

**CALIFORNIA COASTAL COMMISSION**

SOUTH COAST DISTRICT OFFICE  
301 E. OCEAN BLVD, SUITE 300  
LONG BEACH, CA 90802-4325  
VOICE (562) 590-5071  
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# Th14b

## ADDENDUM

DATE: February 9, 2020

TO: Coastal Commissioners and Interested Parties

FROM: South Coast District Staff

SUBJECT: **ADDENDUM TO ITEM TH14B, DE NOVO APPLICATION NO. A-5-VEN-20-0037 FOR THE COMMISSION MEETING OF THURSDAY, FEBRUARY 11, 2021.**

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### I. PUBLIC CORRESPONDENCE

Since publication of the staff report on January 21, 2020, Commission staff has received one comment letter from Citizens Preserving Venice, the appellants of Appeal Nos. A-5-VEN-20-0037. The letter opposes the staff recommendation of approval for the project after de novo review, as summarized below and included within the Public Correspondence for this item.

The letter identifies concerns with the applicant's project design and questions whether the new duplexes proposed on adjacent lots (related but separate Items Th14b and Th14c) will be sufficient to maintain the multi-family community character of the surrounding area. The contentions raised by Citizens Preserving Venice (in bold) and staff's responses are detailed below:

- (1) **The similarity of the revised plans with the appealed project plans suggests the applicants intend to ultimately convert the duplex into a single-family residence.** The staff report includes findings on page 9 discussing the design of each proposed, separate dwelling unit, all of which will be accessed from separate entrances. In addition, Commission staff further addressed this concern through the revision of Special Condition 1 to require maintenance of two duplex units on-site with no construction of ingress/egress between duplex units.
- (2) **The two adjacent duplexes may share access to the pool proposed for 714-716 E. Palms Blvd, creating a functional compound without the need for a lot consolidation.** The project plans, included as Exhibit 3 of the staff report, show a 6-ft. high wood fence and gate enclosing the perimeter of each separate duplex. The two duplexes have been designed with distinct parking spaces, yard areas, and

units, all of which suggest two separate multi-family residences. The letter indicates a previous Commission finding of substantial issue on two projects at 416-422 Grand Blvd.<sup>1</sup> as a relevant example. However, these projects involved the construction of a primary single-family residence and smaller secondary residence arranged around a shared pool area, resulting in a loss of housing density and a consolidated compound. As such, this past Commission action is distinct from the current projects which will preserve housing density and include 6-ft. high fences around the perimeter of each separate duplex.

**(3) The proposed parking configuration on-site is infeasible and will likely require residents to park off-site.** To address this concern, the project applicant has submitted the following description of the five parking spaces proposed within the rear-yard on-site:

“Unit 1 and Unit 2 share an enclosed garage. Each unit has one assigned standard parking space within this enclosed garage. Each unit also has one uncovered compact parking space which sits in tandem, immediately behind that unit’s standard parking space, outside of the garage. There is one compact guest parking space adjacent to the assigned tandem spaces. The back up aisle for all of these spaces can be adequately provided by the 15’-0” alley behind them.”

**(4) The project plans show discrepancies in estimated areas and setback lengths, as well as mis-labeled or missing amenities throughout the units.** The applicants have submitted plans (dated February 8, 2021) revised to correct inaccuracies and more clearly show the location of the proposed bathrooms and dining areas throughout the units. It is important to note that these revised plans have not altered any of the area estimations proposed with the plans dated January 19, 2021. The plans dated February 8, 2021 shall replace the plans included in Exhibit 3 of the staff report and are attached to this addendum. Commission staff have also compiled the following table, which lists relevant parameters of the existing and proposed development:

*Parameters for existing and proposed development at 710 E. Palms Blvd.*

Proposed	Area (sq. ft.)	Existing	Area (sq. ft.)
Unit 1 (excluding decks)	1,626	Unit 1	640
Unit 2 (excluding decks)	1,150	Unit 2	800
ADU	263	N/A	N/A

<sup>1</sup> ref. Appeal Nos. [A-5-VEN-15-0026](#) and [A-5-VEN-15-0027](#)

Total habitable area	3,039	Total habitable area	1,445
Landscaped yard	880	Landscaped yard	592
Garage (attached)	362	Garage (detached)	445
Parking on-site	5 spaces	Parking on-site	2 spaces

## II. REVISIONS TO STAFF REPORT

Commission staff recommends changes to the staff report dated January 21, 2020 to make the following corrections and modifications. These revisions are necessary to clarify discrepancies in the project area estimations due to incorrect inclusion of attached deck area in the total habitable area for each unit. Additionally, all references to a junior accessory dwelling unit (JADU) shall be modified to reflect an accessory dwelling unit (ADU) in the staff report findings consistent with the JADU/ADU terminology of the State ADU laws and the Los Angeles Municipal Code. Language to be added is shown in underlined text, and language to be deleted is identified by ~~strike through~~.

- a) Correct the first sentence of the project description on page 1 as follows:

Demolition of a one-story, 1,445 sq. ft. duplex and detached two-car garage, and construction of a two-story, 28-ft. tall, ~~3,192~~ 2,776 sq. ft. duplex with an attached two-car garage, plus three additional on-site parking spaces, and an attached 263 sq. ft. ~~junior~~ accessory dwelling unit on a 5,299 sq. ft. lot.

- b) Correct the first incomplete paragraph of the "Summary of Staff Recommendation" on page 1 as follows:

On ~~November~~ October 8, 2020, the Commission determined that a substantial issue existed with respect to the grounds on which Appeal No. A-5-VEN-20-0037 was filed: primarily, that the project as approved by the City was inconsistent with the unique multi-family character of the area and contributed to an adverse trend in loss of housing density. The applicant subsequently revised the project to address these concerns and now proposes the demolition of the existing one-story, 1,445 sq. ft. duplex and detached two-car garage, and construction of a new two-story, 28-ft. tall, ~~3,192~~ 2,776 sq. ft. duplex with an attached 263 sq. ft. JADU and five on-site parking spaces.

- c) Modify the first sentence of the third complete paragraph on page 2 as follows:

Therefore, staff recommends approval of the de novo coastal development permit (CDP) A-5-VEN-20-0037 with eight (8) special conditions: 1) Permit Compliance Retention of Two Duplex Units On-Site; 2) Los Angeles Department of Building and Safety Approval, 3) Local Government Approval; 4) Final Parking Plan; 5)

Construction Best Management Practices, 6) Landscaping, 7) Assumption of Risk, and 8) Deed Restriction

- d) Modify Special Condition 1 on page 5 as follows:

~~1. Permit Compliance. The permittee shall undertake and maintain the development in conformance with the special conditions of the permit and the final plans, including but not limited to duplex, the junior accessory dwelling unit (JADU), and the on-site parking plans. Any proposed changes to the approved plans shall be reported to the Executive Director in order to determine if the proposed change shall require a permit amendment pursuant to the requirements of the Coastal Act and the California Code of Regulations. No changes to the approved plans shall occur without a Commission-approved permit amendment unless the Executive Director determines that no permit amendment is required.~~ Retention of Two Duplex Units On-Site. The development approved by Coastal Development Permit No. A-5-VEN-20-0037 is for construction of a duplex with a 263 square foot accessory dwelling unit (ADU). The applicants and all assigns/successors shall maintain two duplex units as separate residential units. At no point may the duplex be converted into a single-family residence or converted to a non-residential use. Construction of interior ingress and egress (doors) between duplex units are prohibited.

- e) Correct the fourth sentence of the first complete paragraph on page 9 as follows:

On ~~November~~ October 8, 2020, the Commission determined that a substantial issue existed with respect to the grounds on which Appeal No. A-5-VEN-20-0037 was filed because the approved project was inconsistent with the unique multi-family character of the area and prejudiced the City's ability to prepare a certified LCP consistent with the Coastal Act.

- f) Correct the first and second sentence of the second complete paragraph on page 9 as follows:

The project now proposes demolition of the existing duplex and construction of a new two-story, 28-ft. high, ~~3,492~~ 2,776 sq. ft. duplex with a 263 sq. ft. JADU located on the first floor (Exhibit 3). The JADU will include ~~one bedroom~~, one bathroom, a kitchen, and a side-yard entrance separate from those of the other residential units

- g) Correct the fourth and fifth sentences of the second complete paragraph on page 9 as follows:

The first unit, approximately ~~4,417~~ 1,626 sq. ft. in area, is accessed from the first floor and extends throughout the entire second floor. This unit includes two uncovered, permeable decks within the front-yard and rear-yard (~~328~~ 507 sq. ft. and ~~259~~ 216 sq. ft., respectively).

- h) Correct the eighth and ninth sentences of the second complete paragraph on page 9 as follows:

The duplex will include an attached ~~342~~ 362 sq. ft. two-car garage in the rear-yard, plus three compact spaces immediately behind the garage, accessed from the

abutting alley (Rialto Court). The development will retain ~~45~~ 14.7-ft. setbacks in the front and rear-yards and 4-ft. setbacks in the side-yards.

- i) Correct the second sentence of the fourth complete paragraph on page 12 as follows:

The proposed project will replace the existing duplex with two units that are proportional to one another in size (1,150 sq. ft. and 1,417 1,626 sq. ft.).

- j) Modify the fourth sentence of the second incomplete paragraph on page 12 as follows:

To further ensure the maintenance of housing density, Special Condition 1 requires ~~the development to be carried out in a manner consistent with the proposed duplex and JADU and applicants to maintain two duplex units on-site and prohibits construction of ingress or egress (doors) between the duplex units.~~ Special Condition 8 requires the applicant to record a deed restriction imposing the special conditions of the permit as restrictions for use of the property.

- k) Correct the second sentence of the third complete paragraph on page 13 as follows:

The proposed development includes ~~45~~ 14.7-ft. front and rear-yard setbacks, as well as 4-ft. side-yard setbacks, that will be compatible with the surrounding residence setbacks.

- l) Correct the third sentence of the first complete paragraph on page 14 as follows:

Regarding mass and scale, tables 1-3 show that the proposed total habitable area of the duplex (~~3,455~~ 3,039 sq. ft.) will exceed the average area for both original homes and recently-approved homes; however, the size difference is not substantial.

- m) Modify the third sentence of the second incomplete paragraph on page 14 as follows:

To ensure that the new multi-family residence maintains the community character of the area, Special Condition 1 requires ~~the development to be carried out in a manner consistent with the proposed plans, including the construction of the proposed duplex and JADU applicants to maintain two duplex units on-site and prohibits construction of ingress or egress (doors) between the duplex units.~~

- n) Modify the first sentence of the third complete paragraph on page 18 as follows:

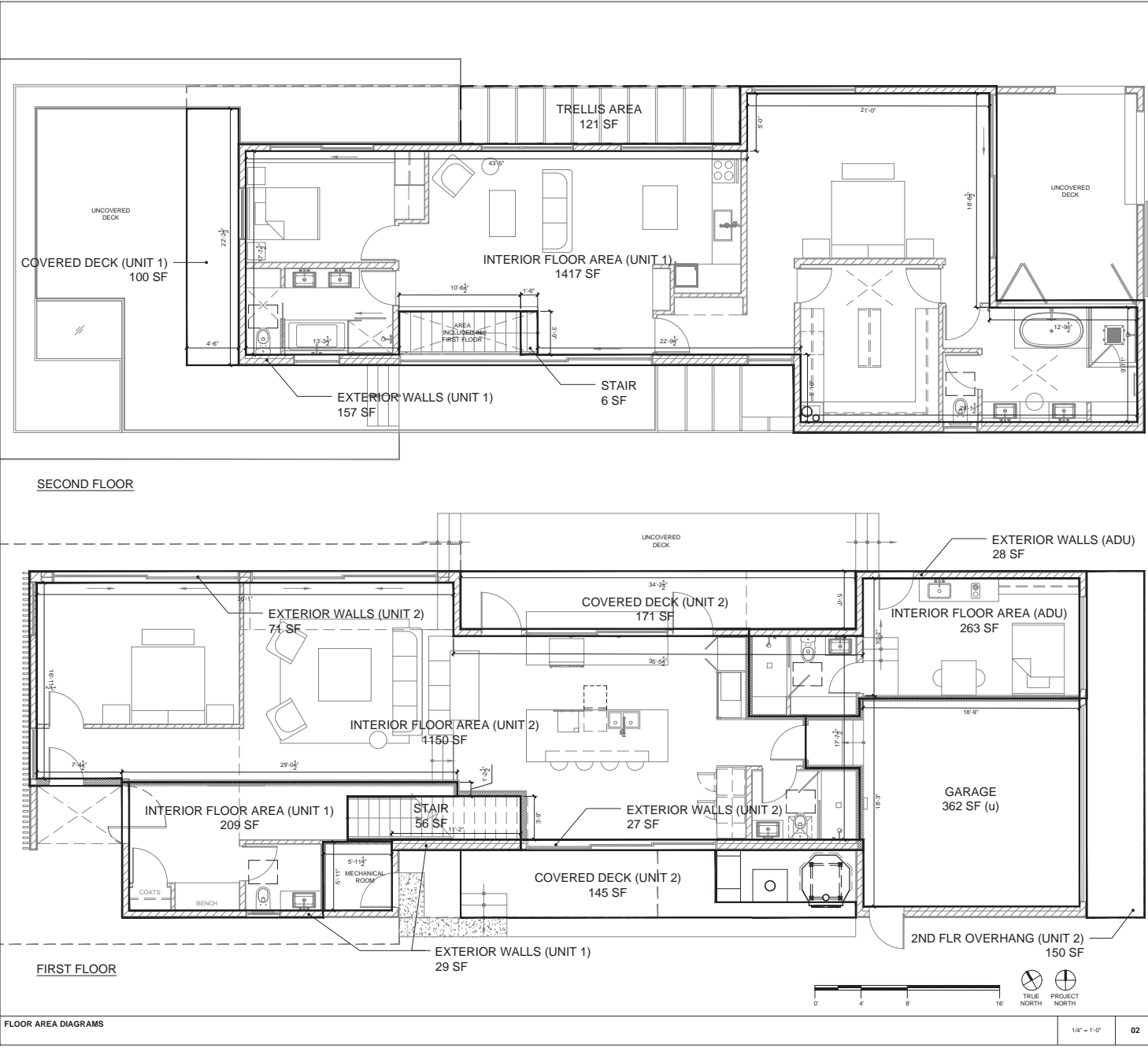
Special Condition 1 requires ~~the development to be carried out in a manner consistent with the proposed project, as approved and conditioned~~ applicants to maintain two duplex units on-site and prohibits construction of ingress or egress (doors) between the duplex units.

- o) Correct the first and second sentences of the eighth complete paragraph on page 20 as follows:

To ensure the five off-street parking spaces are maintained, ~~Special Condition 4 requires the development to be carried out in a manner consistent with the currently proposed parking plans and~~ Special Condition 4 requires submittal of a final parking plan, approved by LADBS, that provides a minimum of five parking spaces on-site. Regarding public access surrounding the site, the applicant has not proposed any encroachment into the public right-of-way and will maintain adequate ~~15~~ 14.7-ft. setbacks in the front and rear-yards, with 4-ft. setbacks in the side-yards.

### Exhibit 3– Revised Project Plans (dated February 8, 2021)

[illegible]



ZONING CODE				BUILDING CODE				SCHOOL FEES			
UNIT 1 - FIRST FLOOR				UNIT 1 - SECOND FLOOR				UNIT 2			
INTERIOR FLOOR AREA				INTERIOR FLOOR AREA				INTERIOR FLOOR AREA			
STAIRS				STAIRS				COVERED EXT. DECKS			
COVERED EXT. DECKS				COVERED EXT. DECKS				EXTERIOR WALLS			
EXTERIOR WALLS				EXTERIOR WALLS				2ND FLR OVERHANG			
MECHANICAL ROOMS				MECHANICAL ROOMS				Trellis Area			
GARAGE				GARAGE				ADU			
TOTAL				TOTAL				TOTAL			

**PROJECT NAME & ADDRESS:**

719 RESIDENCE  
710 PALMS BOULEVARD  
VENICE, CA 90291

**LEGAL DESCRIPTION:**

APN: 4241015021  
TRACT: VENICE PARK TRACT  
LOT: 3  
BLOCK: 6

**PROJECT NUMBER:** 1830

**OWNER:**

ELI & STEPHANIE HOLZMAN  
730 SUPERBA AVENUE  
VENICE, CA 90291

**ARCHITECT:**

**BESTOR ARCHITECTURE**

2030 HYPERION AVE | LOS ANGELES, CA 90027  
323-465-0209

**CONSULTANTS:**

**GEOTECHNICAL ENGINEER:**  
GROVER HOLLINGSWORTH & ASSOCIATES, INC.  
31129 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CA 91362  
T 818-889-0844

**LAND USE CONSULTANT:**  
PACIFIC CREST CONSULTANTS  
23622 CALABASAS RD, SUITE 100  
CALABASAS, CA 91302  
818-591-9309

**STRUCTURAL ENGINEER:**  
CRAG PHILLIPS ENGINEERING & DESIGN  
2120 WESTAL AVE  
LOS ANGELES, CA 90026  
310-625-2325

**LICENSED ARCHITECT**  
BARBARA BESTOR  
C-26132  
Ren.

**BUILDING KEY PLAN**

**SUBMITTAL RECORD:**

# DATE SUBMITTAL NAME

11/15/2020 CSP APPLICATION

02/10/2021 CSP PERMITTAL

02/10/2021 PERMIT SET

03/16/2021 CSP PERMITTAL

04/06/2021 PERMIT PERMITTAL

04/16/2021 PERMIT PERMITTAL

04/16/2021 CSP PERMITTAL

04/16/2021 PERMIT PERMITTAL

04/16/2021 CSP PERMITTAL

**SCALE**

1/4" = 1'-0"

**DRAWING TITLE**

FLOOR AREA CALCULATIONS

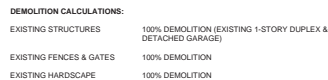
**SHEET NUMBER**

**G050**

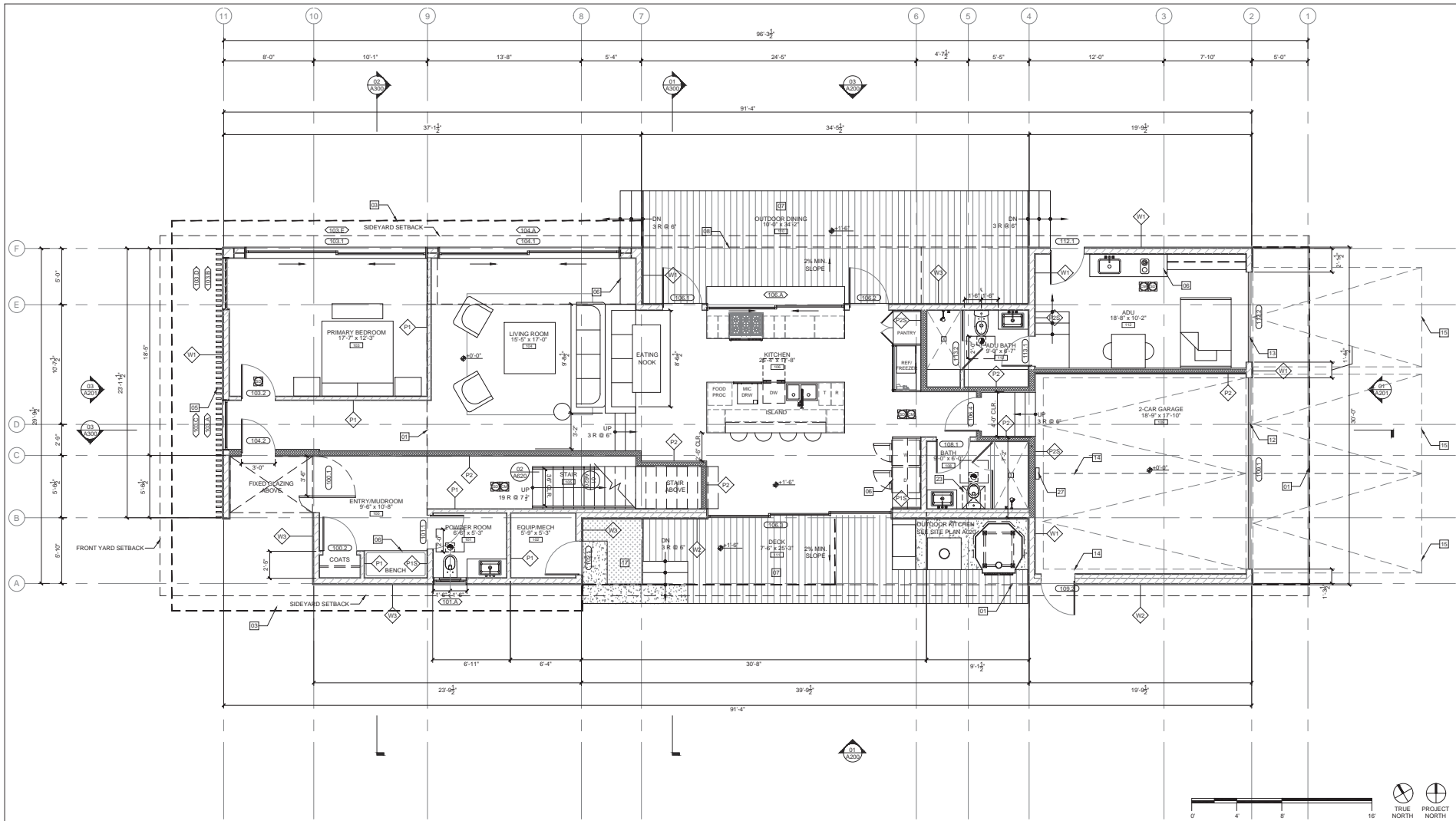
02.08.2021







**California Coastal Commission**  
**Exhibit 3**  
**Page 4 of 9**



FIRST FLOOR PLAN

PLAN NOTES

- ALL DIMENSIONS ARE FROM F.O. FRAMING TO F.O. FRAMING, UNLESS NOTED OTHERWISE.
- NEW HVAC SYSTEM SHALL BE MIN. 94% AFUE EFFICIENCY WITH 14.0 BEER RATING. ALL NEW DUCTS SHALL BE INSULATED MIN. R-4.2.
- PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- SMOKE DETECTORS WITH BATTERY BACKUP AT ALL NEW CONSTRUCTION, & ON THE WALL OR CEILING CENTRALLY LOCATED IN THE AREA GIVING ACCESS TO SLEEPING ROOMS AND IN SLEEPING ROOMS, & WHERE CEILING HEIGHT OF AN ADJACENT ROOM OPENS TO A HALLWAY (SERVING BEDROOMS) EXCEEDS THAT OF THE HALLWAY BY 24" OR MORE, DETECTOR SHALL BE PLACED IN THE ADJACENT ROOM AND WITHIN 12" OF HIGHEST POINT OF CEILING.
- PROVIDE CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1.
- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 80 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE (R303.3).
- SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.
- BATHROOM AND SHOWER FLOORS, WALLS ABOVE BATHROOMS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS & COATINGS, CARPET SYSTEMS, ETC. SHALL MEET THE (VOC) EMISSION LIMITS PER LAC083C CHAPTER 4 (R303).
- GROUND-FAULT CIRCUIT-INTERRUPTION (GFCI) FOR PERSONNEL SHALL BE PROVIDED AND INSTALLED IN READILY ACCESSIBLE LOCATION. (EC-210.8(A))
- BUILDING SHALL HAVE PLUMBING FIXTURES THAT MEET THE FLOW RATES SPECIFIED IN THE LOS ANGELES COUNTY GREEN BUILDING STANDARDS CODE.
- ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE-BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE-BALANCE/THERMOSTATIC MIXING VALVE. (PC-418)
- ALL NEW, REPLACEMENT AND EXISTING WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES. ONE IN THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4" ABOVE THE CONTROLS. (PC 508.2)
- THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACER(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- AT EV CHARGING STATION LOCATION, MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 208V/40 AMP VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX, OR ENCLOSURE.
- ARC-FAULT CIRCUIT-INTERRUPTION SHALL BE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (EC-210.12)
- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING(S) IF CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED BY CAPABLE.
- GARAGE FLOOR SURFACE SHALL BE OF AN APPROVED NON-COMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R309.1)

KEYNOTES

- |   |   |  |
|---|---|--|
| 01 LINE OF FLOOR ABOVE  | 10 SKYLIGHT ABOVE                           | 19 UNDER STAIR STORAGE                             |
| 02 LINE OF FLOOR BELOW  | 11 MIN. 1/2" GLASS RAILING, 42" MIN. HEIGHT | 20 WINDOW SEAT                                     |
| 03 LINE OF ROOF ABOVE   | 12 16'-0" WIDE GARAGE DOOR                  | 21 PLANTER   |
| 04 TRELLIS  | 13 8'-0" WIDE GARAGE DOOR                   | 22 STEEL H-COLUMN, PAINTED                         |
| 05 WOOD SLATS   | 14 STANDARD PARKING STALL, SEE A200         | 23 SOLID GUARDRAIL, 42" MIN. HEIGHT                |
| 06 MILLWORK   | 15 COMPACT PARKING STALL, SEE A200          | 24 OPERABLE SLIDING WOOD SCREEN                    |
| 07 WOOD DECKING, SEE A200(07)   | 16 PARALLEL PARKING STALL, SEE A200         | 25 LINE OF ROOF BELOW                              |
| 08 LINE OF TRELLIS ABOVE  | 17 PLANTING AREA, SEE SITE PLAN A200        | 26 LA PARKING LOTS PL-30, LAAR # 555047            |
| 09 WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" CLR. SPACING BETWEEN RAILS | 18 KITCHEN LADDER WITH METAL HANGING RAIL   | 27 FUTURE EV CHARGING STATION, SEE PLAN NOTE 16-18 |

LEGEND

- |                   |  |                           |   |
|-------------------|--|---------------------------|---|
| <b>TAGS</b>       | <b>DOOR TAG</b>  | <b>FINISH FLOOR TAG</b>   | <b>PARTITIONS</b>                           |
| 000000 WINDOW TAG | 000000 EQUIPMENT TAG   | 000000 FINISH FLOOR ELEV. | 000000 CHANGE IN ELEV.                      |
| 000000 FINISH TAG | 000000 MIN. 50 CFM EXHAUST FAN ON HUMIDISTAT (ENERGY STAR CERTIFIED) | 000000 REVISION           | 000000 CARBON MONOXIDE ALARM SMOKE DETECTOR |
| 000000 DOOR TAG   | 000000 WINDOW TAG  | 000000 EQUIPMENT TAG      | 000000 FINISH TAG                           |
| 000000 FINISH TAG | 000000 MIN. 50 CFM EXHAUST FAN ON HUMIDISTAT (ENERGY STAR CERTIFIED) | 000000 REVISION           | 000000 CARBON MONOXIDE ALARM SMOKE DETECTOR |
- NEW WOOD PARTITION (WITH TYPE TAG)
- NEW 1HR FIRE RATED STC-50 ASSEMBLY (SEE P24(07))
- FACE OF FINISH FACE OF FRAMING

PROJECT NAME & ADDRESS:

710 RESIDENCE  
710 PALMS BOULEVARD  
VENICE, CA 90291

LEGAL DESCRIPTION:

APN: 4241015021  
TRACT: VENICE PARK TRACT  
LOT: 3  
BLOCK: 6

PROJECT NUMBER: 1830

OWNER:

ELI & STEPHANIE HOLZMAN  
730 SUPERBA AVENUE  
VENICE, CA 90291

ARCHITECT:

**BESTOR**  
**ARCHITECT**  
**TURE**

2030 HYPERION AVE | LOS ANGELES, CA 90007  
323.465.0289

CONSULTANTS:

**GEOTECHNICAL ENGINEER:**  
GROVER HOLLINGSWORTH & ASSOCIATES, INC.  
23622 CALABASAS RD, SUITE 100  
CALABASAS, CA 91302  
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LAND USE CONSULTANT:

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2120 WESTLAKE AVE  
LOS ANGELES, CA 90026  
310-625-2325

STRUCTURAL ENGINEER:

PAUL PHILLIPS ENGINEERING  
& DESIGN  
2120 WESTLAKE AVE  
LOS ANGELES, CA 90026  
310-625-2325



BUILDING KEY PLAN



SUBMITTAL RECORD:

#	DATE	SUBMITTAL NAME
01	10/20/2019	CSP APPLICATION
02	10/20/2019	CSP PRELIMINARY
03	10/20/2019	PERMIT SET
04	09/16/2020	CSP PRELIMINARY
05	09/16/2020	PERMIT PRELIMINARY
06	09/16/2020	PERMIT PRELIMINARY
07	09/16/2020	PERMIT PRELIMINARY
08	09/16/2020	PERMIT PRELIMINARY
09	09/16/2020	PERMIT PRELIMINARY
10	09/16/2020	PERMIT PRELIMINARY

SCALE

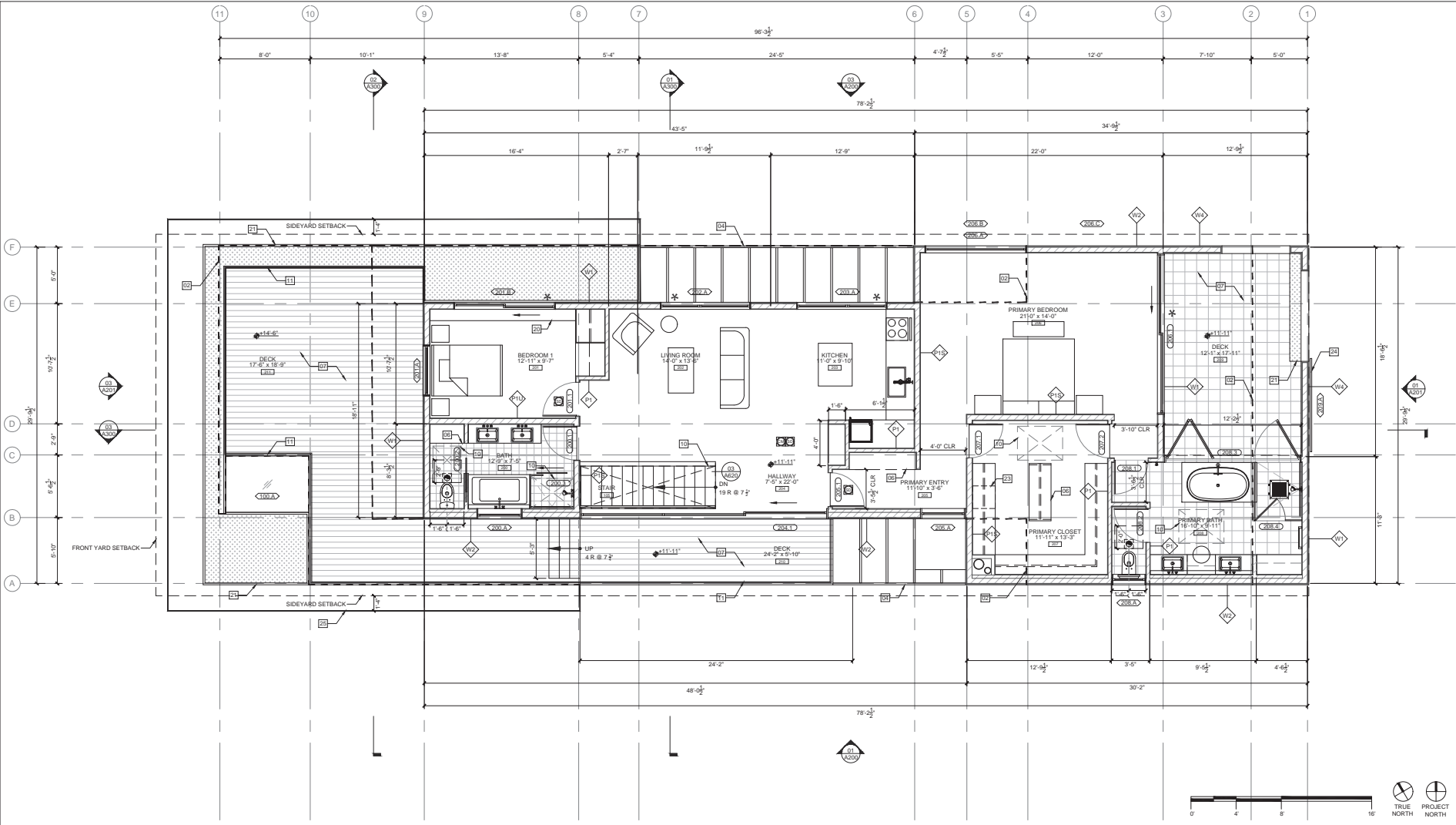
1/4" = 1'-0"

DRAWING TITLE

FIRST FLOOR PLAN

SHEET NUMBER

**A100**  
02.08.2021



PLAN NOTES				KEYNOTES				LEGEND			
1. ALL DIMENSIONS ARE FROM F.O. FRAMING TO F.O. FRAMING, UNLESS NOTED OTHERWISE.				10. SKYLIGHT ABOVE				TAGS			
2. NEW HVAC SYSTEM SHALL BE MIN. 94% AFUE EFFICIENCY WITH 14.0 BEER RATING. ALL NEW DUCTS SHALL BE INSULATED MIN. R-4.2.				11. MIN. 3" GLASS RAILING, 42" MIN. HEIGHT				DOOR TAG			
3. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.				12. 16'-0" WIDE GARAGE DOOR				WINDOW TAG			
4. SMOKE DETECTORS WITH BATTERY BACK-UP AT ALL NEW CONSTRUCTION. A. ON THE WALL OR CEILING CENTRALLY LOCATED IN THE AREA GIVING ACCESS TO SLEEPING ROOMS AND IN SLEEPING ROOMS. B. WHERE CEILING HEIGHT OF AN ADJACENT ROOM OPENS TO A HALLWAY SERVING BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 4' OR MORE, DETECTOR SHALL BE PLACED IN THE ADJACENT ROOM AND WITHIN 12' OF HIGHEST POINT OF CEILING.				13. STANDARD PARKING STALL, SEE A200				EQUIPMENT TAG			
5. PROVIDE CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1.				14. PARALLEL PARKING STALL, SEE A200				FINISH TAG			
6. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 60 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE (R303.3).				15. PLANTING AREA, SEE SITE PLAN A200				REVISION			
7. SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.				16. LA PARKING LIFTS PLUS, LADR #: 550547				CARBON MONOXIDE ALARM			
8. CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.				17. FUTURE EV CHARGING STATION, SEE PLAN NOTE 16-18				SMOKE DETECTOR			
9. BATHUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).											
10. FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULK, PAINTS & COATINGS, CARPET SYSTEMS, ETC. SHALL MEET THE (WOOD EMISSION LIMITS PER LAC083C CHAPTER 4 (R303)).											
11. GROUND-FULT CIRCUIT-INTERRUPTION (GFCI) FOR PERSONNEL SHALL BE PROVIDED AND INSTALLED IN READILY ACCESSIBLE LOCATION. (EC 210.80)											
12. BUILDING SHALL HAVE PLUMBING FIXTURES THAT MEET THE FLOW RATES SPECIFIED IN THE LOS ANGELES COUNTY GREEN BUILDING STANDARDS CODE.											
13. ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE-BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE-BALANCE/THERMOSTATIC MIXING TYPE VALVE. (PC 418)											
14. ALL NEW, REPLACEMENT AND EXISTING WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES: ONE IN THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4" ABOVE THE CONTROLS. (PC 508.2)											
15. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDEDICATED BRANCH CIRCUIT AND SPACERS) RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.											
16. AT EV CHARGING STATION LOCATION, MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 200-AMP VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX, OR ENCLOSURE.											
17. ARC-FAULT CIRCUIT-INTERRUPTION SHALL BE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (EC 210.12)											
18. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE(S) RESERVED FOR FUTURE EV CHARGING(S) BY CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED BY CAPABLE.											
19. GARAGE FLOOR SURFACE SHALL BE OF AN APPROVED NON-COMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R309.1)											

PROJECT NAME & ADDRESS:  
719 RESIDENCE  
710 PALMS BOULEVARD  
VENICE, CA 90291

LEGAL DESCRIPTION:  
APN: 4241015021  
TRACT: VENICE PARK TRACT  
LOT: 3  
BLOCK: 6  
PROJECT NUMBER: 1830

OWNER:  
ELI & STEPHANIE HOLZMAN  
730 SUPERBA AVENUE  
VENICE, CA 90291

ARCHITECT:  
**BESTOR ARCHITECTURE**  
2030 HYPERION AVE (LOS ANGELES, CA 90007)  
310-465-0999

CONSULTANTS:  
GEOTECHNICAL ENGINEER:  
GROVER HOLLINGSWORTH & ASSOCIATES, INC.  
31129 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CA 91362  
818-591-9309

LAND USE CONSULTANT:  
CHAS PHILLIPS ENGINEERING & DESIGN  
2125 NESTAL AVE  
LOS ANGELES, CA 90026  
310-625-2325

STRUCTURAL ENGINEER:  
CHAS PHILLIPS ENGINEERING & DESIGN  
2125 NESTAL AVE  
LOS ANGELES, CA 90026  
310-625-2325

**LICENSED ARCHITECT**  
BARBARA BESTOR  
C/26132  
State of California

BUILDING KEY PLAN

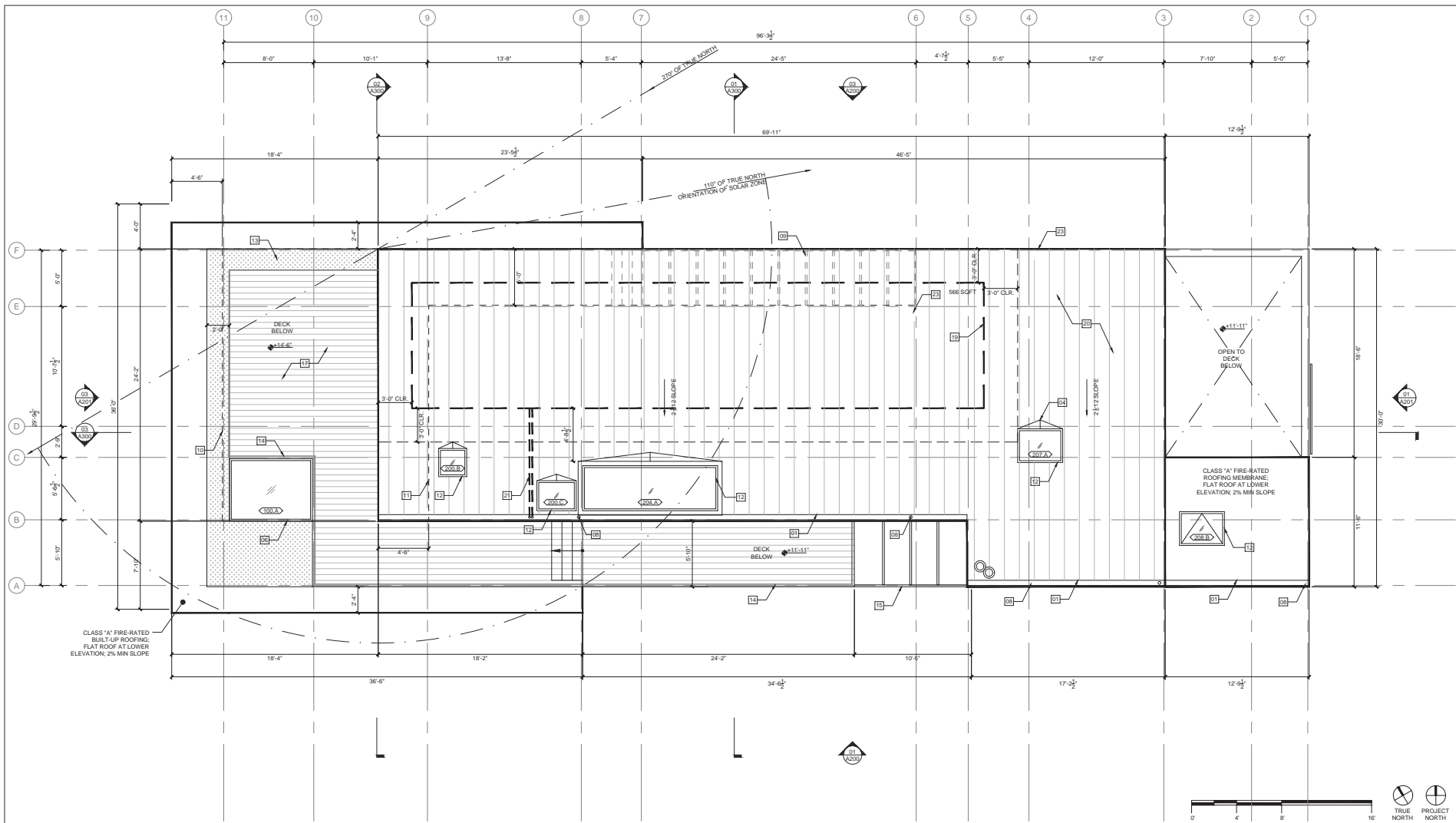
SUBMITTAL RECORD:

#	DATE	SUBMITTAL NAME
01	10/20/2024	CCP APPLICATION
02	10/20/2024	CCP RESUBMITTAL
03	10/20/2024	PERMIT SET
04	03/16/2025	CCP RESUBMITTAL
05	03/16/2025	PERMIT RESUBMITTAL
06	03/16/2025	PERMIT RESUBMITTAL
07	03/16/2025	PERMIT RESUBMITTAL
08	03/16/2025	PERMIT RESUBMITTAL
09	03/16/2025	CCP RESUBMITTAL
10	03/16/2025	CCP RESUBMITTAL

SCALE  
1/4" = 1'-0"

DRAWING TITLE  
SECOND FLOOR PLAN

SHEET NUMBER  
**A101**  
02.08.2021



ROOF PLAN			1/4" = 1'-0"	01
PLAN NOTES		KEYNOTES	LEGEND	
<p>1. DO NOT SCALE OFF DRAWINGS. NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS NEEDED.</p> <p>2. EXTERIOR WALLS ARE 2X6 STUD WALLS, UDN.</p> <p>3. INTERIOR WALLS ARE 2X4 STUD WALLS, UDN.</p> <p>4. ROOF ASSEMBLY SHALL BE LISTED BY AN APPROVED TESTING AGENCY.</p> <p>5. ROOF COVERING ASSEMBLY SHALL BE AN ICC-ES OR UL LISTED CLASS A FIRE RESISTIVE ROOF ASSEMBLY COMPLYING WITH ASTM E 188 OR UL 790. ROOF GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS (DGA 4: K227.3.4).</p> <p>ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. FIN. FOR EACH SQ. FT. OF ATTIC AREA) IS REQUIRED (R806.2).</p>		<p><b>01</b> 4" SQUARE INTEGRAL GUTTER</p> <p><b>02</b> 4" SQUARE GUTTER W/ DOWNSPOUT, TYP.</p> <p><b>03</b> PLUMBING VENT</p> <p><b>04</b> CRICKET, TYP.</p> <p><b>05</b> WOOD SLATS</p> <p><b>06</b> FIXED GLAZING, 2% SLOPE MIN.</p> <p><b>07</b> TILE DECKING</p> <p><b>08</b> DOWNSPOUT FROM ROOF</p> <p><b>09</b> TRELLIS BELOW</p> <p><b>10</b> EDGE OF BUILDING LINE ON FIRST FLOOR</p> <p><b>11</b> EDGE OF BUILDING LINE ON SECOND FLOOR</p> <p><b>12</b> [N] VELUX SKYLIGHT, ESR-4108, SEE 0405070</p> <p><b>13</b> PLANTER WITH GLASS RAILING</p> <p><b>14</b> MIN. 2" GLASS RAILING, 42" MIN. HEIGHT</p> <p><b>15</b> TRELLIS</p> <p><b>16</b> PLANTER</p> <p><b>17</b> WOOD DECKING</p> <p><b>18</b> BUILT-IN BANQUETTE</p> <p><b>19</b> AREA OF FUTURE PHOTOVOLTAIC SYSTEM</p> <p><b>20</b> CLASS 'A' FIRE-RATED METAL STANDING SEAM ROOFING, SEE 0103070</p> <p><b>21</b> PATHWAY OF PIPING TO INVERTERS &amp; WATER-HEATING SYSTEM FOR FUTURE SOLAR PANELS TO BE LOCATED IN LAUNDRY/STORAGE ROOM BELOW.</p> <p><b>22</b> WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" CLR. OPENING BETWEEN RAILS</p> <p><b>23</b> CHIMNEY CAP W/ SPARK ARRESTOR PER MANUFACTURER SPECIFICATIONS</p>	<p><b>TAGS</b></p> <p><b>01</b> DOOR TAG</p> <p><b>02</b> WINDOW TAG</p> <p><b>03</b> EQUIPMENT TAG</p> <p><b>04</b> FIXTURE TAG</p> <p><b>05</b> FINISH TAG</p> <p><b>06</b> FINISH FLOOR TAG</p> <p><b>07</b> FINISH FLOOR ELEV.</p> <p><b>08</b> CHANGE IN ELEV.</p> <p><b>09</b> MATCHLINE</p> <p><b>10</b> TRANSITION</p> <p><b>11</b> DIRECTION OF DRAINAGE</p> <p><b>LINES</b></p> <p>— ROOF</p> <p>— EDGE</p> <p>— FOOTPRINT BELOW</p> <p><b>DIMENSIONS</b></p> <p>— FACE OF FINISH</p> <p>— FACE OF FRAMING</p>	

PROJECT NAME & ADDRESS:

710 RESIDENCE  
710 PALMS BOULEVARD  
VENICE, CA 90291

LEGAL DESCRIPTION:

APN: 4241015021  
TRACT: VENICE PARK TRACT  
LOT: 3  
BLOCK: 6  
PROJECT NUMBER: 1830

OWNER:

ELI & STEPHANIE HOLZMAN  
730 SUPERBA AVENUE  
VENICE, CA 90291

ARCHITECT:

**BESTOR  
ARCHITECTURE**

2020 HYPERION AVE | LOS ANGELES, CA 90027  
323.465.0209

CONSULTANTS:

GEOTECHNICAL ENGINEER:  
GROVER HOLLINGSWORTH &  
ASSOCIATES, INC.  
31129 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CA 91362  
T 818-889-0844

LAND USE CONSULTANT:  
PACIFIC CREST CONSULTANTS  
23622 CALABASAS RD, SUITE 100  
CALABASAS, CA 91302  
818-591-9309

STRUCTURAL ENGINEER:  
CRACK PHILLIPS ENGINEERING  
& DESIGN  
2120 VESTAL AVE  
LOS ANGELES, CA 90026  
310-625-2325

**LICENSED ARCHITECT**  
BARBARA BESTOR  
C/26132  
Ren.

BUILDING KEY PLAN

SUBMITTAL RECORD:

#	DATE	SUBMITTAL NAME
01	12/10/2019	CSP APPLICATION
02	12/30/2019	CSP PRESUBMITTAL
03	12/30/2019	PERMIT SET
04	03/16/2020	CSP PRESUBMITTAL
05	06/04/2020	PERMIT PRESUBMITTAL
06	08/10/2020	PERMIT PRESUBMITTAL
07	10/16/2020	PERMIT PRESUBMITTAL
08	01/16/2021	CSP PRESUBMITTAL
09	02/08/2021	CSP PRESUBMITTAL

SCALE

1/4" = 1'-0"

DRAWING TITLE

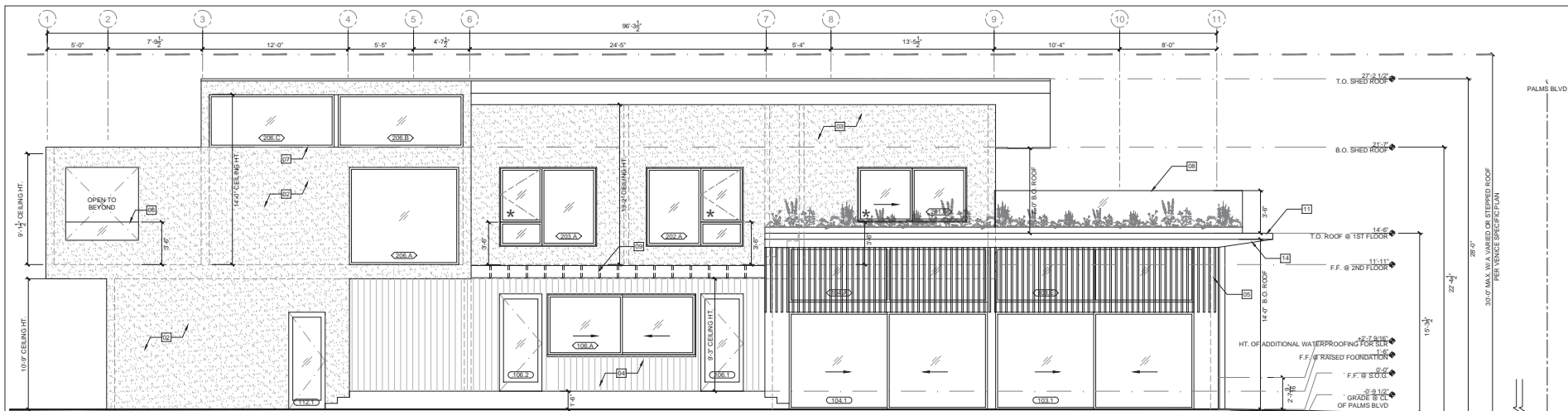
ROOF PLAN

SHEET NUMBER

**A102**

02.08.2021

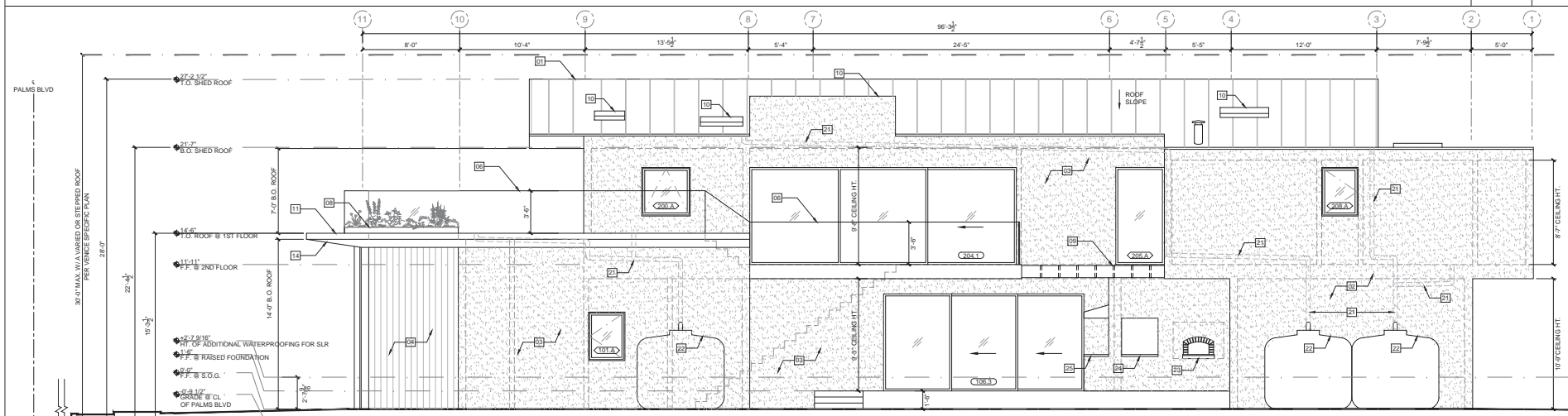




NORTH ELEVATION

1/4" = 1'-0"

03



SOUTH ELEVATION

1/4" = 1'-0"

01

ELEVATION NOTES	KEYNOTES	LEGEND
<p>1. SEE SCHEDULES FOR ALL DOOR, WINDOW, AND EQUIPMENT DETAILS AND SPECIFICATIONS.</p> <p>2. VERIFY ALL DIMENSIONS ON SITE.</p> <p>3. NOTIFY ARCHITECT FOR ANY DISCREPANCIES BETWEEN SITE AND PLAN.</p> <p>4. ALL DIMENSIONS FROM FACE OF FINISH TO FACE OF FINISH.</p> <p>5. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 4 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.</p> <p>6. THE ELEVATION OF THE WATER LEVEL THAT WOULD OCCUR WITH 6.6' OF ANTICIPATED SLR EXPECTED BY THE YEAR 2100 HAS BEEN NOTED ON THE ELEVATIONS. ALL EXTERIOR WALLS TO BE SEALED FOR ADDITIONAL WATER PROOFING UP TO 2.62' (2'-7 1/2") ABOVE LOWEST F.F. AS INDICATED.</p>	<p>01 CLASS A FIRE-RATED METAL STANDING SEAM ROOF</p> <p>02 STUCCO, PTD. WHITE</p> <p>03 STUCCO, PTD. BLACK</p> <p>04 WOOD SIDING</p> <p>05 WOOD SLATS</p> <p>06 MIN. 1/2" GLASS RAILING, 42" MIN. HEIGHT</p> <p>07 CLERESTORY WINDOWS</p> <p>08 PLANTED EDGE BOX WITH GLASS RAILING, 42" MIN. HEIGHT</p> <p>09 WOOD TRELLIS</p> <p>10 SKYLIGHT</p> <p>11 CLASS A FIRE-RATED BUILT-UP ROOF</p> <p>12 16" WIDE ROLL-UP GARAGE DOOR</p> <p>13 6" WIDE ROLL-UP GARAGE DOOR</p> <p>14 WD. SIDING OVER 1/2" TYPE 'X' GYP. PER CBC 707A.3 TYP.</p> <p>15 GRAY SIDING, TO MATCH PERIMETER FENCE</p> <p>16 OPERABLE SLIDING WOOD SCREEN</p> <p>17 24" WIDE ROLL-UP GARAGE DOOR, PTD. GRAY</p> <p>18 POOL EQUIPMENT ENCLOSURE</p> <p>19 WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" CLR. SPACING BETWEEN RAILS</p> <p>20 4" INTERNAL DOWNSPOUT TO LID BMP</p> <p>21 4" DOWNSPOUT TO LID BMP</p> <p>22 530-GALLON RAIN TANK, SEE 02A022</p> <p>23 MUDMAN PIZZA OVEN, 64" WIDE MEDIA-W/ PROFESSIONAL, ACR BUILT IN</p> <p>24 36" J.R. WOOD SHOW BROILER</p> <p>25 30" KITCHEN AID GRILL, NATURAL GAS</p> <p>26</p> <p>27</p>	<p><b>HATCHES</b></p> <p>STUCCO</p> <p>WOOD</p> <p><b>TAGS</b></p> <p>DOOR TAG</p> <p>WINDOW TAG</p> <p>EQUIPMENT TAG</p> <p>FIXTURE TAG</p> <p>FINISH TAG</p> <p><b>LEGEND</b></p> <p>FINISH FLOOR ELEV.</p> <p>MATCHLINE</p> <p>REVISION</p> <p>EGRESS</p> <p><b>PARTITIONS</b></p> <p>NEW PARTITION (WITH TYPE TAG)</p> <p><b>DIMENSIONS</b></p> <p>FACE OF FINISH</p> <p>FACE OF FRAMING</p>

PROJECT NAME & ADDRESS:  
710 RESIDENCE  
710 PALMS BOULEVARD  
VENICE, CA 90291

LEGAL DESCRIPTION:  
APN: 4241015021  
TRACT: VENICE PARK TRACT  
LOT: 3  
BLOCK: 6  
PROJECT NUMBER: 1830

OWNER:  
ELI & STEPHANIE HOLZMAN  
730 SUPERBA AVENUE  
VENICE, CA 90291

ARCHITECT:  
**BESTOR ARCHITECTURE**  
2030 HYPERION AVE (LOS ANGELES, CA 90007)  
323-465-0209

CONSULTANTS:  
GEOTECHNICAL ENGINEER:  
GROVER HOLLINGSWORTH & ASSOCIATES, INC.  
31129 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CA 91362  
T 818-889-0844

LAND USE CONSULTANT:  
PACIFIC COAST CONSULTANTS  
23622 CALABASAS RD, SUITE 100  
CALABASAS, CA 91302  
818-591-9309

STRUCTURAL ENGINEER:  
ORAN PHILLIPS ENGINEERING & DESIGN  
2103 WESTLAKE AVE  
LOS ANGELES, CA 90026  
310-625-2325



BUILDING KEY PLAN



SUBMITTAL RECORD:

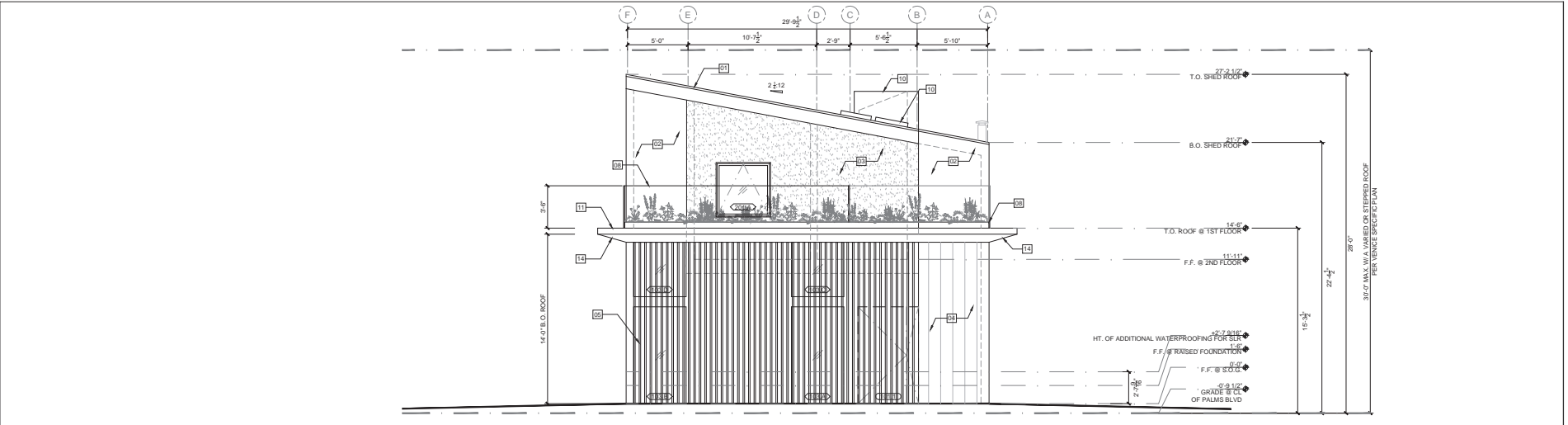
#	DATE	SUBMITTAL NAME
01	10/20/2019	CSP APPLICATION
02	10/20/2019	CSP PRESUBMITTAL
03	10/20/2019	PERMIT SET
04	03/16/2020	CSP PRESUBMITTAL
05	03/16/2020	PERMIT PRESUBMITTAL
06	03/16/2020	PERMIT PRESUBMITTAL
07	03/16/2020	CSP PRESUBMITTAL
08	03/16/2020	CSP PRESUBMITTAL

SCALE  
1" = 1'-0"

DRAWING TITLE  
ELEVATIONS

SHEET NUMBER

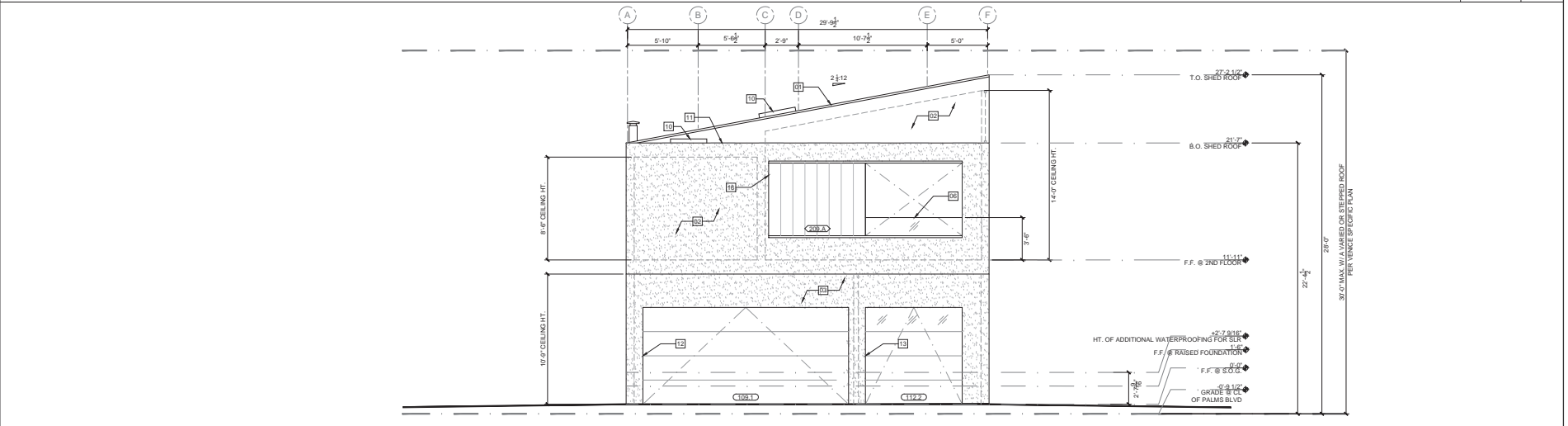
**A200**  
02.08.2021



WEST ELEVATION

1/4" = 1'-0"

03



EAST ELEVATION

1/4" = 1'-0"

01

ELEVATION NOTES	KEYNOTES	LEGEND																																																						
1. SEE SCHEDULES FOR ALL DOOR, WINDOW, AND EQUIPMENT DETAILS AND SPECIFICATIONS. 2. VERIFY ALL DIMENSIONS ON SITE. 3. NOTIFY ARCHITECT FOR ANY DISCREPANCIES BETWEEN SITE AND PLAN. 4. ALL DIMENSIONS FROM FACE OF FINISH TO FACE OF FINISH. 5. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 4 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. 6. THE ELEVATION OF THE WATER LEVEL THAT WOULD OCCUR WITH 6.6' OF ANTICIPATED SLR EXPECTED BY THE YEAR 2100 HAS BEEN NOTED ON THE ELEVATIONS. ALL EXTERIOR WALLS TO BE SEALED FOR ADDITIONAL WATER PROOFING UP TO 2.60' (2'-7 1/2") ABOVE LOWEST F.F. AS INDICATED.	<table border="1"><tr><td>01</td><td>CLASS A FIRE-RATED METAL STANDING SEAM ROOF</td><td>10</td><td>SKYLIGHT</td><td>19</td><td>WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" O.C. SPACING BETWEEN RAILS</td></tr><tr><td>02</td><td>STUCCO, PTD. WHITE</td><td>11</td><td>CLASS A FIRE-RATED BUILT-UP ROOF</td><td>20</td><td>4" DOWNSPOUT TO LID BMP</td></tr><tr><td>03</td><td>STUCCO, PTD. BLACK</td><td>12</td><td>16" WIDE ROLL-UP GARAGE DOOR</td><td>21</td><td>4" INTERNAL DOWNSPOUT TO LID BMP</td></tr><tr><td>04</td><td>WOOD SIDING</td><td>13</td><td>6" WIDE ROLL-UP GARAGE DOOR</td><td>22</td><td>530-GALLON RAIN TANK, SEE 02A022</td></tr><tr><td>05</td><td>WOOD SLATS</td><td>14</td><td>WD. SIDING OVER 1/2" TYPE 'X' GYP. PER CBC 707A.3 TYP.</td><td>23</td><td>MUDMAN PIZZA OVEN, 54" WIDE MEDIA-WAP PROFESSIONAL, ACR BUILT IN</td></tr><tr><td>06</td><td>MIN. 1/2" GLASS RAILING, 42" MIN. HEIGHT</td><td>15</td><td>GRAY SIDING TO MATCH PERIMETER FENCE</td><td>24</td><td>36" J.R. WOOD SHOW BROILER</td></tr><tr><td>07</td><td>CLERESTORY WINDOWS</td><td>16</td><td>OPERABLE SLIDING WOOD SCREEN</td><td>25</td><td>30" KITCHEN AID GRILL, NATURAL GAS</td></tr><tr><td>08</td><td>PLANTED EDGE BOX WITH GLASS RAILING, 42" MIN. HEIGHT</td><td>17</td><td>24" WIDE ROLL-UP GARAGE DOOR, PTD. GRAY</td><td>26</td><td></td></tr><tr><td>09</td><td>WOOD TRELLIS</td><td>18</td><td>POOL EQUIPMENT ENCLOSURE</td><td>27</td><td></td></tr></table>	01	CLASS A FIRE-RATED METAL STANDING SEAM ROOF	10	SKYLIGHT	19	WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" O.C. SPACING BETWEEN RAILS	02	STUCCO, PTD. WHITE	11	CLASS A FIRE-RATED BUILT-UP ROOF	20	4" DOWNSPOUT TO LID BMP	03	STUCCO, PTD. BLACK	12	16" WIDE ROLL-UP GARAGE DOOR	21	4" INTERNAL DOWNSPOUT TO LID BMP	04	WOOD SIDING	13	6" WIDE ROLL-UP GARAGE DOOR	22	530-GALLON RAIN TANK, SEE 02A022	05	WOOD SLATS	14	WD. SIDING OVER 1/2" TYPE 'X' GYP. PER CBC 707A.3 TYP.	23	MUDMAN PIZZA OVEN, 54" WIDE MEDIA-WAP PROFESSIONAL, ACR BUILT IN	06	MIN. 1/2" GLASS RAILING, 42" MIN. HEIGHT	15	GRAY SIDING TO MATCH PERIMETER FENCE	24	36" J.R. WOOD SHOW BROILER	07	CLERESTORY WINDOWS	16	OPERABLE SLIDING WOOD SCREEN	25	30" KITCHEN AID GRILL, NATURAL GAS	08	PLANTED EDGE BOX WITH GLASS RAILING, 42" MIN. HEIGHT	17	24" WIDE ROLL-UP GARAGE DOOR, PTD. GRAY	26		09	WOOD TRELLIS	18	POOL EQUIPMENT ENCLOSURE	27		<p><b>HATCHES</b></p> <p>STUCCO</p> <p>WOOD</p> <p><b>TAGS</b></p> <p>DOOR TAG</p> <p>WINDOW TAG</p> <p>EQUIPMENT TAG</p> <p>FIXTURE TAG</p> <p>FINISH TAG</p> <p><b>LEGEND</b></p> <p>FINISH FLOOR ELEV.</p> <p>MATCHLINE</p> <p>REVISION</p> <p>EGRESS</p> <p><b>PARTITIONS</b></p> <p>NEW PARTITION (WITH TYPE TAG)</p> <p><b>DIMENSIONS</b></p> <p>FACE OF FINISH</p> <p>FACE OF FRAMING</p> <p>SCALE: 1/4" = 1'-0"</p> <p>DRAWING TITLE: ELEVATIONS</p> <p>SHEET NUMBER: A201</p> <p>02.08.2021</p>
01	CLASS A FIRE-RATED METAL STANDING SEAM ROOF	10	SKYLIGHT	19	WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" O.C. SPACING BETWEEN RAILS																																																			
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PROJECT NAME & ADDRESS:  
710 RESIDENCE  
710 PALMS BOULEVARD  
VENICE, CA 90291

LEGAL DESCRIPTION:  
APN: 424101021  
TRACT: VENICE PARK TRACT  
LOT: 3  
BLOCK: 6  
PROJECT NUMBER: 1830

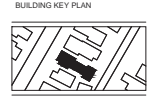
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VENICE, CA 90291

ARCHITECT:  
**BESTOR ARCHITECTURE**  
2030 HYPERION AVE | LOS ANGELES, CA 90007  
310-460-0309

CONSULTANTS:  
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STRUCTURAL ENGINEER:  
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2120 VESTAL AVE  
LOS ANGELES, CA 90026  
310-625-2325



SUBMITTAL RECORD:

#	DATE	SUBMITTAL NAME
01	01/05/2019	CSP APPLICATION
02	10/05/2019	CSP PRELIMINARY
03	10/05/2019	PERMIT SET
04	03/16/2020	CSP PRELIMINARY
05	06/05/2020	PERMIT PRELIMINARY
06	08/10/2020	PERMIT PRELIMINARY
07	10/15/2020	PERMIT PRELIMINARY
08	01/16/2021	CSP PRELIMINARY
09	04/08/2021	CSP PRELIMINARY