

**CALIFORNIA COASTAL COMMISSION**

SOUTH COAST DISTRICT OFFICE  
301 E. OCEAN BLVD, SUITE 300  
LONG BEACH, CA 90802  
VOICE (562) 590-5071  
FAX (562) 590-5084



**Th14b**

**A-5-VEN-20-0037 (HOLZMAN)**

**JANUARY 21, 2020**

**EXHIBITS**

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Exhibit 1 – Vicinity Map and Project Site

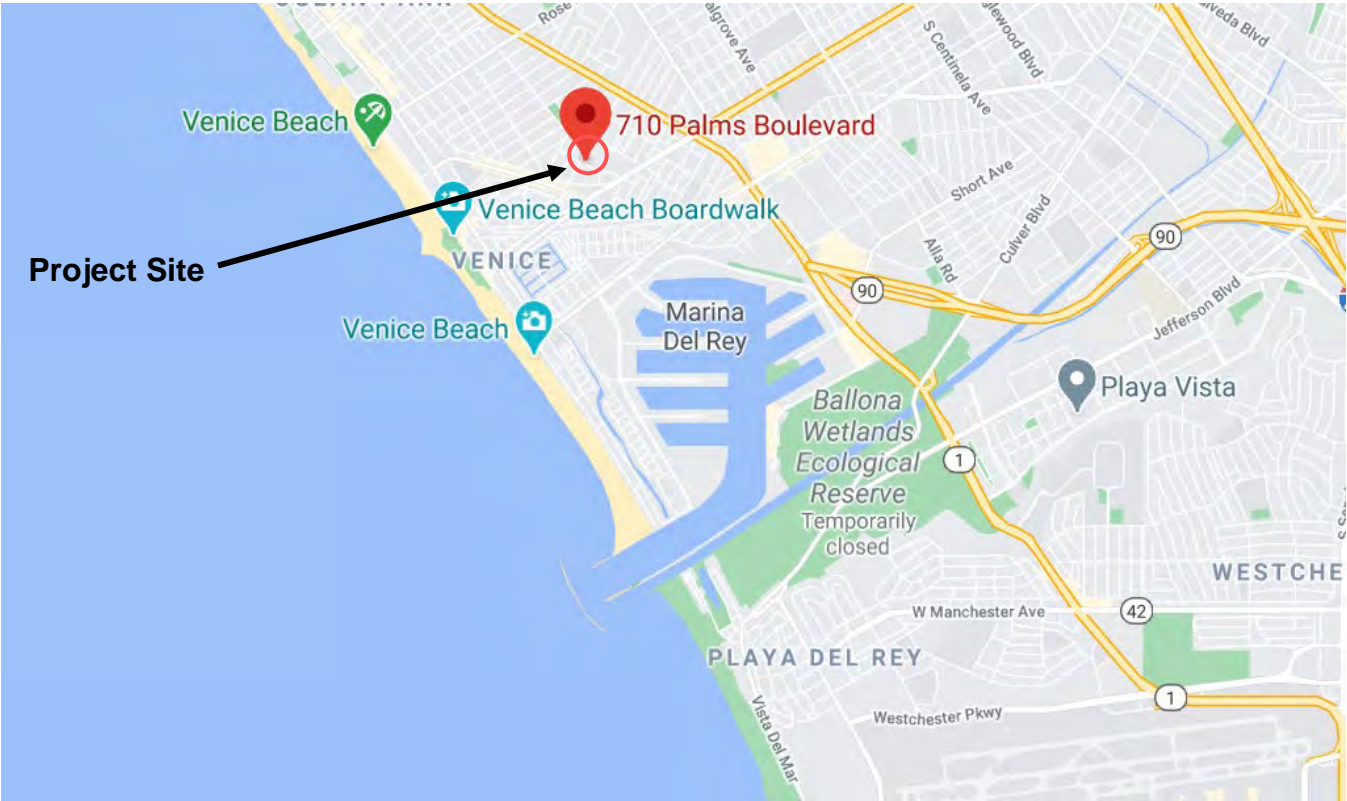
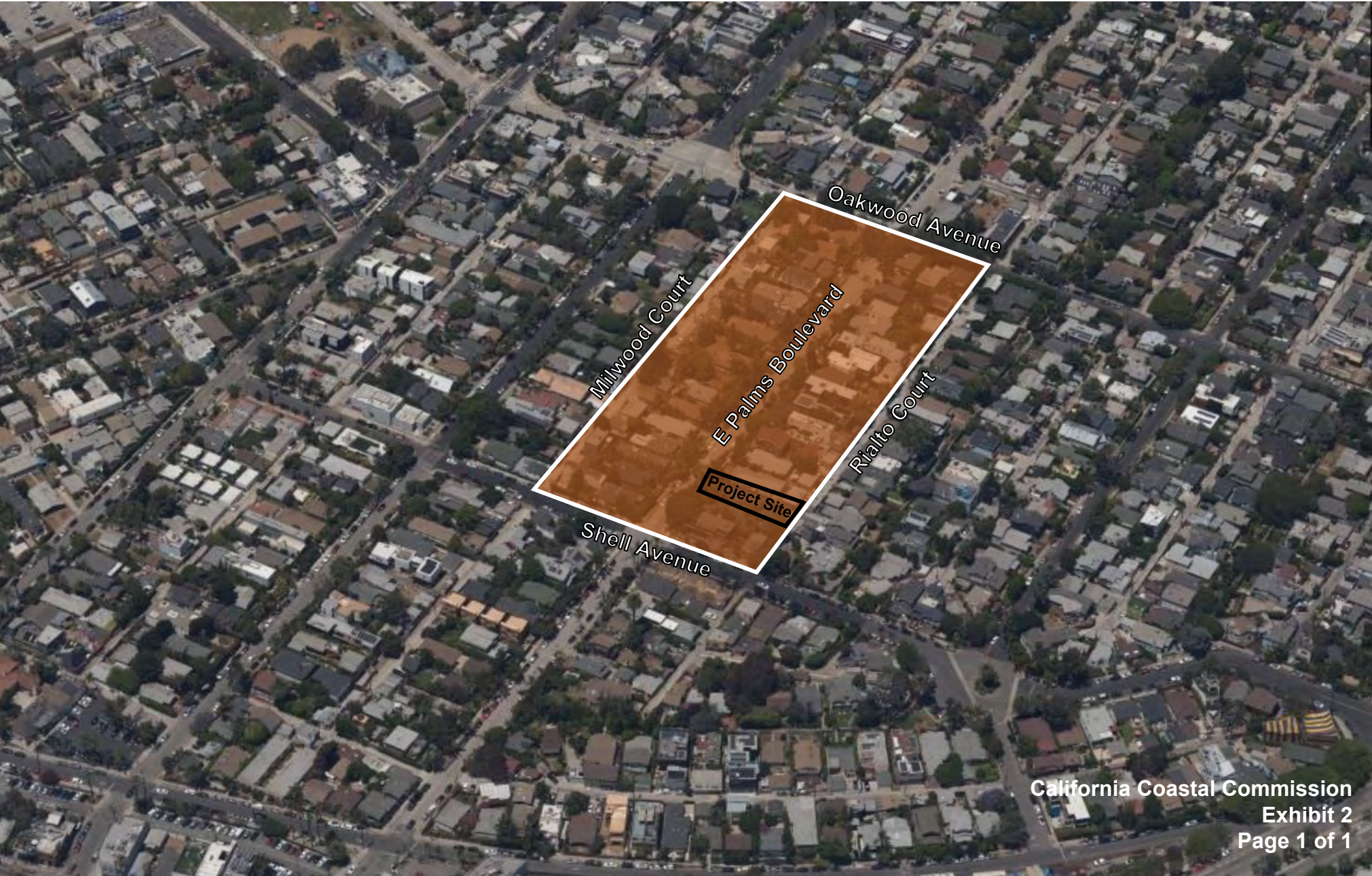


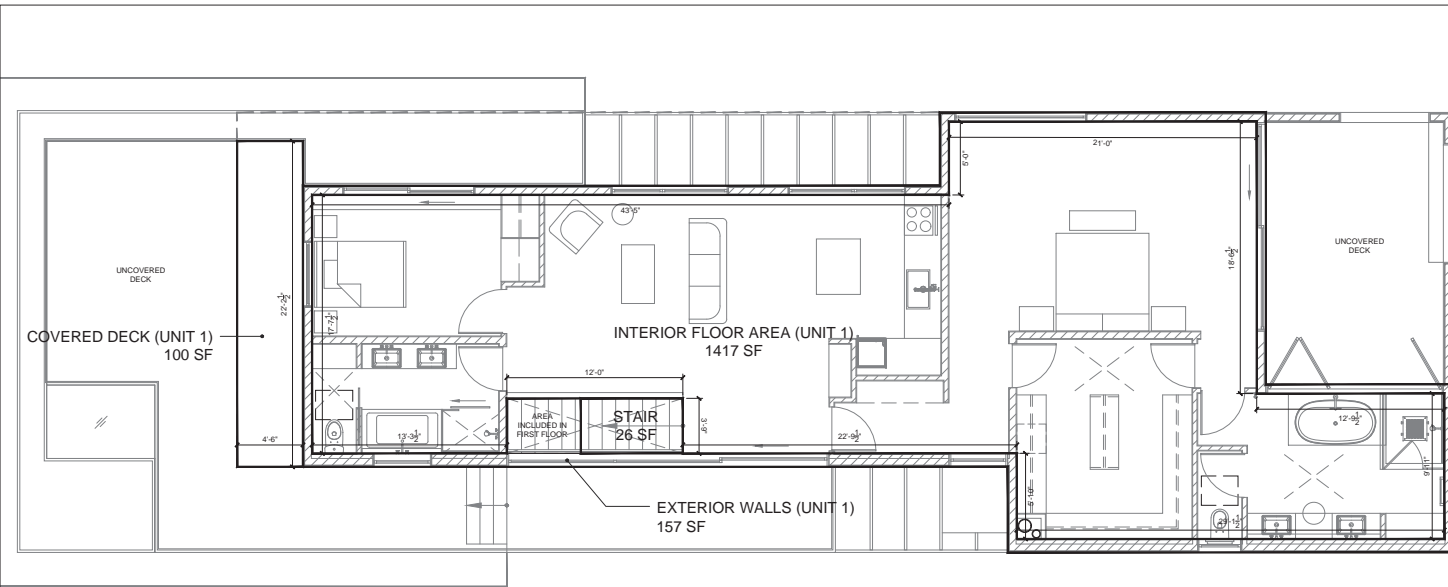


Exhibit 2 – Survey Area Map

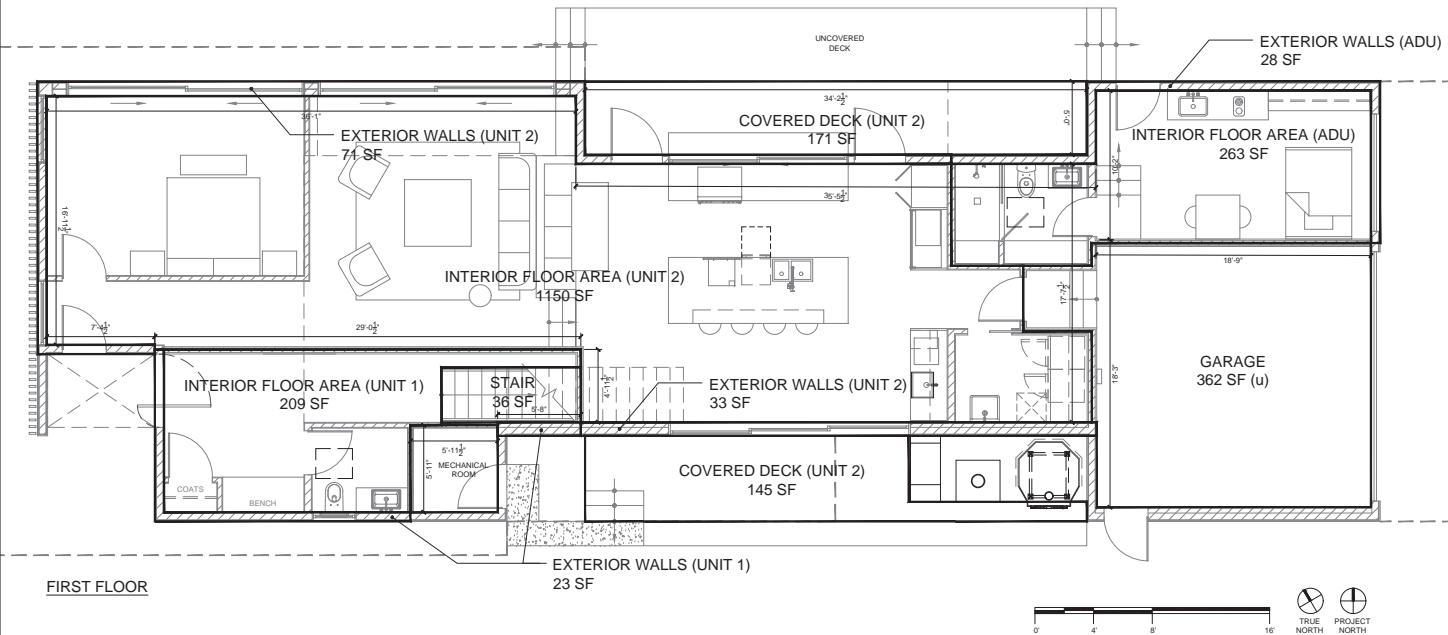




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SECOND FLOOR



FIRST FLOOR

FLOOR AREA DIAGRAMS



1/4" = 1'-0"

02

FLOOR AREA CALCULATIONS

1/4" = 1'-0"

01

PROJECT NAME & ADDRESS:  
710 RESIDENCE  
710 PALMS BOULEVARD  
VENICE, CA 90291

LEGAL DESCRIPTION:  
APN: 4241015021  
TRACT: VENICE PARK TRACT  
LOT: 3  
BLOCK: 6  
PROJECT NUMBER: 1830

OWNER:  
ELI & STEPHANIE HOLZMAN  
730 SUPERBA AVENUE  
VENICE, CA 90291

ARCHITECT:  
**BESTOR  
ARCHITECT  
TURE**

320 HYPERION AVE | LOS ANGELES, CA 90007  
323.465.0200

CONSULTANTS:  
GEOTECHNICAL ENGINEER:  
GROVER HOLLINGSWORTH &  
ASSOCIATES, INC.  
31129 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CA 91362  
T 818-889-0844

LAND USE CONSULTANT:  
PACIFIC CREST CONSULTANTS  
23622 CALABASAS RD, SUITE 100  
CALABASAS, CA 91302  
818-591-9309

STRUCTURAL ENGINEER:  
CRAG PHILLIPS ENGINEERING  
& DESIGN  
2120 VESTAL AVE  
LOS ANGELES, CA 90026  
310-625-2325



BUILDING KEY PLAN



SUBMITTAL RECORD:	
#	DATE
1	10/20/2019
2	10/20/2019
3	10/20/2019
4	10/20/2019
5	10/20/2019
6	10/20/2019
7	10/20/2019
8	10/20/2019
9	10/20/2019
10	10/20/2019

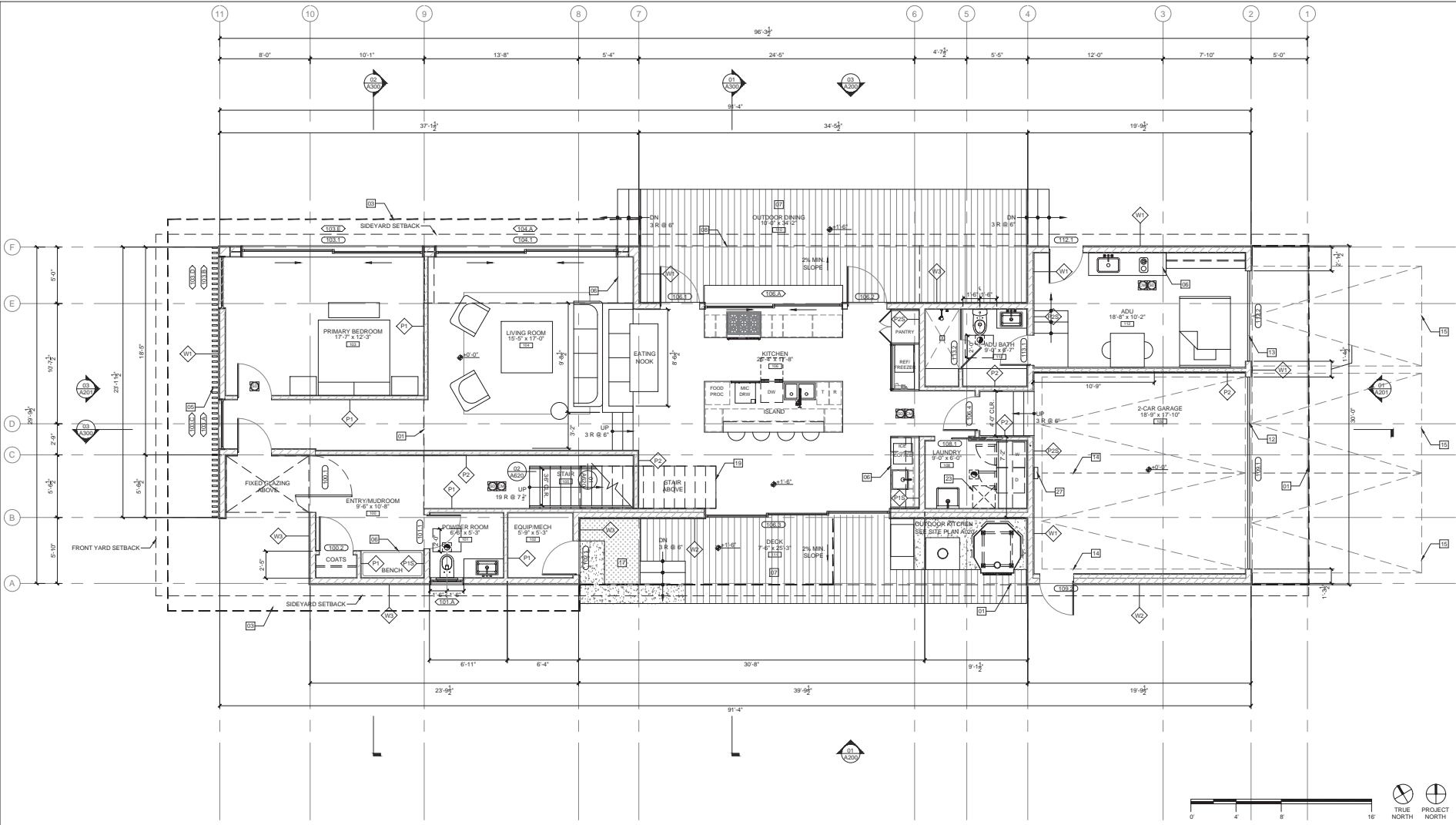
UNIT 1 - FIRST FLOOR	
INTERIOR FLOOR AREA	209 SF
STAIRS	26 SF (R3)
COVERED EXT. DECKS	0 SF
EXTERIOR WALLS	EXEMPT
MECHANICAL ROOMS	EXEMPT
GARAGE	EXEMPT
UNIT 1 - SECOND FLOOR	
INTERIOR FLOOR AREA	1417 SF
STAIRS	26 SF (R3)
COVERED EXT. DECKS	100 SF
EXTERIOR WALLS	EXEMPT
UNIT 2	
INTERIOR FLOOR AREA	1150 SF
COVERED EXT. DECKS	316 SF (R3)
EXTERIOR WALLS	EXEMPT
ADU	
INTERIOR FLOOR AREA	263 SF
EXTERIOR WALLS	EXEMPT

SHEET NUMBER

**G050**  
01.19.2021







FIRST FLOOR PLAN

PLAN NOTES										KEYNOTES										LEGEND																													
<p>1. ALL DIMENSIONS ARE FROM F.O. FRAMING TO F.O. FRAMING, UNLESS NOTED OTHERWISE.</p> <p>2. NEW HVAC SYSTEM SHALL BE MIN. 94% AFUE EFFICIENCY WITH 14.0 BEER RATING. ALL NEW DUCTS SHALL BE INSULATED MIN. R-4.2.</p> <p>3. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.</p> <p>4. SMOKE DETECTORS WITH BATTERY BACKUP AT ALL NEW CONSTRUCTION. A. ON THE WALL OR CEILING CENTRALLY LOCATED IN THE AREA GIVING ACCESS TO SLEEPING ROOM(S) AND IN SLEEPING ROOM(S). B. WHERE CEILING HEIGHT OF AN ADJACENT ROOM OPENS TO A HALLWAY (SERVING BEDROOMS) EXCEEDS THAT OF THE HALLWAY BY 24" OR MORE, DETECTOR SHALL BE PLACED IN THE ADJACENT ROOM AND WITHIN 12" OF HIGHEST POINT OF CEILING.</p> <p>5. PROVIDE CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1.</p>										<p>6. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 80 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE (R303.3).</p> <p>7. SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.</p> <p>8. CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.</p> <p>9. BATHROOM AND SHOWER FLOORS, WALLS ABOVE BATHROOMS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).</p> <p>10. FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULKS, PAINTS &amp; COATINGS, CARPET SYSTEMS, ETC. SHALL MEET THE (VOC) EMISSION LIMITS PER LAC083C CHAPTER 4 (R303).</p>										<p>11. GROUND-FAULT CIRCUIT-INTERUPTION (GFCI) FOR PERSONNEL SHALL BE PROVIDED AND INSTALLED IN READILY ACCESSIBLE LOCATION. (EC 210.8(A))</p> <p>12. ARC-FAULT CIRCUIT-INTERUPTION SHALL BE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (EC 210.12)</p> <p>13. BUILDING SHALL HAVE PLUMBING FIXTURES THAT MEET THE FLOW RATES SPECIFIED IN THE LOS ANGELES COUNTY GREEN BUILDING STANDARDS CODE.</p> <p>14. ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING TYPE VALVE. (PC 419)</p> <p>15. ALL NEW, REPLACEMENT AND EXISTING WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES, ONE IN THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4" ABOVE THE CONTROLS. (PC 508.2)</p> <p>16. AT EV CHARGING STATION LOCATION, MINIMUM 1" (INSIDE DIMENSIONS) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 200-AMP VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX, OR ENCLOSURE.</p> <p>17. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACES RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.</p> <p>18. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING(S) IF CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED BY CAPABLE.</p>										<p>01 LINE OF FLOOR ABOVE</p> <p>02 LINE OF FLOOR BELOW</p> <p>03 LINE OF ROOF ABOVE</p> <p>04 TRELLIS</p> <p>05 WOOD SLATS</p> <p>06 MILLWORK</p> <p>07 WOOD CEILING, SEE 020070</p> <p>08 LINE OF TRELLIS ABOVE</p> <p>09 WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" CLR. SPACING BETWEEN RAILS</p> <p>10 SKYLIGHT ABOVE</p> <p>11 MIN. 1/2" GLASS RAILING, 42" MIN. HEIGHT</p> <p>12 16" WIDE GARAGE DOOR</p> <p>13 6" WIDE GARAGE DOOR</p> <p>14 STANDARD PARKING STALL, SEE A200</p> <p>15 COMPACT PARKING STALL, SEE A200</p> <p>16 PARALLEL PARKING STALL, SEE A200</p> <p>17 PLANTING AREA, SEE SITE PLAN A200</p> <p>18 KITCHEN LADDER WITH METAL HANGING RAIL</p> <p>19 UNDER STAIR STORAGE</p> <p>20 WINDOW SEAT</p> <p>21 PLANTER</p> <p>22 STEEL H-COLUMN, PAINTED</p> <p>23 SOLID GUARDRAIL, 42" MIN. HEIGHT</p> <p>24 OPERABLE SLIDING WOOD SCREEN</p> <p>25 LINE OF ROOF BELOW</p> <p>26 LA PARKING LIFT+PUSH, LAAR #: 855047</p> <p>27 FUTURE EV CHARGING STATION, SEE PLAN NOTE 16-18</p>										<p>TAGS</p> <p>020080 DOOR TAG</p> <p>020080 WINDOW TAG</p> <p>08 EQUIPMENT TAG</p> <p>09 FIXTURE TAG</p> <p>10 PARTITION TAG</p> <p>16 REVISION</p> <p>MIN. 50% CFM EXHAUST FAN WITH BACKUP BATTERY (ENERGY STAR CERTIFIED)</p> <p>020080 FINISH FLOOR TAG</p> <p>020080 FINISH FLOOR ELEV.</p> <p>020080 CHANGE IN ELEV.</p> <p>020080 EGRESS</p> <p>020080 CARBON MONOXIDE ALARM</p> <p>020080 SMOKE DETECTOR</p> <p>PARTITIONS</p> <p>NEW WOOD PARTITION (WITH TYPE TAG)</p> <p>NEW CONCRETE PARTITION (WITH TYPE TAG)</p> <p>DIMENSIONS</p> <p>FACE OF FINISH</p> <p>FACE OF FRAMING</p>									

PROJECT NAME & ADDRESS:  
710 RESIDENCE  
710 PALMS BOULEVARD  
VENICE, CA 90291

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APN: 4241015021  
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LOT: 3  
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PROJECT NUMBER: 1830

OWNER:  
ELI & STEPHANIE HOLZMAN  
730 SUPERBA AVENUE  
VENICE, CA 90291

ARCHITECT:  
**BESTOR ARCHITECTURE**  
2030 HYPERION AVE | LOS ANGELES, CA 90027  
310-465-0289

CONSULTANTS:  
GEOTECHNICAL ENGINEER:  
GROVER HOLLINGSWORTH & ASSOCIATES, INC.  
31129 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CA 91362  
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LAND USE CONSULTANT:  
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CALABASAS, CA 91302  
818-591-9309

STRUCTURAL ENGINEER:  
CRANG PHILLIPS ENGINEERING & DESIGN  
2132 WESTLAKE AVE  
LOS ANGELES, CA 90026  
310-625-2325

**LICENSED ARCHITECT**  
BARBARA BESTOR  
C/26132  
Ren  
STATE OF CALIFORNIA

BUILDING KEY PLAN

SUBMITTAL RECORD:

#	DATE	SUBMITTAL NAME
01	10/20/2019	CSP APPLICATION
02	10/20/2019	CSP PRELIMINARY
03	10/20/2019	PERMIT SET
04	03/16/2020	CSP PRELIMINARY
05	03/16/2020	PERMIT PRELIMINARY
06	03/16/2020	PERMIT PRELIMINARY
07	03/16/2020	PERMIT PRELIMINARY
08	03/16/2020	PERMIT PRELIMINARY
09	03/16/2020	PERMIT PRELIMINARY
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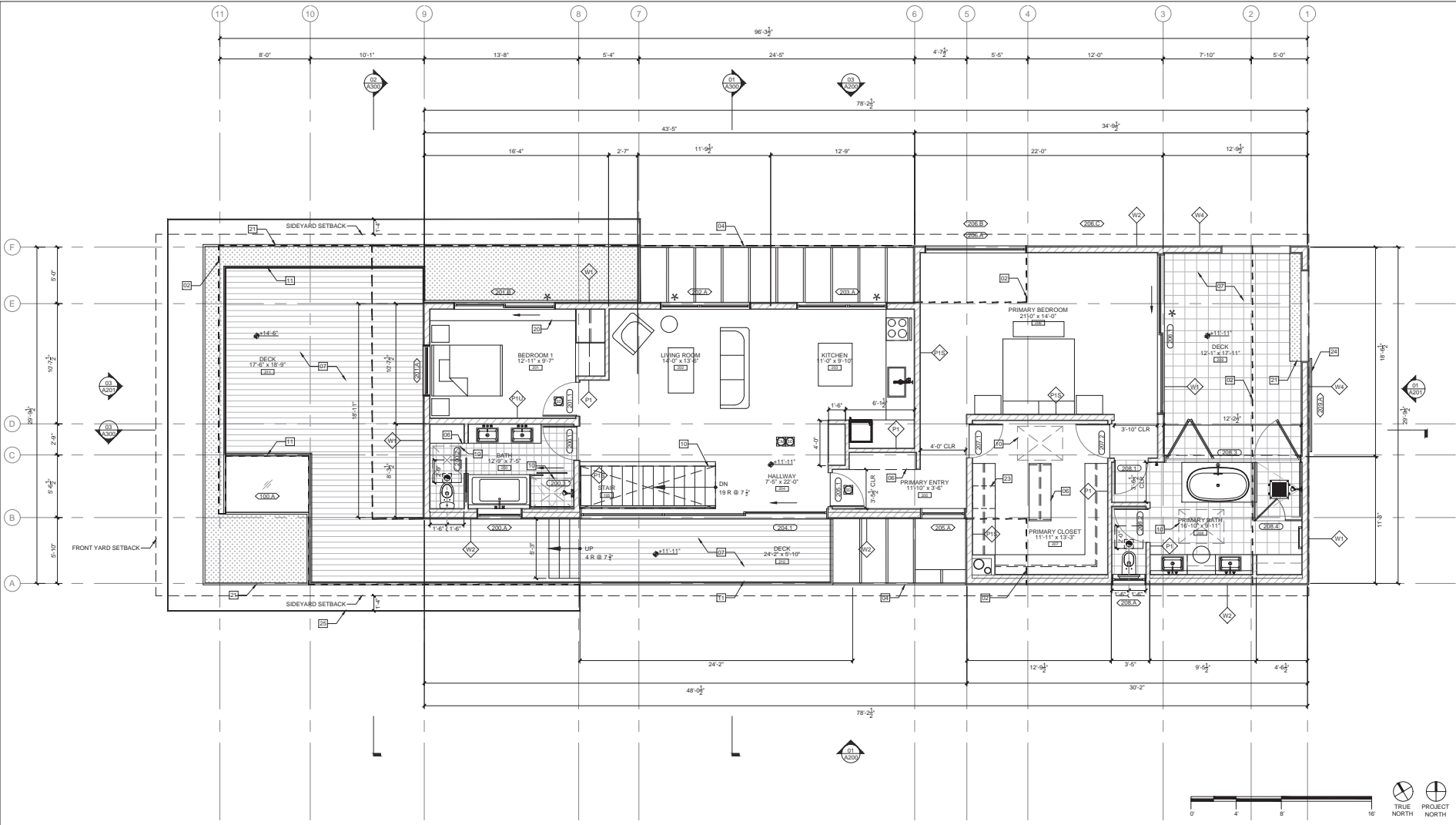
SCALE  
1" = 1'-0"

DRAWING TITLE  
FIRST FLOOR PLAN

SHEET NUMBER  
A100

01.19.2021





PLAN NOTES				KEYNOTES				LEGEND			
1. ALL DIMENSIONS ARE FROM F.O. FRAMING TO F.O. FRAMING, UNLESS NOTED OTHERWISE.				10. SKYLIGHT ABOVE				TAGS			
2. NEW HVAC SYSTEM SHALL BE MIN. 94% AFUE EFFICIENCY WITH 14.0 BEER RATING. ALL NEW DUCTS SHALL BE INSULATED MIN. R-4.2.				11. MIN. 3" GLASS RAILING, 42" MIN. HEIGHT				DOOR TAG			
3. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.				12. 16'-0" WIDE GARAGE DOOR				WINDOW TAG			
4. SMOKE DETECTORS WITH BATTERY BACKUP AT ALL NEW CONSTRUCTION, & ON THE WALL OR CEILING CENTRALLY LOCATED IN THE AREA GIVING ACCESS TO SLEEPING ROOMS AND IN SLEEPING ROOMS & WHERE CEILING HEIGHT OF AN ADJACENT ROOM OPENS TO A HALLWAY SERVING BEDROOMS EXCEEDS THAT OF THE HALLWAY BY 4' OR MORE, DETECTOR SHALL BE PLACED IN THE ADJACENT ROOM AND WITHIN 12' OF HIGHEST POINT OF CEILING.				13. 8'-0" WIDE GARAGE DOOR				EQUIPMENT TAG			
5. PROVIDE CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1.				14. STANDARD PARKING STALL, SEE A200				FIXTURE TAG			
6. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 60 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE (R303.3).				15. COMPACT PARKING STALL, SEE A200				FINISH TAG			
7. SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.				16. PARALLEL PARKING STALL, SEE A200				MIN. 50 CFM EXHAUST FAN ON HUMIDISTAT (ENERGY STAR CERTIFIED)			
8. CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.				17. PLANTING AREA, SEE SITE PLAN A200				FINISH FLOOR TAG			
9. BATHUBS AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).				18. LA PARKING LIFTS PLUS, LAOR #: 550547				FINISH FLOOR ELEV.			
10. FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULK, PAINTS & COATINGS, CARPET SYSTEMS, ETC. SHALL MEET THE (VOC) EMISSION LIMITS PER LACGBSC CHAPTER 4 (R303).				19. FUTURE EV CHARGING STATION, SEE PLAN NOTE 16-18				CHANGE IN ELEV.			
11. GROUND-FAULT CIRCUIT-INTERUPTION (GFCI) FOR PERSONNEL SHALL BE PROVIDED AND INSTALLED IN READILY ACCESSIBLE LOCATION. (EC 210.8(A))				20. UNDER STAIR STORAGE				EGRESS			
12. ARC-FAULT CIRCUIT-INTERUPTION SHALL BE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (EC 210.12)				21. WINDOW SEAT				REVISION			
13. BUILDING SHALL HAVE PLUMBING FIXTURES THAT MEET THE FLOW RATES SPECIFIED IN THE LOS ANGELES COUNTY GREEN BUILDING STANDARDS CODE.				22. STEEL H-COLUMN, PAINTED				CARBON MONOXIDE ALARM			
14. ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE BALANCE/THERMOSTATIC MIXING TYPE VALVE. (PC 419)				23. OPERABLE SLIDING WOOD SCREEN				SMOKE DETECTOR			
15. ALL NEW, REPLACEMENT AND EXISTING WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES, ONE IN THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4" ABOVE THE CONTROLS. (PC 508.2)				24. LINE OF ROOF BELOW				DIMENSIONS			
16. AT EV CHARGING STATION LOCATION, MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 200-AMP VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX, OR ENCLOSURE.				25. LINE OF ROOF BELOW				FACE OF FINISH			
17. THE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE (P.O.D.) RESERVED FOR FUTURE EV CHARGING, IF CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED BY CAPABLE.				26. LINE OF ROOF BELOW				FACE OF FINISH			
18. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE (P.O.D.) RESERVED FOR FUTURE EV CHARGING, IF CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED BY CAPABLE.				27. FUTURE EV CHARGING STATION, SEE PLAN NOTE 16-18				FACE OF FINISH			

PROJECT NAME & ADDRESS:  
719 RESIDENCE  
710 PALMS BOULEVARD  
VENICE, CA 90291

LEGAL DESCRIPTION:  
APN: 4241015021  
TRACT: VENICE PARK TRACT  
LOT: 3  
BLOCK: 6  
PROJECT NUMBER: 1830

OWNER:  
ELI & STEPHANIE HOLZMAN  
730 SUPERBA AVENUE  
VENICE, CA 90291

ARCHITECT:  
**BESTOR ARCHITECTURE**  
2030 HYPERION AVE | LOS ANGELES, CA 90007  
310-465-0899

CONSULTANTS:  
GEOTECHNICAL ENGINEER:  
GROVER HOLLINGSWORTH & ASSOCIATES, INC.  
31129 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CA 91362  
T 818-889-0844

LAND USE CONSULTANT:  
CHAS PHILLIPS ENGINEERING & DESIGN  
2120 NESTAL AVE  
LOS ANGELES, CA 90026  
310-625-2325

STRUCTURAL ENGINEER:  
CHAS PHILLIPS ENGINEERING & DESIGN  
2120 NESTAL AVE  
LOS ANGELES, CA 90026  
310-625-2325

**LICENSED ARCHITECT**  
BARBARA BESTOR  
C/26132  
State of California

BUILDING KEY PLAN

SUBMITTAL RECORD:




#	DATE	SUBMITTAL NAME
01	10/20/2024	CSP APPLICATION
02	12/05/2024	CSP PERMITS/ITL
03	10/20/2024	PERMIT SET
04	03/16/2025	CSP PERMITS/ITL
05	06/05/2025	PERMIT PERMITS/ITL
06	08/11/2025	PERMIT PERMITS/ITL
07	10/15/2025	PERMIT PERMITS/ITL
08	01/15/2026	CSP PERMITS/ITL

SCALE  
1/4" = 1'-0"

DRAWING TITLE  
SECOND FLOOR PLAN

SHEET NUMBER  
**A101**  
01.19.2021



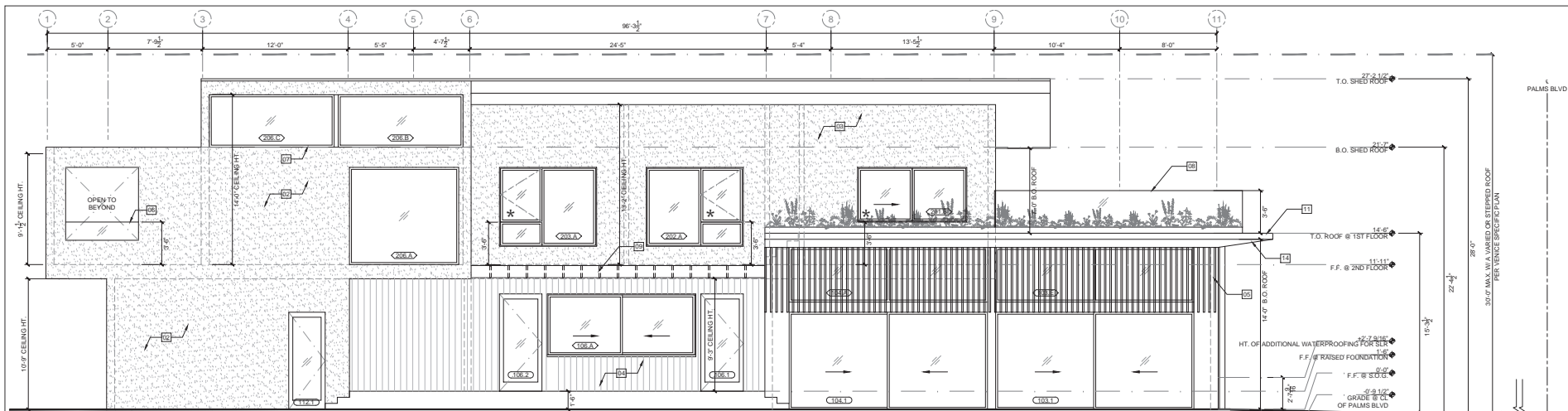
#	DATE	SUBMITTAL NAME
01	12/10/2018	CDP APPLICATION
02	12/02/2019	CDP RESUBMITTAL
03	12/02/2019	PERMIT SET
04	03/18/2020	CDP RESUBMITTAL
	05/18/2020	PERMIT RESUBMITTAL
	08/17/2020	PERMIT RESUBMITTAL
	12/10/2020	PERMIT RESUBMITTAL
05	01/19/2021	CDP RESUBMITTAL

SCALE  
 $\frac{1}{4}" = 1'-0"$

DRAWING TITLE  
 ROOF PLAN

SHEET NUMBER

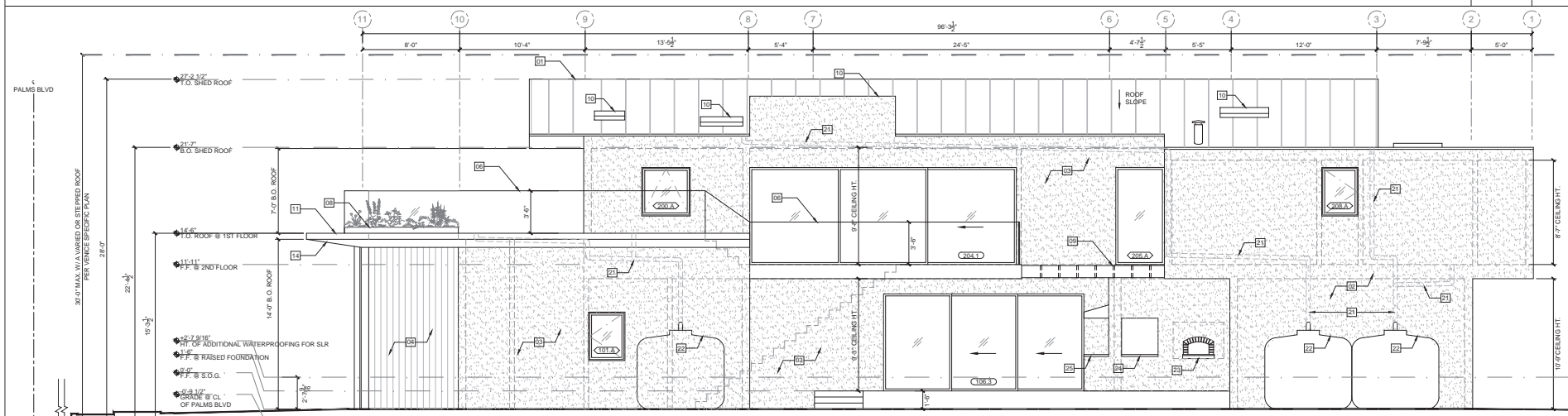
**A102**  
01.19.2021



NORTH ELEVATION

1/4" = 1'-0"

03



SOUTH ELEVATION

1/4" = 1'-0"

01

ELEVATION NOTES	KEYNOTES	LEGEND
<p>1. SEE SCHEDULES FOR ALL DOOR, WINDOW, AND EQUIPMENT DETAILS AND SPECIFICATIONS.</p> <p>2. VERIFY ALL DIMENSIONS ON SITE.</p> <p>3. NOTIFY ARCHITECT FOR ANY DISCREPANCIES BETWEEN SITE AND PLAN.</p> <p>4. ALL DIMENSIONS FROM FACE OF FINISH TO FACE OF FINISH.</p> <p>5. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 4 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS.</p> <p>6. THE ELEVATION OF THE WATER LEVEL THAT WOULD OCCUR WITH 6.6' OF ANTICIPATED SLR EXPECTED BY THE YEAR 2100 HAS BEEN NOTED ON THE ELEVATIONS. ALL EXTERIOR WALLS TO BE SEALED FOR ADDITIONAL WATER PROOFING UP TO 2.62' (2'-7 1/2") ABOVE LOWEST F.F. AS INDICATED.</p>	<p>01 CLASS A FIRE-RATED METAL STANDING SEAM ROOF</p> <p>02 STUCCO, PTD. WHITE</p> <p>03 STUCCO, PTD. BLACK</p> <p>04 WOOD SIDING</p> <p>05 WOOD SLATS</p> <p>06 MIN. 1/2" GLASS RAILING, 42" MIN. HEIGHT</p> <p>07 CLERESTORY WINDOWS</p> <p>08 PLANTED EDGE BOX WITH GLASS RAILING, 42" MIN. HEIGHT</p> <p>09 WOOD TRELLIS</p> <p>10 SKYLIGHT</p> <p>11 CLASS A FIRE-RATED BUILT-UP ROOF</p> <p>12 16" WIDE ROLL-UP GARAGE DOOR</p> <p>13 6" WIDE ROLL-UP GARAGE DOOR</p> <p>14 WD. SIDING OVER 1/2" TYPE 'X' GYP. PER CBC 707A.3 TYP.</p> <p>15 GRAY SIDING, TO MATCH PERIMETER FENCE</p> <p>16 OPERABLE SLIDING WOOD SCREEN</p> <p>17 24" WIDE ROLL-UP GARAGE DOOR, PTD. GRAY</p> <p>18 POOL EQUIPMENT ENCLOSURE</p> <p>19 WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" CLR. SPACING BETWEEN RAILS</p> <p>20 4" DOWNPOUT TO LID BMP</p> <p>21 4" INTERNAL DOWNPOUT TO LID BMP</p> <p>22 530-GALLON RAIN TANK, SEE 02A022</p> <p>23 MUDMAN PIZZA OVEN, 54" WIDE MEDIA-W/ PROFESSIONAL, ACR BUILT IN</p> <p>24 36" J.R. WOOD SHOW BROILER</p> <p>25 30" KITCHEN AID GRILL, NATURAL GAS</p> <p>26</p> <p>27</p>	<p><b>HATCHES</b></p> <p>STUCCO</p> <p>WOOD</p> <p><b>TAGS</b></p> <p>DOOR TAG</p> <p>WINDOW TAG</p> <p>EQUIPMENT TAG</p> <p>FIXTURE TAG</p> <p>FINISH TAG</p> <p><b>LEGEND</b></p> <p>FINISH FLOOR ELEV.</p> <p>MATCHLINE</p> <p>REVISION</p> <p>EGRESS</p> <p><b>PARTITIONS</b></p> <p>NEW PARTITION (WITH TYPE TAG)</p> <p><b>DIMENSIONS</b></p> <p>FACE OF FINISH</p> <p>FACE OF FRAMING</p>

PROJECT NAME & ADDRESS:  
710 RESIDENCE  
710 PALMS BOULEVARD  
VENICE, CA 90291

LEGAL DESCRIPTION:  
APN: 4241015021  
TRACT: VENICE PARK TRACT  
LOT: 3  
BLOCK: 6  
PROJECT NUMBER: 1830

OWNER:  
ELI & STEPHANIE HOLZMAN  
730 SUPERBA AVENUE  
VENICE, CA 90291

ARCHITECT:  
**BESTOR ARCHITECTURE**  
2030 HYPERION AVE (LOS ANGELES, CA 90027)  
323-465-0209

CONSULTANTS:  
GEOTECHNICAL ENGINEER:  
GROVER HOLLINGSWORTH & ASSOCIATES, INC.  
31129 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CA 91362  
T 818-589-0844

LAND USE CONSULTANT:  
PACIFIC CREST CONSULTANTS  
23622 CALABASAS RD, SUITE 100  
CALABASAS, CA 91302  
818-591-9309

STRUCTURAL ENGINEER:  
CRAG PHILLIPS ENGINEERING & DESIGN  
2103 WESTLAKE AVE  
LOS ANGELES, CA 90026  
310-625-2325



BUILDING KEY PLAN



SUBMITTAL RECORD:

#	DATE	SUBMITTAL NAME
01	10/20/2019	CSP APPLICATION
02	10/20/2019	CSP PRELIMINARY
03	10/20/2019	PERMIT SET
04	03/16/2020	CSP PRELIMINARY
05	03/16/2020	PERMIT PRELIMINARY
06	03/16/2020	PERMIT PRELIMINARY
07	03/16/2020	PERMIT PRELIMINARY
08	03/16/2020	CSP PRELIMINARY

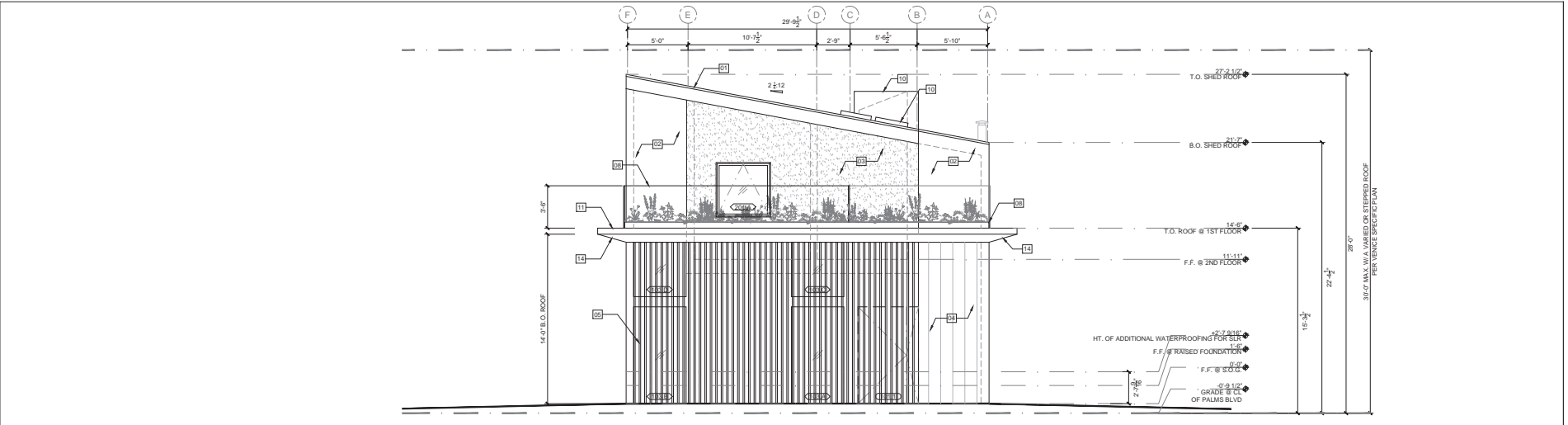
SCALE  
1" = 1'-0"

DRAWING TITLE  
ELEVATIONS

SHEET NUMBER

**A200**  
01.19.2021

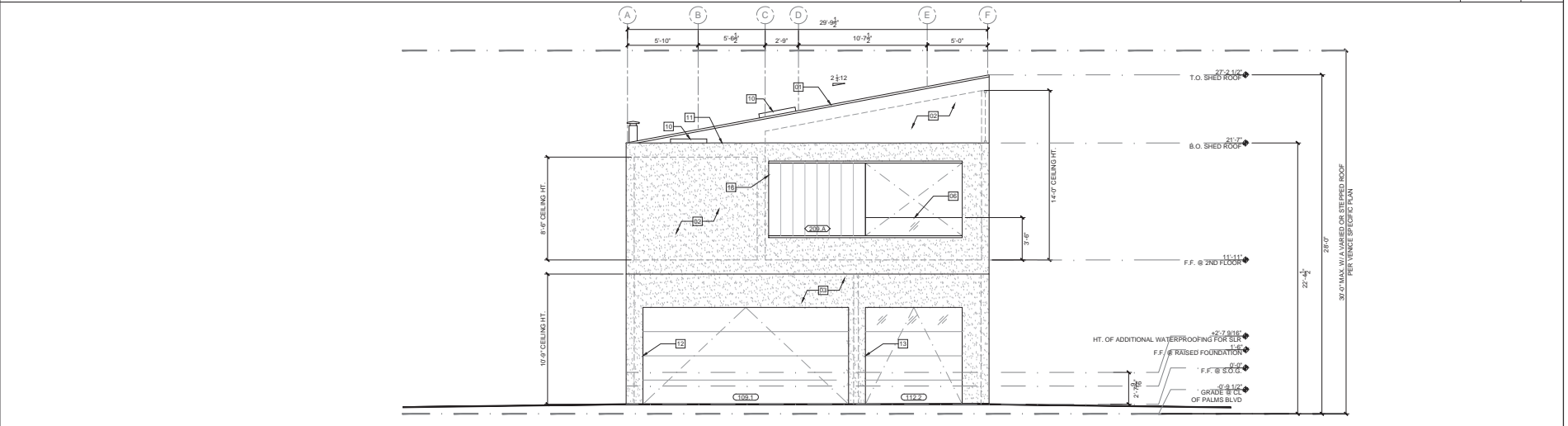




WEST ELEVATION

1/4" = 1'-0"

03



EAST ELEVATION

1/4" = 1'-0"

01

ELEVATION NOTES	KEYNOTES	LEGEND																											
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PROJECT NAME & ADDRESS:  
710 RESIDENCE  
710 PALMS BOULEVARD  
VENICE, CA 90291

LEGAL DESCRIPTION:  
APN: 424101021  
TRACT: VENICE PARK TRACT  
LOT: 3  
BLOCK: 6  
PROJECT NUMBER: 1830

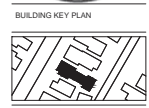
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STRUCTURAL ENGINEER:  
CRAG PHILLIPS ENGINEERING & DESIGN  
2120 VESTAL AVE  
LOS ANGELES, CA 90026  
310-625-2325



SUBMITTAL RECORD:	
#	DATE
11	01/19/2021
02	02/03/2021
03	02/03/2021
04	03/16/2021
05	04/16/2021
06	04/16/2021
07	04/16/2021
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27	04/16/2021