

CALIFORNIA COASTAL COMMISSION

South Coast District Office
301 E Ocean Blvd., Suite 300
Long Beach, CA 90802-4302
(562) 590-5071



W6b

5-20-0656 (NANETTE REED)
DECEMBER 2, 2021

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Exhibit 1—Project Location



Exhibit 2—Project Plans

408 W SHERMAN CANAL, VENICE CA 90291

SECOND FLOOR MASTER BEDROOM ADDITION

PROPERTY INFORMATION

ADDRESS/LEGAL
SITE ADDRESS 408 W SHERMAN CL
ZIP CODE 90291
PIN NUMBER 105A147 52
LOT/PARCEL AREA (CALCULATED) 2,850.1 (SQ FT)
THOMAS BROTHERS GRID PAGE 671 - GRID H7
ASSESSOR PARCEL NO. (APN) 4227015022
TRACT SHORT LINE BEACH VENICE CANAL SUBDIVISION NO. 1
MAP REFERENCE M B 7-126/127
BLOCK 52
LOT 38
ARB (LOT CUT REFERENCE) NONE
MAP SHEET 105A145
MAP SHEET 105A147

JURISDICTIONAL
COMMUNITY PLAN AREA VENICE
AREA PLANNING COMMISSION WEST LOS ANGELES
NEIGHBORHOOD COUNCIL VENICE
COUNCIL DISTRICT CD 11 - MIKE BONIN
GENUS TRACT # 2739.02
LADDS DISTRICT OFFICE WEST LOS ANGELES
BUILDING PERMIT INFO VIEW

PLANNING AND ZONING
SPECIAL NOTES NONE
ZONING RWI-1-O
ZONING INFORMATION (Z) ZI-2406 DIRECTOR'S
INTERPRETATION OF THE VENICE SP FOR SMALL LOT SUBDIVISION
ZONING INFORMATION (Z) ZI-2452 TRANSIT PRORITY
AREA IN THE CITY OF LOS ANGELES
GENERAL PLAN LAND USE LOW MEDIUM II RESIDENTIAL
GENERAL PLAN NOTE(S) YES
HILLSIDE AREA (ZONING CODE) NO
SPECIFIC PLAN AREA LOS ANGELES COASTAL TRANSPORTATION CORRIDOR
SUBAREA NONE
SPECIFIC PLAN AREA VENICE COASTAL ZONE
SUBAREA VENICE CANALS
HISTORIC PRESERVATION REVIEW NO
HISTORIC PLACES LA VIEW
CDO: COMMUNITY DESIGN OVERLAY NONE
CPIO: COMMUNITY PLAN IMP. OVERLAY NONE
SUBAREA NONE
CUGU: CLEAN UP-GREEN UP NONE
NSD: NEIGHBORHOOD STABILIZATION OVERLAY NO
POD: PEDESTRIAN ORIENTED DISTRICTS NONE
RFA: RESIDENTIAL FLOOR AREA DISTRICT NONE
SN: SIGN DISTRICT NO
STREETSCAPE NO
ADAPTIVE REUSE INCENTIVE AREA NONE
AFFORDABLE HOUSING LINKAGE FEE
RESIDENTIAL MARKET AREA HIGH
NON-RESIDENTIAL MARKET AREA HIGH
TRANSIT ORIENTED COMMUNITIES (TOC) TIER 1

ASSESSOR
ASSESSOR PARCEL NO. (APN)
APN AREA (CO. PUBLIC WORKS)* 0.065 (AC)
USE CODE 0100 - RESIDENTIAL - SINGLE FAMILY RESIDENCE
BUILDING 1
YEAR BUILT 1924
BUILDING CLASS D7C
NUMBER OF UNITS 1
NUMBER OF BEDROOMS 4
NUMBER OF BATHROOMS 3
BUILDING SQUARE FOOTAGE 1,688.0 (SQ FT)

ADDITIONAL
AIRPORT HAZARD NONE
COASTAL ZONE CALVO EXCLUSION AREA
COASTAL ZONE COASTAL ZONE COMMISSION AUTHORITY
COASTAL ZONE DUAL JURISDICTIONAL COASTAL ZONE
FARMLAND AREA NOT MAPPED
URBAN AGRICULTURE INCENTIVE ZONE YES
VERY HIGH FIRE HAZARD SEVERITY ZONE NO
FIRE DISTRICT NO. 1 NO
FLOOD ZONE NONE
WATERCOURSE NO
HAZARDOUS WASTE / BORDER ZONE PROPERTIES NO
METHANE HAZARD SITE METHANE ZONE
HIGH WIND VELOCITY AREAS NO
SPECIAL GRADING AREA (BOE BASIC GRID MAP A-13372) NO
OIL WELLS NONE

SCOPE OF WORK

- BUILD 457 SQ.FT SECOND FLOOR MASTER BEDROOM ADDITION INCLUDING WALK-IN CLOSET
- MASTER BATHROOM AND 111 SQ.FT BALCONY.
- EXISTING CLOSET IN SECOND FLOOR BEDROOM TO BE CONVERTED INTO NEW HALLWAY AND NEW CLOSET TO BE REDESIGNED.
- FRONT BEDROOM ADDITION TO BE ENLARGED WITH 74 SQ.FT ADDITION TO THE FRONT AND BATHROOM TO BE REDESIGNED.
- 2ND FLOOR INTERIOR REMODELING
- ALL EXISTING WOOD SIDINGS TO BE PLACED WITH STUCCO FIN. TO MATCH EXISTING STUCCO.
- REMOVE E. STORAGE TO ACCOMMODATE NEW UNCOVERED PARKING #3

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GENERAL NOTES

- GOVERNING CODES ON THIS PROJECT ARE:
2016 CALIFORNIA RESIDENTIAL CODE (CRC)
2016 CALIFORNIA BUILDING CODE (CBC)
2016 CALIFORNIA ELECTRICAL CODE (CEC)
2016 CALIFORNIA MECHANICAL CODE (CMC)
2016 CALIFORNIA PLUMBING CODE (CPC)
2016 CALIFORNIA ENERGY EFFICIENCY STANDARDS CODE (CEES)
2016 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN)
CONTRACTOR SHALL STUDY THE DRAWINGS, SPECIFICATIONS AND FIELD CONDITIONS BEFORE COMMENCING WITH THE WORK INVOLVED. ANY DISCREPANCIES FOUND SHALL BE REPORTED TO THE OWNER IN WRITING FOR CORRECTIONS OR CLARIFICATION.
- PROVIDE SHORING AT ALL TIMES WHEN ALTERING VERTICAL MEMBERS. CONTRACTOR SHALL VERIFY ACTUAL CONDITIONS AND REPORT IN WRITING TO THE ARCHITECT FOR RESOLUTION PRIOR TO PROCEEDING WITH THE WORK.
- THE AREA OF GLASS IN WINDOWS LIMITED TO 20% OF THE FLOOR ADDITION PLUS THE AREA OF ANY GLASS THAT WAS ELIMINATED IN THE ORIGINAL RESIDENCE WALL AREA WHERE THE NEW ADDITION IS ATTACHED. ALL NEW WINDOWS SHALL BE DUAL-GLAZED.
- ALL WINDOWS ARE TO BE WEATHER STRIPPED.
- SMOKE DETECTORS SHALL BE INSTALLED IN AREAS GIVING ACCESS TO SLEEPING ROOMS ON OR NEAR THE CEILING, IN EACH SLEEPING ROOM (CBC 310.9.1-4).
- ATTIC VENTILATION, EQUAL TO 1/150 OF SPACE VENTILATED, SHALL BE PROVIDED OR AS REQUIRED FOR FORCED AIR UNIT.
- UTILITY LINES AND ACCESSORIES FOUND AT THE SITE THAT INTERFERE WITH THE NEW CONSTRUCTION SHALL BE RELOCATED AS NECESSARY. THE CONTRACTOR SHALL OBTAIN ANY BUILDING PERMIT REQUIRED.
- ALL WOOD IN CONTACT WITH CONCRETE AND FOUNDATION SILLS SHALL BE PRESSURE TREATED.
- PROVIDE CORROSION RESISTED WEEP SCREED AT FOUNDATION PLATE LINE WHICH WILL ALLOW TRAPPED WATER TO DRAIN TO THE EXTERIOR OF THE BUILDING. 4" MINIMUM HEIGHT ABOVE GRADE.
- WALLS CONTAINING 3" OR 4" DIAMETER DRAIN/WASTE/VENT PIPING SHALL BE SIZED TO ALLOW CUTTING/NOTCHING/BORING (2 X 6 MIN.).
- CAULK/SEAL ALL PENETRATIONS TO TOP AND BOTTOM PLATES.
- CAULK/SEAL ALL EXTERIOR BOTTOM PLATES.
- INSULATION : WALLS R-13 / CEILING R-30 / FLOOR R-19
- ALL EXTERIOR FINISH MATERIAL TO MATCH EXISTING IN TYPE AND COLOR.
- ALL NEW ELECTRICAL WIRING SHALL BE COPPER.
- PROVIDE SEPARATE INSPECTION FOR EACH PHASE OF EXTERIOR PLASTER AS FOLLOWS : SCRATCH COAT, BROWN COAT, COLOR COAT [STAPLES ARE NOT PERMITTED FOR ATTACHING WIRE]
- BUILDING PAPER TO BE USED # 60 FOR STUCCO THAT DOES NOT HAVE PLYWOOD BACKING.
- DUCTS SHALL BE SIZED PER CHAPTER 6 OF THE MECHANICAL CODE.
- DISTANCE FROM FACE OF THE FOUNDATION TO PROPERTY LINE TO BE ZONING SETBACK PLUS WALL FINISH THICKNESS (MINIMUM).
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- THE INSULATION INSTALLER AND THE CONTRACTOR SHALL POST A SIGNED CERTIFICATE OF COMPLIANCE IN A CONSPICUOUS LOCATION IN THE BUILDING. THIS CERTIFICATE SHALL STATE THAT THE INSTALLATIONS AND MATERIALS CONFORM TO THE APPROPRIATE SECTIONS OF THE CALIFORNIA ADMINISTRATIVE CODE, TITLES 20 AND 24 AND SHALL SPECIFY THE MANUFACTURE'S NAME AND MATERIAL IDENTIFICATION, THE INSTALLED R-VALUE, AND WHEN LOOSE FILL IS INSTALLED, SHALL STATE THE MINIMUM INSTALLED WEIGHT PER SQUARE FOOT CONSISTENT WITH THE MANUFACTURE'S LABELED DENSITY FOR THE DESIRED R-VALUE.

PROJECT INFORMATION

[E] DWELLING AREA: 1,688 SQ.FT
[N] 2ND FLOOR ADDITION 1: 445 SQ.FT
[N] 2ND FLOOR ADDITION 2: 74.58 SQ.FT
[N] BALCONY: 111 SQ.FT
TOTAL ADDITION: 519.58 SQ.FT

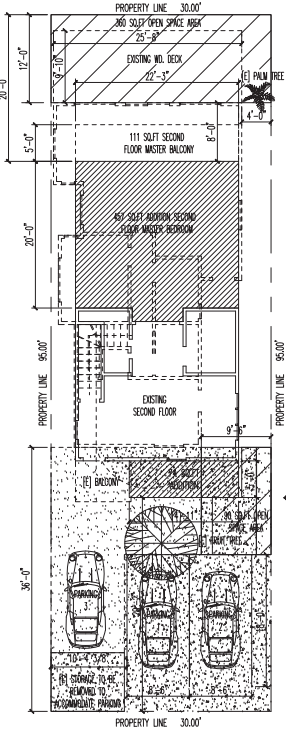
PERMEABLE AREA CALCULATION

FRONT YARD AREA: 1,080 SQ.FT
IMPERVIOUS AREA: 677 SQ.FT
PERMEABLE AREA: 403 SQ.FT

LEGEND

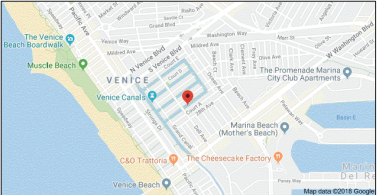
IMPERVIOUS AREA
PERMEABLE AREA

SHERMAN CANAL



COURT A

VICINITY MAP



PREPARED BY:
INNOVA CREATIVE SOLUTIONS INC.
15500 ERWIN ST., STE 200
VAN NUYS, CA 91411
CELL: 818 - 4023905

CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE DESIGNER PREPARING THE DRAWINGS. ALL CONSTRUCTION SHALL CONFORM TO THE C.B.C.

PROPOSED : SECOND FLOOR MASTER BEDROOM ADDITION
PROPERTY OWNER : NANETTE REED
LOCATED AT: 408 W SHERMAN CANAL, VENICE CA 90291
PHONE : 310-305-7454

SHEET:

A-1

PLOT PLAN

WALL SCHEDULE

- EXISTING WALL TO BE REMOVED
- EXISTING WALL TO REMAIN

CALCULATION OF PERCENTAGE ALTERATION

1ST FLOOR AREA:	1,184 SF
EXTERIOR WALL AREA:	1,368 SF
171 X 8 = 1,368 SF	
INTERIOR WALL AREA:	736 SF
92 X 8 = 736 SF	
TOTAL CEILING AREA:	938 SF
ALTERED CEILING AREA:	0 SF
LOWER ROOF AREA:	1,155 SF
DATE: 06-27-1991	
2ND FLOOR ADDITION:	504 SF
EXTERIOR WALL AREA:	712 SF
89 X 8 = 712 SF	
DEMO EXTERIOR WALL AREA:	304 SF
38 X 8 = 304 SF	
UPPER ROOF AREA:	554 SF
INTERIOR WALL AREA:	272 SF
34 X 8 = 272 SF	
PERMIT NO. 16016-30000-15921	
SILL PLATE, ANCHOR BOLTS	
CRIPPLED WALL: (2X2)(2)= 8	8 SF
APPLICATION NO. 20014-20000-05747	
PROPOSED 2ND FLOOR ADDITION:	531 SF
EXTERIOR WALL AREA:	648 SF
81 X 8 = 648 SF	
DEMO INTERIOR WALL AREA:	96 SF
12 X 8 = 96 SF	
2ND FLOOR CEILING AREA:	414 SF
PROPOSED 2ND FLOOR CEILING ALTERATION:	414 SF
PROPOSED ROOF AREA OF ALTERATION:	905 SF
(TOTAL NEW ROOF AREA PROPOSED ADDITION)	

EXISTING AREA: (WALL / CEILING / ROOF)

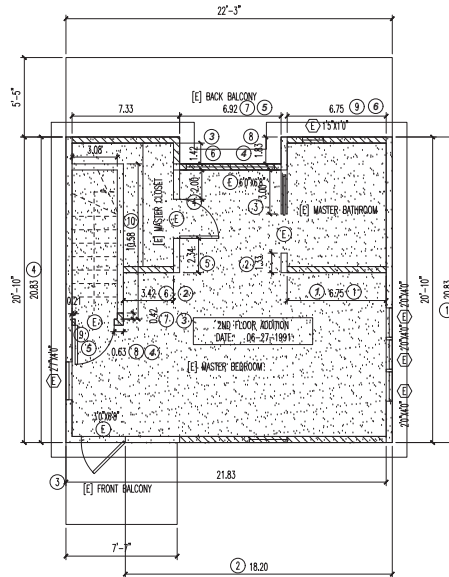
1ST FLOOR AREA:	1,184 SF
2ND FLOOR AREA:	504 SF
1ST FLOOR CEILING:	938 SF
2ND FLOOR CEILING:	414 SF
1ST FLOOR EXTERIOR WALL AREA:	1,368 SF
2ND FLOOR EXTERIOR WALL AREA:	712 SF
1ST FLOOR INTERIOR WALL AREA:	736 SF
2ND FLOOR INTERIOR WALL AREA:	272 SF
LOWER ROOF AREA:	1,155 SF
UPPER ROOF AREA:	554 SF
TOTAL EXISTING AREA: (WALL/CEILING/ROOF)	7,837 SF

PERCENTAGE OF ALTERATION: (WALL / CEILING / ROOF)

$$\% \text{ OF ALTERATION} = \frac{\text{TOTAL ALTERATION}}{\text{TOTAL EXISTING AREA}} = \frac{3,504.58}{7,837} \times 100\% = 44.71\%$$

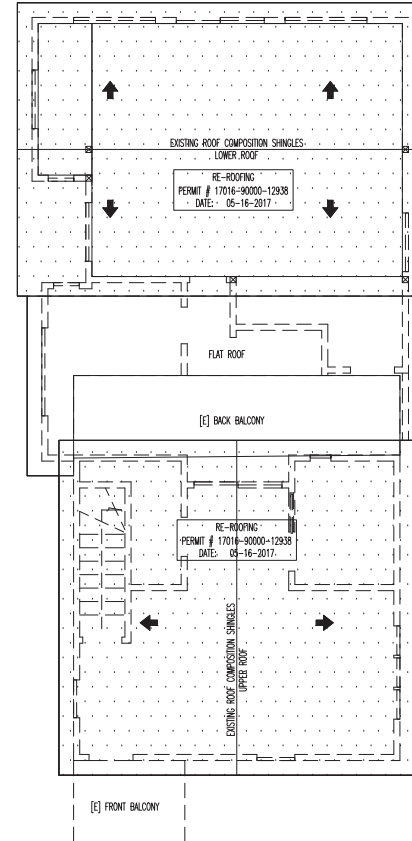
AREA OF ALTERATION: (WALL / CEILING / ROOF)

1ST FLOOR AREA OF ALTERATION:	8 SF
2ND FLOOR AREA OF ALTERATION:	519.58 SF
1ST FLOOR CEILING AREA OF ALTERATION:	0 SF
2ND FLOOR CEILING AREA OF ALTERATION:	467 SF
1ST FLOOR EXTERIOR WALL AREA OF ALTERATION:	0 SF
2ND FLOOR EXTERIOR WALL AREA OF ALTERATION:	0 SF
1ST FLOOR INTERIOR WALL AREA OF ALTERATION:	0 SF
2ND FLOOR INTERIOR WALL AREA OF ALTERATION:	96 SF
LOWER ROOF AREA OF ALTERATION:	651 SF
UPPER ROOF AREA OF ALTERATION:	554 SF
PROPOSED LOWER ROOF OF ALTERATION:	0 SF
PROPOSED UPPER ROOF OF ALTERATION:	905 SF
TOTAL EXISTING AREA OF ALTERATION:	3,504.58 SF



EXISTING SECOND FLOOR

SCALE 1/4"=1'-0"



EXISTING ROOF PLAN

SCALE 1/4"=1'-0"

EXISTING FIRST FLOOR

SCALE 1/4"=1'-0"



PREPARED BY:
INNOVA CREATIVE SOLUTIONS, LLC
15600 ERWIN ST., STE 200
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PROPERTY OWNER: NANETTE REED
LOCATED AT: 408 W SHERMAN CANAL, VENICE CA 90291

SHEET:

A-2

EXISTING FLOOR
PLAN/DEMO & ROOF PLAN

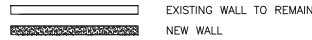
CARBON MONOXIDE DETECTORS

- INSTALL OUTSIDE OF EACH SEPARATE DWELLING UNIT SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS.
- BATTERY OPERATED CARBON MONOXIDE DETECTOR PERMITTED IN EXISTING CONSTRUCTION.
- CARBON MONOXIDE DETECTOR SHALL BE INTERCONNECTED SUCH THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL ALARMS.
- CARBON MONOXIDE DETECTORS SHALL BE "HARD WRED" AND SHALL BE EQUIPPED WITH BATTERY BACK UP.
- THE ALARM IS PERMITTED TO BE SOLELY BATTERY OPERATED, RESULT IN THE REMOVAL OF WALL AND CEILING FINISHES, OR THERE IS NO ACCESS THROUGH AN ATTIC.

SMOKE DETECTORS

- IN NEW CONSTRUCTION SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER SOURCE FROM THE BUILDING WIRING AND SHALL BE EQUIPPED WITH BATTERY BACK UP AND LOW BATTERY SIGNAL. SMOKE DETECTORS SHALL BE LOCATED IN EACH SLEEPING ROOM & HALLWAY OR AREA GIVING ACCESS TO A SLEEPING ROOM, AND ON EACH STORY AND BASEMENT FOR DWELLINGS WITH MORE THAN ONE STORY.
 - IN EXISTING CONSTRUCTION SMOKE DETECTOR MAY BE BATTERY OPERATED, INSTALLED IN LOCATION AS SPECIFIED IN ABOVE.
- * SMOKE DETECTORS SHALL BE INTERCONNECTED WHEN MORE THAN 1 DETECTOR IS REQUIRED.

WALL SCHEDULE



WINDOW SCHEDULE

MARK		FRAME	SCREEN	U-VALUE	SHGC
(A)	2'-6"W x 3'-0"H S.H WINDOW - DOUBLE GLAZING	VINY.	YES	0.32	0.25
(B)	6'-0"W x 4'-0"H SLIDING WINDOW - DOUBLE GLAZING	VINY.	YES	0.32	0.25
(C)	2'-0"W x 3'-0"H S.H WINDOW - DOUBLE GLAZING-TEMPERED	VINY.	YES	0.32	0.25
(D)	2'-0"W x 1'-3"H SLIDING WINDOW - DOUBLE GLAZING-TEMPERED	VINY.	YES	0.32	0.25
(E)	EXISTING				
(F)	4'-0"W x 4'-0"H SLIDING WINDOW - DOUBLE GLAZING	VINY.	YES	0.32	0.25
(G)	10" DIA. SOLAR TUBE	ALUM.	YES	0.51	0.26

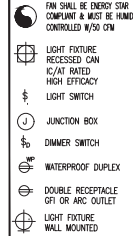
NOTE: 1. BEDROOM EGRESS WINDOWS HAVE A MINIMUM CLEAR OPENING AREA OF 5.7 sq. ft. ABOVE THE GRADE FLOOR AND 5 SQ.FT. ON THE GRADE FLOOR, A MIN. NET HEIGHT OF 24" AND MIN. NET WIDTH OF 20", AND SILL HEIGHT NOT MORE THAN 44" MAX. ABOVE FINISH FLOOR.
2. THE NFRC TEMPORARY LABEL DISPLAYED ON WINDOWS AND SKYLIGHTS (INCL. TUBULAR) MUST REMAIN ON THE UNIT UNTIL FINAL INSPECTION HAS BEEN COMPLETED.

DOOR SCHEDULE

NO.	OPENING SIZE	THICK	DOOR TYPE	TYPE	FRAME	REMARKS	U-VALUE	SHGC
(A)	2'-3"-0" W X 6'-8" H	1 3/8"	EXT. FRENCH DOOR	VINY.	WOOD			
(B)	2'-8" W X 6'-8" H	1 3/8"	HOLLOW CORE DOOR	WOOD	WOOD			
(C)	2'-8" W X 6'-8" H	1 3/8"	HOLLOW CORE DOOR (POCKET DR)	WOOD	WOOD			
(D)	2'-3"-0" W X 6'-8" H	1 3/8"	HOLLOW CORE DOOR	WOOD	WOOD			
(E)	EXISTING							

ELECTRICAL NOTES

- * KITCHEN: ALL LUMINAIRES TO BE HIGH EFFICACY ON SEPARATE SWITCH.
- * BATHROOMS & LAUNDRY ROOM ALL LUMINAIRES SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR.
- * OTHER ROOMS ALL LUMINAIRES SHALL BE HIGH EFFICACY OR SHALL BE CONTROLLED BY AN OCCUPANT SENSOR OR DIMMER. CLOSETS THAT ARE LESS THAN 70 SQ ARE EXEMPT FROM THIS REQUIREMENT.
- * OUTDOOR LIGHTING: ALL LUMINAIRES MOUNTED TO THE BUILDING OR TO OTHER BUILDINGS ON THE SAME LOT SHALL BE HIGH EFFICACY LUMINAIRES OR SHALL BE CONTROLLED BY A PHOTOCONTROL/MOTION SENSOR COMBINATION.
- * OCCUPANCY SENSORS: MUST HAVE NO MANUAL OVERRIDE, 30 MINUTE MAXIMUM TIMER AND BE MICROWAVE/ULTRASONIC OR PASSIVE INFRARED TYPE. OCCUPANCY SENSOR LAYOUT MUST BE SHOWN ON PLANS.
- * HIGH EFFICACY LUMINAIRES MUST BE PIN BASED.
- * RECEPTACLES IN ALL ROOMS SHALL BE AIO PROTECTED. ALL RECEPTACLE OUTLETS SHALL BE LISTED TAMPER-RESISTANT RECEPTACLE PER NEC 406.11.
- * RECESSED LIGHT FIXTURES INSTALLED IN A RATED CEILING SHALL BE RATED (IC), (AT) AIR TIGHT, AND GASKETED OR CALKED BETWEEN THE HOUSING AND CEILING.



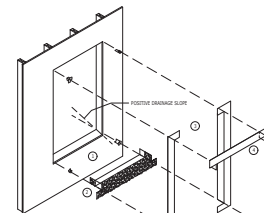
INSTALLATION SEQUENCE FOR PAN FLASHING A ROUGH OPENING SILL / THRESHOLD AND STRIP FLASHING THE JAMBS AND HEAD TO RECEIVE A NON-FLANGED WINDOW, DOOR, OR FIXTURE:

- INSTALL 2-INCH BY 3-INCH STRIPS OF POLYGUARD 606 TAPE ONTO EACH ROUGH OPENING CORNER.
- INSTALL POLYGUARD FLEXIBLE PAN FLASHING TO COVER THE SLOPED SILL / THRESHOLD, 3-INCHES OF THE WALL FACE, AND 3-INCHES OF EACH JAMB.
- INSTALL POLYGUARD JT-40 TO COVER THE OPENING SIDE OF EACH JAMB, AND 3-INCHES OF THE WALL FACE AT THE SILL, JAMB, AND HEAD.
- INSTALL POLYGUARD JT-40 TO COVER THE OPENING SIDE OF THE HEAD, AND A MINIMUM OF 3-INCHES OF THE WALL FACE AT THE HEAD AND JAMBS. (WHEN A TWF WILL BE INSTALLED AT THE HEAD WITH A MASONRY FINISH, EXTEND THE WALL FACE FLASHING COVERAGE TO INTERFERE WITH 2-INCHES OF THE TWF MEMBRANE.)
- INSTALL THE WINDOW, DOOR, OR FIXTURE, NOT SHOWN.
- INSTALL, ON THE INTERIOR AND EXTERIOR SIDES OF THE WINDOW, DOOR, OR FIXTURE FRAME, A BACKER ROD AND SEALANT IN THE SPACE BETWEEN THE ROUGH OPENING AND FRAME, NOT SHOWN.
- FOLD AND ADHERE THE SILL / THRESHOLD PAN LEG ONTO THE INTERIOR FACE OF THE FRAME, NOT SHOWN. PROTECT THE LEG FROM DAMAGE UNTIL THE INTERIOR TRIM OR FINISH IS INSTALLED.

NOTE: THIS ROUGH OPENING WALL IS SHOWN AS FRAME BUT COULD BE MASONRY. THE INSTALLATION SEQUENCE FOR FLASHING IS THE SAME FOR EITHER MATERIAL OF CONSTRUCTION.
FREE THE SURFACES THAT WILL RECEIVE THE FLASHING FROM IRREGULARITIES THAT WOULD INTERFERE WITH A FLAT INTERFACE WITH THE FLASHING, OR POSE A FLASHING PUNCTURE HAZARD. APPLY A COATING OF POLYGUARD 650LT, CALIFORNIA SEALANT, GREEN CALIFORNIA SEALANT OR SHUR-TAC WATER-BASED LIQUID ADHESIVE TO CLEAN AND DRY SURFACES THAT WILL BE RECEIVING THE FLASHINGS. BASE SELECTION OF LIQUID ADHESIVE ON SUBSTRATE COMPATIBILITY AND VOC REQUIREMENTS. WIFE SURFACES COATED WITH A POLY WALL AIR BARRIER WITH A 30% SOLUTION OF ISOPROPYL ALCOHOL AND WATER.

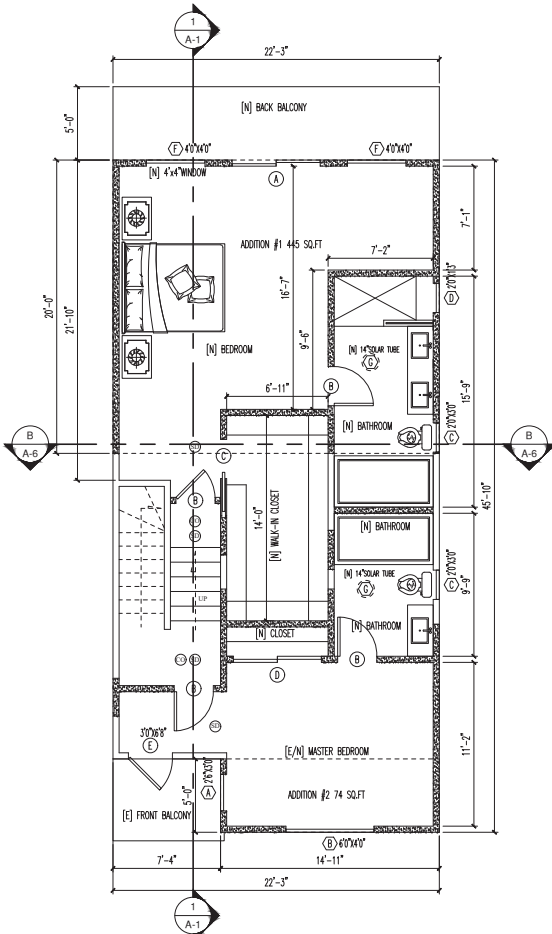
FLASHING DETAIL

SCALE: NONE



GENERAL NOTES

- PROVIDE 72" HIGH NON ABSORBENT WALL ADJACENT TO SHOWER AND APPROVED SHATTER RESISTANT MATERIALS FOR SHOWER ENCLOSURE. MATERIALS OTHER THAN STRUCTURAL ELEMENTS TO BE MOISTURE RESISTANT.
- SIZE OF SHOWER STALL TO COMPLY WITH CPC 412.7, 1024 SQ. IN. MINIMUM INTERIOR AND ENCOMPASSING 30" CIRCLE. DOOR SHALL SWING TO THE OUTSIDE.
- LOW FLOW TOILETS (1.28 GALLON/FLUSH) - SHOWERHEADS (1.80 GPM @ 80 PSI) - FAUCETS (1.20 GPM @ 80 PSI)
- PROVIDE INDIVIDUAL CONTROL VALVES OFN THE PRESSURE BALANCE OR THE THERMOSTATIC MIXING VALVE TYPE FOR SHOWERS AND TUB SHOWERS.
- PROVIDE WEEP SCALED FOR STUCCO AT THE FOUNDATION PLATE LINE A MINIMUM OF 4" ABOVE THE EARTH OR 2" ABOVE PAVED AREAS.
- DUCTS SHALL BE SIZED PER CHAPTER 6 OF THE MECHANICAL CODE.
- CLOTHES DRYER MOISTURE EXHAUST DUCT IS LIMITED TO 14 FEET WITH 2 ELBOWS FROM THE CLOTHES DRYER TO POINT OF TERMINATION REDUCE THIS LENGTH BY 2 FEET FOR EVERY ELBOW IN EXCESS OF 2.
- UNIT SKYLIGHTS SHALL BE LABELED BY L.A CITY APPROVED LABELING AGENCY. SUCH LABEL SHALL STATE THE APPROVED LABELING AGENCY NAME, PRODUCT DESIGNATION AND PERFORMANCE GRADE RATING.
- PROVIDE ULTRA LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE UPDATED FOR LOW WATER CONSUMPTION.
- THE CONSTRUCTION SHALL NOT RESTRICT A FIVE FOOT CLEAR AND UNOBSTRUCTED ACCESS TO ANY WATER OR POWER DISTRIBUTION FACILITIES (POWER POLES, PULL BOXES, TRANSFORMERS, VAULTS, PUMPS, VALVES, METERS, APPURTENANCES, ETC.) OR TO THE LOCATION OF THE HOOK UP. THE CONSTRUCTION SHALL NOT BE WITHIN TEN FEET OF ANY POWER LINES WHETHER OR NOT THE LINES ARE LOCATED ON THE PROPERTY. FAILURE TO COMPLY MY CAUSE CONSTRUCTION DELAYS AND OR ADDITIONAL EXPENSES.
- AN APPROVED SEISMIC GAS SHUTOFF VALVE WILL BE INSTALLED ON THE FUEL GAS LINE ON THE DOWN STREAM SIDE OF THE UTILITY METER AND BE RIGIDLY CONNECTED TO THE EXTERIOR OF THE BUILDING OR STRUCTURE CONTAINING THE FUEL GAS PIPING.
- NEW OR REPLACEMENT WATER HEATERS SHALL BE STRAPPED TO THE WALL.
- PLUMBING FIXTURES ARE REQUIRED TO BE CONNECTED TO A SANITARY SEWER OR TO AN APPROVED SEWAGE DISPOSAL SYSTEM (R306.3).
- KITCHEN SINK LAVATORIES, BATHTUBS, SHOWERS, BIDETS, LAUNDRY TUBS AND WASHING MACHINE OUTLETS SHALL BE PROVIDED WITH HOT AND COLD WATER AND CONNECTED TO AN APPROVED WATER SUPPLY (R306.4).
- BATHTUB AND SHOWER FLOORS, WALL, ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE. SUCH WALL SURFACES SHALL EXTEND TO A HEIGHT OF NOT LESS THAN 6" ABOVE THE FLOOR (R307.2).
- EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS IN ACCORDANCE WITH SECTION R303.1 OR SHALL BE PROVIDED WITH ARTIFICIAL LIGHT THAT IS ADEQUATE TO PROVIDE AN AVERAGE ILLUMINATION OF 6" CANDLES OVER THE AREA OF THE ROOM AT A HEIGHT OF 30" ABOVE THE FLOOR LEVEL (R303.1).
- A COPY OF THE EVALUATION REPORT AND/OR CONDITIONS OF LISTING SHALL BE MADE AVAILABLE AT THE JOB SITE.
- HEATER SHALL BE CAPABLE OF MAINTAINING A MINIMUM ROOM TEMP OF 68F AT A POINT 3' ABOVE THE FLOOR AND 2' FROM EXTERIOR WALLS IN ALL HABITABLE ROOMS AT THE DESIGN TEMPERATURE.
- PROTECTION OF WOOD AND WOOD BASED PRODUCTS FROM DECAY SHALL BE PROVIDED IN THE LOCATIONS SPECIFIED PER SECTION R317.1 BY THE USE OF NATURALLY DURABLE WOOD OR WOOD THAT IS PRESERVATIVE TREATED IN ACCORDANCE WITH AWPA U1 FOR THE SPECIES, PRODUCT, PRESERVATIVE AND END USE. PRESERVATIVES SHALL BE LISTED IN SECTION 4 OF AWPA U1.



PROPOSED SECOND FLOOR

SCALE: 1/4"= 1'-0"



PREPARED BY:
INNOVA CREATIVE SOLUTIONS INC.
15500 ERWIN ST., STE 200
VAN NUYS, CA 91411
CELL: 818-4003905

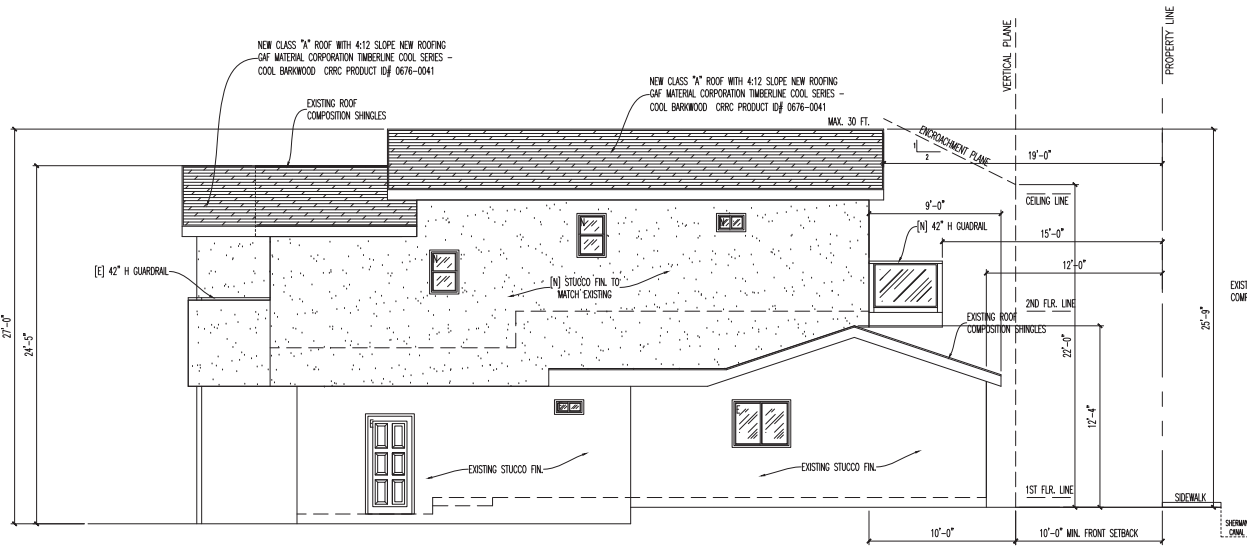
CHECK AND VERIFY ALL DIMENSIONS BEFORE PROCEEDING WITH THE WORK. REPORT DISCREPANCIES TO THE DESIGNER PREPARING THE DRAWINGS. ALL CONSTRUCTION SHALL CONFORM TO THE C.B.C.

PROPOSED : SECOND FLOOR MASTER BEDROOM ADDITION
PROPERTY OWNER : NANETTE REED
LOCATED AT: 408 W SHERMAN CANAL, VENICE CA 90291

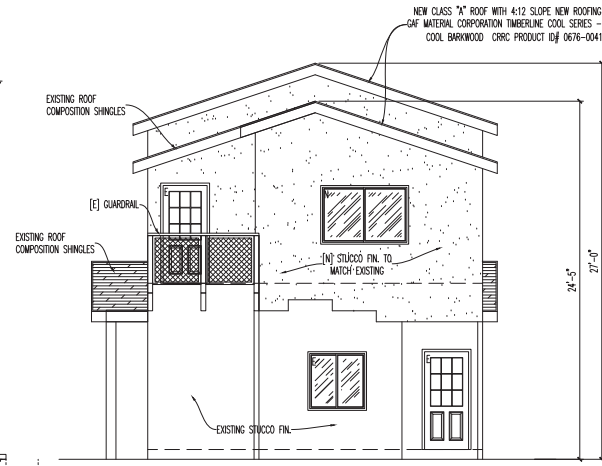
SHEET:

A-3

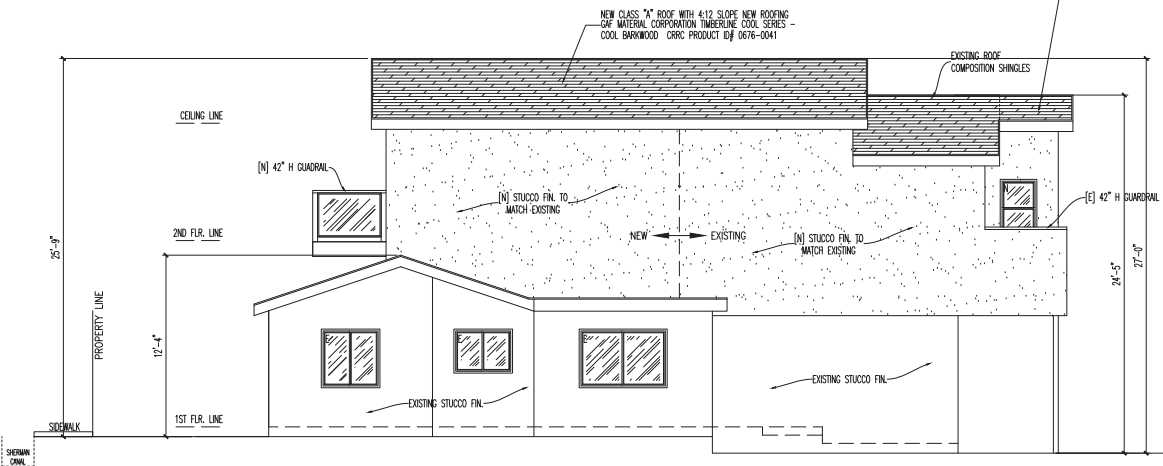
PROPOSED 2ND FLOOR PLAN



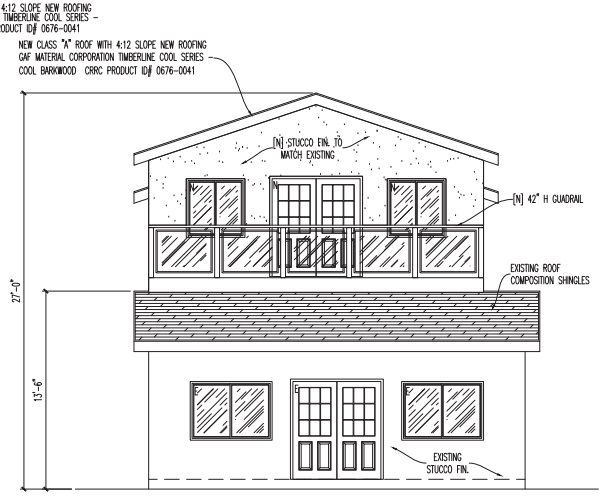
PROPOSED SOUTH ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED WEST ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE 1/4" = 1'-0"



PROPOSED EAST ELEVATION
SCALE 1/4" = 1'-0"



PREPARED BY:
INNOVA CREATIVE SOLUTIONS INC.
18600 ERWIN ST., STE 200
VAN NUYS, CA 91411
CELL: 818 - 4003905

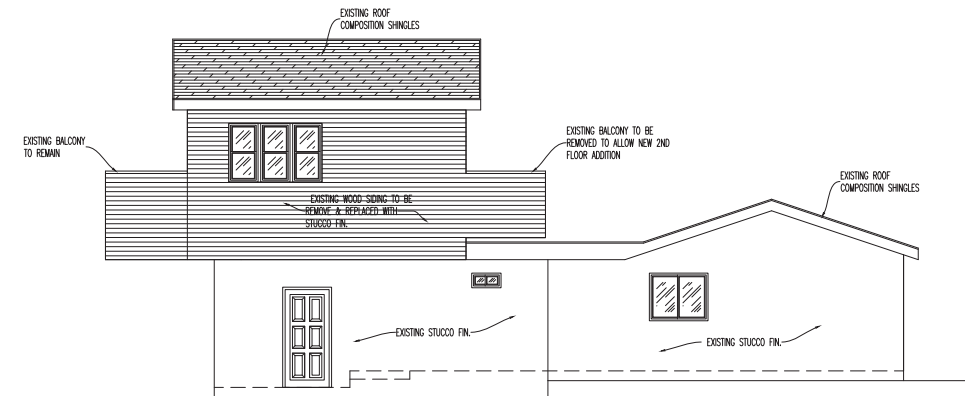
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SHEET:

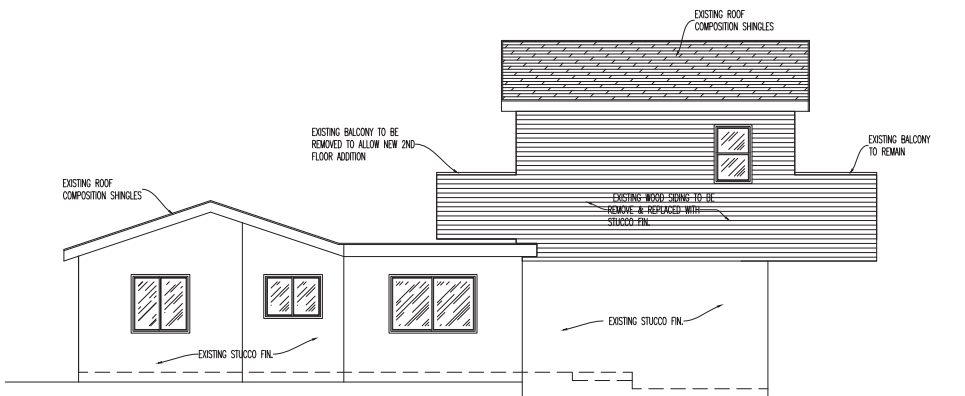
A-5

PROPOSED ELEVATIONS



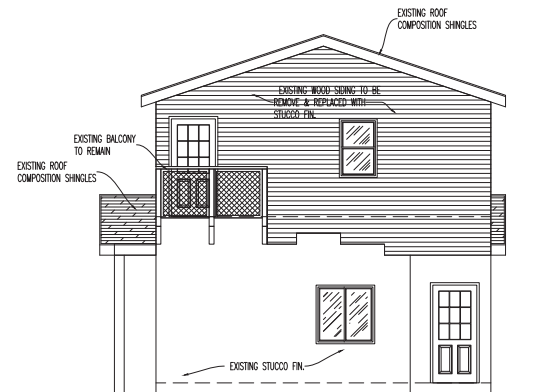
EXISTING SOUTH ELEVATION

SCALE 1/4" = 1'-0"



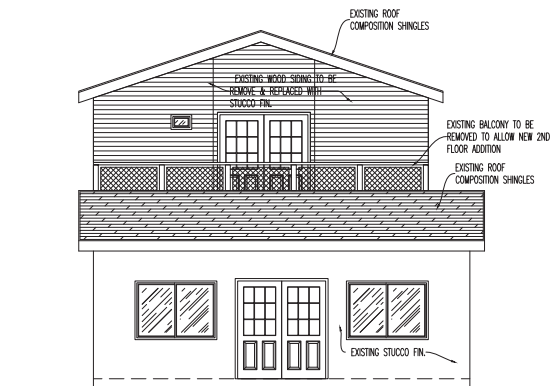
EXISTING NORTH ELEVATION

SCALE 1/4" = 1'-0"



EXISTING WEST ELEVATION

SCALE 1/4" = 1'-0"



EXISTING EAST ELEVATION

SCALE 1/4" = 1'-0"



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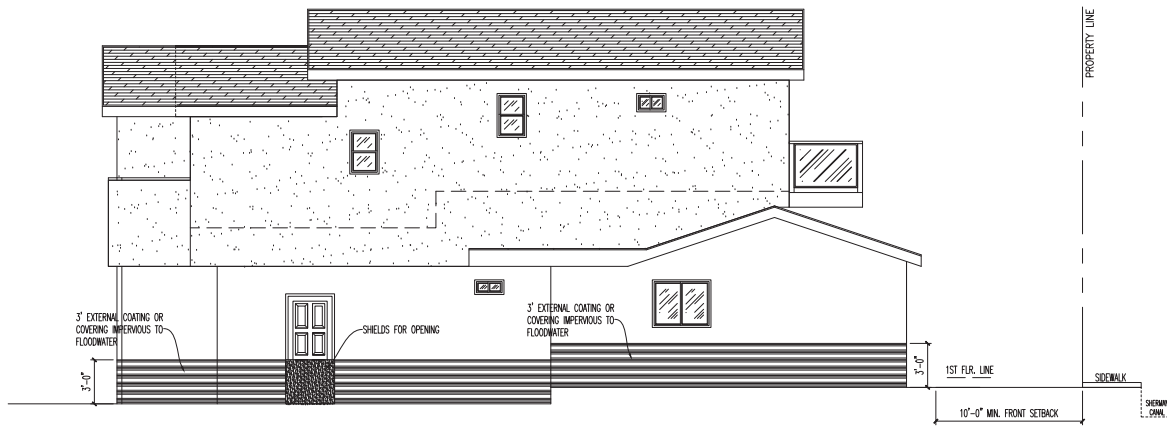
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PROPOSED : SECOND FLOOR MASTER BEDROOM ADDITION
PROPERTY OWNER : NANETTE REED
LOCATED AT: 408 W SHERMAN CANAL, VENICE CA 90291
PHONE : 310-305-7454

SHEET:

A-8

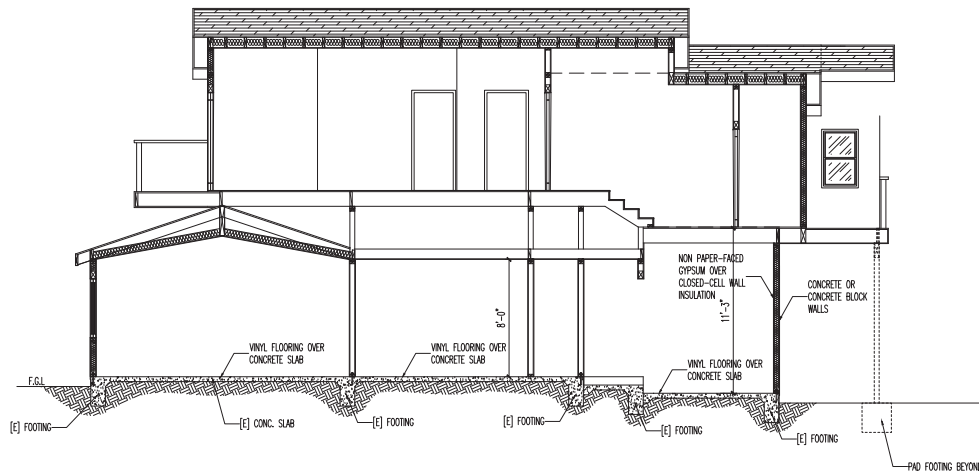
EXISTING ELEVATIONS



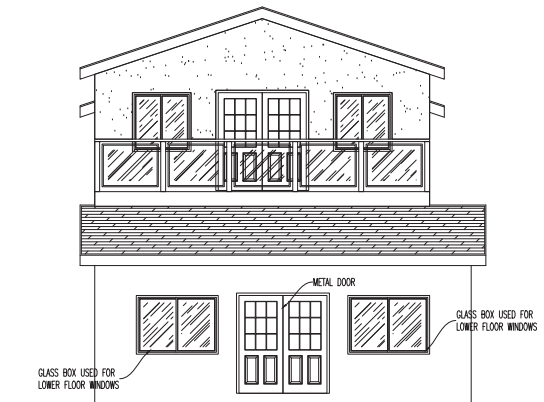
PROPOSED SOUTH ELEVATION - PASSIVE DRY FLOODPROOFING SYSTEM
SCALE 1/4" = 1'-0"



PROPOSED WEST ELEVATION - PASSIVE DRY FLOODPROOFING SYSTEM
SCALE 1/4" = 1'-0"



PROPOSED SECTION A - A - FLOOD DAMAGE-RESISTANT MATERIALS
SCALE 1/4" = 1'-0"



PROPOSED EAST ELEVATION - FLOOD DAMAGE-RESISTANT MATERIALS
SCALE 1/4" = 1'-0"



PREPARED BY:
INNOVA CREATIVE SOLUTION INC.
15500 ERWIN ST., STE 200
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SHEET:

A-1-1

FEMA FLOOD PROOFING
ELEVATIONS

PROPOSAL FOR FLOODPROOFING

THE HOMEOWNER IS PROPOSING TO FOLLOW FEMA & THE CITY OF LOS ANGELES PLANS AND RECOMMENDATIONS FOR FUTURE RETROFITTING AND/OR WATERPROOFING AS THEY ARE DEVELOPED, WHICH MAY INCLUDE SOME OF THE OPTIONS PROPOSED IN A-1-1 SOLUTIONS .

REDUCING FLOOD RISK OPTIONS

1. BASEMENT INFILL

THESE MEASURES INVOLVE FILLING A BASEMENT LOCATED BELOW THE BFE TO GRADE (GROUND LEVEL). SECTIONS OF THE BASEMENT WALLS THAT REMAIN ABOVE GROUND MUST BE RETROFITTED WITH FLOOD OPENINGS THAT ALLOW AUTOMATIC ENTRY AND/OR EXIT OF FLOODWATERS. ANY BASEMENT UTILITY SYSTEMS AND ASSOCIATED EQUIPMENT MUST BE ELEVATED TO PROTECT UTILITIES FROM DAMAGE OR LOSS OF FUNCTION FROM FLOODING.

2. ABANDON LOWEST FLOOR

THIS MEASURE INVOLVES ABANDONING THE LOWEST FLOOR OF A TWO OR MORE STORY SLAB-ON-GRADE RESIDENTIAL BUILDING. THE LOWEST FLOOR WALLS MUST BE RETROFITTED WITH FLOOD OPENINGS THAT ALLOW AUTOMATIC ENTRY AND EXIT OF FLOODWATERS. ADDITIONALLY, ANY UTILITY SYSTEMS AND ASSOCIATED EQUIPMENT ON THE LOWEST FLOOR MUST BE ELEVATED TO PROTECT UTILITIES FROM DAMAGE OR LOSS OF FUNCTION FROM FLOODING.

3. ELEVATE LOWEST INTERIOR FLOOR

THIS MEASURE INVOLVES ELEVATING THE LOWEST INTERIOR FLOOR WITHIN A RESIDENTIAL BUILDING WITH HIGH CEILINGS. THE SPACE BELOW THE LOWEST ELEVATED INTERIOR FLOOR WALLS MUST BE EITHER FILLED TO CREATE A STEM WALL OR RETROFITTED WITH FLOOD OPENINGS THAT ALLOW AUTOMATIC ENTRY AND/OR EXIT OF FLOODWATERS. ADDITIONALLY, ANY UTILITY SYSTEMS AND ASSOCIATED EQUIPMENT LOCATED BELOW THE LOWEST INTERIOR FLOOR MUST BE ELEVATED TO PROTECT UTILITIES FROM DAMAGE OR LOSS OF FUNCTION FROM FLOODING. TO REDUCE FLOOD DAMAGE AND FLOOD INSURANCE PREMIUMS TO THE GREATEST EXTENT POSSIBLE, ELEVATE THE LOWEST FLOOR AND UTILITIES TO THE BFE OR ABOVE.

4. FLOOD OPENINGS

THIS MEASURE INVOLVES INSTALLING OPENINGS IN FOUNDATION AND ENCLOSURE WALLS LOCATED BELOW THE BFE THAT ALLOW AUTOMATIC ENTRY AND EXIT OF FLOODWATERS TO PREVENT COLLAPSE FROM THE PRESSURES OF STANDING WATER.

5. ELEVATE BUILDING UTILITIES

THIS MEASURE INVOLVES ELEVATING ALL BUILDING UTILITY SYSTEMS AND ASSOCIATED EQUIPMENT (E.G., FURNACES, SEPTIC TANKS, AND ELECTRIC AND GAS METERS) TO PROTECT UTILITIES FROM DAMAGE OR LOSS OF FUNCTION FROM FLOODING. HOMEOWNERS MAY ELEVATE BUILDING UTILITY SYSTEMS USING A VARIETY OF TECHNIQUES, INCLUDING USING ELEVATED PEDESTALS OR PLATFORMS FOR OUTDOOR EQUIPMENT, MOVING EQUIPMENT TO HIGHER FLOORS OR ATTIC SPACES, AND BUILDING AN ELEVATED UTILITY ROOM. TO REDUCE FLOOD DAMAGE TO THE GREATEST EXTENT POSSIBLE, ELEVATE UTILITIES TO THE BFE OR ABOVE.

6. FLOODPROOF BUILDING UTILITIES

THIS MEASURE INVOLVES FLOODPROOFING ALL BUILDING UTILITY SYSTEMS AND ASSOCIATED EQUIPMENT TO PROTECT IT FROM DAMAGE OR LOSS OF FUNCTION FROM FLOODING. HOMEOWNERS MAY FLOODPROOF BUILDING UTILITY SYSTEMS USING A VARIETY OF TECHNIQUES, INCLUDING PLACING OUTDOOR EQUIPMENT BEHIND FLOODWALLS OR PLACING INDOOR EQUIPMENT BEHIND A WALL OR WATERTIGHT, PASSIVE UTILITY ENCLOSURE. IN ORDER TO REDUCE FLOOD DAMAGE TO THE GREATEST EXTENT POSSIBLE, FLOODPROOF TO THE BFE OR ABOVE.

7. FLOOD DAMAGE-RESISTANT MATERIALS

THIS MEASURE INVOLVES THE USE OF FLOOD DAMAGE-RESISTANT MATERIALS SUCH AS NON-PAPER-FACED GYPSUM BOARD AND TERRAZZO TILE FLOORING FOR BUILDING MATERIALS AND FURNISHINGS LOCATED BELOW THE BFE TO REDUCE STRUCTURAL AND NON-STRUCTURAL DAMAGE AND POST-FLOOD EVENT CLEANUP

8. PASSIVE DRY FLOODPROOFING SYSTEM

THIS MEASURE INVOLVES INSTALLING A PASSIVE (WORKS AUTOMATICALLY WITHOUT HUMAN ASSISTANCE) DRY FLOODPROOFING SYSTEM AROUND A HOME TO PROTECT THE BUILDING FROM FLOOD DAMAGE. THE COATING OR COVERING MUST BE IMPERVIOUS TO FLOODWATER AND CERTIFIED AND CONSTRUCTED TO A MAXIMUM OF 3 FEET ABOVE GRADE (GROUND LEVEL). TO REDUCE FLOOD DAMAGE TO THE GREATEST EXTENT POSSIBLE, FLOODPROOF TO THE BFE OR ABOVE.

1.1.3 DRY FLOODPROOFING

IN DRY FLOODPROOFING, THE PORTION OF THE STRUCTURE THAT IS BELOW THE DFE (WALLS AND OTHER EXTERIOR COMPONENTS) IS SEALED TO MAKE IT WATERTIGHT AND SUBSTANTIALLY IMPERMEABLE TO FLOODWATERS. SUCH WATERTIGHT IMPERVIOUS MEMBRANE SEALANT SYSTEMS CAN INCLUDE WALL COATINGS, WATERPROOFING COMPOUNDS, IMPERMEABLE SHEETING AND, SUPPLEMENTAL IMPERMEABLE WALL SYSTEMS, SUCH AS CAST-IN-PLACE CONCRETE. DOORS, WINDOWS, SEWER AND WATER LINES, AND VENTS ARE CLOSED WITH PERMANENT OR REMOVABLE SHIELDS OR VALVES.

9. FLOODWALL WITH GATES AND FLOODWALL WITHOUT GATES

THESE TWO MEASURES INVOLVE INSTALLING A REINFORCED CONCRETE FLOODWALL, WHICH WORKS AUTOMATICALLY WITHOUT HUMAN ASSISTANCE, CONSTRUCTED TO A MAXIMUM OF 4 FEET ABOVE GRADE (GROUND LEVEL). THE ONLY DIFFERENCE BETWEEN THE TWO OPTIONS IS RELATED TO OPENINGS IN THE FLOODWALL FOR ENTRY AND EXIT. THE FLOODWALL WITH GATES IS BUILT WITH PASSIVE FLOOD GATES THAT ARE DESIGNED TO OPEN OR CLOSE AUTOMATICALLY DUE TO THE HYDROSTATIC PRESSURE CAUSED BY THE FLOODWATER. THE FLOODWALL WITHOUT GATES IS BUILT USING VEHICLE RAMPS OR PEDESTRIAN STAIRS TO AVOID THE NEED FOR PASSIVE FLOOD GATES. NOTE THAT SUMP PUMPS OR AN INTERNAL STORAGE SYSTEM ALONG WITH A BACK-UP EMERGENCY POWER SUPPLY ARE REQUIRED TO COLLECT AND REMOVE FLOODWATER THAT COLLECTS BEHIND FLOODWALLS DURING A FLOOD EVENT. TO REDUCE FLOOD DAMAGE TO THE GREATEST EXTENT POSSIBLE, ENSURE THE TOP OF THE FLOODWALL IS AT BFE OR ABOVE.



PREPARED BY:
INNOVA CREATIVE SOLUTIONS INC.
15500 ERWIN ST., STE 200
VAN NUYS, CA 91411
CELL : 818 - 4023905

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PROPERTY OWNER : NANETTE REED
LOCATED AT: 408 W SHERMAN CANAL, VENICE CA 90291
PHONE : 310-305-7454

SHEET:

A-1-2

FEMA FLOODPROOFING NOTES

408 W SHERMAN CANAL, VENICE CA 90291

PERMEABLE AREAS

PROPERTY INFORMATION

ADDRESS/LEGAL
SITE ADDRESS 408 W SHERMAN CL
ZIP CODE 90291
PIN NUMBER 105A147 52
LOT/PARCEL AREA (CALCULATED) 2,850.1 (SQ FT)
THOMAS BROTHERS GRID PAGE 671 - GRID H7
ASSESSOR PARCEL NO. (APN) 4227015022
TRACT SHORT LINE BEACH VENICE CANAL SUBDIVISION NO. 1
MAP REFERENCE M B 7-126/127
BLOCK 52
LOT 38
ARB (LOT CUT REFERENCE) NONE
MAP SHEET 105A145
MAP SHEET 105A147

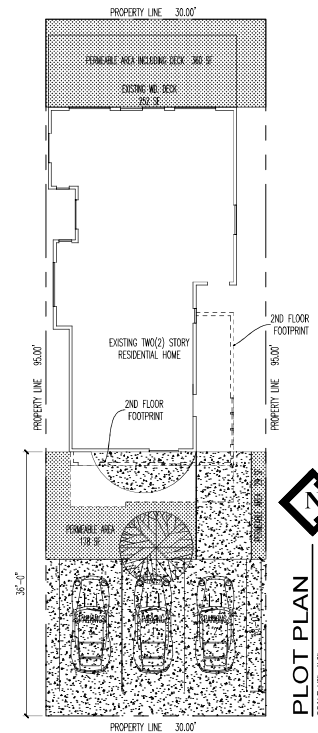
JURISDICTIONAL
COMMUNITY PLAN AREA VENICE
AREA PLANNING COMMISSION WEST LOS ANGELES
NEIGHBORHOOD COUNCIL VENICE
COUNCIL DISTRICT CD 11 - MIKE BONIN
CENSUS TRACT # 2739.02
LADBS DISTRICT OFFICE WEST LOS ANGELES
BUILDING PERMIT INFO VIEW

PLANNING AND ZONING
SPECIAL NOTES NONE
ZONING RW1-1-O
ZONING INFORMATION (Z) ZI-2406 DIRECTOR'S
INTERPRETATION OF THE VENICE SP FOR SMALL LOT SUBDIVISIO
ZONING INFORMATION (Z) ZI-2452 TRANSIT PRIORITY
AREA IN THE CITY OF LOS ANGELES
GENERAL PLAN LAND USE LOW MEDIUM II RESIDENTIAL
GENERAL PLAN NOTE(S) YES
HILLSIDE AREA (ZONING CODE) NO
SPECIFIC PLAN AREA LOS ANGELES COASTAL TRANSPORTATION CORRIDOR
SUBAREA NONE
SPECIFIC PLAN AREA VENICE COASTAL ZONE
SUBAREA VENICE CANALS
HISTORIC PRESERVATION REVIEW NO
HISTORICPLACESLA VIEW
CDO: COMMUNITY DESIGN OVERLAY NONE
CPIO: COMMUNITY PLAN IMP. OVERLAY NONE
SUBAREA NONE
CUGU: CLEAN UP-GREEN UP NONE
NSO: NEIGHBORHOOD STABILIZATION OVERLAY NO
POD: PEDESTRIAN ORIENTED DISTRICTS NONE
RFA: RESIDENTIAL FLOOR AREA DISTRICT NONE
SN: SIGN DISTRICT NO
STREETSCAPE NO
ADAPTIVE REUSE INCENTIVE AREA NONE
AFFORDABLE HOUSING LINKAGE FEE
RESIDENTIAL MARKET AREA HIGH
NON-RESIDENTIAL MARKET AREA HIGH
TRANSIT ORIENTED COMMUNITIES (TOC) TIER 1

ASSESSOR
ASSESSOR PARCEL NO. (APN)
APN AREA (CO. PUBLIC WORKS)* 0.065 (AC)
USE CODE 0100 - RESIDENTIAL - SINGLE FAMILY RESIDENCE
BUILDING 1
YEAR BUILT 1924
BUILDING CLASS D7C
NUMBER OF UNITS 1
NUMBER OF BEDROOMS 4
NUMBER OF BATHROOMS 3
BUILDING SQUARE FOOTAGE 1,688.0 (SQ FT)

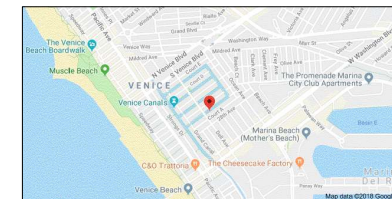
ADDITIONAL
AIRPORT HAZARD NONE
COASTAL ZONE CALVO EXCLUSION AREA
COASTAL ZONE COASTAL ZONE COMMISSION AUTHORITY
COASTAL ZONE DUAL JURISDICTIONAL COASTAL ZONE
FARMLAND AREA NOT MAPPED
URBAN AGRICULTURE INCENTIVE ZONE YES
VERY HIGH FIRE HAZARD SEVERITY ZONE NO
FIRE DISTRICT NO. 1 NO
FLOOD ZONE NONE
WATERCOURSE NO
HAZARDOUS WASTE / BORDER ZONE PROPERTIES NO
METHANE HAZARD SITE METHANE ZONE
HIGH WIND VELOCITY AREAS NO
SPECIAL GRADING AREA (BOE BASIC GRID MAP A-13372) NO
OIL WELLS NONE

SHERMAN CANAL



COURT A

VICINITY MAP



PREPARED BY:
INNOVA CREATIVE SOLUTIONS INC.
15500 BIRWIN ST., STE 200
VAN NUYS, CA 91411
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PROPERTY OWNER : NANETTE REED
LOCATED AT: 408 W SHERMAN CANAL, VENICE CA 90291
PHONE : 310-305-7454

SHEET:

A-1.1

PLOT PLAN
PERMEABLE AREA

Exhibit 3—Historic Deed Restriction (1984)

91 719253

Permit # 5.17.037
Applicant RAPPAPORT

RECORDING REQUESTED BY AND RETURN TO:
California Coastal Commission
45 Fremont St., Suite 2000
San Francisco, CA 94105-2219

SUBORDINATION AGREEMENT

FREE S

NOTICE: THIS SUBORDINATION AGREEMENT RESULTS IN YOUR SECURITY INTEREST IN THE PROPERTY BECOMING SUBJECT TO AND OF LOWER PRIORITY THAN THE LIEN OF SOME OTHER OR LATER SECURITY INSTRUMENT. (THIS NOTICE REQUIRED BY CALIFORNIA CIVIL CODE SECTION 2953.3)

This subordination agreement is made between (1) Merrill Lynch Equity Management, Inc. hereinafter called the "Beneficiary," and (2) Ross Rappaport and Sylvie Olga Rappaport hereinafter called the "Trustor." The undersigned Beneficiary under Deed of Trust dated (3) January 29, 1991 and recorded on (4) February 4, 1991 as instrument number (5) 91-164905 of the Official Records in the Office of the County Recorder of (6) Los Angeles encumbering the real property described in Exhibit A to this document, which Deed of Trust has as Trustee (7) MLEM Insurance Agency, Inc., hereby acknowledges the (8) Deed Restriction, dated (9) 9/29/91, executed by (10) Ross Rappaport and Sylvie Olga Rappaport, recorded concurrently herewith, and does hereby subordinate the interests of its Deed of Trust thereto on behalf of the People of the State of California.

DATED: 9/29/91

MERRILL LYNCH EQUITY MANAGEMENT, INC.

BY:

SIGNATURE OF BENEFICIARY
Robert J. Lavell, Vice President
TYPE OR PRINT NAME OF ABOVE

SIGNATURE OF BENEFICIARY
TYPE OR PRINT NAME OF ABOVE

SIGNATURE OF TRUSTOR
Ross Rappaport
TYPE OR PRINT NAME OF ABOVE
Sylvie Olga Rappaport
SIGNATURE OF TRUSTOR
Sylvie Olga Rappaport
TYPE OR PRINT NAME OF ABOVE

NOTE TO NOTARY PUBLIC:

If any party signing the attached subordination agreement is signing on behalf of a corporation, public agency, partnership, etc., please use the proper notary acknowledgement.

State of California,

County of

Los Angeles)
)SS

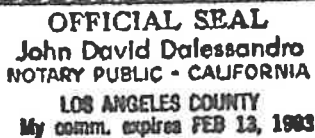
On this 29th day of April, in the year 1991,

before me John David Dalessandro, a Notary Public, personally

appeared Ross Rappaport and Sylvie Olga Rappaport personally known to me (or proved to me

on the basis of satisfactory evidence) to be the person(s) whose names ~~is~~ are subscribed to this instrument, and acknowledged that ~~he/she~~ they executed it.

WITNESS my hand and official seal.

**OFFICIAL SEAL**
John David Dalessandro
NOTARY PUBLIC - CALIFORNIA
LOS ANGELES COUNTY
My comm. expires FEB 13, 1993

John David Dalessandro

NOTARY PUBLIC IN AND FOR

SAID COUNTY AND STATE

State of FLORIDA)

County of

DUAL)
)SS

On this 23rd day of APRIL, in the year 1991,

before me SALLY K. APPELL, a Notary Public, personally

appeared ROBERT J. LARUE personally known to me (or proved to me

on the basis of satisfactory evidence) to be the person who executed the within

instrument as Vice President of and acknowledged to me that such corporation executed it. the Corporation therein

WITNESS my hand and official seal.

Sally K. Appell

NOTARY PUBLIC IN AND FOR

SAID COUNTY AND STATE

Notary Public, State of Florida
My Commission Expires June 21, 1992
Bonded Thru Troy Fain - Insurance Inc.

EXHIBIT A

Lot 38, Block 52 Shortline Beach, Venice Canal Sub Division,
Los Angeles County, California.



RECORDING REQUESTED BY AN RETURN TO:
California Coastal Commission
45 Fremont St., Suite 2000
San Francisco, CA 94105-2219

91 719254



DEED RESTRICTION

FEE \$ 27.00 S

12

I. WHEREAS, Ross Rappaport and Silvie Rappaport

, hereinafter referred to as the "Owner(s)," is/are
the record owner(s) of the following real property:

Lot 38, Block 52 Shortline Beach, Venice Canal Sub Division , County of
Los Angeles, California

hereinafter referred to as the "Property;" and

II. WHEREAS, the California Coastal Commission, hereinafter referred
to as the "Commission," is acting on behalf of the People of the State of
California; and

III. WHEREAS, the subject property is located within the coastal
zone as defined in §30103 of Division 20 of the California Public Resources
Code, hereinafter referred to as the "California Coastal Act of 1976,"
(the Act); and

IV. WHEREAS, pursuant to the Act, the Owner applied to the Commission
for a coastal development permit on the Property described above; and

V. WHEREAS, coastal development permit number 5-91-039, hereinafter
referred to as the "Permit," was granted on March 13, 1991, by
the Commission in accordance with the provision of the Staff Recommendation
and Findings, attached hereto as EXHIBIT A and herein incorporated by

//

1 reference; and

2 VI. WHEREAS, the Permit was subject to the terms and conditions
3 including, but not limited to the following condition(s):
4
5
6

7 Prior to authorization to proceed with the development, the applicant
8 shall submit a deed restriction for recording, subject to the review and
9 approval of the Executive Director. The deed restriction shall be
10 recorded free of prior liens and encumbrances binding on all heirs and
11 assigns and shall provide for the maintenance of not less than 341 square
12 feet of pervious yard area adjacent to the canal property line and 109
13 square feet in the rear area of the property to equal 450 square feet in
14 order to maintain an access corridor and water quality. This yard area
15 shall be free of all structures except for fences and permeable decks at
16 grade. Fences in front yard areas shall not exceed 42 inches in height.
17
18
19

20 VII. WHEREAS, the Commission found that but for the imposition of the
21 above condition(s) the proposed development could not be found consistent
22 with the provisions of the California Coastal Act of 1976 and that a permit
23 could therefore not have been granted; and

24 VIII. WHEREAS, Owner has elected to comply with the conditions(s)
25 imposed by the Permit and execute this Deed Restriction so as to enable
26 Owner to undertake the development authorized by the Permit.

27 //

1 NOW, THEREFORE, in consideration of the granting of the Permit to the
2 Owner by the Commission, the Owner hereby irrevocably covenants with the
3 Commission that there be and hereby is created the following restrictions
4 on the use and enjoyment of said Property, to be attached to and become a
5 part of the deed to the property.

6 1. COVENANT, CONDITION AND RESTRICTION. The undersigned Owner,
7 for himself/herself and for his/her heirs, assigns, and successors in
8 interest, covenants and agrees that:

9
10 They shall provide for the maintenance of not less than 341 square
11 feet of pervious yard area adjacent to the canal property line and 109
12 square feet in the rear area of the property to equal 450 square feet in
13 order to maintain an access corridor and water quality. This yard area
14 shall be free of all structures except for fences and permeable decks at
15 grade. Fences in front yard areas shall not exceed 42 inches in height.

16
17
18 2. DURATION. Said Deed Restriction shall remain in full force
19 and effect during the period that said permit, or any modification or
20 amendment thereof remains effective, and during the period that the
21 development authorized by the Permit or any modification of said development,
22 remains in existence in or upon any part of, and thereby confers benefit
23 upon, the Property described herein, and shall bind Owner and all his/her
24 assigns or successors in interest.

25 3. TAXES AND ASSESSMENTS. It is intended that this Deed
26 Restriction is irrevocable and shall constitute an enforceable restriction
27 within the meaning of a) Article XIII, §8, of the California Constitution;

1 and b) §402.1 of the California Revenue and Taxation Code or successor
2 statute. Furthermore, this Deed Restriction shall be deemed to constitute
3 a servitude upon and burden to the Property within the meaning of §3712(d)
4 of the California Revenue and Taxation Code, or successor statute, which
5 survives a sale of tax-deeded property.

6 4. RIGHT OF ENTRY. The Commission or its agent may
7 enter onto the Property at times reasonably acceptable to the Owner to
8 ascertain whether the use restrictions set forth above are being observed.

9 5. REMEDIES. Any act, conveyance, contract, or authorization
10 by the Owner whether written or oral which uses or would cause to be used
11 or would permit use of the Property contrary to the terms of this Deed
12 Restriction will be deemed a violation and a breach hereof. The Commission
13 and the Owner may pursue any and all available legal and/or equitable remedies
14 to enforce the terms and conditions of this Deed Restriction. In the event
15 of a breach, any forbearance on the part of either party to enforce the
16 terms and provisions hereof shall not be deemed a waiver of enforcement
17 rights regarding any subsequent breach.

18 6. SEVERABILITY. If any provision of these restrictions is
19 held to be invalid, or for any reason becomes unenforceable, no other
20 provision shall be thereby affected or impaired.

21
22 Dated: 4/29, 1991

23
24 SIGNED: 

25 ROSS RAPAPORT
26 PRINT OR TYPE NAME OF ABOVE

SIGNED: 

27 SYLVIE RAPAPORT
PRINT OR TYPE NAME OF ABOVE

* * NOTARY ACKNOWLEDGMENT ON THE NEXT PAGE * *

* * NOTE TO NOTARY PUBLIC * *

If any party signing the deed restriction is signing on behalf of a corporation, public agency, partnership, etc. please use the proper notary acknowledgement form as explained in your Notary Public Law Book.

STATE OF California)
COUNTY OF Los Angeles) ss

On this 29th day of April, in the year 1991, before me John David Dalessandro, a Notary Public, personally appeared Rosa Rappaport personally known to me, or proved to me on the basis of satisfactory evidence, to be the person whose name is subscribed to this instrument, and acknowledged to me that he/she executed it.

WITNESS my hand and official seal.

John David Dalessandro
NOTARY PUBLIC IN AND FOR
SAID COUNTY AND STATE
Los Angeles, Calif.

STATE OF California)
COUNTY OF Los Angeles) ss



On this 29th day of April, in the year 1991, before me John David Dalessandro, a Notary Public, personally appeared Sylvia Olga Rappaport personally known to me, or proved to me on the basis of satisfactory evidence, to be the person whose name is subscribed to this instrument, and acknowledged to me that he she executed it.

WITNESS my hand and official seal.

John David Dalessandro
NOTARY PUBLIC IN AND FOR
SAID COUNTY AND STATE
Los Angeles, Calif.



1 This is to certify that the deed restriction set forth above is hereby
2 acknowledged by the undersigned officer on behalf of the California Coastal
3 Commission pursuant to authority conferred by the California Coastal
4 Commission when it granted Coastal Development Permit No. 5-91-039
5 on March 13, 1991 and the California Coastal Commission consents to
6 recordation thereof by its duly authorized officer.

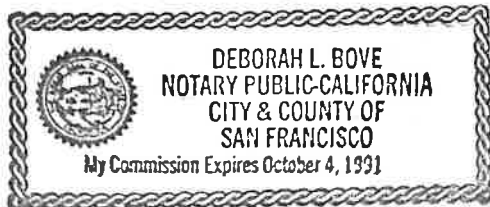
7 Dated: May 9, 1991

8
9 John Bowers
10 John Bowers, Staff Counsel

11 California Coastal Commission

12
13 STATE OF California)
14)ss
15 COUNTY OF San Francisco)

16
17 On this 9th day of May, in the year 1991, before
18 me Deborah L. Bove, a Notary Public, personally appeared
19 John Bowers, personally known to me (or proved to me on
20 the basis of satisfactory evidence) to be the person who executed this
21 instrument as Staff Counsel of the California Coastal Commission and
22 acknowledged to me that the California Coastal Commission executed it.



Deborah L. Bove
NOTARY PUBLIC FOR SAID STATE AND COUNTY

CALIFORNIA COASTAL COMMISSION

SOUTH COAST AREA
245 WEST BROADWAY, SUITE 380
LONG BEACH, CA 90802
(213) 590-5071

Page 1 of 5

Permit Application No. 5-91-039

Date: February 7, 1991 CP

ADMINISTRATIVE PERMIT

APPLICANT: Ross & Sylvie Rappaport

PROJECT DESCRIPTION: New second story addition and remodel to existing one story single family residence.

PROJECT LOCATION: 408 Sherman Canal, Venice, City of Los Angeles.

EXECUTIVE DIRECTOR'S DETERMINATION: The findings for this determination, and for any special conditions, appear on subsequent pages.

NOTE: P.R.C. Section 30624 provides that this permit shall not become effective until it is reported to the Commission at its next meeting. If one-third or more of the appointed membership of the Commission so request, the application will be removed from the administrative calendar and set for public hearing at a subsequent Commission meeting. Our office will notify you if such removal occurs.

This permit will be reported to the Commission at the following time and place:

Wednesday, March 13, 1991 9:00 a.m.
Burton W. Chace Park, West End of Mindanao Way
Marina del Rey (213) 305-9588

IMPORTANT - Before you may proceed with development, the following must occur:

Pursuant to 14 Cal. Admin. Code Sections 13150(b) and 13158, you must sign the enclosed duplicate copy acknowledging the permit's receipt and accepting its contents, including all conditions, and return it to our office. Following the Commission's meeting, and once we have received the signed acknowledgement and evidence of compliance with all special conditions, we will send you a Notice of Administrative Permit Effectiveness.

BEFORE YOU CAN OBTAIN ANY LOCAL PERMITS AND PROCEED WITH DEVELOPMENT, YOU MUST HAVE RECEIVED BOTH YOUR ADMINISTRATIVE PERMIT AND THE NOTICE OF PERMIT EFFECTIVENESS FROM THIS OFFICE.

PETER DOUGLAS
Executive Director

By: Title: Coastal Program Analyst

STANDARD CONDITIONS:

1. Notice of Receipt and Acknowledgment. The permit is not valid and development shall not commence until a copy of the permit, signed by the permittee or authorized agent, acknowledging receipt of the permit and acceptance of the terms and conditions, is returned to the Commission office.
2. Expiration. If development has not commenced, the permit will expire two years from the date this permit is reported to the Commission. Development shall be pursued in a diligent manner and completed in a reasonable period of time. Application for extension of the permit must be made prior to the expiration date.
3. Compliance. All development must occur in strict compliance with the proposal as set forth in the application for permit, subject to any special conditions set forth below. Any deviation from the approved plans must be reviewed and approved by the staff and may require Commission approval.
4. Interpretation. Any questions of intent or interpretation of any condition will be resolved by the Executive Director or the Commission.
5. Inspections. The Commission staff shall be allowed to inspect the site and the project during its development, subject to 24-hour advance notice.
6. Assignment. The permit may be assigned to any qualified person, provided assignee files with the Commission an affidavit accepting all terms and conditions of the permit.
7. Terms and Conditions Run with the Land. These terms and conditions shall be perpetual, and it is the intention of the Commission and the permittee to bind all future owners and possessors of the subject property to the terms and conditions.

EXECUTIVE DIRECTOR'S DETERMINATION (continued):

The Executive Director hereby determines that the proposed development is a category of development which, pursuant to PRC Section 30624, qualifies for approval by the Executive Director through the issuance of an administrative permit. Subject to Standard and Special Conditions as attached, said development is in conformity with the provisions of Chapter 3 of the Coastal Act of 1976, will not prejudice the ability of the local government to prepare a Local Coastal Program that is in conformity with the provisions of Chapter 3, and will not have any significant impacts on the environment within the meaning of the California Environmental Quality Act. If located between the nearest public road and the sea, this development is in conformity with the public access and public recreation policies of Chapter 3.

FINDINGS FOR EXECUTIVE DIRECTOR'S DETERMINATION:A. Project Description

The applicant proposes to remodel and add a second story bedroom and bathroom to an existing one story single family residence. The single family residence with the new addition will measure 27.5 ft. from the centerline of the rear alley. The project is located on a 2,945 sq. ft. lot in the canal area of Venice (See map, exhibit 1).


B. Background

The Commission has recognized in both prior permit and appeal decisions that the canal area of Venice is a coastal neighborhood of unique character. In 1975, the Commission developed a set of building standards for the Canals through hearing and voting on various permits. These standards reflect conditions imposed in a series of permits heard prior to that time. Since then, a set of Special Conditions have been routinely applied to single family dwelling permits in the Venice Canals which address the issues of public access, water quality, and preservation of community character and scale. These conditions insure that these permits are consistent with the Coastal Act.

Public pedestrian access in the canal area is provided by ten-foot wide paths that run adjacent to the canals. The pathways are in serious disrepair, but are still being used by the public. In order to ensure that access continues to be provided along these public pedestrian accessways, projects have been conditioned to make temporary improvements to the pathways until the city has developed a restoration plan for the canal area.

Vehicle access to the properties along the canals is provided by 20-foot wide alleys (called courts). Because of the width of the alleys there is inadequate area for off-site parking in the alleys. Most of the older existing development do not provide for guest parking which creates parking problems for the area. Parking that is available for the general public on the surrounding streets is being used by guests and residents. To mitigate this problem the Commission has consistently conditioned development within the canals to provide a rear setback of at least nine feet for guest parking or to make other provisions for guest parking. The proposed project provides a 39 foot setback from the alley which currently provides the residents with space to park three cars. This project is in conformance with the Commission's parking condition for the Venice Canal area.

In order to protect the water quality of the canals, the Commission has consistently conditioned projects to provide front yard setbacks to provide a pervious yard area to absorb rainwater, and to provide a water filtering device. The Canals are located up course from the Ballona Lagoon, which has been found to be a sensitive habitat area. The introduction of urban runoff, including pesticides and garden fertilizers and runoff from impervious surfaces could reduce the water quality of the canals which could then impact the water quality and productivity of the lagoon. The Commission has consistently required the provision of a 100 cubic foot french drain in order to filter urban runoff before it enters the canals. For most projects, a condition is placed which requires revised plans to be submitted which depict the location of this french drain. As in this case, the condition shall be applied to this project.



The Commission has consistently conditioned projects in the Venice Canals to provide and maintain a 450 square-foot pervious front yard as a setback from the canal to allow public access, to provide an area for percolation and to protect community character by maintaining a comparable scale between buildings in the area. The figure of 450 square feet is based on an average setback of 15 feet on a 30 foot wide lot which is the width of the majority of parcels in the Canals. This setback is defined in square footage rather than an absolute lineal measurement to allow for changes in plane which can add architectural interest. The subject project site is 31 feet in width and provides a 11 foot setback from the pathway on the canal side (see site plan, exhibit 2). This area is currently covered with a pervious wooden deck but is only 341 square feet which is 109 square feet less than the required 450. The remainder of the required pervious area may be made up on the rear area of the property which is currently an unlandscaped dirt area. A special condition requires that revised plans be submitted that show that 450 square feet of pervious area exist on the site and a Deed Restriction must also be recorded to ensure that 450 square feet on the lot remain pervious.

The Commission has also consistently conditioned projects in the canal area to protect the community character. The area is comprised of older one and two-story single family residences. The majority of the structures in the area do not exceed 30 feet in height. Most of the development that occurs in the area involves demolition of the existing older structures and construction of new two-story residences. In order to protect the existing scale and character of the neighborhood, and in order to protect the visual corridor along the public walkways, the Commission has consistently limited new development in the canal area to 30 feet which is consistent with the general height of the area, and has limited extensions within the setback area, except for ground level decks. The project conforms to these conditions..

SPECIAL CONDITIONS:


1. In order to provide a setback for access and to preserve water quality, plans are required that show a pervious yard area totaling no less than 450 square feet in the front and back yards. No fill nor building extensions shall be placed in or over the area with the exception of fences or permeable decks at grade. Fences in front yard areas shall not exceed 42 inches in height.
2. Prior to authorization to proceed with the development, the applicant shall submit a deed restriction for recording, subject to the review and approval of the Executive Director. The deed restriction shall be recorded free of prior liens and encumbrances binding on all heirs and assigns and shall provide for the maintenance of not less than 341 square feet of pervious yard area adjacent to the canal property line and 109 square feet in the rear area of the property to equal 450 square feet in order to maintain an access corridor and water quality. This yard area shall be free of all structures except for fences and permeable decks at grade. Fences in front yard areas shall not exceed 42 inches in height.
3. A rear setback (from alley or road) of not less than nine feet or other provision for guest parking shall be maintained. Prior to authorization


to proceed with the development, the applicant shall submit plans that show that there are three parking places on site, two for the residence and one for guest parking. Two of the parking places may be tandem.

4. Prior to authorization to proceed with the development, the applicant shall submit plans, approved by the City Engineer, for the reconstruction of the public right-of-way fronting the property to its original ten-foot width. Such improvements may be temporary and shall be consistent with the character of other similar existing temporary improvements to the public accessways, such as riprap wall and compacted decomposed granite walkway surface or similar material. The walkway may be planted with flowers or ground covers, provided that a minimum passageway of five feet is maintained. No other encroachment shall be permitted. All walkways shall be constructed under a permit issued by the City Engineer. Reconstruction of the applicant's portion of the walkway shall be completed by either the applicant or the City of Los Angeles prior to authorization of permit. If the walkway is currently improved to a standard acceptable to the City Engineer as a temporary improvement, no further improvement will be required.
5. Height of the approved structure shall not exceed 30 feet above the centerline of the canal walkway.
6. Prior to authorization to proceed with the development, the applicant shall submit drainage plans providing for a 100 cubic foot french drain or other water filtering device which provides equivalent on-site percolation.

ACKNOWLEDGMENT OF PERMIT RECEIPT/ACCEPTANCE OF CONTENTS:

I/We acknowledge that I/we have received a copy of this permit and have accepted its contents including all conditions.


Applicant's Signature


Date of Signing

After you have signed and returned the duplicate copy of this Administrative Permit, you will be receiving the legal forms with instructions to complete from our San Francisco Office. When you receive the documents, if you have any questions, please call the Legal Department at (415) 904-5220.

45 FREMONT, SUITE 2000
SAN FRANCISCO, CA 94105-2219
VOICE AND TDD (415) 904-5200

Exhibits 1 and 2 to the Staff Recommendation and Findings (Exhibit A) of Coastal Development Permit No. 5-91-039 are on file and can be viewed in the office of the California Coastal Commission, South Coast District Office, at 245 West Broadway, Suite 380, Long Beach, California, 90802-4416.

Content of the Exhibits

Exhibit 1 . . Vicinity Map
Exhibit 2 . . Plot Plan



RECORD TITLE OF CALIFORNIA, INC
A SUBSIDIARY OF ORANGE COAST TITLE COMPANY
1626 EAST FOURTH STREET
SANTA ANA, CALIFORNIA 92701
(800) 482-1452

-----PRELIMINARY REPORT-----

ROSS RAPPAPORT
408 SHERMAN CANAL
VENICE CA 90291
ATTENTION: RAPPAPORT
YOUR NO.: RAPPAPORT

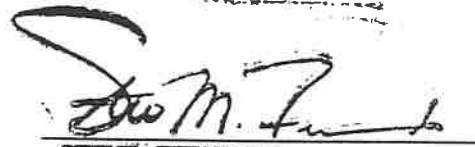
DATE: MAY 24, 1991

DATED AS OF MAY 20, 1991 AT 7:30 A.M.

IN RESPONSE TO THE ABOVE REFERENCED APPLICATION FOR A POLICY OF TITLE INSURANCE, RECORD TITLE OF CALIFORNIA, INC. HEREBY REPORTS THAT IT IS PREPARED TO ISSUE, OR CAUSE TO BE ISSUED, AS OF THE DATE HEREOF, A POLICY OR POLICIES OF TITLE INSURANCE DESCRIBING THE LAND AND THE ESTATE OR INTEREST THEREIN HEREINAFTER SET FORTH, INSURING AGAINST LOSS WHICH MAY BE SUSTAINED BY REASON OF ANY DEFECT, LIEN OR ENCUMBRANCE NOT SHOWN OR REFERRED TO AS AN EXCEPTION BELOW OR NOT EXCLUDED FROM COVERAGE PURSUANT TO THE PRINTED SCHEDULES, CONDITIONS AND STIPULATIONS OF SAID POLICY FORMS.

THE PRINTED EXCEPTIONS AND EXCLUSIONS FROM THE COVERAGE OF SAID POLICY OR POLICIES ARE SET FORTH IN EXHIBIT A ATTACHED. COPIES OF THE POLICY FORMS SHOULD BE READ. THEY ARE AVAILABLE FROM THE OFFICE WHICH ISSUED THIS REPORT.

THIS REPORT (AND ANY SUPPLEMENTS OR AMENDMENTS HERETO) IS ISSUED SOLELY FOR THE PURPOSE OF FACILITATING THE ISSUANCE OF A POLICY OF TITLE INSURANCE AND NO LIABILITY IS ASSUMED HEREBY. IF IT IS DESIRED THAT LIABILITY BE ASSUMED PRIOR TO THE ISSUANCE OF A POLICY OF TITLE INSURANCE, A BINDER OR COMMITMENT SHOULD BE REQUESTED.


STEVE FERNANDO
TITLE OFFICER

ORDER NO: L81644-7

PAGE NO: 2

THE FORM OF POLICY OF TITLE INSURANCE CONTEMPLATED BY THIS REPORT IS:

REPORT ONLY

THE ESTATE OR INTEREST IN THE LAND HEREINAFTER DESCRIBED OR REFERRED TO COVERED BY THIS REPORT IS : A FEE.

TITLE TO SAID ESTATE OR INTEREST AT THE DATE HEREOF IS VESTED IN:

ROSS RAPPAPORT AND SYLVIE OLGA RAPPAPORT, HUSBAND AND WIFE, AS JOINT TENANTS

THE LAND REFERRED TO IN THIS REPORT IS SITUATED IN THE STATE OF CALIFORNIA, COUNTY OF LOS ANGELES AND IS DESCRIBED AS FOLLOWS:

LOT 38 IN BLOCK 52 OF SHORT LINE BEACH VENICE CANAL SUBDIVISION NO. 1, IN THE CITY OF LOS ANGELES, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 7 PAGE(S) 126 AND 127 OF MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

ORDER NO: L81644-7
PAGE NO: 3

AT THE DATE HEREOF EXCEPTIONS TO COVERAGE IN ADDITION TO THE EXCEPTIONS AND EXCLUSIONS IN SAID POLICY FORM WOULD BE AS FOLLOWS:

- A. GENERAL AND SPECIAL TAXES, A LIEN NOT YET PAYABLE, FOR THE FISCAL YEAR 1991-1992.
- B. GENERAL AND SPECIAL COUNTY AND/OR CITY TAXES FOR THE FISCAL YEAR 1990-1991
1st INSTALLMENT PAID
2nd INSTALLMENT \$ 952.57 OPEN PENALTY \$ 105.25 (AFTER 4-10)
PARCEL NO. 4227-015-022
- C. THE LIEN OF SUPPLEMENTAL TAXES, IF ANY, ASSESSED PURSUANT TO CHAPTER 3.5 COMMENCING WITH SECTION 75 OF THE CALIFORNIA REVENUE AND TAXATION CODE.
 1. AN OIL AND GAS LEASE AFFECTING SAID LAND LYING BELOW A DEPTH OF 500 FEET FROM THE SURFACE THEREOF, FOR THE TERM AND UPON THE TERMS, CONDITIONS AND COVENANTS THEREIN PROVIDED,
LESSOR: JAMES M. PFEFFERKORN AND GERTURDE P. PFEFFERKORN
LESSEE: STANDARD OIL COMPANY OF CALIFORNIA, A CORPORATION
RECORDED: MARCH 1, 1961 AS INSTRUMENT NO. 3440 IN BOOK M714 PAGE 678 OF OFFICIAL RECORDS.

MATTERS AFFECTING THE PRESENT INTEREST OF THE LESSOR OR LESSEE ARE NOT SHOWN HEREIN.

2. COVENANTS, CONDITIONS AND RESTRICTIONS, (DELETING THEREFROM ANY RESTRICTIONS BASED ON RACE, COLOR, OR CREED), AS PROVIDED IN A DOCUMENT RECORDED MAY 16, 1991 AS INSTRUMENT NO. 91-719254 OF OFFICIAL RECORDS.
3. DEED OF TRUST TO SECURE AN INDEBTEDNESS.
AMOUNT: \$450,000.00
TRUSTOR: ROSS RAPPAPORT AND SYLVIE OLGA RAPPAPORT, HUSBAND AND WIFE, AS JOINT TENANTS
TRUSTEE: MLEM INSURANCE AGENCY, INC., A CALIFORNIA CORPORATION
BENEFICIARY: MERRILL LYNCH EQUITY MANAGEMENT, INC., A DELAWARE CORPORATION
DATED: JANUARY 29, 1991
RECORDED: FEBRUARY 4, 1991 AS INSTRUMENT NO. 91-164905 OF OFFICIAL RECORDS

THE LIEN OR CHARGE OF SAID DEED OF TRUST WAS SUBORDINATED TO THE LIEN OR CHARGE OF THE DEED RESTRICTION REFERRED TO IN PARAGRAPH NO. 2 OF SCHEDULE B BY AN AGREEMENT RECORDED MAY 16, 1991 AS INSTRUMENT NO. 91-719253 OF OFFICIAL RECORDS.

4. PAYOFF INFORMATION:

NOTE: THIS COMPANY DOES REQUIRE CURRENT BENEFICIARY DEMANDS PRIOR TO CLOSING.

IF THE DEMAND IS EXPIRED AND A CORRECT DEMAND CANNOT BE OBTAINED, OUR REQUIREMENTS WILL BE AS FOLLOWS:

- A. IF THIS COMPANY ACCEPTS A VERBAL UPDATE ON THE DEMAND, WE MAY HOLD AN AMOUNT EQUAL TO ONE MONTHLY MORTGAGE PAYMENT. THIS HOLD WILL BE UP AND ABOVE THE VERBAL HOLD THE LENDER MAY HAVE STIPULATED.
- B. IF THIS COMPANY CANNOT OBTAIN A VERBAL UPDATE ON THE DEMAND, WE WILL EITHER PAY OFF THE EXPIRED DEMAND OR WAIT FOR THE AMENDED DEMAND, AT THE DISCRETION OF THE ESCROW.

SF:YF
POLICY WILL BE BY
NEW YORK TRW TITLE INSURANCE, INC.

ENCLOSURES: PLATS

4227 15

SCALE 1" = 60'



CODE
67

FOR PREV. ASSMT SEE:
78-23

SHORT LINE BEACH VENICE CANAL
SUBDIVISION NO. 1
TRACT NO. 6098

M.B. 7-126-127
M.B. 108-58-59

COUNTY OF 1

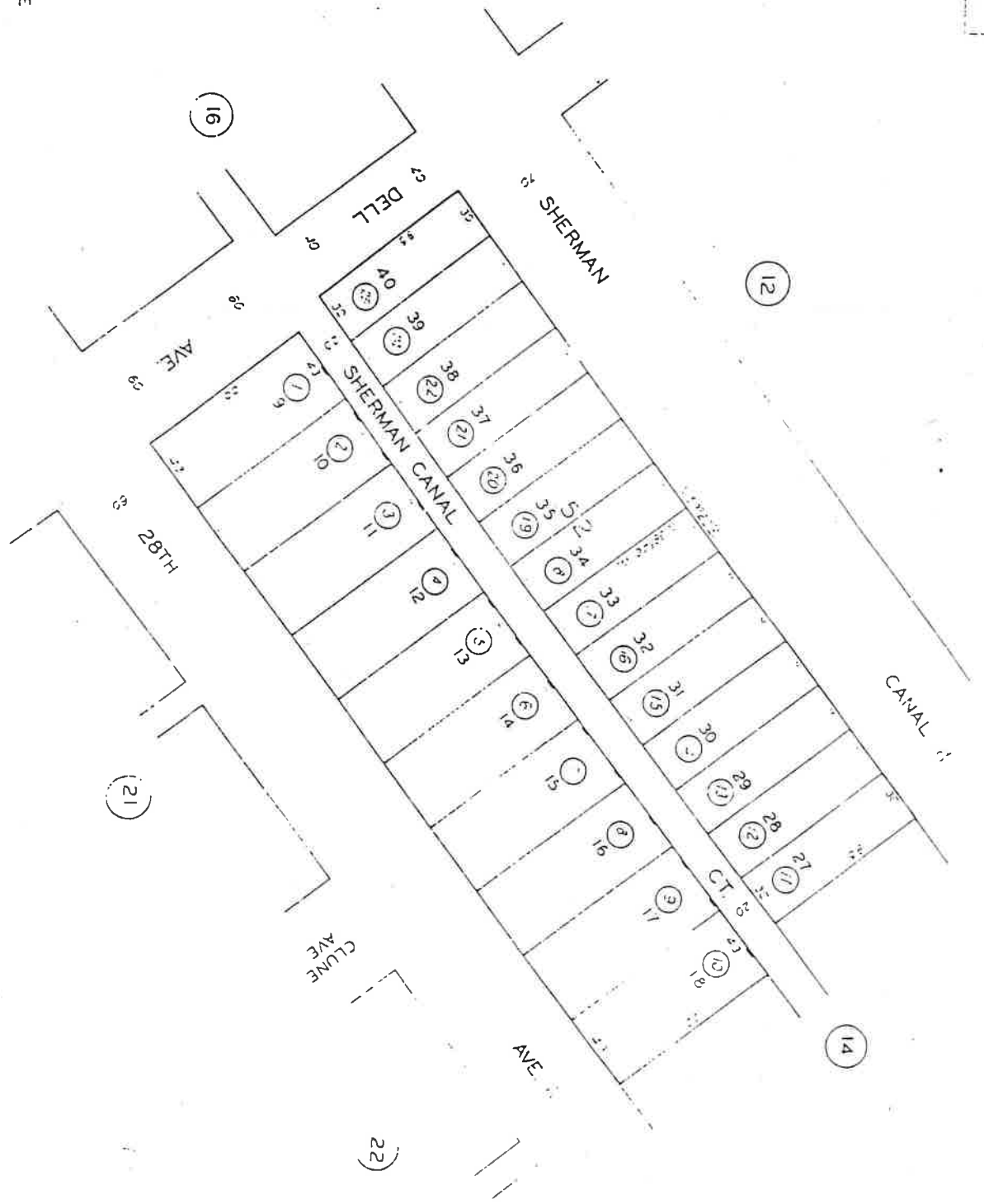


Exhibit 4 – Site Photographs

