

CALIFORNIA COASTAL COMMISSION

South Coast District Office
301 E Ocean Blvd., Suite 300
Long Beach, CA 90802-4302
(562) 590-5071



W15e

5-20-0467 (Reinis)

DECEMBER 15, 2021

EXHIBITS

Table of Contents:

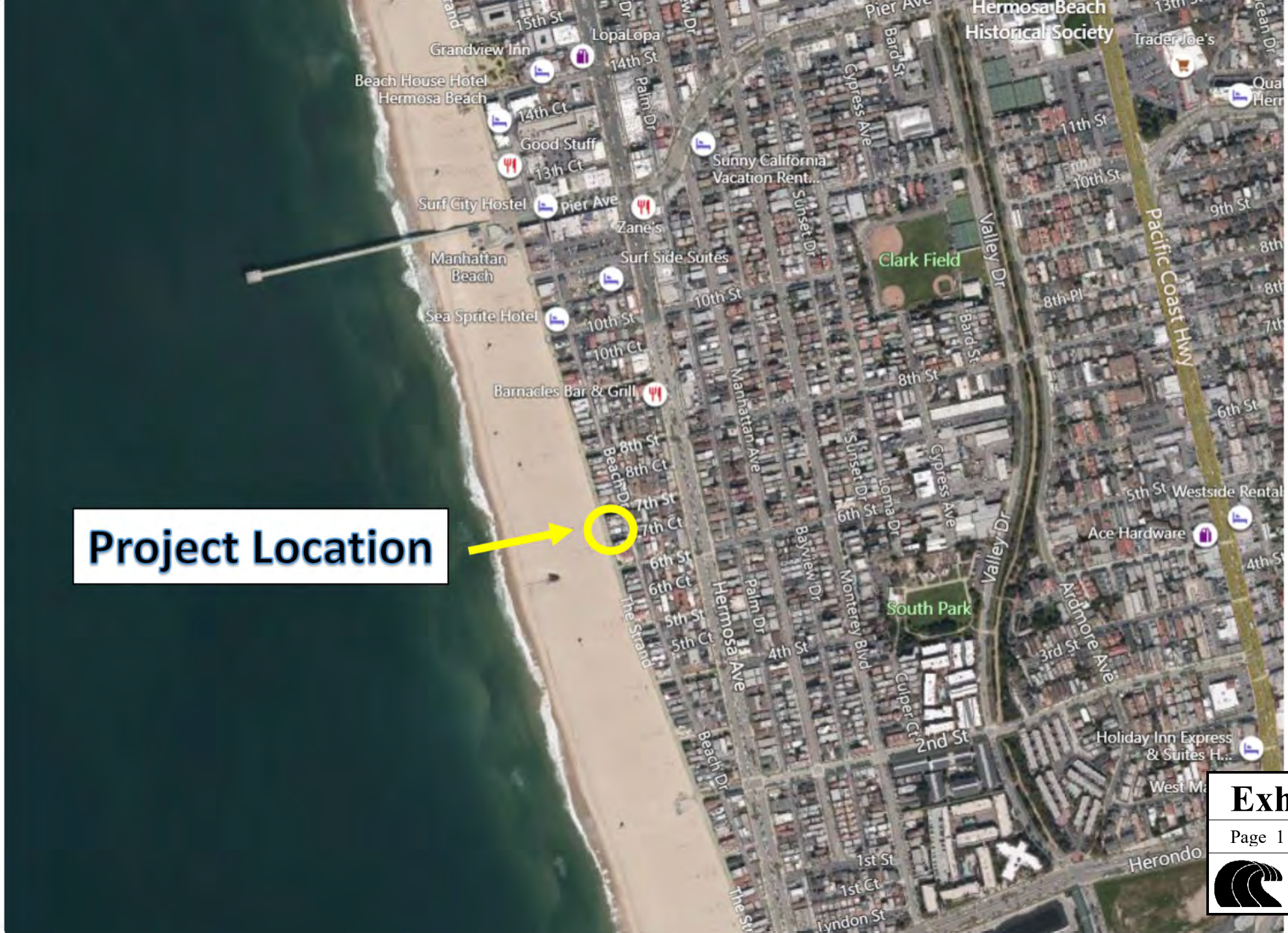
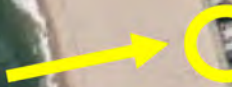
Exhibit 1 – Vicinity Map and Project Site

Exhibit 2 – Project Plans

Exhibit 3 – Community Character Analysis

Exhibit 4 – CoSMoS Analysis

Project Location



An aerial photograph of a coastal residential area. A yellow rectangular box highlights a specific building, and a yellow arrow points from a text box to this building. The area is bounded by The Strand to the west, Beach Dr to the east, and 6th St to the south. Other streets shown include 7th St, 7th Ct, 6th Ct, and Hermosa Ave. The ocean is visible on the left side of the image.

Project Site

Exhibit 1

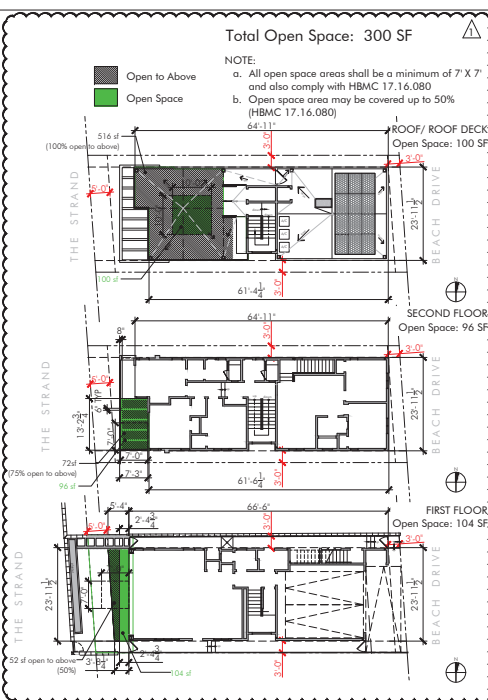
Page 2 of 2



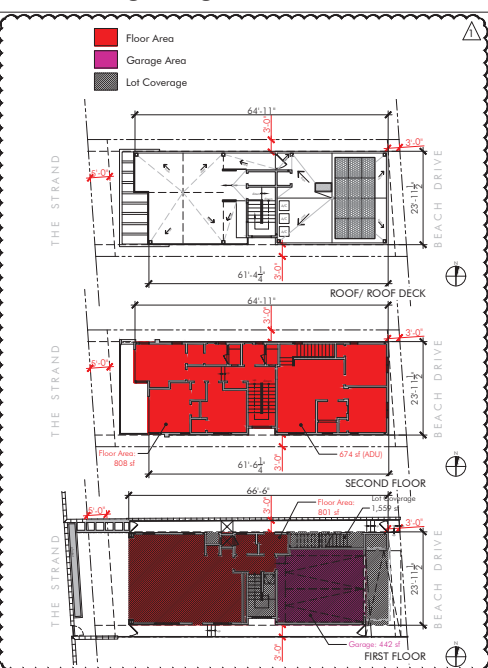
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Open Space Diagrams



Lot Coverage Diagrams



Legal Description

Legal Information-	Tract-Black-Lot-Arb-APN-	26359754187-016-012
Lot Size-	30' x 80'	
Lot Area-	2,400 sq. ft.	
Max Bldg. Height-	30'-0" allowed	
Zoning-	R-3	
Occupancy group-	R-3 / U	
Type of construction-	V-B	
Coastal-	yes	

Reinis Residence

626 The Strand

Hermosa Beach, CA 90254

Scope of Work

New 2-Story Single Family Residence with Attached 2-Car Garage & Attached ADU

Project Directory

Owner: Rich & Lois Reinis 626 The Strand Hermosa Beach, California 90254 email: rgreinis@gmail.com	Civil Engineer: Labib Funk + Associates (LFA) 319 Main Street El Segundo, California 90245 phone: 213.239.9700 Contact: Frank Larooca (x150)
Architect: Mike Holz Architect, Inc. 520 South Sepulveda Blvd Suite 203 Los Angeles, California 90049 phone: 310.508.2724	Landscape Designer: Centeno's Landscaping Co. 17514 South Figueroa Street Gardena, California 90248 phone: 310.768.4089 Contact: Jessica Centeno
Soils Engineer: NorCal Engineering 10641 Humboldt Street Los Alamitos, California 90720 phone: 562.799.9469 Contact: Mark Burkholder	Expeditor: Srouf & Associates 2447 Pacific Coast Highway, Suite 200E Hermosa Beach, California 90254 phone: 310.372.8433 Contact: Stacy Strous (x102)
Structural Engineer: Labib Funk + Associates (LFA) 319 Main Street El Segundo, California 90245 phone: 213.239.9700 Contact: Joe Thompson (x104)	

General Building Information

1st Floor Living Area:	807 sf
2nd Floor Living Area:	808 sf
TOTAL LIVING AREA:	1,615 sf
2nd Floor (ADU) Living Area:	674 sf (42% of Primary Dwelling)
2-Car Garage:	442 sf
TOTAL BUILDING AREA:	2,731 sf
TOTAL OPEN SPACE:	300 sf
Garage (interior dimensions):	22'-3" x 18'-11"
MAIN RESIDENCE	ADU
Number of Bedrooms:	3 2
Number of Bathrooms:	2.5 1

Zoning Information

Lot Area:	2,400 sf	
AREA	MAX	PROVIDED
Lot Coverage (65% max)	1,560 sf max	1,559 sf
YARDS	REQUIRED	
Front:	5'-0"	
Side:	3'-0"	
Rear:	3'-0"	
Side (at ADU):	3'-0" at ground floor, 1'-0" at upper floors	
Rear (at ADU):	3'-0"	
PARKING AND DRIVEWAYS	REQUIRED	PROVIDED
Number of Spaces:	2	2
Guest Spaces:	1	1
Parking Setback:	9'-0"	9'-0"
Parking Stall Dimensions:	8'-6" x 20'-0"	8'-6" x 20'-0"
Turning Area:	23'-0"	23'-0"
Driveway Width:	8'-0"	16'-0"
Driveway Maximum Slope:	20%	7% MAX. VIF
OPEN SPACE	MIN. REQ'D	PROVIDED
Deck/s/Balconies:	300 sf min.	300 sf

General Notes

- The Contractor shall comply with all applicable requirements of municipal and regulatory agencies, codes and regulations, and shall be responsible for securing all necessary permits, approvals, inspections and sign-offs for all trades.
- Drawings are not to be scaled. Use indicated dimensions only. The contractor shall verify all dimensions and job conditions prior to any demolition or construction and shall report to the architect any errors, discrepancies or omissions prior to proceeding with the work.
- The contractor shall be used where no specific detail or section is given.
- The contractor shall submit shop drawings and samples for approval to the architect in adequate time for proper review and correction.
- The contractor shall maintain the jobsite clean and free of trash and debris and shall protect all other work and existing construction from damage. Finish all existing construction to like new condition. All construction, equipment, and fixtures shall be left clean and ready for use.
- All existing conditions indicated are as found in the field survey of the premises by the architect of record. Existing conditions not in compliance with records of the department of buildings are the sole responsibility of the building owner or record.
- The building owner shall be responsible for the safe maintenance of the building and its facilities.
- An approved sanitary toilet shall be provided for the site.
- All glazing in hazardous locations shall be tempered glass.
- Interior finish shall have a minimum flame spread classification of III.
- The contractor shall supply and install all necessary blocking and supports required for installation of indicated equipment / items.
- Provide ultra flush water closets for all new construction. Existing shower heads & toilets must be adapted for low water consumption.
- All kitchen sinks are to be provided with a garbage disposal.
- Provide access panel to water and waste connections to bathtub and associated equipment locate as directed by architect.
- Walls containing plumbing 1-1/2" or more in diameter shall be constructed of 6" nominal studs.
- Provide type-X moisture resistant gypsum board for all kitchen and bathroom walls and ceilings.
- Provide required mechanical exhaust above cooking range.
- If the drawings and / or specifications (including consultants drawings indicate contradictory materials, finishes, profiles, scope, methods of assembly, etc. the more rigorous, complete, difficult and or costly shall be assumed as the basis of the contract work and the architect shall be notified before proceeding with such work.
- Drift stops shall be provided within offices, mansards, overhangs and similar concealed spaces formed of combustible construction, unless the building is sprinklered with NFPA 13 sprinkler system (1000 sf between drift stops)
- Heater shall be capable of maintaining a minimum room temperature of 68°F at a point 3 feet above the floor and 2 feet from exterior walls in all habitable rooms at the design temperature.
- The Sprinkler System shall be approved by Plumbing Division prior to installation.

Security Notes

- All exterior openings are security openings and the following notes shall apply:
 - Door stops of in-swinging doors shall be of one-piece construction with the jamb or shall be joined by rabbit to the jamb.
 - All pin-type hinges, which are accessible from outside the secured area when the door is closed shall have non-removable hinge pins. In addition, they shall have minimum projection unless the hinges are shaped to prevent removal of the door if the hinge pins are removed.
 - The strike plate for the latches and the holding device for projecting dead bolts in wood construction shall be secured to the jamb and the wall framing with screws not less than 2-1/2" in length.
 - Dead bolts shall contain hardened inserts.
 - Straight dead bolts shall have a minimum throw of 1" and an embedment of not less than 5/8".
 - A hook-shape or an expanding-lug dead bolt shall have a minimum throw of 3/4".
 - Wood flush-type doors shall be 1-3/8" thick minimum with a solid core of wood or particle board of 23 pcf density.
 - Wood panel-type doors shall be 1-3/8" thick minimum with all panels fabricated from materials not less than 3/8" in thickness provided all shaped portions of the panels are a minimum of 1/4" thick.
 - Ferrous metal doors shall have surfaces not less than 1 1/2 gauge in thickness.
 - Framed glass doors shall be of minimum 1/4" thick fully tempered glass.
 - Narrow framed glass doors shall have a single pane of minimum 1/4" thick fully tempered glass.
 - The inactive leaf of a double door should be bolted top and bottom.
 - Cylinder guards shall be installed on all cylinder locks whenever the cylinder projects beyond the face of the door or is otherwise accessible to gripping tools.
 - Sliding glass doors and windows shall be equipped with a locking device and shall be so constructed and installed that they remain intact and engaged when subjected to the tests specified in 91.6731 and 91.6732.
 - Sliding doors and windows shall be provided with a device in the upper channel of the moving panel to prohibit raising and removing of the panel in the closed or partially open position.
 - Louvered doors shall be protected by metal bars or grills, which are constructed to preclude human entry.
 - Other operable windows shall be provided with substantial locking devices. In G occupancies, such devices shall be glide bars, bolts cross bars, and / or padlocks with a minimum 9/32" hardened steel hoops.
 - Screens, barricades, or fences made of material, which preclude human climbing shall be provided at every portion of every roof, balcony, or similar surface, which is within 8' of a utility pole or similar structure.
 - Vehicular access doors shall comply with Section R609.4.

Vicinity Map



Building Codes

This application to comply with the requirements of the 2019 California Building Code, 2019 California Residential Code, 2019 California Mechanical Code, 2019 California Electrical Code, California Plumbing Code, 2019 Energy Standards, 2017 California Green Building Standards Code, Uniform Fire Code as modified by the Hermosa Beach Municipal Code, including all rules and regulations. Plans shall comply with Title 24 Energy Efficiency requirements and all mandatory measures.

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Reinis Residence
626 The Strand
Hermosa Beach, CA, 90254

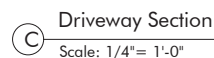
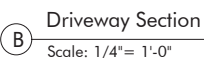
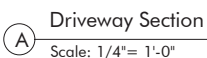


REVISION	DATE
06.02.2021	Planning
01.07.2021	Final Planning Rev.

Exhibit 2

Page 1 of 13





Legend

Property Line

Setback Line

Area of New Single Family Dwelling

Drainage Notes:

1. Conduct all new site drainage as per civil
2. New sewer lines, assess condition of the lateral. Clean, repair, or replace as req'd for proper operation
3. See Civil Drawings for additional information
4. Provide one layer of sand bagging for erosion control during construction

Development in Encroachment:

ENCROACHMENT AREA UNDER A SEPARATE PERMIT
See sheet A-0.1EN

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Exhibit 2

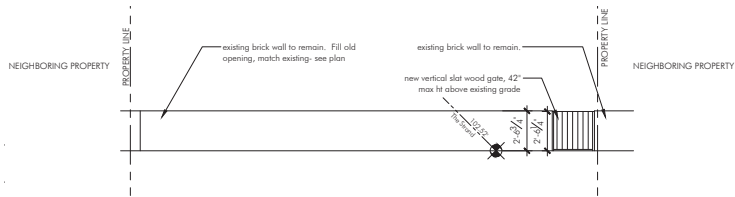
Page 2 of 13



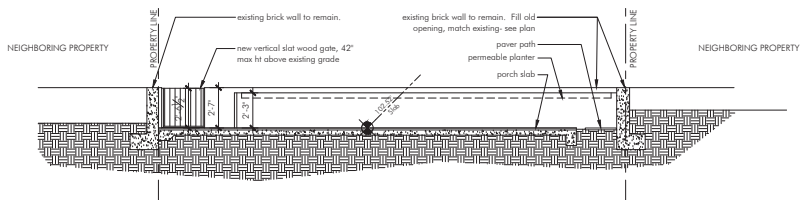
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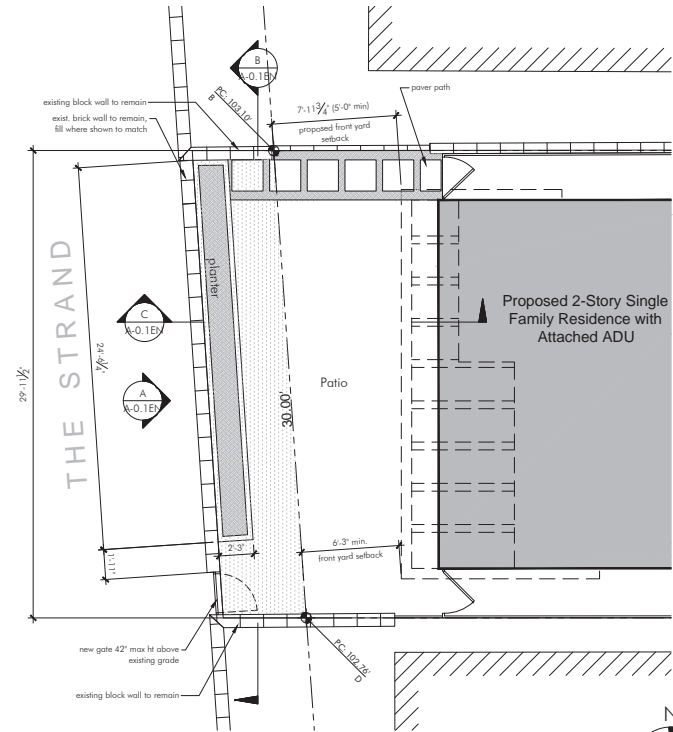
D Encroachment Rendering



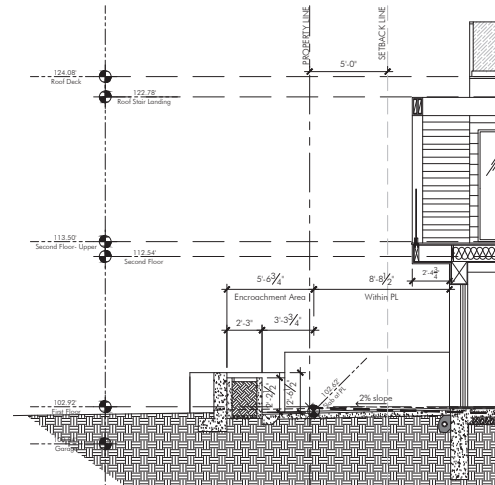
A West Elevation
Scale: 1/4" = 1'-0"



B East Encroachment Section
Scale: 1/4" = 1'-0"



01 Site Plan
Scale: 1/4" = 1'-0"



C Encroachment Section
Scale: 1/4" = 1'-0"

Legend

Property Line	---
Setback Line	---
Area of New Single Family Dwelling	■

Drainage Notes:

1. Conduct all new site drainage including roof water to street at min. 2% slope via non-erosive devices
2. New sewer lines, assess condition of the lateral. Clean, repair, or replace as req'd for proper operation
3. See Civil Drawings for additional information
4. Provide one layer of sand bagging for erosion control during construction

Development in Encroachment:

Non-Permeable hardscape area:	121sf 66%
Permeable Landscape area:	63sf 34%
Min $\frac{1}{3}$ of (184sf) encroachment area required to be planted:	61sf
sf planting area provided:	63sf

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REVISION	DATE
06.02.2021	Planning
01.07.2021	Prelim Planning Rev

Exhibit 2

Page 3 of 13



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SURVEY AND TOPOGRAPHY

FOR
LOIS & RICH REINIS
626 THE STRAND
HERMOSA BEACH, CA 90254
PHONE 310-508-2724

JOB ADDRESS

626 THE STRAND
HERMOSA BEACH, CA 90254

LEGAL DESCRIPTION

LOT 5, BLOCK 7
HERMOSA BEACH
M.B. 1:25-26
APN 4187-016-012

THIS MAP CORRECTLY REPRESENTS A SURVEY
MADE BY ME OR UNDER MY DIRECTION IN
CONFORMANCE WITH THE REQUIREMENTS OF
PROFESSIONAL LAND SURVEYORS' ACT

GARY J. ROEHL R.C.E. 30826

DRAWN BY RW CHECK BY XX

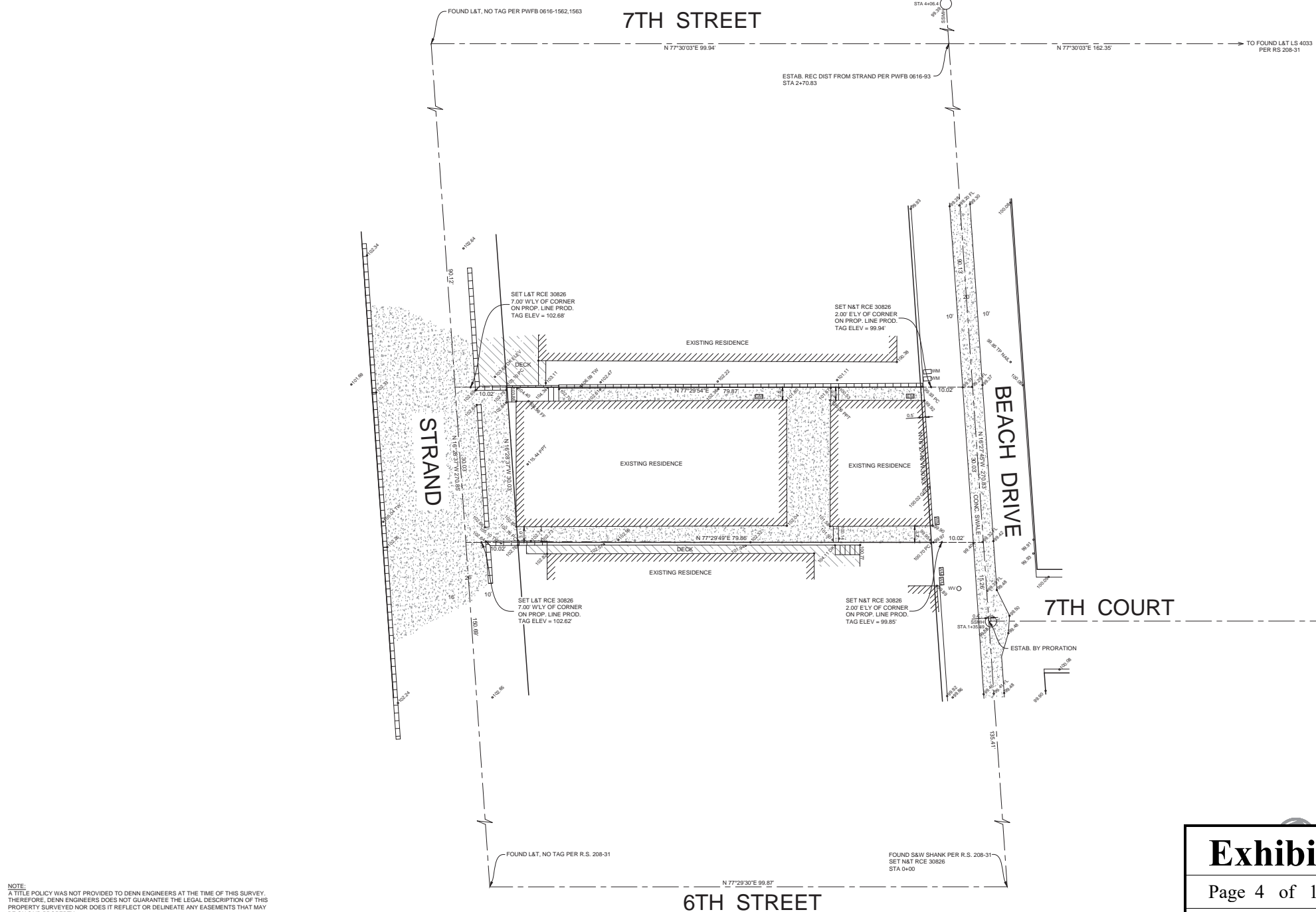
DRAWN ON SEPTEMBER 29, 2020

REVISIONS
REVISIONS

LEGEND

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
	EXISTING ELEVATION		
	EXISTING CONTOUR		
	BLOCK WALL		
	EXISTING FENCE		
	BCR BEGINNING OF CURB RETURN		
	CL CENTERLINE		
	CL.F CHAIN LINK		
	ELY EASTERLY		
	EM ELECTRIC METER		
	FD FOUND		
	FE FENCE		
	FF FINISH FLOOR		
	FH FIRE HYDRANT		
	FL FLOW LINE		
	GFF GARAGE FINISH FLOOR		
	GM GAS METER		
	GW GUY WIRE		
	LAT LEAD AND TAG		
	MH MANHOLE		
	NLY NORTHERLY		
	PC PROPERTY CORNER / PROP. CORNER		
	PL PL PROPERTY LINE / PROP. LINE		
	PP POWER POLE		
	PPT PARAPET		
	SBW SPIKE AND WASHER		
	SLV SOUTHERLY		
	SPK SPIKE		
	SSOD SANITARY SEWER CLEAN OUT		
	SSMH SANITARY SEWER MANHOLE		
	STK STAKE / STAKE & TAG		
	STLT STREET LIGHT		
	TC TOP OF CURB		
	TW TOP OF WALL / T.O.W.		
	TX TOP OF DRIVEWAY APRON		
	WLY WESTERLY		
	WM WATER METER		

NOTE: ALL SETBACK DIMENSIONS SHOWN
ARE MEASURED TO EXTERIOR SURFACE OF
BUILDINGS UNLESS OTHERWISE NOTED.
BOUNDARY MONUMENTS ARE NOT NECESSARILY
NOTED UNLESS SPECIFICALLY NOTED.



NOTE:
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY.
THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS
PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY
BE ON SAID PROPERTY.

Exhibit 2

Page 4 of 13



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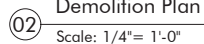
phone: 310.508.2724
www.mikeboltonchitect.com

REVISION DAT

06.02.2021 Planning

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Note: Cap all unused plumbing lines, remove walls, windows, doors, finishes, appliances, and fixtures as indicated on plan. provide protection as necessary to maintain existing material to remain.



KEY NOTES

- | | | |
|--|--|--|
| <p>21 One-Hour Separation: 5/8" Type-X fire resistant gypsum board between dwellings, garage, and under stairs</p> <p>22 20-minute rated door with self-closing hardware, as per schedule</p> <p>23 Exterior walls located within 5' of property line shall be one-hour fire rated</p> <p>24 Required parking area is to be clear of any obstructions, not less than 7'-0" above the finish floor to any ceiling, beam, pipe, vent, mechanical equipment or similar construction.</p> <p>25 Stair: Interior and exterior stair 11" min. tread and 7.75" max. riser</p> <p>26 Interior Handrails: 34"-38" high above tread nosing. Handgrip portion handrail shall not be less than 1.25" and no more than 2" cross-sectional dimension having a smooth surface with no sharp corners. Max. 4" clear spacing between rails</p> <p>27 Exterior Guardrails: 42" tempered glass rail, manuf. & finish per owner.</p> <p>28 All exterior hardscape or landscape to slope min 2% away from building</p> <p>29 Smooth troweled integral color stucco finish, color as per owner</p> | <p>10 Vertical combed plaster finish +/- 1" VIF</p> <p>11 Entry/ exit doors must open over a landing not more than 1.5' below threshold, TYP</p> <p>12 Board formed concrete texture, natural grey color</p> <p>13 Egress window: min. 20" wide x 24" high (min 5.7sf) w/ a max sill height of 44", see schedule</p> <p>14 Parapet with stainless steel cap, TYP</p> <p>15 Weep screed: Stainless steel, TYP</p> <p>16 Deck: Smooth concrete, slope min. 2% away from building</p> <p>17 Wall insulation: R-13</p> <p>18 Roof insulation: E-30</p> <p>19 Under-floor insulation: R-19</p> <p>20 Exterior shower niche: Cold rinse only: percolate to ground, finish(s) per owner</p> | <p>21 Line of structure above</p> <p>22 Under-floor access hatch</p> <p>23 Tempered glass shower enclosure</p> <p>24 Exterior light fixture, see electrical plans</p> <p>25 Internal downspouts: Run through walls, connect to site drainage</p> <p>26 Wood siding: Treated, color & type per owner: see elevations for direction. VIF alignments with architect</p> <p>27 Sconce: Exterior, weatherproof. See electrical plans, VIF location in field.</p> <p>28 Light-weight concrete topping</p> <p>29 Decorative Beams, above</p> <p>30 Soffit with light cove</p> <p>31 Wood screen</p> |
|--|--|--|

Legend

- | | |
|---|--|
| Existing Wall, to remain | |
| New Wall | |
| Property Line | |
| New Window - mtk | |
| New Door - mtk | |
| Key Note - mtk | |
| New smoke detector hardwired w/ battery backup | |
| New carbon monoxide detector hardwired w/ battery backup | |
| Toilet exhaust fan (Panasonic or equal) shall be ENERGY STAR compliant and be controlled by a humidistat controller | |
| Downspout | |
| New wall-mounted decorative sconce, see A-3.0 | |
| Existing wall-mounted decorative sconce, see A-3.0 | |
| New linear LED fixtures, see A-3.0 | |
| Existing exterior light, see A-3.0 | |

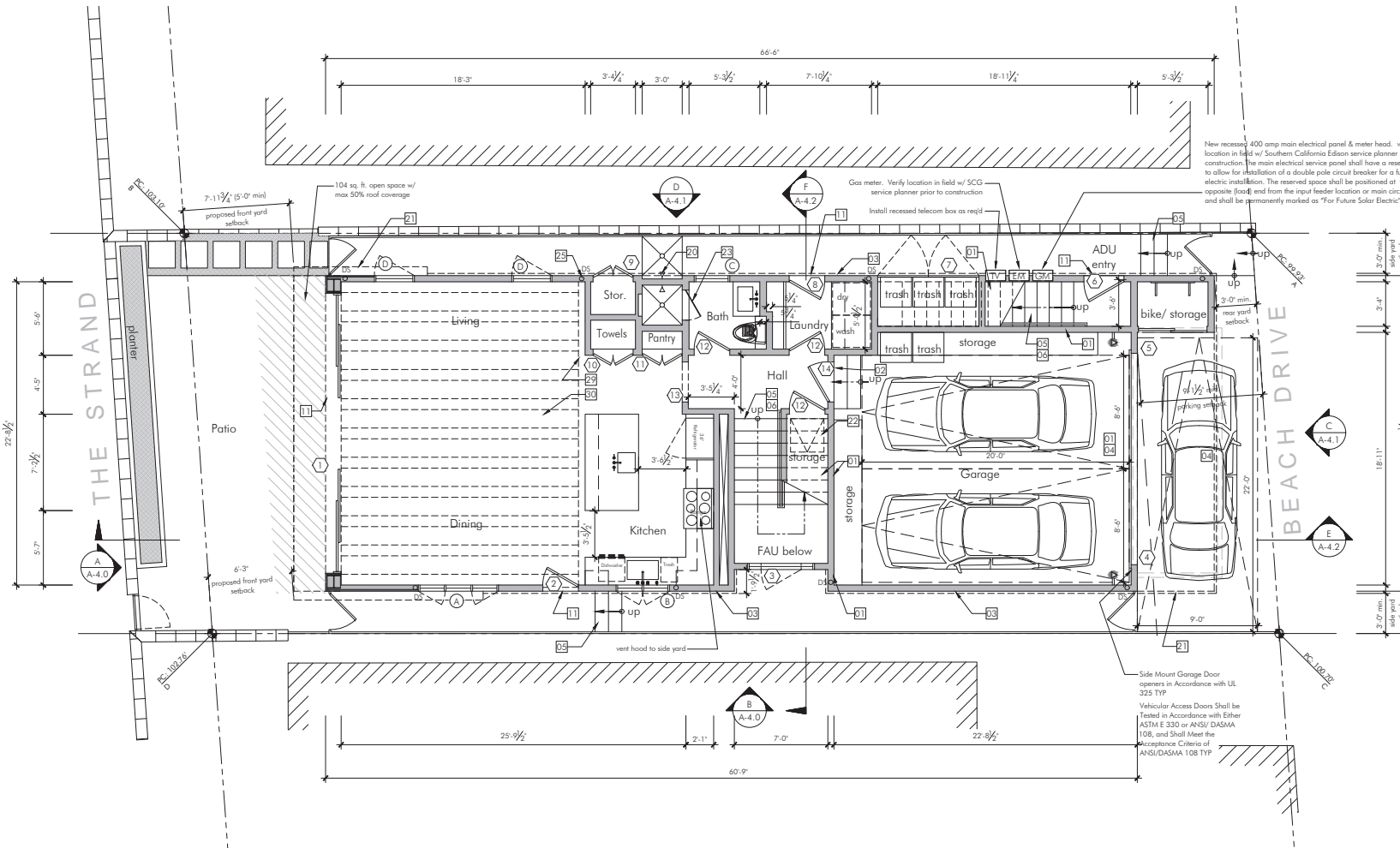
Notes:

1. Verify all framing dimensions in the field - call the architect to discuss any discrepancies in the field during framing layout
2. Sheath entire exterior w/ plywood to match thickness of shear walls as per struct.

EV Charging

EV Charger

Min 1" (inside diameter) listed raceway is installed to accommodate a dedicated 208/240 volt branch circuit. The raceway shall originate at the main service or a subpanel and terminate in close proximity to the proposed location of the charging system into a listed cabinet, box or enclosure. The panel or subpanel shall provide capacity to install a 40-ampere minimum dedicated branch circuit and space(s) reserved to permit installation of a branch circuit overcurrent protective device. The service panel or subpanel circuit directory shall identify the overcurrent protective device space(s) reserved for future EV charging as EV CAPABLE. The raceway termination location shall be permanent and visibly marked EV CAPABLE.



04 Plan: Floor 1
Scale: 1/4" = 1'-0"

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Exhibit 2

Page 6 of 13



California Coastal
Commission

KEY NOTES

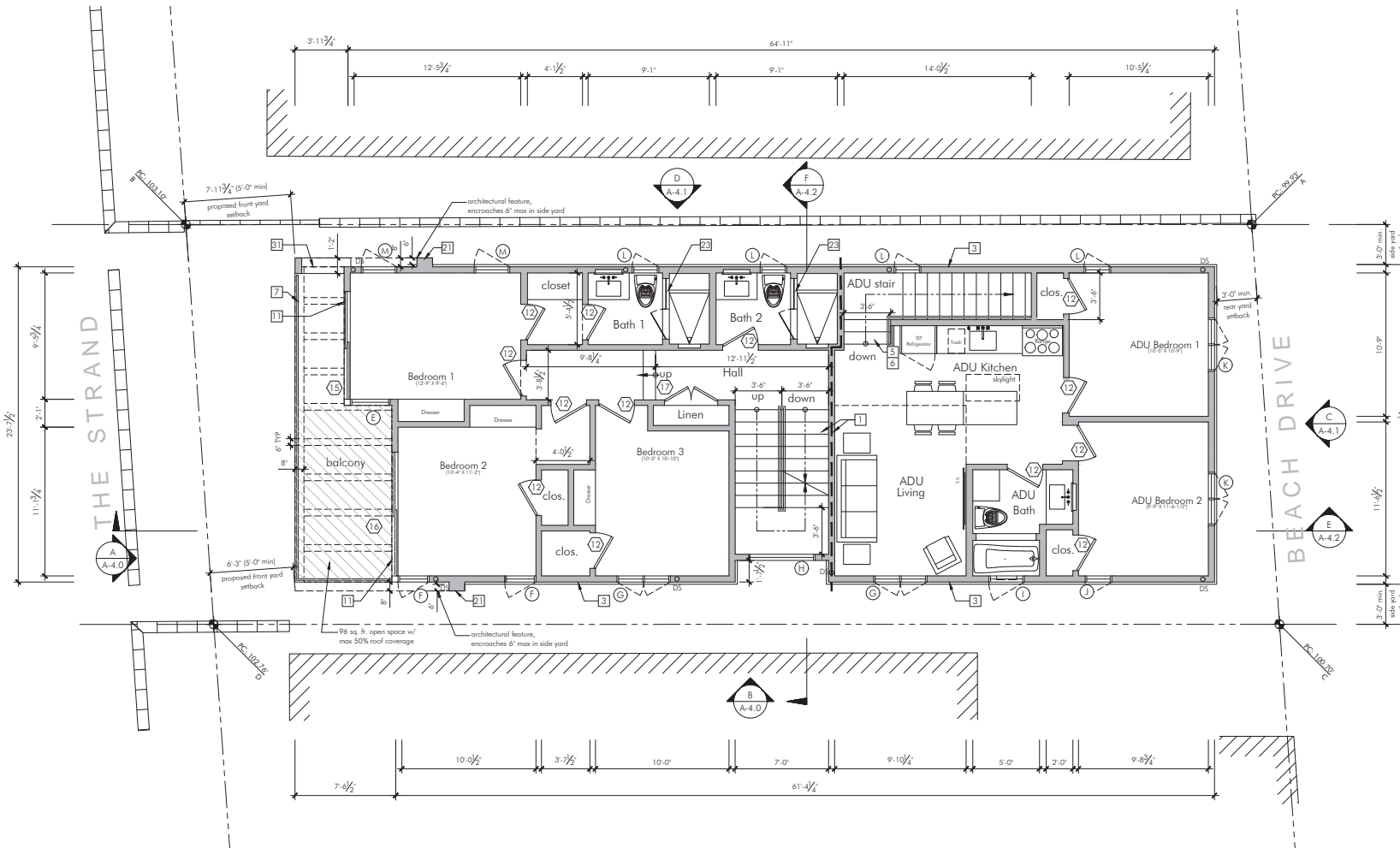
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|--|---|--|
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|--|---|--|

Legend

- | | |
|---|--|
| Existing Wall, to remain | |
| New Wall | |
| Property Line | |
| New Window - mtk | |
| New Door - mtk | |
| Key Note - mtk | |
| New smoke detector hardwired w/ battery backup | |
| New carbon monoxide detector hardwired w/ battery backup | |
| Toilet exhaust fan (Panasonic or equal) shall be ENERGY STAR compliant and be controlled by a humidistat controller | |
| Downspout | |
| New wall-mounted decorative sconce, see A-3.0 | |
| Existing wall-mounted decorative sconce, see A-3.0 | |
| New linear LED fixtures, see A-3.0 | |
| Existing exterior light, see A-3.0 | |

Notes:

1. Verify all framing dimensions in the field - call the architect to discuss any discrepancies in the field during framing layout
2. Sheath entire exterior w/ plywood to match thickness of shear walls as per struct.



04 Plan: Floor 2
Scale: 1/4" = 1'-0"

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REVISION	DATE

06.02.2021 Planning
01.07.2021 Prelim Planning Rev

Exhibit 2

Page 7 of 13



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01	One-Hour Fire Separation: 5/8" Type-X fire resist gypsum board between dwellings, garage, and under stairs	10	Vertical combed plaster finish +/- 1", V/F
02	20-minute rated door with self-closing hardware, as per schedule	11	Entry/ exit doors must open over a landing not more than 1.5' below threshold, TYP
03	Required walls located within 5' of property line shall be one-hour fire rated	12	Bored formed concrete texture, natural grey color
04	Required parking area is to be clear of any obstructions, not less than 7'-0" above the finish floor to any ceiling, beam, pipe, vent, mechanical equipment or similar construction.	13	Egress window: min. 20" wide x 24" high (min 5.7/sq ft) a max sill height of 44"; see schedule
05	Stair: Interior and exterior stair 11" min. tread and 7.75" max. riser	14	Parapet with stainless steel cap, TYP
06	Interior Handrails: 34"-38" high above tread nosing. Handgrip/piston handrail shall not be less than 1.25" and no more than 2" cross-sectional dimension having a smooth surface with no sharp corners. Max. 4" clear spacing between rails	15	Weep screed. Stainless steel, TYP
07	Exterior Guardrails: 42" tempered glass rail, manuf. & finish per owner.	16	Deck: Smooth concrete, slope min. 2% away from building
08	All exterior handscapc or landscape to slope min 2% away from building	17	Wall insulation: R-13
09	Smooth troweled integral color stucco finish, color as per owner	18	Roof insulation: E-30
		19	Under-floor insulation: R-19
		20	Exterior shower niche: Cold rise only- percolate to ground, finish(s) per owner

- 21 Line of structure above
- 22 Under-floor access hatch
- 23 Tempered glass shower enclosure
- 24 Exterior light fixture, see electrical plans
- 25 Internal downspouts: Run through walls, connect to site drainage
- 26 Wood siding: Treated, color & type per owner- see elevations for direction. VF alignments with architect
- 27 Sconce: Exterior, weatherproof. See electrical plans, VF location in field.
- 28 Light-weight concrete topping
- 29 Decorative Beams, above
- 30 Soffit with light cove
- 31 Wood screen

- | REVISION | DATE |
|------------|---------------------|
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| | |
| | |
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| 01.07.2021 | Prelim Planning Re |

KEY NOTES

- 80 Roof Deck: Stone finish on pedestal system
- 81 Class A white Firestone UltraPly TPO w/ for 30 year warranty (SRI: 81, see spec sheet). Install as per manufacture over $\frac{3}{4}$ " dens deck prime and roof sheathing as per structural. ICC-ES ESR-2831
- 82 Roof Drains: all to tie into site drainage system with integrated overflow. Slope to drain per plan
- 83 Solar Panels: install conduit connecting to new panel for future solar electric installation
- 84 Stainless steel cap
- 85 Curb mounted skylight, see schedule

Legend

Shaded Area represents Attic Area

Property Line

Gutter line

Line of Walls, below

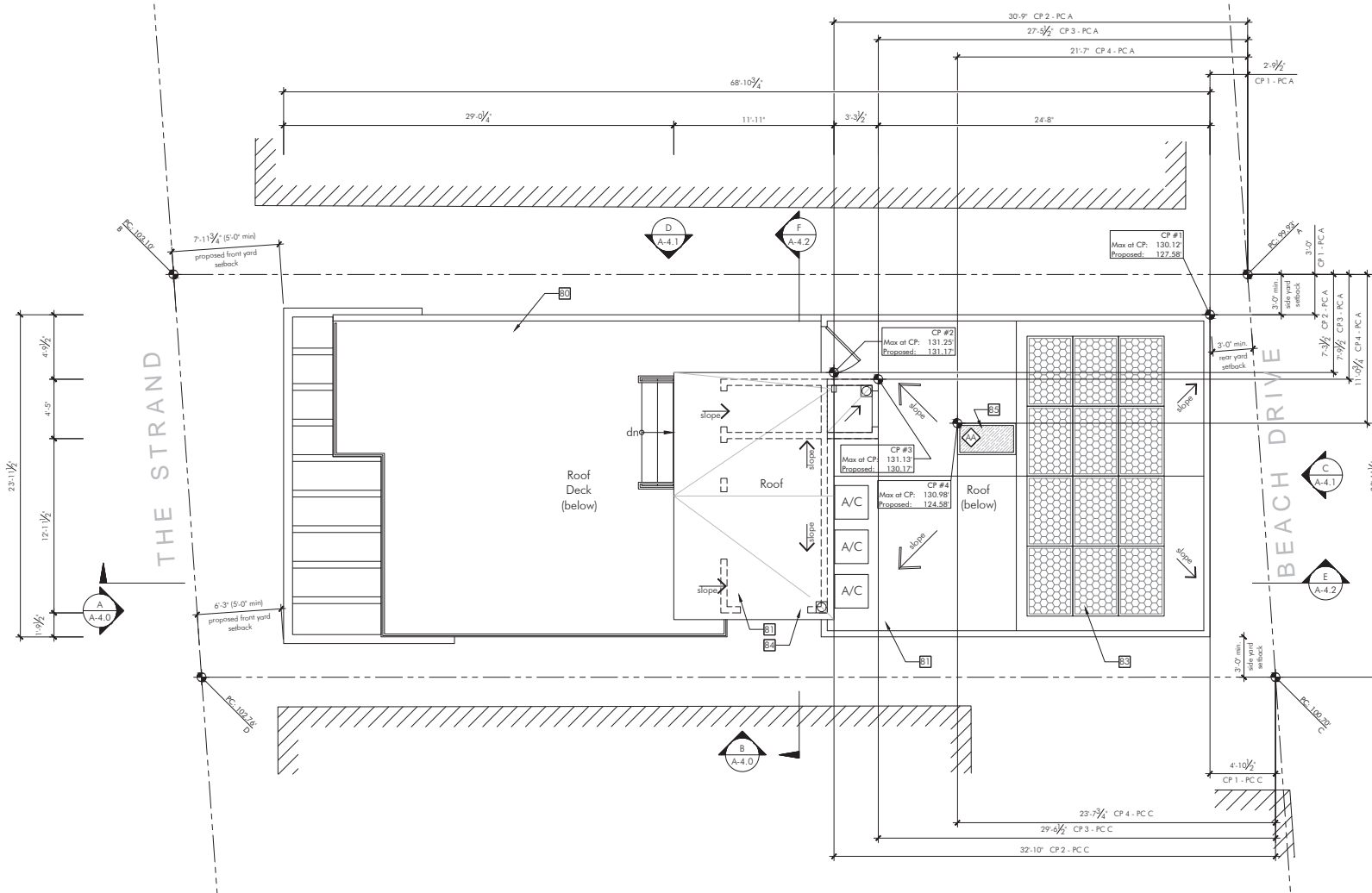
Key Note - msk

New Skylight - msk

Downspout

Notes:

1. Provide rain gutters and convey rain water to street
2. See elevations for add'l. attic vent locations



06 Plan: Upper Roof
Scale: 1/4" = 1'-0"

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Hermosa Beach, CA, 90254



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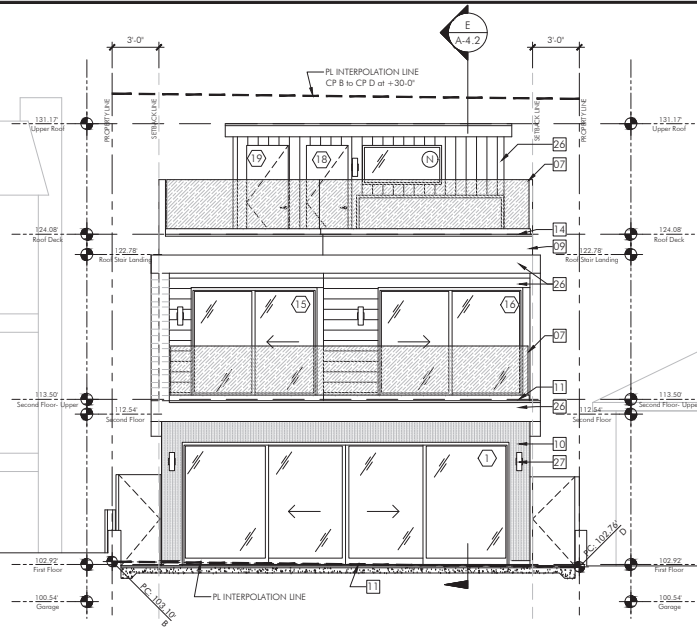
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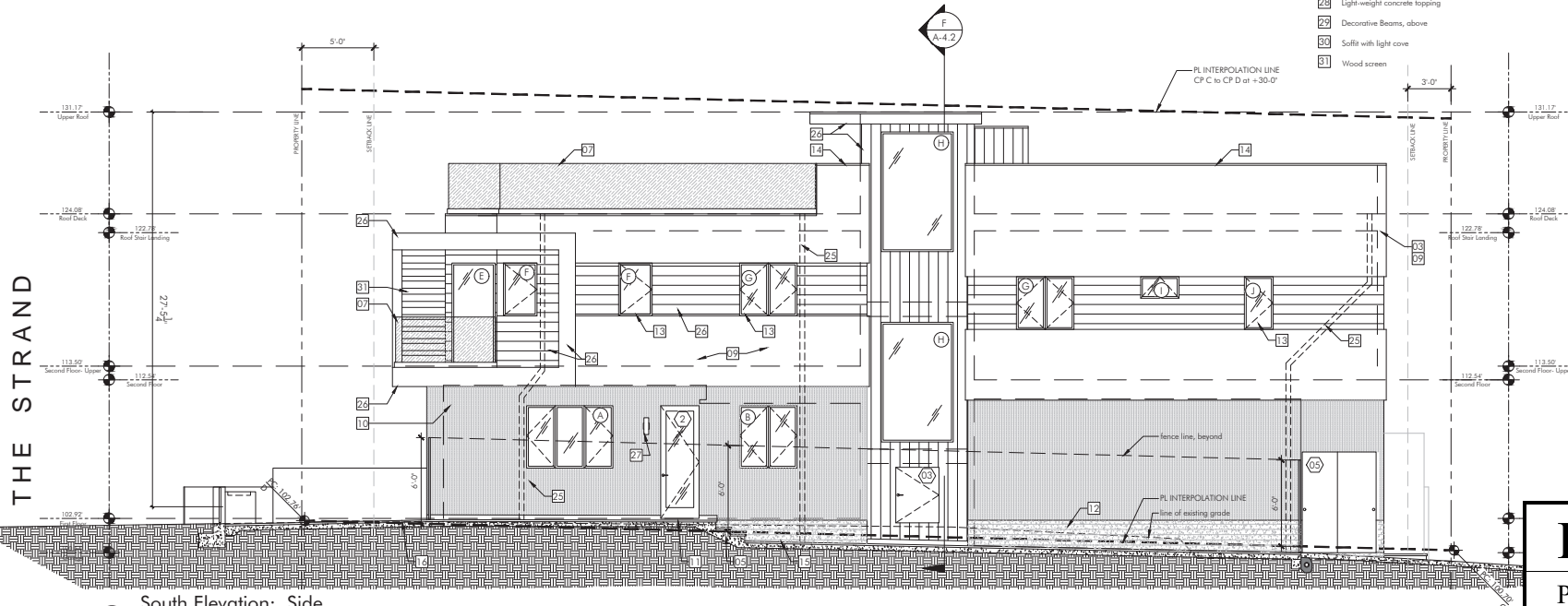
Page 9 of 13



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A West Elevation: The Strand (Beach) Side
scale: 1/4" = 1'-0"



B South Elevation: Side
scale: 1/4" = 1'-0"

KEY NOTES

- 01 One-Hour Separation: 5/8" Type-X fire resistant gypsum board between dwellings, garage, and under stairs
- 02 20-minute rated door with self-closing hardware, as per schedule
- 03 Exterior walls located within 5' of property line shall be one-hour fire rated
- 04 Required parking area is to be clear of any obstructions, not less than 7'-0" above the finish floor to any ceiling, beam, pipe, vent, mechanical equipment or similar construction.
- 05 Stair: Interior and exterior stair 11" min. tread and 7.75" max. riser
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- 07 Exterior Guardrails: 42" tempered glass rail, manual, & finish per owner.
- 08 All exterior landscape or landscape to slope min 2% away from building
- 09 Smooth troweled integral color stucco finish, color as per owner
- 10 Vertical combed plaster finish +/- 1", VIF
- 11 Entry/exit doors must open over a landing not more than 1.5' below threshold, TYP
- 12 Board formed concrete texture, natural grey color
- 13 Egress window: min. 20" wide x 24" high (min 5.7sf) w/ a max sill height of 44", see schedule
- 14 Parapet with stainless steel cap, TYP
- 15 Weep screed: Stainless steel, TYP
- 16 Deck: Smooth concrete, slope min. 2% away from building
- 17 Wall insulation: R-13
- 18 Roof insulation: E-30
- 19 Under-floor insulation: R-19
- 20 Exterior shower niche: Cold rinse only: percolate to ground, finish(s) per owner
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- 24 Exterior light fixture, see electrical plans
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- 26 Wood siding: Treated, color & type per owner: see elevations for direction. VIF alignments with architect
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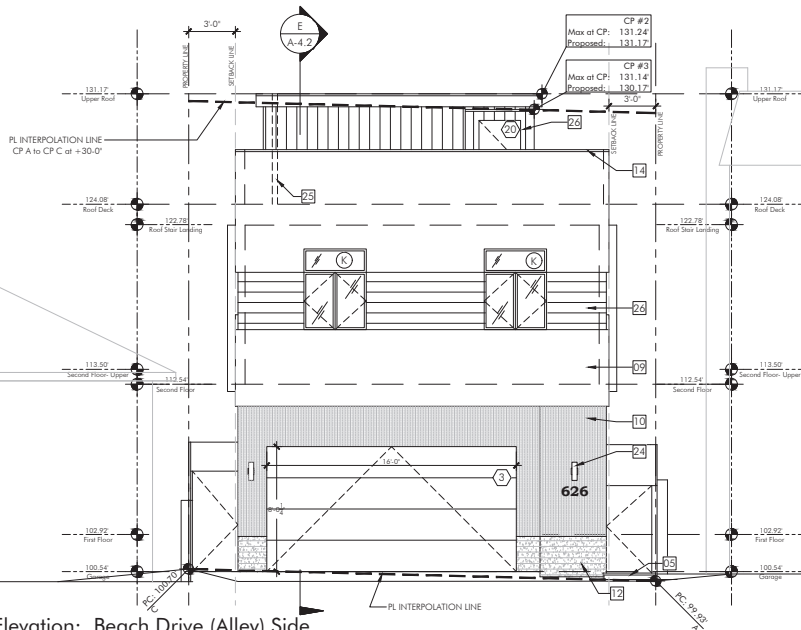
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Page 10 of 13



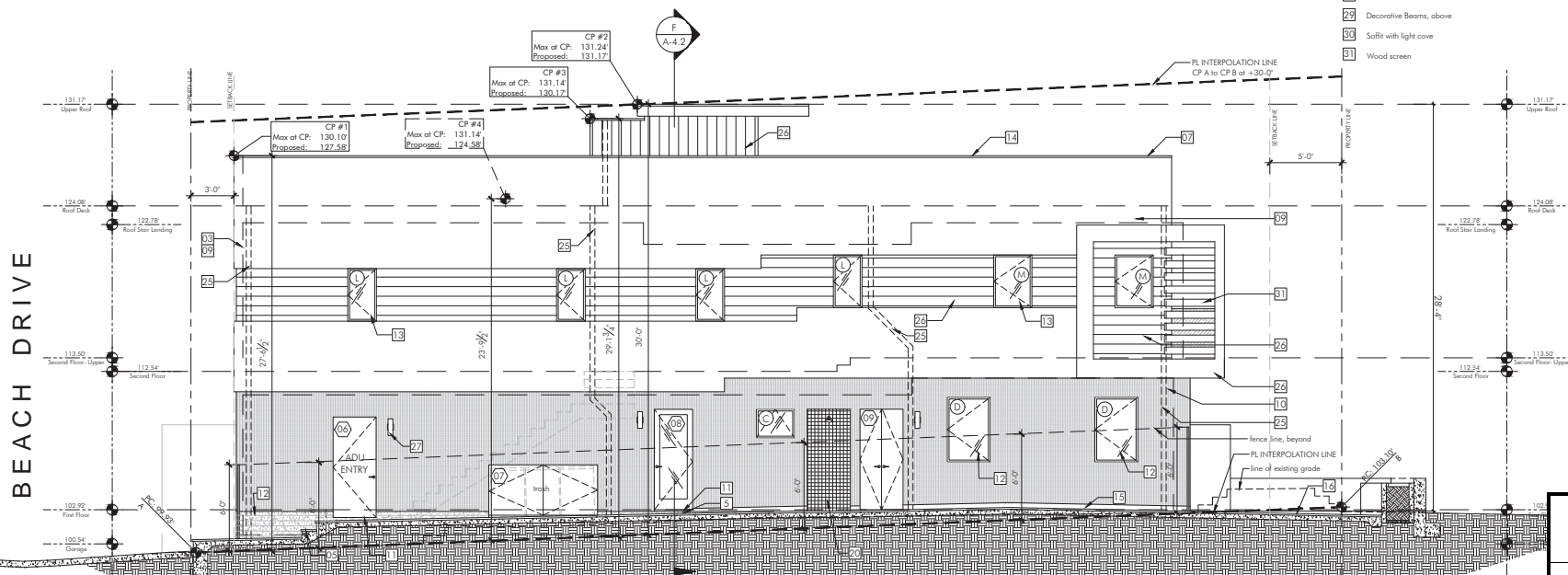
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C East Elevation: Beach Drive (Alley) Side
scale: 1/4" = 1'-0"

KEY NOTES

- 01 One-Hour Separation: 5/8" Type-X fire resistant gypsum board between dwellings, garage, and under stairs
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- 31 Wood screen



D North Elevation: Side
scale: 1/4" = 1'-0"

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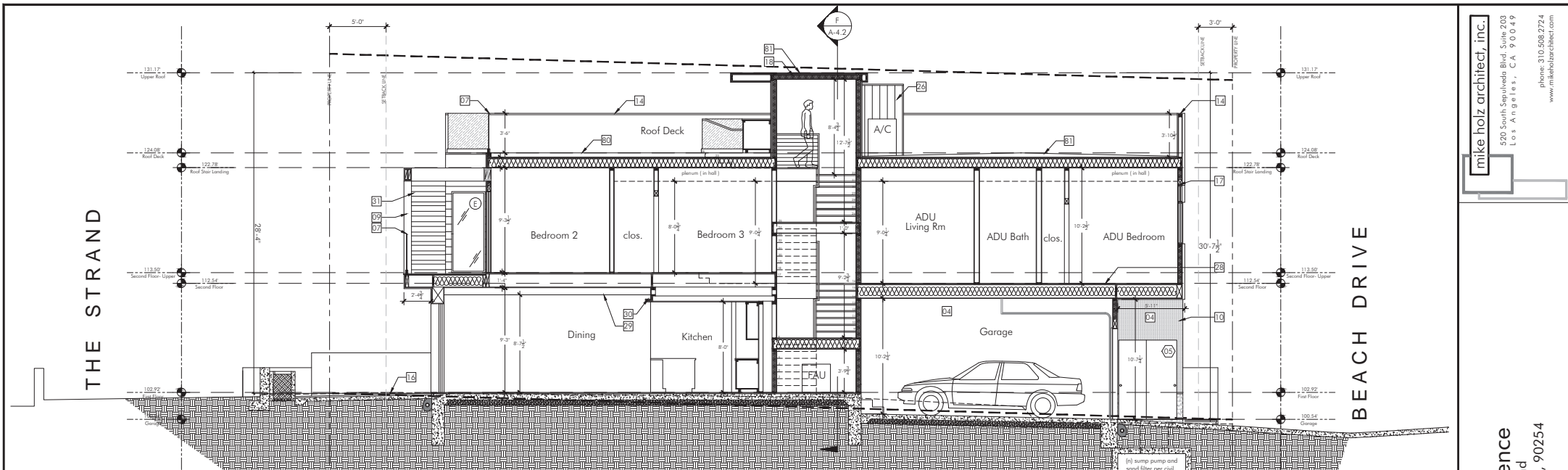
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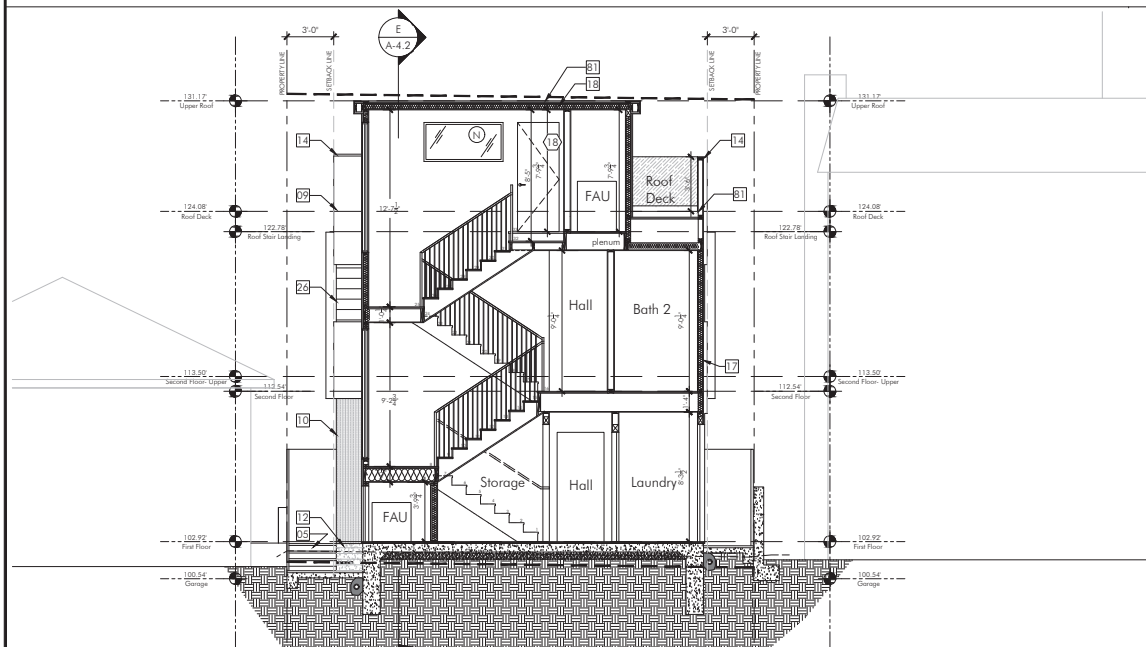
Page 11 of 13



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E Section
scale: 1/4" = 1'-0"



F Section
scale: 1/4" = 1'-0"

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- 32 Roof Deck: Stone finish on pedestal system
- 33 Class A white Firestone UltraTPO w/ for 30 year warranty (SRI: 81, see spec sheet). Install as per manufacture over 1/2" dens deck prime and roof sheathing as per structural. ICC-ESR-2831
- 34 Roof Drains: all to tie into site drainage system with integrated overflow. Slope to drain per plan
- 35 Solar Panels: install conduit connecting to new panel for future solar electric installation
- 36 Stainless steel cap
- 37 Curb mounted skylight, see schedule

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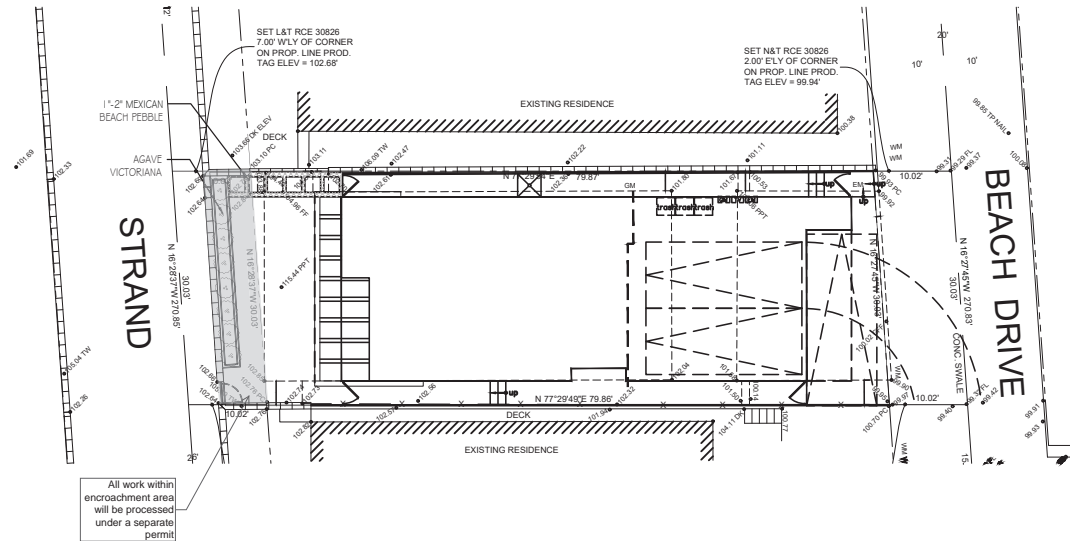
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Page 12 of 13

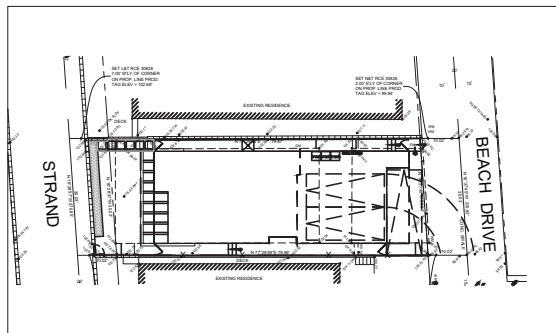


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LANDSCAPE PLANTING PLAN

1/8" = 1'



PERMEABLE AREA

1/16" = 1'

103 SQ. FT.
PERMEABLE LANDSCAPE
PLANTED AREAS

PLANT LEGEND										
PICTURE OF PLANTS	SYMBOL	VEGETATION TYPE	BOTANICAL NAME	COMMON NAME	REGIONAL EVALUATIONS WATER NEEDS	SIZE	DIAMETER (MATURED)	HEIGHT (MATURED)	QUANTITY	NOTES
		SHRUB	AGAVE VICTORIA REGINAE COMPACTA	QUEEN VICTORIA AGAVE	VERY LOW	5 GAL	24"	24"	8	

AREA CALCULATION

Lot Square Footage =	2,400 sq. ft.
Building Footprint =	1,422 sq. ft.
Exterior surface area =	978 sq. ft. (50% must be permeable or infiltration device must be provided)
Minimum permeable area	489 sq. ft.
Hardscape Area =	452 sq. ft.
Permeable Area =	37 sq. ft.
Encroachment Area =	156 sq. ft.
Encroachment Permeable Area =	58 sq. ft.

STORMWATER AND URBAN RUNOFF POLLUTION CONTROL REGULATIONS

SECTION 8.44.095

F. Incorporation of Low Impact Development Program Requirements into Project Plans.

1. New development and redevelopment projects are required to control pollutants and runoff volume from the project site by minimizing the impervious surface area through effective site design and use of water permeable surfaces (e.g., permeable paving or landscaping) to the extent it is technically feasible on not less than fifty (50) percent of exterior surface areas excluding building footprints, and controlling runoff through infiltration, bioretention, and/or rainfall harvest and use, in accordance with the standards set forth in the Municipal NPDES Permit.

Planting Notes:

- All construction debris is to be removed prior to planting.
- All exposed areas to be covered with 2" of mulch.

Revision	Date	By

Exhibit 2

Page 13 of 13



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Community Character Survey

Address	Residence Type	Structure Size (sq. ft.)	Lot Size (sq. ft.)
600 The Strand	single-family	7,507	6,580
612 The Strand	single-family	4,109	2,398
622 The Strand	duplex	1,642	2,397
626 The Strand*	duplex	1,734	2,392
636 The Strand	condo (4 units)	1376	4,790
18 7th St	triplex	1,808	2,518
24 7th St	single-family	971	2,847
34 7th St	quadraplex	2,371	2,858
38 7th St	condo (4 units)	1,201	5,700
48 7th St	multi-family (5 units)	2,715	2,846
56 7th St	duplex	1,298	2,845
635 Hermosa Ave	single-family	1,782	1,904
625 Hermosa Ave	single-family	1,580	1,913
610 Beach Dr	single-family	2,249	1,465
19 6th St	single-family	2,029	1,725
25 6th St	triplex	3,312	2,860
29 6th St	duplex	3,025	2,861
33 6th St	single-family	3,878	2,847
40 7th Ct	single-family	1,216	962
43 6th St	single-family	1,895	1,883
42 7th Ct	duplex	2,024	2,850
61 6th St	triplex	3,045	5,146


*** Project Site**

Exhibit 3

Page 1 of 1



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map help
clear
navigate

1) Choose a topic.

Flooding shows the inundation due to SLR, waves, and storm surge.

FloodingWaves

CurrentDuration

Flood Potential

[What do the Topics represent?](#)

☐ Compare Flooding Scenarios

2) Choose an Amount of Sea Level Rise (ft).

00.81.62.53.34.1

4.95.76.616.4[Use cm]

[What Sea Level Rise scenario should I use?](#)

3) Choose an Event

Choose

Storm Scenario Frequency

NoneAnnual20 year100 year

Or Choose

SF Bay King Tide Scenario

King Tide

[What are Storm Scenarios?](#)

[What is a King Tide scenario?](#)

4) Choose Shoreline Change (Southern California only)

☐ Cliffs☒ Shoreline Position

And Choose

Management Options

"Hold the Line"

yesno

Beach nourishment

yesno

Turn on "Hold The Line Assumptions" below to see what influences these management options. For Shoreline

Detail View

Enter an address or placename

18 - 118.1015 - 33.8595

Pan Zoom

Draw Report

GIS File Report


Known Issues

King Tides

Get Data

Print Map

Project Site



Max Wave Runup during Flood 200cm SLR + Wave 100

Flood-prone Low-lying Areas 200cm SLR + Wave 100

Flood Hazard 200cm SLR + Wave 100

Monterey Flood Depth 200cm SLR + Wave 100

No Data

0 cm (0 ft)

250 cm (8.2 ft)

500 cm (16.4 ft)

750 cm (24.6 ft)

Flood Depth 200cm SLR + Wave 100

No Data

0 cm (0 ft)

250 cm (8.2 ft)

500 cm (16.4 ft)


750 cm (24.6 ft)

20 m

100 ft

Exhibit 4

Page 1 of 1



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