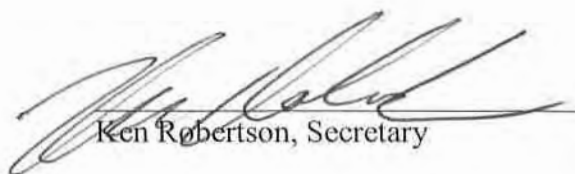
VOTE:AYES:	Chair Hoffman, Vice Chair Flaherty, Commissioner Pedersen, Commissioner Rice, and Commissioner Saemann
NOES:	None
ABSTAIN:	None
ABSENT:	None

CERTIFICATION

I hereby certify the foregoing Resolution P.C. No. 20-17 is a true and complete record of the action taken by the Planning Commission of the City of Hermosa Beach, California at its regular meeting of July 21, 2020.



Peter Hoffman, Chair



Ken Robertson, Secretary

July 21, 2020
Date

**GENERAL PLAN-1985
HERMOSA BEACH
CALIFORNIA
REVISED LAND USE ELEMENT**

July 8, 1974

REVISED-ADOPTED: P.C. 154-1006
FEBRUARY 25, 1975
ADOPTED BY CITY COUNCIL

ACIDENTAL

OW DENSITY 10-28-40

CORUM DENSITY 10-10-2004 7

IN DEPTHY 82-06974 [REDACTED]

CONFIDENTIAL

ULTI-USE COMBIBERM

GENERAL COMMERCIAL

1. STATION INFORMATION COMMUNICATIONS

:OMNIBUS DECLARATION

FOUNTAIN

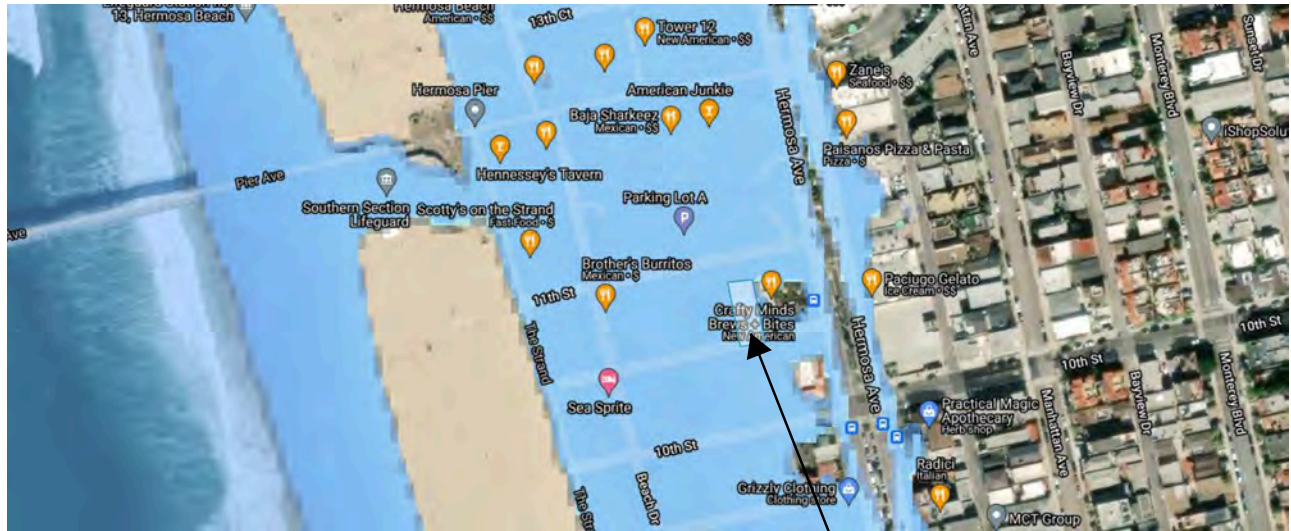
SPACE!

1. Schritte **2. Überzeugungen**

P Parks W Water

BEACH PARK

Map of Area



Parcel

Exhibit 5 – CoSMoS Analysis

This sea level rise and storm scenario report summarizes model results for the area you selected. This report was designed to provide information to help you identify vulnerabilities to sea level rise and storm surges.

Area and Elevation Information


Area is the size of selected polygon, in square meters, acres and hectares, and Elevation is the average, minimum and maximum elevation from the Digital Elevation Model (DEM) within the polygon.


Area: 396.58 m²
0.10 ac
0.04 ha

Projected Percent Area Flooded for the Selected Area


Values indicate the percentage of the selected area flooded for the Storm and Sea Level Rise Scenario combination. Areas of open water are included in these percentages.

Storm Scenario	100 yr Storm	n/a	n/a	n/a	n/a	n/a	n/a	n/a	24.8%	99.7%	n/a	n/a	100%
	20 yr Storm	n/a	n/a	n/a	n/a	n/a	n/a	n/a	0.3%	0%	n/a	n/a	100%
	Annual Storm	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	100%
	No Storm	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	100%
		none	25 cm	50 cm	75 cm	100 cm	125 cm	150 cm	175 cm	200 cm	250 cm	300 cm	500 cm
Sea Level Rise Scenario													

 under 25% flooded

 25-50% flooded

 50-75% flooded

 over 75% flooded



City of Hermosa Beach

Civic Center, 1315 Valley Drive, Hermosa Beach, CA 90254-3885

December 2, 2021

Steve Hudson, South Coast District Deputy Director
CALIFORNIA COASTAL COMMISSION
South Coast District Office
301 E. Ocean Blvd, Suite 300
Long Beach, CA 90802

RE: City of Hermosa Beach Parking In-Lieu Fee Program and 66 11th Street

Dear Steve:

The City is committed to continuing to implement and update the approved parking and access policies and programs, in the certified Coastal LUP as amended in 2003. One particular program allows an in-lieu fund transfer of private funds, with approval of a Parking Plan and Planning Commission approval and in-lieu fee to a designated improvement fund earmarked for creating parking, in an amount sufficient to offset the increase in required parking spaces associated with a development project. This program has proven to be useful in Hermosa Beach, has never been over-subscribed, and helped fund the construction of a parking structure circa 1998.

Part of the program includes setting the parking in-lieu fee rate. It is currently set at \$28,900 for each required parking space not provided on-site with a new development, based on a 2006 City Council resolution, which set the fee at that rate based on appraisals done at the time.

The City understands that the rate needs re-evaluation, as well as other details of the program. We have discussed this issue recently with Coastal Commission staff in connection with the project at 66 11th Street and are committed to studying these issues in 2022.

The City will embark on this re-evaluation either as a focused matter, or preferably in conjunction with our current efforts to adopt and certify a Local Coastal Program consistent with the Coastal Act. As the Commission is aware, we have been working with the Coastal Commission, assisted by the Commission's grant program, to achieve LCP certification. This will include the re-evaluation of existing parking programs, like the Parking In-Lieu fee program, which the City has found to be a valuable tool to provide flexible districtwide "park-once" based parking solutions for visitor-serving and other essential commercial projects in the City's downtown pedestrian-oriented district adjacent to the beach, Strand bike and pedestrian path, and City pier. The City is also committed to implement the strategies and evaluation in the recent Coastal Zone Parking and Management Strategy, which includes several recommendations toward improving more efficient use of the City's public parking supply, increasing supply, and providing other ways to access the beach long into the future.

We look forward to our continuing partnership with the Coastal Commission to address the unique parking and access needs in the City, whether in the downtown commercial district or other areas of the Coastal Zone.

Sincerely,

Suja Lowenthal
City Manager

From: Christy Teague <cteague@hermosabeach.gov>
Sent: Thursday, December 2, 2021 12:07 PM
To: Amitay, Shahar@Coastal
Cc: Ken Robertson
Subject: RE: 66 11th St

Hello Shahar –

We are completing the letter and it should be sent to you soon.

As Steve Hudson directed, the letter is a commitment to comprehensively evaluating the City's in-lieu parking program. Below is our commitment to the bike racks in public ROW:

66 11th Street Condition for Bike Racks in Public Right-of-Way

Working with Coastal Commission staff and the applicants to find solutions to offset the parking demand of the proposed 9-room hotel, the City agrees to a condition that would require that the applicants pay for bike racks for 16 bicycles to be installed in the public right-of-way near the proposed hotel to be available to the public. The City will provide the cost of City-approved bike racks and request payment from the applicants. The City will provide a letter and map of the installed bike racks to the Coastal Commission to indicate compliance with this Coastal Commission condition.

-Christy

Christy Teague, AICP | Senior Planner and Business Liaison
City of Hermosa Beach
O: 310-318-0242
E: cteague@hermosabeach.gov

P.C. RESOLUTION 20-18

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF HERMOSA BEACH, CALIFORNIA, APPROVING A PARKING PLAN TO ALLOW CONVERSION OF AN 11 UNIT NON-CONFORMING APARTMENT BUILDING INTO A 9 UNIT HOTEL AND TO ALLOW THE 9-SPACE PARKING REQUIREMENT TO BE MET WITH 2 NEW ON-SITE SPACES PLUS FEES TO BE PAID IN-LIEU FOR 7 SPACES IN THE C-2 (RESTRICTED COMMERCIAL) ZONING DISTRICT AT 66 11TH STREET AND DETERMINATION THAT THE PROJECT IS CATEGORICALLY EXEMPT FROM THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA).

The Planning Commission of the City of Hermosa Beach does hereby resolve and order as follows:

Section 1. An application was filed on March 23, 2020, requesting approval of Parking Plan 20-1 to allow the 9-space parking requirement to be met with 2 on-site spaces plus fees in-lieu for 7 spaces, for a 9 unit Hotel project (Precise Development Plan 20-3) on a 2,912.75 square foot lot in the C-2 (Restricted Commercial) zoning district at 66 11th Street; and determine that the project is categorically exempt from the California Environmental Quality Act (CEQA).

Section 2. The project was originally scheduled as a public hearing item on the June 16, 2020 Planning Commission agenda. Due to a public noticing error affecting the public hearing items, a special meeting was held on June 22, 2020.

At the June 22, 2020 meeting, the Planning Commission continued the item to July 21, 2020 in order to consider additional questions by the Planning Commission and additional information provided.

The Planning Commission conducted a duly noticed public hearing to consider the application on July 21, 2020 at which time testimony and evidence, both oral and written, was presented to and considered by the Planning Commission.

Section 3. California Environmental Quality Act Section 15301 (Existing Facilities) [Class 1 consists of the operation, repair, maintenance, permitting, leasing, licensing, or minor alteration of existing public or private structures, facilities, mechanical equipment, or topographical features, involving negligible or no expansion of existing or former use]; and 15322 (In-Fill Development) [Class 32 consists of projects characterized as in-fill development meeting the conditions described in this section.(a) The project is consistent with the applicable general plan designation and all applicable general plan policies as well as with applicable zoning designation and regulations.(b) The proposed development occurs within city limits on a project site of no more than five acres substantially surrounded by urban uses.(c) The project site has no value, as habitat for endangered, rare or threatened species.(d) Approval of the project would not result in any significant effects relating to traffic, noise, air quality, or water quality.(e) The site can be adequately served by all required utilities and public services].

Section 4. Based on the testimony and evidence received, the Planning Commission makes the following factual findings pertaining to the application for a Parking Plan pursuant to Hermosa Beach Municipal Code (HBMC) Section 17.44.210:

HBMC Section 17.44.210 provides that a Parking Plan may be approved by the Planning Commission to allow for a reduction in the number of spaces required through payment of parking spaces in-lieu of providing the spaces on-site.

The City, through an agreement with the Coastal Commission as part of the certified Coastal Land Use Plan (LUP) (certified in 1981 and amended as recently as 2004), has an approved parking in-lieu fee program. The basic concept is to allow for the development of smaller properties in the downtown where it is not possible or not practical to provide all required parking on-site. Currently the fee amount is \$28,900 per required parking space not provided on-site. The fee was established by resolution of the City Council and was based on an appraisal completed in July 2006. The in-lieu funds are used to mitigate increased parking demand. The threshold limit was established at 100 parking spaces in 1982 and the City has not yet reached this threshold. Currently 68 in-lieu parking spaces have been approved by the City to date. If the applicant's request to purchase 7 in-lieu spaces is approved, the City's inventory of available in-lieu spaces will be reduced to 25. Once the City reaches the 100 space threshold additional parking must be constructed or no additional in-lieu parking may be authorized.

Hotels require 1 parking space for each unit. The proposed project will consist of 9 hotel units which require a total of 9 parking spaces, 2 of which are proposed to be provided on-site. A comparison of the parking requirements is illustrated in the below table.

Parking Requirements for Existing and Proposed Parking

HBMC 17.44.030 Required Parking Spaces by Use

		Number Required	Number Provided	Deficit
EXISTING	11 Apartments	28	0	28
PROPOSED	9 Room Hotel	9	2	7

As illustrated above, the existing 11-unit apartment building would require 28 spaces by HBMC 17.44.030 and currently provides no parking. The proposed change in use to a 9 unit hotel with 2 on-site parking spaces greatly reduces the parking deficit from 28 to 7 spaces, which are proposed to be satisfied with an in-lieu fee payment of \$28,900 per space, for a total fee of \$202,300.

HBMC Section 17.44.040 (E) 2.b. requires building sites, where buildings will exceed a 1:1 gross floor area to building site area ratio, to provide a minimum of 25% of the required parking on-site with the remaining required parking authorized to be paid through in-lieu fee contributions with approval of a Parking Plan. A Parking Plan is requested to allow the 9-space parking requirement to be met with 2 on-site spaces (including 1 ADA space) plus fees in-lieu for 7 spaces. HBMC Section 17.44.180 states when calculating parking spaces, any resulting fraction less than one-half shall be disregarded, in this case the 25 percent or 2.25 spaces will be counted as 2 spaces. Hotel uses have peak times which coincide with times of the week where public parking is more available when compared to general retail and office uses. The nearest public surface parking lot, which contains 130 parking spaces, is located directly across 11th Street (50 feet) at 1101 Hermosa

Avenue (Lot A) and allows 24-hour parking. Lot B contains 37 parking spaces and is located north of 13th Court; between Hermosa Avenue and Beach Drive, is approximately two blocks (500 feet) away. The public parking structure containing 261 parking spaces located at 13th Street and Hermosa Avenue (Lot C) is located approximately 3 blocks (650 feet) away and allows 24-hour parking. The overall public parking lot occupancy for Lots A, B and C is between 79% to 95% during weekday evenings and weekend afternoons. Public parking spaces are provided throughout the Downtown, which is located within Zone 2 of the Coastal Zone public parking supply (between 16th Street and 8th Street and as far east as Ardmore Avenue). In Zone 2, through a combination of public parking lots and metered street parking spaces, occupancy rates range between 51% and 62% during weekday evenings and weekend afternoons. With the provision of an additional two parking spaces and reduction of intensity from 11 apartment units to 9 hotel units, the requirement to pay in-lieu parking fees to be used for area parking improvements for the remaining 7-space deficit, and the Parking and Traffic Study clearly showing a reduced-demand for parking and reduced number of daily trips, including during peak hours, proposed parking should be sufficient to satisfy parking demand during peak periods.

Though payment of the in-lieu fees for the required 7 parking spaces not provided on-site will bring the project into conformity for the City's parking requirements, there will not be 7 spaces allocated for hotel guests. The applicant intends to purchase monthly parking passes as needed, depending on occupancy and guest needs.

Alternative transportation options for hotel occupants which are expected to provide parking relief, include ride sharing services (Uber, Lyft, Taxis), bus lines 130 and 109 which have stops along Hermosa Avenue, and bicycles. The Parking Analysis conducted for the proposed Strand and Pier Hotel project (11 and 19 Pier Ave., 1250 and 1272 The Strand, and 20, 30, and 32 13th St.), indicated through traffic counts for the Beach House Hotel (containing 96 rooms) that during the Friday evening peak hour (June 23, 2017), there were 12 Uber/Lyft trips (approximately 35% of the total trips) which suggests that a large portion of hotel guests may arrive via alternative transportation. A link to the City's Downtown Rideshare Zones is attached to the staff report and contains additional information. The staff report includes an attached Parking and Traffic Study which used the ITE trip generation for hotel uses and reduced the amount by 33% as a conservative anticipation of alternative transportation for the proposed project.

Section 5. Based on the foregoing, the Planning Commission hereby **approves** the proposed Parking Plan 20-1 subject to the following **Conditions of Approval**:

- 1. The project consisting of a 9 unit hotel development shall be substantially consistent with plans and application submitted and approved by the Planning Commission on July 21, 2020. The Community Development Director shall review and may approve minor modifications that do not otherwise conflict with the Municipal Code or requirements of this approval, provided that the use is not changed, intensity of use is not increased and the arrangement of space would not increase negative impacts. Any substantial deviation, changes to the floor plan, site plan, or building exterior which alter the primary function of the use as a hotel shall be subject to review and approval by the Planning Commission.**

2. The subject site shall additionally comply with Precise Development Plan P.C. Resolution 20-17.
3. This permit shall not be effective for any purposes until the permittee and the owners of the property involved have filed at the office of the Planning Division of the Community Development Department their affidavits stating that they are aware of, and agree to accept, all of the conditions of this permit.
4. Prior to issuance of a certificate of occupancy, the Parking Plan shall be recorded, and proof of recordation shall be submitted to the Community Development Department.
5. The applicant shall obtain and provide evidence to the Community Development Director of an approved Coastal Development Permit prior to issuance of a certificate of occupancy.
6. In order to compensate for a lack of required parking on-site, the applicant shall contribute fees to the City's parking improvement fund in lieu of the additional required seven (7) parking spaces, as set forth in HBMC Section 17.44.040(E) of the Zoning Ordinance, at the amount of \$28,900 per parking space (totaling \$202,300) as set forth by resolution of the City Council. The payment of fees in-lieu of required parking shall be made prior to issuance of a certificate of occupancy.
7. The hotel shall provide 2 parking spaces on-site at all times.
 - a. The parking area shall be designed and striped in compliance with HBMC Chapter 17.44.
 - b. The parking shall be fully available for and limited to employee and hotel guest parking during all hours of operation and back of house functions.
 - c. A hang tag or dashboard notice shall be provided to guests assigned to the 2 parking spaces and shall be monitored by management or security staff.
8. Rideshare shall be encouraged through online registration process and other feasible methods.
9. The owner shall provide discounts to all guests who are vehicle free.
10. Cleaning services shall provide drop-off and pick up of cleaning staff.
11. The hotel shall provide racks to hold a minimum of 4 bicycles on-site.
12. The subject property shall be developed, maintained and operated in full compliance with the conditions of this permit and any law, statute, ordinance or other regulation hereafter adopted that is applicable to any development or activity on the subject property. Failure of the permittee to cease any development or activity not in full compliance shall be a violation of these conditions.

13. The Planning Commission may review this Parking Plan and may amend the subject conditions or impose any new conditions if deemed necessary to mitigate detrimental effects on the neighborhood resulting from the subject use.

14. Approval of this permit shall expire twenty-four (24) months from the date of approval by the Planning Commission, unless significant construction or improvements or the use authorized hereby has commenced. One or more extensions of time may be requested. No extension shall be considered unless requested in writing to the Community Development Director, including the reason therefore, at least 60 days prior to the expiration date. No additional notice of expiration will be provided.

Section 7. This permit shall not be effective for any purposes until the permittee and the owners of the property involved have filed at the office of the Planning Division of the Community Development Department their affidavits stating that they are aware of, and agree to accept, all of the conditions of this permit.

The Parking Plan shall be recorded, and proof of recordation shall be submitted to the Community Development Department prior to the issuance of a building permit.

Each of the above conditions is separately enforced, and if one of the conditions of approval is found to be invalid by a court of law, all the other conditions shall remain valid and enforceable.

To the extent permitted by law, Permittee shall defend, indemnify and hold harmless the City of Hermosa Beach, its City Council, its officers, employees and agents (the "indemnified parties") from and against any claim, action, or proceeding brought by a third party against the indemnified parties and the applicant to attack, set aside, or void any permit or approval for this project authorized by the City, including (without limitation) reimbursing the City its actual attorney's fees and costs in defense of the litigation. The City may, in its sole discretion, elect to defend any such action with attorneys of its choice.

The permittee shall reimburse the City for any court and attorney's fees which the City may be required to pay as a result of any claim or action brought against the City because of this permit. Although the permittee is the real party in interest in an action, the City may, at its sole discretion, participate at its own expense in the defense of the action, but such participation shall not relieve the permittee of any obligation under this condition.

Section 8. Pursuant to the Code of Civil Procedure Section 1094.6, any legal challenge to the final decision on this Parking Plan (either by the Planning Commission, or the City Council should they take jurisdiction of the project), must be made within 90 days after the final decision.

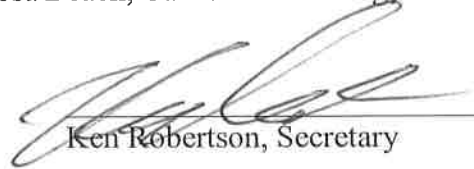
VOTE:	AYES:	Chair Hoffman, Vice Chair Flaherty, Commissioner Pedersen, Commissioner Rice, and Commissioner Saemann
	NOES:	None
	ABSTAIN:	None
	ABSENT:	None

CERTIFICATION

I hereby certify the foregoing Resolution P.C. No. 20-18 is a true and complete record of the action taken by the Planning Commission of the City of Hermosa Beach, California at its regular meeting of July 21, 2020.



Peter Hoffman, Chair



Ken Robertson, Secretary

July 21, 2020
Date

Parking In-Lieu Fee Program (100 Spaces)
Number of Parking Spaces Accepted

Projects Approved and Paid

Project / Location	Parking Spaces In-Lieu	Year	Status
Hennessey's Tavern / 8 Pier Ave	2	1997	Funds transferred*/**
117 Pier Ave: The Mix / Currently Steak and Whisky	5	1997	Funds transferred*/**
13 Businesses, Lower Pier Ave: Pier Plaza Outdoor Dining	13	1997	Funds transferred*/**
1301 Hermosa Ave: City Retail Building at North Pier Parking Structure	20	1997	Funds transferred*/**
51 Pier Ave: Fat Face Fenner's Fishshack / Currently Tower 12	5	1999	Funds collected**
205 Pier Ave: Commercial Condominiums (Mixed Office and Snack Shop)	1	2012	Fund collected 10/8/12
507 Pier Ave: The Solution	1	2015	Fund collected 6/25/15
513-519 Pier Ave: Dry cleaner & offices (CC Reso 16-7046)	1	2016	Funds collected 11/22/17
1429 Hermosa Ave: H ₂ O Hotel	2***	2015	Funds collected 7/9/20
Total Approved and Paid	50		
Total Approved and Pending Payment	18		
Net Available (100-66) =	32		

*Funds transferred from Downtown Enhancement set-aside incentive fund established by City Council to Parking Improvement Fund.

**These funds were spent on the parking structure.

*** Fees for two (2) spaces as required by Coastal Commission.

Projects Approved and Pending Payment

Project / Location	Parking Spaces In-Lieu	Year	Status
906-910 Hermosa Ave: Hermosa Seaside Commercial Office Building	16****	2007	Permits issued and entitlements extended (fees not collected at this time). Fees must be paid prior to final occupancy.
70 10 th St (Approved by CC Reso 19-7217)	2	2019	Fees must be paid prior to issuance of building permits.
Total Approved and Pending Payment	18		

****The Planning Commission approval was based on a 7 parking space deficiency based on a 3/1000 ratio, however, the Coastal Commission required 16 in-lieu parking spaces based on the currently applicable 4/1000 ratio.