

**CALIFORNIA COASTAL COMMISSION**

SOUTH COAST DISTRICT OFFICE  
301 E. OCEAN BLVD, SUITE 300  
LONG BEACH, CA 90802-4325  
VOICE (562) 590-5071  
FAX (562) 590-5084



# Th14c

## ADDENDUM

DATE: February 9, 2020

TO: Coastal Commissioners and Interested Parties

FROM: South Coast District Staff

SUBJECT: **ADDENDUM TO ITEM TH14C, DE NOVO APPLICATION NO. A-5-VEN-20-0039 FOR THE COMMISSION MEETING OF THURSDAY, FEBRUARY 11, 2021.**

---

### I. PUBLIC CORRESPONDENCE

Since publication of the staff report on January 21, 2020, Commission staff has received one comment letter from Citizens Preserving Venice, the appellants of Appeal Nos. A-5-VEN-20-0039. The letter opposes the staff recommendation of approval for the project after de novo review, as summarized below and included within the Public Correspondence for this item.

The letter identifies concerns with the applicant's project design and questions whether the new duplexes proposed on adjacent lots (related but separate Items Th14b and Th14c) will be sufficient to maintain the multi-family community character of the surrounding area. The contentions raised by Citizens Preserving Venice (in bold) and staff's responses are detailed below:

- (1) **The proposed duplex has been reduced in habitable area to accommodate a new pool and landscaped yard on-site, resulting in units too small to function as viable housing options.** Commission staff recognize that the proposed duplex is approximately 210 sq. ft. smaller in habitable area than the existing duplex on-site. However, this reduction in size is minor. As discussed in the staff report findings on page 12, the two existing duplex units (768 sq. ft. and 1,200 sq. ft. in habitable area) are relatively similar in size to the currently-proposed duplex units (718 sq. ft. and 730 sq. ft.). Regarding the accessory dwelling unit (ADU), page 12 of the staff report discusses the sufficient amenities provided by the ADU and its feasibility as a housing option.
- (2) **The similarity of the revised plans with the appealed project plans suggests the applicants intend to ultimately convert the duplex into a single-family**

**residence.** The staff report includes findings on page 9 discussing the design of each proposed, separate dwelling unit, all of which will be accessed from separate entrances. In addition, Commission staff further addressed this concern through the revision of Special Condition 1 to require maintenance of two duplex units on-site with no construction of ingress/egress between duplex units.

**(3) The two adjacent duplexes may share access to the pool proposed for 714-716 E. Palms Blvd, creating a functional compound without the need for a lot consolidation.** The project plans, included as Exhibit 3 of the staff report, show a 6-ft. high wood fence and gate enclosing the perimeter of each separate duplex. The two duplexes have been designed with distinct parking spaces, yard areas, and units, all of which suggest two separate multi-family residences. The letter indicates a previous Commission finding of substantial issue on two projects at 416-422 Grand Blvd.<sup>1</sup> as a relevant example. However, these projects involved the construction of a primary single-family residence and smaller secondary residence arranged around a shared pool area, resulting in a loss of housing density and a consolidated compound. As such, this past Commission action is distinct from the current projects which will preserve housing density and include 6-ft. high fences around the perimeter of each separate duplex.

**(4) The proposed parking configuration on-site is infeasible and will likely require residents to park off-site.** To address this concern, the project applicant has submitted the following description of the five parking spaces proposed within the rear-yard on-site:

“Unit 1 and Unit 2 share an enclosed garage. Within this garage, Unit 1 has one standard parking space and one compact parking space provided by the top level of the vehicle lift platform. The lower level of the vehicle lift is reserved for one compact guest parking space, which can be accessed and used without knowledge of the lift system. Unit 2 has one compact parking stall provided within the enclosed garage. Outside of the garage, Unit 2 has one standard parking stall shown in parallel. This parallel stall is shown as such to meet LADBS back up aisle requirements. Per code, the back up space provided within a parallel stall makes the stall appear to be in tandem with the Unit 1 parking spaces. In reality, the size of a single car within the space shown will exist in tandem only with the other space provided for Unit 2, using this additional back up space only when entering and exiting the space.”

**(5) The project plans show discrepancies in estimated areas and setback lengths, as well as mis-labeled or missing amenities throughout the units** The applicants have submitted plans (dated February 8, 2021) revised to correct inaccuracies and more clearly show the location of the proposed bathrooms and dining areas throughout the units. It is important to note that these revised plans have not altered any of the area estimations proposed with the plans dated January 19, 2021. The plans dated February 8, 2021 shall replace the plans included in Exhibit 3 of the staff report and are attached to this addendum. Commission staff

---

<sup>1</sup> ref. Appeal Nos. [A-5-VEN-15-0026](#) and [A-5-VEN-15-0027](#)

have also compiled the following table, which lists relevant parameters of the existing and proposed development:

*Parameters for 714-716 E. Palms Blvd.*

<b>Proposed</b>	<b>Area (sq. ft.)</b>	<b>Existing</b>	<b>Area (sq. ft.)</b>
Unit 1 (excluding decks)	718	Unit 1	768
Unit 2 (excluding decks)	730	Unit 2	1,200
ADU	310	N/A	N/A
Total habitable area	1,758	Total habitable area	1,968
Pool	738	N/A	N/A
Landscaped yard	709	Landscaped yard	Unknown
Garage (attached)	523	Garage (detached)	627
Parking on-site	5 spaces	Parking on-site	3 spaces

## **II. REVISIONS TO STAFF REPORT**

Commission staff recommends changes to the staff report dated January 21, 2020 to make the following corrections and modifications. These revisions are necessary to clarify discrepancies in the project area estimations due to incorrect inclusion of attached deck area in the total habitable area for each unit. Additionally, all references to a junior accessory dwelling unit (JADU) shall be modified to reflect an accessory dwelling unit (ADU) in the staff report findings consistent with the JADU/ADU terminology of the State ADU laws and the Los Angeles Municipal Code. Language to be added is shown in underlined text, and language to be deleted is identified by ~~strikethrough~~.

- a) Correct the first sentence of the project description on page 1 as follows:

Demolition of a one-story, 1,968 sq. ft. duplex and detached three-car garage, and construction of a two-story, 29.5-ft. tall, ~~1,540~~ 1,448 sq. ft. duplex with an attached three-car garage, plus two additional on-site parking spaces, and an attached 310 sq. ft. ~~junior~~ accessory dwelling unit on a 5,299 sq. ft. lot.

- b) Correct the first incomplete paragraph of the "Summary of Staff Recommendation" on page 1 as follows:

On ~~November~~ October 8, 2020, the Commission determined that a substantial issue existed with respect to the grounds on which Appeal No. A-5-VEN-20- 0039 was filed: primarily, that the project as approved by the City was inconsistent with the unique multi-family character of the area and contributed to an adverse trend in loss of housing density. The applicant subsequently revised the project to address these and now proposes the demolition of the existing one-story, 1,968 sq. ft. duplex and detached three-car garage, and construction of a new two-story, 29.5-ft. tall, ~~1,540~~ 1,448 sq. ft. duplex with an attached 310 sq. ft JADU and five on-site parking spaces.

- c) Modify the first sentence of the third complete paragraph on page 2 as follows:

Therefore, staff recommends approval of the de novo coastal development permit (CDP) A-5-VEN-20-0039 with eight (8) special conditions: 1) Permit Compliance Retention of Two Duplex Units On-Site; 2) Los Angeles Department of Building and Safety Approval, 3) Local Government Approval; 4) Final Parking Plan; 5) Construction Best Management Practices, 6) Landscaping, 7) Assumption of Risk, and 8) Deed Restriction.

- d) Modify Special Condition 1 on page 5 as follows:

~~1. Permit Compliance. The permittee shall undertake and maintain the development in conformance with the special conditions of the permit and the final plans, including but not limited to duplex, the junior accessory dwelling unit (JADU), and the on-site parking plans. Any proposed changes to the approved plans shall be reported to the Executive Director in order to determine if the proposed change shall require a permit amendment pursuant to the requirements of the Coastal Act and the California Code of Regulations. No changes to the approved plans shall occur without a Commission approved permit amendment unless the Executive Director determines that no permit amendment is required.~~ Retention of Two Duplex Units On-Site. The development approved by Coastal Development Permit No. A-5-VEN-20-0039 is for construction of a duplex with a 310 square foot accessory dwelling unit (ADU). The applicants and all assigns/successors shall maintain two duplex units as separate residential units. At no point may the duplex be converted into a single-family residence or converted to a non-residential use. Construction of interior ingress and egress (doors) between duplex units are prohibited.

- e) Correct the fourth sentence of the first complete paragraph on page 9 as follows:

On ~~November~~ October 8, 2020, the Commission determined that a substantial issue existed with respect to the grounds on which Appeal No. A-5-VEN-20-0039 was filed because the approved project was inconsistent with the unique multi-family character of the area and prejudiced the City's ability to prepare a certified LCP consistent with the Coastal Act.

- f) Correct the first and second sentence of the second complete paragraph on page 9 as follows:

The project now proposes demolition of the existing duplex and construction of a new two-story, 29.5-ft. high, ~~4,540~~ 1,448 sq. ft. duplex with a 310 sq. ft. JADU located on the first floor (Exhibit 3). The JADU will include ~~one bedroom~~, one bathroom with a window, a kitchen, and a side-yard entrance separate from those of the other residential units.

- g) Correct the fifth sentence of the second complete paragraph on page 9 as follows:

The second unit, approximately ~~822~~ 730 sq. ft. in area, is accessed from the first floor and occupies both levels of the residence.

- h) Correct the fourth and fifth sentences of the third complete paragraph on page 9 as follows:

The project also includes a 738 sq. ft. swimming pool in the front-yard that extends up to 7-ft. deep and is proposed within the ~~45~~ 14.7-ft. front-yard setback. In addition to a ~~45~~ 14.7-ft. front-yard setback, the development will retain a ~~45~~ 14.7-ft. setback in the rear-yard and 4-ft. setbacks in the side-yards.

- i) Correct the second sentence of the second incomplete paragraph on page 12 as follows:

The proposed project will replace the existing duplex with two units that are proportional to one another in size (718 sq. ft. and ~~822~~ 730 sq. ft.).

- j) Modify the fourth sentence of the second incomplete paragraph on page 12 as follows:

To further ensure the maintenance of housing density, Special Condition 1 requires the ~~development to be carried out in a manner consistent with the proposed duplex and JADU and~~ applicants to maintain two duplex units on-site and prohibits construction of ingress or egress (doors) between the duplex units. Special Condition 8 requires the applicant to record a deed restriction imposing the special conditions of the permit as restrictions for use of the property.

- k) Correct the second sentence of the fourth complete paragraph on page 13 as follows:

The proposed development includes ~~45~~ 14.7-ft. front and rear-yard setbacks, as well as 4-ft. side-yard setbacks, that will be compatible with the surrounding residence setbacks.

- l) Correct the third sentence of the first complete paragraph on page 14 as follows:

Regarding mass and scale, tables 1-3 show that the proposed total habitable area of the duplex (~~4,850~~ 1,758 sq. ft.) is comparable in size to multiple original and redeveloped surrounding homes.

- m) Modify the third sentence of the second incomplete paragraph on page 14 as follows:

To ensure that the new multi-family residence maintains the community character of the area, Special Condition 1 requires the ~~development to be carried out in a~~

~~manner consistent with the proposed plans, including the construction of the proposed duplex and JADU applicants to maintain two duplex units on-site and prohibits construction of ingress or egress (doors) between the duplex units.~~

- n) Modify the first sentence of the third complete paragraph on page 18 as follows:

~~Special Condition 1 requires the development to be carried out in a manner consistent with the proposed project, as approved and conditioned applicants to maintain two duplex units on-site and prohibits construction of ingress or egress (doors) between the duplex units.~~

- o) Correct the fourth sentence of the third complete paragraph on page 18 as follows:

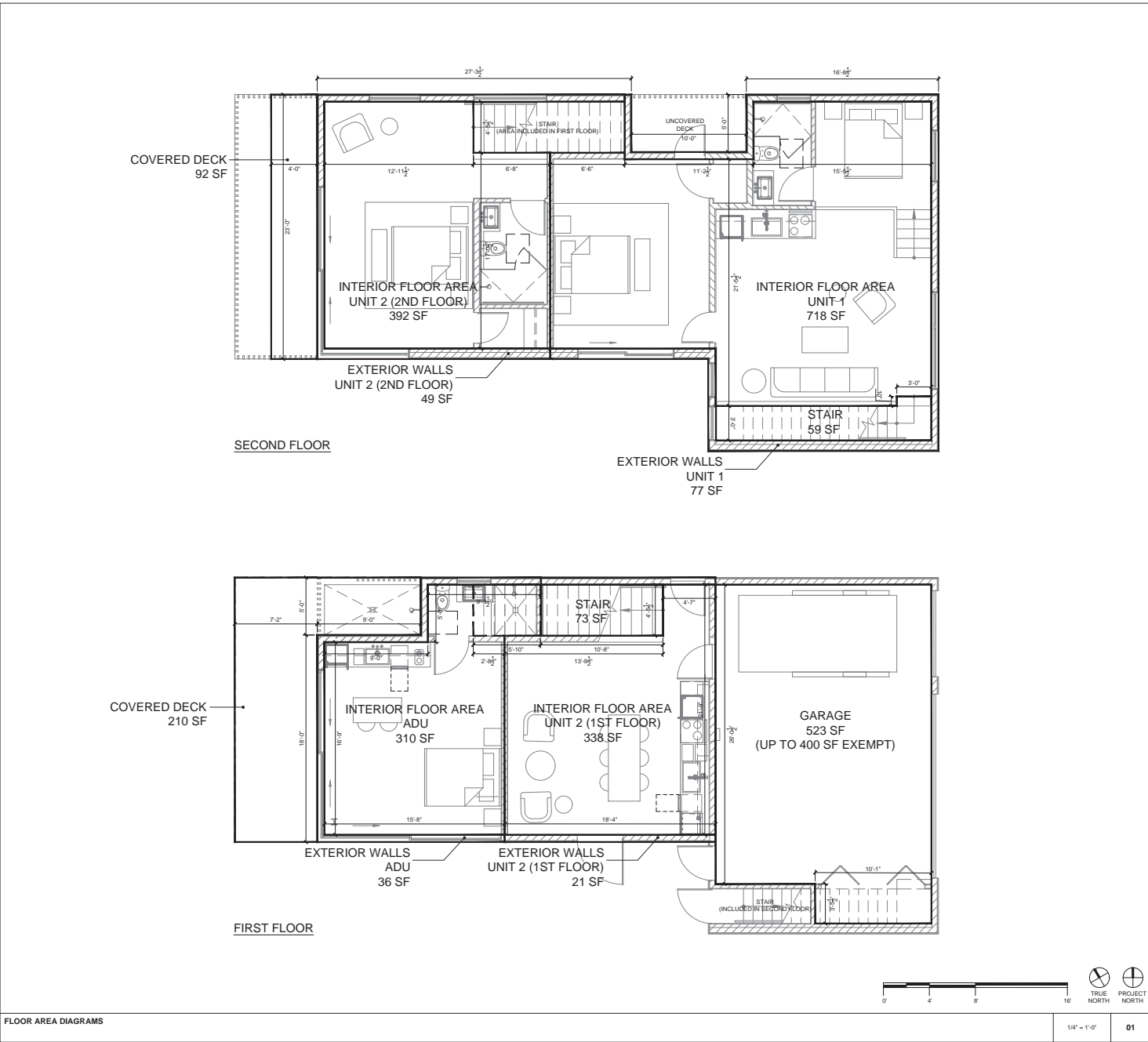
To ensure that any prospective future owners of the property are made aware of the applicability of the conditions of this permit, Special Condition 8 requires the applicant to record a deed restriction acknowledging that, pursuant to the subject permit (CDP No. A-5-20-0037 0039), the Coastal Commission has authorized development on the subject property subject to the terms and eight Special Conditions of this permit (imposed as covenants) that restrict the use of the subject property.

- p) Correct the first and second sentences of the eighth complete paragraph on page 20 as follows:

To ensure the five off-street parking spaces are maintained, ~~Special Condition 4 requires the development to be carried out in a manner consistent with the currently proposed parking plans and~~ Special Condition 4 requires submittal of a final parking plan, approved by LADBS, that provides a minimum of five parking spaces on-site. Regarding public access surrounding the site, the applicant has not proposed any encroachment into the public right-of-way and will maintain adequate ~~15~~ 14.7-ft. setbacks in the front and rear-yards, with 4-ft. setbacks in the side-yards.

### Exhibit 3– Revised Project Plans (dated February 8, 2021)

[illegible]



FLOOR AREA DIAGRAMS

	ZONING CODE	BUILDING CODE	SCHOOL FEES
UNIT 1			
INTERIOR FLOOR AREA	718 SF	718 SF (R3)	718 SF
STAIRS	EXEMPT	59 SF (R3)	59 SF
EXTERIOR WALLS	EXEMPT	EXEMPT	77 SF
UNIT 2 - FIRST FLOOR			
INTERIOR FLOOR AREA	338 SF	338 SF (R3)	338 SF
STAIRS	EXEMPT	73 SF (R3)	73 SF
EXTERIOR WALLS	EXEMPT	EXEMPT	21 SF
GARAGE	EXEMPT	523 SF (u)	EXEMPT
UNIT 2 - SECOND FLOOR			
INTERIOR FLOOR AREA	392 SF	392 SF (R3)	392 SF
COVERED EXT. DECKS	92 SF	92 SF (R3)	EXEMPT
EXTERIOR WALLS	EXEMPT	EXEMPT	49 SF
ADU			
INTERIOR FLOOR AREA	310 SF	310 SF (R3)	310 SF
COVERED EXT. DECKS	210 SF	210 SF (R3)	EXEMPT
EXTERIOR WALLS	EXEMPT	EXEMPT	36 SF
TOTAL	2060 SF	2102 SF (R3) 523 SF (u)	2073 SF

FLOOR AREA CALCULATIONS

PROJECT NAME & ADDRESS:  
714-716 RESIDENCE  
714-716 PALMS BOULEVARD  
VENICE, CA 90291

LEGAL DESCRIPTION:  
APN: 4241015022  
TRACT: VENICE PARK TRACT  
LOT: 4  
BLOCK: 6  
PROJECT NUMBER: 1830

OWNER:  
ELI & STEPHANIE HOLZMAN  
730 SUPERBA AVENUE  
VENICE, CA 90291

ARCHITECT:  
**BESTOR ARCHITECTURE**  
2030 HYPERION AVE (LOS ANGELES, CA 90027)  
323.465.0209

CONSULTANTS:  
GEOTECHNICAL ENGINEER:  
GROVER HOLLINGSWORTH &  
ASSOCIATES, INC.  
31129 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CA 91362  
T 818-889-0844

LAND USE CONSULTANT:  
PACIFIC CREST CONSULTANTS  
23622 CALABASAS RD, SUITE 100  
CALABASAS, CA 91302  
T 818-491-9309

STRUCTURAL ENGINEER:  
CRAGG PHILLIPS ENGINEERING  
& DESIGN  
2120 WESTAL AVE  
LOS ANGELES, CA 90026  
T 310-425-2325



BUILDING KEY PLAN



SUBMITTAL RECORD:

#	DATE	SUBMITTAL NAME
01	10/10/2020	CSP APPLICATION
02	10/20/2020	CSP PRELIMINARY
03	10/20/2020	PERMIT SET
04	03/16/2021	CSP PRELIMINARY
05	03/16/2021	PERMIT PRELIMINARY
06	03/16/2021	PERMIT PRELIMINARY
07	03/16/2021	CSP PRELIMINARY
08	03/16/2021	CSP PRELIMINARY

SCALE  
1/4" = 1'-0"

DRAWING TITLE  
FLOOR AREA  
CALCULATIONS

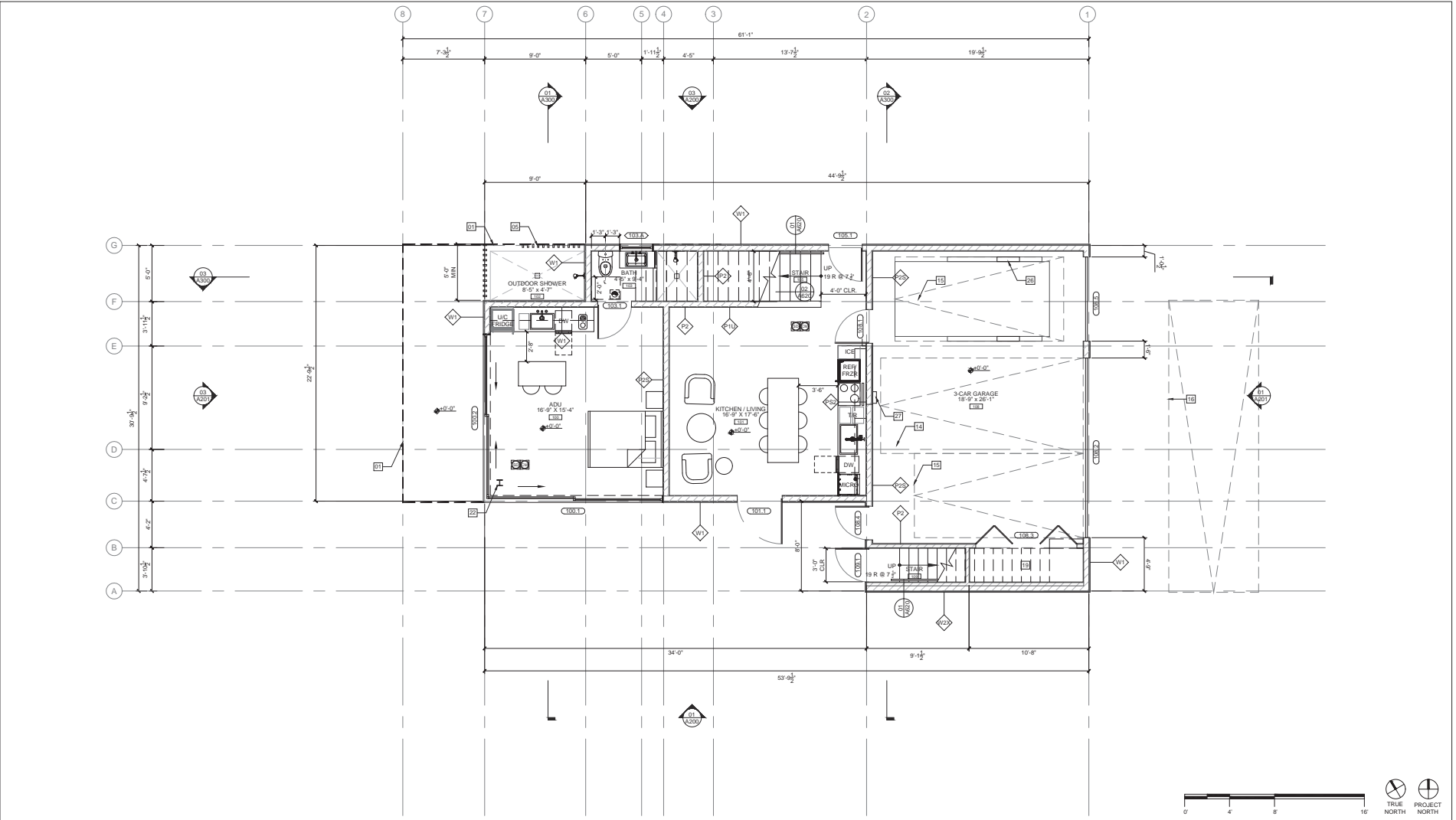
SHEET NUMBER

**G050**  
02.08.2021









FIRST FLOOR PLAN										1/4" = 1'-0"		01					
PLAN NOTES										KEYNOTES		LEGEND					
<p>1. ALL DIMENSIONS ARE FROM F.O. FRAMING TO F.O. FRAMING, UNLESS NOTED OTHERWISE.</p> <p>2. NEW HVAC SYSTEM SHALL BE MIN. 94% AFUE EFFICIENCY WITH 14.0 SEER RATING. ALL NEW DUCTS SHALL BE INSULATED MIN. R-4.2.</p> <p>3. PROVIDE ULTRA-LOW FLUSH WATER CLOSETS FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.</p> <p>4. SMOKE DETECTORS WITH BATTERY BACK-UP AT ALL NEW CONSTRUCTION, &amp; ON THE WALL OR CEILING CENTRALLY LOCATED IN THE AREA GIVING ACCESS TO SLEEPING ROOM(S) AND IN SLEEPING ROOM(S). WHERE CEILING HEIGHT OF AN ADJACENT ROOM OPENS TO A HALLWAY (SERVING BEDROOMS) EXCEEDS THAT OF THE HALLWAY BY 4" OR MORE, DETECTOR SHALL BE PLACED IN THE ADJACENT ROOM AND WITHIN 12" OF HIGHEST POINT OF CEILING.</p> <p>5. PROVIDE CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1.</p> <p>6. BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 60 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE (R303.3).</p> <p>7. SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.</p> <p>8. CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.</p> <p>9. BATHTUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).</p> <p>10. FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULK, PAINTS &amp; COATINGS, CARPET SYSTEMS, ETC. SHALL MEET THE (VOC) EMISSION LIMITS PER LAC083C CHAPTER 4 (R303).</p> <p>11. GROUND-FAULT CIRCUIT-INTERRUPTION (GFCI) FOR PERSONNEL SHALL BE PROVIDED AND INSTALLED IN READILY ACCESSIBLE LOCATION (EC 210.8(A)).</p> <p>12. BUILDING SHALL HAVE PLUMBING FIXTURES THAT MEET THE FLOW RATES SPECIFIED IN THE LOS ANGELES COUNTY GREEN BUILDING STANDARDS CODE.</p> <p>13. ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE-BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE-BALANCE/THERMOSTATIC MIXING TYPE VALVE. (PC 418)</p> <p>14. ALL NEW, REPLACEMENT AND EXISTING WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES. ONE IN THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4" ABOVE THE CONTROLS. (PC 508.2)</p> <p>15. THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACERS RESERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.</p> <p>16. AT EV CHARGING STATION LOCATION, MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 200-AMP VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX, OR ENCLOSURE.</p> <p>17. ARC-FAULT CIRCUIT-INTERRUPTION SHALL BE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (EC 210.12)</p> <p>18. THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING(S) IF CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED IF CAPABLE.</p> <p>19. GARAGE FLOOR SURFACE SHALL BE OF AN APPROVED NON-COMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R309.1)</p>										<p>01 LINE OF FLOOR ABOVE</p> <p>02 LINE OF FLOOR BELOW</p> <p>03 LINE OF ROOF ABOVE</p> <p>04 TRELLIS</p> <p>05 WOOD SLATS</p> <p>06 MILLWORK</p> <p>07 WOOD DECKING, SEE 020570</p> <p>08 LINE OF TRELLIS ABOVE</p> <p>09 WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" CLR. SPACING BETWEEN RAILS</p>		<p>10 SKYLIGHT ABOVE</p> <p>11 MIN. 3" GLASS RAILING, 42" MIN. HEIGHT</p> <p>12 16'-0" WIDE GARAGE DOOR</p> <p>13 8'-0" WIDE GARAGE DOOR</p> <p>14 STANDARD PARKING STALL, SEE A200</p> <p>15 COMPACT PARKING STALL, SEE A200</p> <p>16 PARALLEL PARKING STALL, SEE A200</p> <p>17 PLANTING AREA, SEE SITE PLAN A200</p> <p>18 KITCHEN LADDER WITH METAL HANGING RAIL</p>		<p>19 UNDER STAIR STORAGE</p> <p>20 WINDOW SEAT</p> <p>21 PLANTER</p> <p>22 STEEL H-COLUMN, PAINTED</p> <p>23 SOLID GUARDRAIL, 42" MIN. HEIGHT</p> <p>24 OPERABLE SLIDING WOOD SCREEN</p> <p>25 LINE OF ROOF BELOW</p> <p>26 LA PARKING LOTS PLUS, LA08 R 850047</p> <p>27 FUTURE EV CHARGING STATION, SEE PLAN NOTE 16-18</p>		<p>TAGS</p> <p>DOOR TAG</p> <p>EQUIPMENT TAG</p> <p>FIXTURE TAG</p> <p>FINISH TAG</p> <p>MIN. 50 CFM EXHAUST FAN ON HUMIDISTAT (ENERGY STAR CERTIFIED)</p> <p>FINISH FLOOR TAG</p> <p>FINISH FLOOR ELEV.</p> <p>CHANGE IN ELEV.</p> <p>EGRESS</p> <p>REVISION</p> <p>CARBON MONOXIDE ALARM</p> <p>SMOKE DETECTOR</p> <p>PARTITIONS</p> <p>NEW WOOD PARTITION (WITH TYPE TAG)</p> <p>NEW 1HR FIRE RATED STC-50 ASSEMBLY (SEE P24.070)</p> <p>DIMENSIONS</p> <p>FACE OF FINISH FACE OF FRAMING</p>	

PROJECT NAME & ADDRESS:  
714-716 RESIDENCE  
714-716 PALMS BOULEVARD  
VENICE, CA 90291

LEGAL DESCRIPTION:  
APN: 4241015022  
TRACT: VENICE PARK TRACT  
LOT 4  
BLOCK: 6  
PROJECT NUMBER: 1830

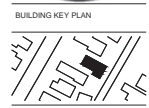
OWNER:  
ELI & STEPHANIE HOLZMAN  
730 SUPERVA AVENUE  
VENICE, CA 90291

ARCHITECT:  
**BESTOR ARCHITECTURE**  
2030 HYPERION AVE | LOS ANGELES, CA 90007  
323.465.0289

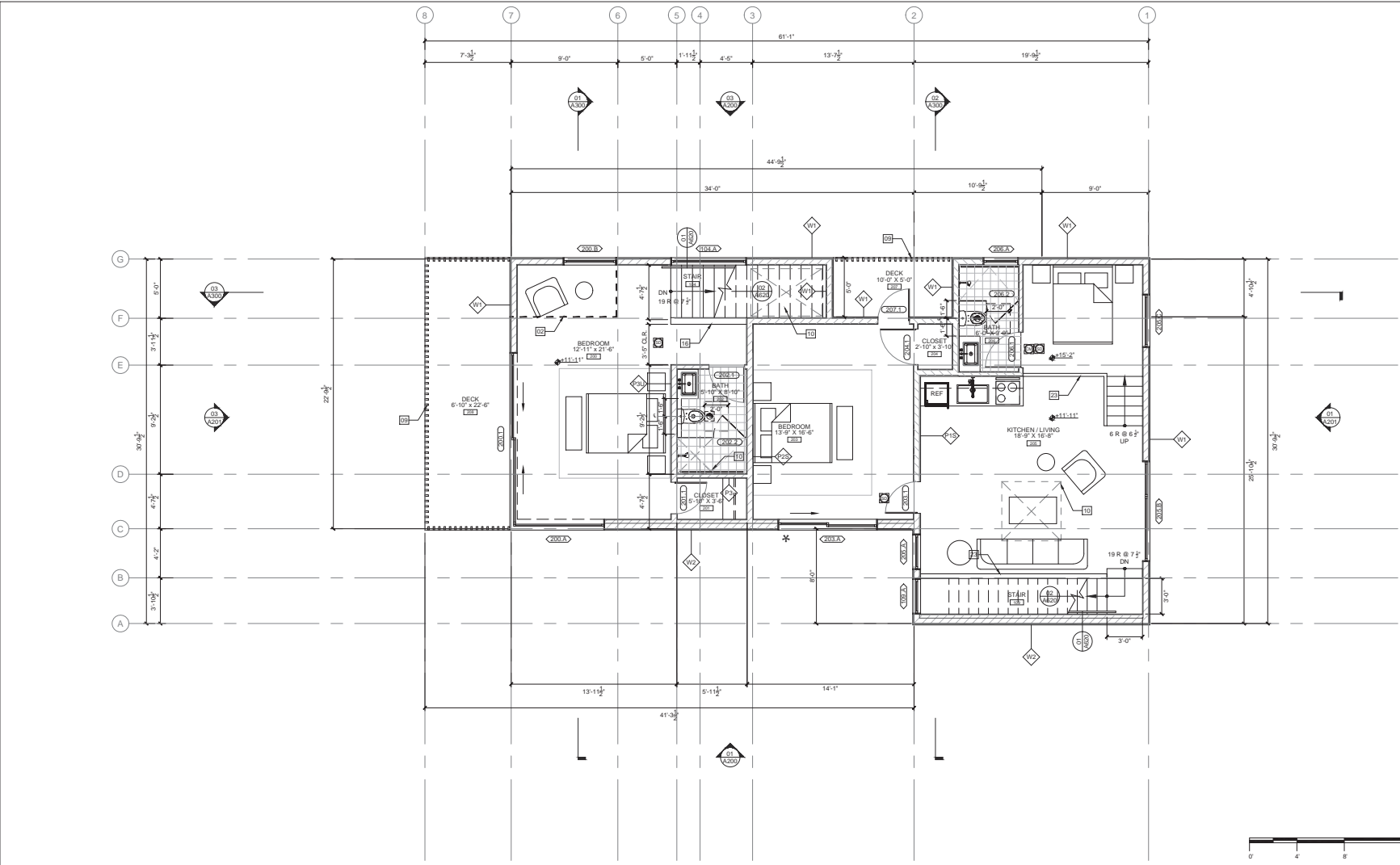
CONSULTANTS:  
GEOTECHNICAL ENGINEER:  
GROVER HOLLINGSWORTH & ASSOCIATES, INC.  
31129 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CA 91362  
T 818-889-0844

LAND USE CONSULTANT:  
PACIFIC CREST CONSULTANTS  
23622 CALABASAS RD, SUITE 100  
CALABASAS, CA 91302  
T 818-591-9309

STRUCTURAL ENGINEER:  
CRAIG PHILLIPS ENGINEERING & DESIGN  
2120 VESTAL AVE  
LOS ANGELES, CA 90026  
T 310-425-2325



SUBMITTAL RECORD:	
#	DATE
01	10/20/2024
02	10/20/2024
03	10/20/2024
04	10/20/2024
05	10/20/2024
06	10/20/2024
07	10/20/2024
08	10/20/2024
09	10/20/2024
10	10/20/2024
11	10/20/2024
12	10/20/2024
13	10/20/2024
14	10/20/2024
15	10/20/2024
16	10/20/2024
17	10/20/2024
18	10/20/2024
19	10/20/2024
20	10/20/2024
21	10/20/2024
22	10/20/2024
23	10/20/2024
24	10/20/2024
25	10/20/2024
26	10/20/2024
27	10/20/2024
28	10/20/2024
29	10/20/2024
30	10/20/2024
31	10/20/2024
32	10/20/2024
33	10/20/2024
34	10/20/2024
35	10/20/2024
36	10/20/2024
37	10/20/2024
38	10/20/2024
39	10/20/2024
40	10/20/2024
41	10/20/2024
42	10/20/2024
43	10/20/2024
44	10/20/2024
45	10/20/2024
46	10/20/2024
47	10/20/2024
48	10/20/2024
49	10/20/2024
50	10/20/2024
51	10/20/2024
52	10/20/2024
53	10/20/2024
54	10/20/2024
55	10/20/2024
56	10/20/2024
57	10/20/2024
58	10/20/2024
59	10/20/2024
60	10/20/2024
61	10/20/2024
62	10/20/2024
63	10/20/2024
64	10/20/2024
65	10/20/2024
66	10/20/2024
67	10/20/2024
68	10/20/2024
69	10/20/2024
70	10/20/2024
71	10/20/2024
72	10/20/2024
73	10/20/2024
74	10/20/2024
75	10/20/2024
76	10/20/2024
77	10/20/2024
78	10/20/2024
79	10/20/2024
80	10/20/2024
81	10/20/2024
82	10/20/2024
83	10/20/2024
84	10/20/2024
85	10/20/2024
86	10/20/2024
87	10/20/2024
88	10/20/2024
89	10/20/2024
90	10/20/2024
91	10/20/2024
92	10/20/2024
93	10/20/2024
94	10/20/2024
95	10/20/2024
96	10/20/2024
97	10/20/2024
98	10/20/2024
99	10/20/2024
100	10/20/2024



SECOND FLOOR PLAN

PLAN NOTES

- ALL DIMENSIONS ARE FROM F.O. FRAMING TO F.O. FRAMING, UNLESS NOTED OTHERWISE.
- NEW HVAC SYSTEM SHALL BE MIN. 94% AFUE EFFICIENCY WITH 14.0 SEER RATING. ALL NEW DUCTS SHALL BE INSULATED MIN. R-4.2.
- PROVIDE ULTRA-LOW FLOW WATER CLOSURES FOR ALL NEW CONSTRUCTION. EXISTING SHOWER HEADS AND TOILETS MUST BE ADAPTED FOR LOW WATER CONSUMPTION.
- SMOKE DETECTORS WITH BATTERY BACKUP AT ALL NEW CONSTRUCTION. A. ON THE WALL OR CEILING CENTRALLY LOCATED IN THE AREA GIVING ACCESS TO SLEEPING ROOM(S) AND IN SLEEPING ROOM(S). B. WHERE CEILING HEIGHT OF AN ADJACENT ROOM OPENS TO A HALLWAY SERVING BEDROOM(S) EXCEEDS THAT OF THE HALLWAY BY 4' OR MORE. DETECTOR SHALL BE PLACED IN THE ADJACENT ROOM AND WITHIN 12" OF HIGHEST POINT OF CEILING.
- PROVIDE CARBON MONOXIDE ALARM IN ACCORDANCE WITH SECTION R315.1.
- BATHROOMS, WATER CLOSET COMPARTMENTS AND OTHER SIMILAR ROOMS SHALL BE PROVIDED WITH NATURAL VENTILATION OR WITH MECHANICAL VENTILATION CAPABLE OF 80 CFM EXHAUSTED DIRECTLY TO THE OUTSIDE (R303.3).
- SMOKE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP AND SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 72.
- CARBON MONOXIDE ALARM SHALL BE INTERCONNECTED HARD-WIRED WITH BATTERY BACKUP.
- BATHUB AND SHOWER FLOORS, WALLS ABOVE BATHTUBS WITH A SHOWERHEAD, AND SHOWER COMPARTMENTS SHALL BE FINISHED WITH A NONABSORBENT SURFACE EXTENDING TO A HEIGHT OF NOT LESS THAN 6 FEET ABOVE THE FLOOR (R307.2).
- FINISH MATERIALS INCLUDING ADHESIVES, SEALANTS, CAULK, PAINTS & COATINGS, CARPET SYSTEMS, ETC. SHALL MEET THE (WOOD EMISSION LIMITS PER LACBSC CHAPTER 4 (R303)).
- GROUND-FAULT CIRCUIT-INTERRUPTION (GFCI) FOR PERSONNEL SHALL BE PROVIDED AND INSTALLED IN READILY ACCESSIBLE LOCATION. (EC 210.8(A))
- BUILDING SHALL HAVE PLUMBING FIXTURES THAT MEET THE FLOW RATES SPECIFIED IN THE LOS ANGELES COUNTY GREEN BUILDING STANDARDS CODE.
- ALL SHOWERS AND TUB-SHOWERS SHALL HAVE A PRESSURE-BALANCE, THERMOSTATIC MIXING VALVE, OR A COMBINATION PRESSURE-BALANCE/THERMOSTATIC MIXING VALVE. (PC 418)
- ALL NEW, REPLACEMENT AND EXISTING WATER HEATERS SHALL BE STRAPPED TO THE WALL IN TWO PLACES. ONE IN THE UPPER 1/3 OF THE TANK AND ONE IN THE LOWER 1/3 OF THE TANK. THE LOWER POINT SHALL BE A MINIMUM OF 4" ABOVE THE CONTROLS. (PC 508.2)
- THE PANEL OR SUBPANEL SHALL PROVIDE CAPACITY TO INSTALL A 40-AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACER(S) OBSERVED TO PERMIT INSTALLATION OF A BRANCH CIRCUIT OVERCURRENT PROTECTIVE DEVICE.
- AT EV CHARGING STATION LOCATION, MINIMUM 1" (INSIDE DIAMETER) LISTED RACEWAY IS INSTALLED FOR EACH UNIT TO ACCOMMODATE A DEDICATED 200-AMP VOLT BRANCH CIRCUIT. THE RACEWAY SHALL ORIGINATE AT THE MAIN SERVICE OR A SUBPANEL AND TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING SYSTEM INTO A LISTED CABINET, BOX, OR ENCLOSURE.
- ARC-FAULT CIRCUIT-INTERRUPTION SHALL BE INSTALLED TO PROVIDE PROTECTION OF THE BRANCH CIRCUIT. (EC 210.12)
- THE SERVICE PANEL OR SUBPANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVERCURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING(S) IF CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED IF CAPABLE.
- GARAGE FLOOR SURFACE SHALL BE OF AN APPROVED NON-COMBUSTIBLE MATERIAL, AND THE AREA USED TO PARK VEHICLES SHALL BE SLOPED TO A DRAIN OR TOWARD THE MAIN VEHICLE ENTRY DOORWAY. (R309.1)

KEYNOTES

- |   |   |  |
|---|---|--|
| 01 LINE OF FLOOR ABOVE  | 10 SKYLIGHT ABOVE                         | 19 UNDER STAIR STORAGE                             |
| 02 LINE OF FLOOR BELOW  | 11 MIN. 3" GLASS RAILING, 42" MIN. HEIGHT | 20 WINDOW SEAT                                     |
| 03 LINE OF ROOF ABOVE   | 12 16'-0" WIDE GARAGE DOOR                | 21 PLANTER   |
| 04 TRELLIS  | 13 8'-0" WIDE GARAGE DOOR                 | 22 STEEL H-COLUMN, PAINTED                         |
| 05 WOOD SLATS   | 14 STANDARD PARKING STALL, SEE A200       | 23 SOLID GUARDRAIL, 42" MIN. HEIGHT                |
| 06 MILLWORK   | 15 COMPACT PARKING STALL, SEE A200        | 24 OPERABLE SLIDING WOOD SCREEN                    |
| 07 WOOD DECKING, SEE 020207   | 16 PARALLEL PARKING STALL, SEE A200       | 25 LINE OF ROOF BELOW                              |
| 08 LINE OF TRELLIS ABOVE  | 17 PLANTING AREA, SEE SITE PLAN A200      | 26 LA PARKING LOTS PLUS 1, LADR # 555547           |
| 09 WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" CLR. SPACING BETWEEN RAILS | 18 KITCHEN LADDER WITH METAL HANGING RAIL | 27 FUTURE EV CHARGING STATION, SEE PLAN NOTE 16-18 |

LEGEND

- |                       |   |  |   |
|-----------------------|---|--|---|
| <b>TAGS</b>           | <b>DOOR TAG</b>   | <b>FINISH FLOOR TAG</b>                      | <b>PARTITIONS</b>                                       |
| 0000-2 WINDOW TAG     | 0000-3 EQUIPMENT TAG  | 0000-4 FINISH FLOOR ELEV.                    | 0000-5 CHANGE IN ELEV.                                  |
| 0000-6 FINISH TAG     | 0000-7 MIN. 50 CFM EXHAUST FAN ON HUMIDISTAT (ENERGY STAR CERTIFIED)  | 0000-8 CARBON MONOXIDE ALARM SMOKE DETECTOR  | 0000-9 NEW 1HR FIRE RATED STC-50 ASSEMBLY (SEE P2A070)  |
| 0000-10 DOOR TAG      | 0000-11 WINDOW TAG  | 0000-12 STEEL H-COLUMN, PAINTED              | 0000-13 SOLID GUARDRAIL, 42" MIN. HEIGHT                |
| 0000-14 EQUIPMENT TAG | 0000-15 FINISH TAG  | 0000-16 OPERABLE SLIDING WOOD SCREEN         | 0000-17 LINE OF ROOF BELOW                              |
| 0000-18 FINISH TAG    | 0000-19 MIN. 50 CFM EXHAUST FAN ON HUMIDISTAT (ENERGY STAR CERTIFIED) | 0000-20 CARBON MONOXIDE ALARM SMOKE DETECTOR | 0000-21 NEW 1HR FIRE RATED STC-50 ASSEMBLY (SEE P2A070) |
| 0000-22 DOOR TAG      | 0000-23 WINDOW TAG  | 0000-24 STEEL H-COLUMN, PAINTED              | 0000-25 SOLID GUARDRAIL, 42" MIN. HEIGHT                |
| 0000-26 EQUIPMENT TAG | 0000-27 FINISH TAG  | 0000-28 OPERABLE SLIDING WOOD SCREEN         | 0000-29 LINE OF ROOF BELOW                              |
| 0000-30 FINISH TAG    | 0000-31 MIN. 50 CFM EXHAUST FAN ON HUMIDISTAT (ENERGY STAR CERTIFIED) | 0000-32 CARBON MONOXIDE ALARM SMOKE DETECTOR | 0000-33 NEW 1HR FIRE RATED STC-50 ASSEMBLY (SEE P2A070) |



PROJECT NAME & ADDRESS:  
714-716 RESIDENCE  
714-716 PALMS BOULEVARD  
VENICE, CA 90291

LEGAL DESCRIPTION:  
APN: 4241015022  
TRACT: VENICE PARK TRACT  
LOT: 4  
BLOCK: 6  
PROJECT NUMBER: 1830

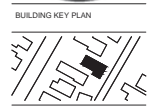
OWNER:  
ELI & STEPHANIE HOLZMAN  
730 SUPERBA AVENUE  
VENICE, CA 90291

ARCHITECT:  
**BESTOR ARCHITECTURE**  
2030 HYPERION AVE | LOS ANGELES, CA 90027  
323-465-0289

CONSULTANTS:  
GEOTECHNICAL ENGINEER:  
GROVER HOLLINGSWORTH & ASSOCIATES, INC.  
31129 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CA 91362  
T 818-889-0844

LAND USE CONSULTANT:  
PACIFIC CREST CONSULTANTS  
23622 CALABASAS RD, SUITE 100  
CALABASAS, CA 91302  
T 818-891-9309

STRUCTURAL ENGINEER:  
CRANE PHILLIPS ENGINEERING & DESIGN  
2120 VESTAL AVE  
LOS ANGELES, CA 90026  
T 310-625-2325



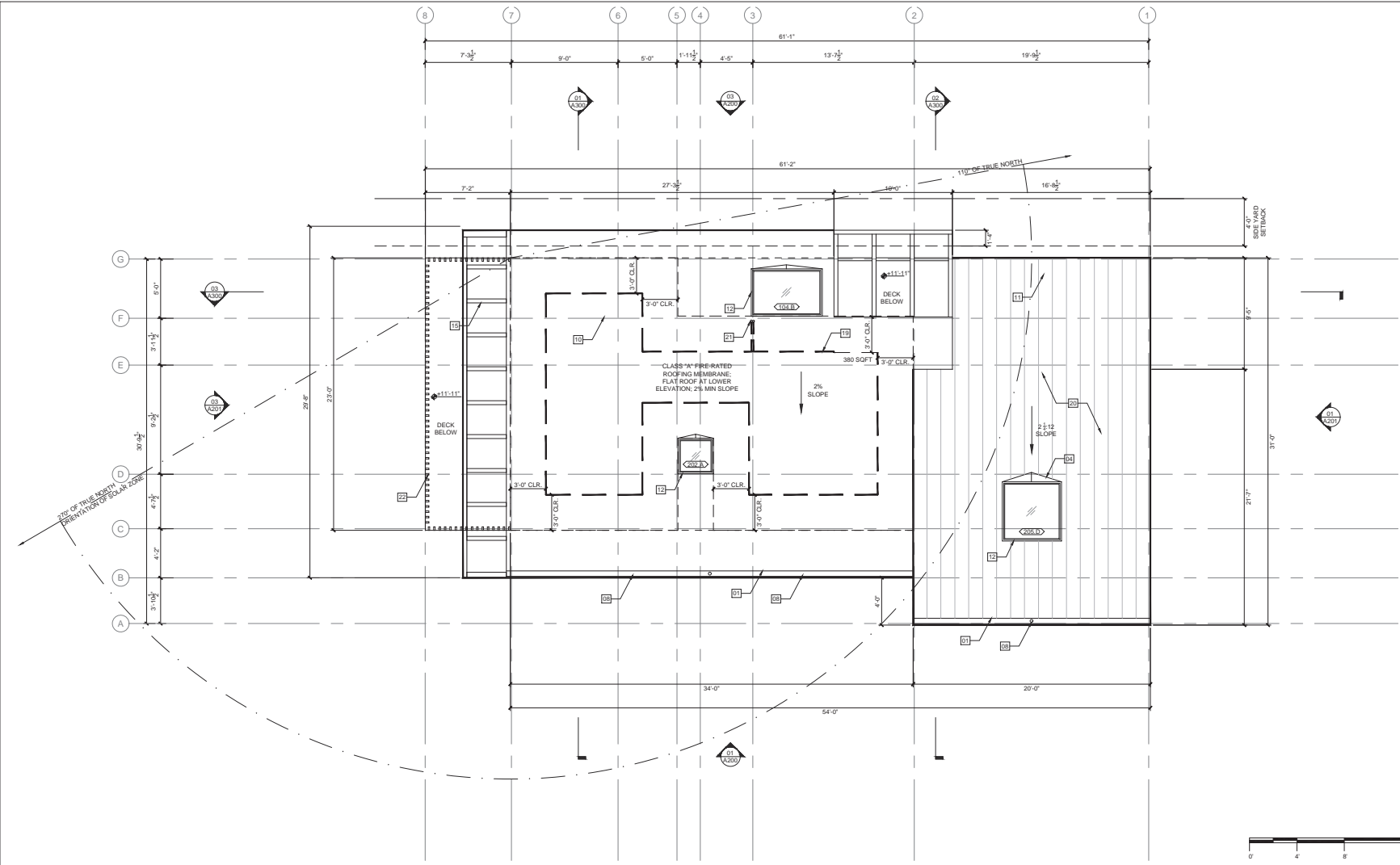
SUBMITTAL RECORD:

#	DATE	SUBMITTAL NAME
01	10/10/2024	CSP APPLICATION
02	10/20/2024	CSP PRELIMINARY
03	10/20/2024	PERMIT SET
04	03/16/2025	CSP PRELIMINARY
05	03/16/2025	PERMIT PRELIMINARY
06	03/16/2025	PERMIT PRELIMINARY
07	03/16/2025	CSP PRELIMINARY
08	03/16/2025	CSP PRELIMINARY

SCALE  
1/4" = 1'-0"

DRAWING TITLE  
SECOND FLOOR PLAN

SHEET NUMBER  
**A101**  
02.08.2021



**ROOF PLAN**

**PLAN NOTES**

1. DO NOT SCALE OFF DRAWINGS. NOTIFY ARCHITECT IF ADDITIONAL INFORMATION IS NEEDED.

2. EXTERIOR WALLS ARE 2x6 STUD WALLS, UON.

3. INTERIOR WALLS ARE 2x4 STUD WALLS, UON.

4. ROOF ASSEMBLY SHALL BE LISTED BY AN APPROVED TESTING AGENCY.

5. ROOF COVERING ASSEMBLIES SHALL BE AN ICC-ES OR UL LISTED CLASS A FIRE RESISTIVE ROOF ASSEMBLY COMPLYING WITH ASTM E159 OR UL 790. ROOF GUTTERS SHALL BE DESIGNED TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS (MSA 4, K227.3.4).

6. ATTIC VENTILATION OF 1/150 OF THE AREA OF VENTILATED SPACE (APPROXIMATELY 10 SQ. FT. FOR EACH SQ. FT. OF ATTIC AREA) IS REQUIRED (R806.2).

**KEYNOTES**

01 4" SQUARE INTEGRAL GUTTER	10 EDGE OF BUILDING LINE ON FIRST FLOOR	19 AREA OF FUTURE PHOTOVOLTAIC SYSTEM
02 4" SQUARE GUTTER W/ DOWNSPOUT, TYP.	11 EDGE OF BUILDING LINE ON SECOND FLOOR	20 CLASS "A" FIRE-RATED METAL STANDING SEAM ROOFING, SEE 0103070
03 PLUMBING VENT	12 [N] VELUX SKYLIGHT, ESR-4108, SEE 0403070	21 PATHWAY OF PIPING TO INVERTERS & WATER-HEATING SYSTEM FOR FUTURE SOLAR PANELS TO BE LOCATED IN LAUNDRY/STORAGE ROOM BELOW.
04 CRICKET, TYP.	13 PLANTER WITH GLASS RAILING	22 WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" CLR. OPENING BETWEEN RAILS
05 WOOD SLATS	14 MIN. 2" GLASS RAILING, 42" MIN. HEIGHT	23 CHIMNEY CAP W/ SPARK ARRESTOR PER MANUFACTURER SPECIFICATIONS
06 FIXED GLAZING, 2% SLOPE MIN.	15 TRELLIS	
07 TILE DECKING	16 PLANTER	
08 DOWNSPOUT FROM ROOF	17 WOOD DECKING	
09 TRELLIS BELOW	18 BUILT-IN BANQUETTE	

**LEGEND**

**TAGS**

0000 DOOR TAG

0000 WINDOW TAG

00 EQUIPMENT TAG

00 FIXTURE TAG

00 FINISH TAG

00 FINISH FLOOR TAG

00 FINISH FLOOR ELEV.

00 CHANGE IN ELEV.

00 MATCHLINE

00 TRANSITION

00 DIRECTION OF DRAINAGE

**LINE**

— ROOF EDGE

--- FOOTPRINT BELOW

**DIMENSIONS**

— FACE OF FINISH

— FACE OF FRAMING

1/4" = 1'-0"

01

PROJECT NAME & ADDRESS:  
714-716 RESIDENCE  
714-716 PALMS BOULEVARD  
VENICE, CA 90291

LEGAL DESCRIPTION:  
APN: 4241015022  
TRACT: VENICE PARK TRACT  
LOT: 4  
BLOCK: 6  
PROJECT NUMBER: 1830

OWNER:  
ELI & STEPHANIE HOLZMAN  
730 SUPERBA AVENUE  
VENICE, CA 90291

ARCHITECT:  
**BESTOR ARCHITECTURE**  
2030 HYPERION AVE (LOS ANGELES, CA 90027)  
323.465.0209

CONSULTANTS:  
GEOTECHNICAL ENGINEER:  
GROVER HOLLINGSWORTH &  
ASSOCIATES, INC.  
31129 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CA 91362  
T 818-889-8844

LAND USE CONSULTANT:  
PACIFIC CREST CONSULTANTS  
23622 CALABASAS RD, SUITE 100  
CALABASAS, CA 91302  
T 818-891-9309

STRUCTURAL ENGINEER:  
CRAGG PHILLIPS ENGINEERING  
& DESIGN  
2130 VESTAL AVE  
LOS ANGELES, CA 90026  
T 310-425-2325



**BUILDING KEY PLAN**

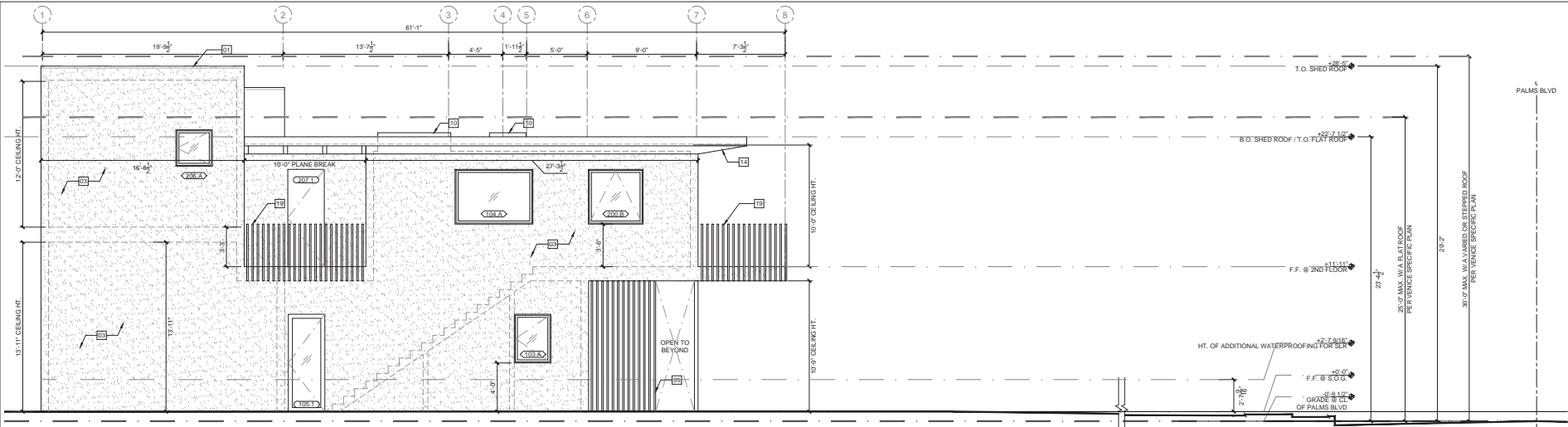
**SUBMITTAL RECORD:**

#	DATE	SUBMITTAL NAME
01	10/10/2020	CSP APPLICATION
02	10/20/2019	CSP PRELIMINARY
03	10/20/2019	PERMIT SET
04	03/16/2020	CSP PRELIMINARY
05	03/16/2020	PERMIT PRELIMINARY
06	03/16/2020	PERMIT PRELIMINARY
07	03/16/2020	PERMIT PRELIMINARY
08	03/16/2020	CSP PRELIMINARY
09	03/16/2020	CSP PRELIMINARY

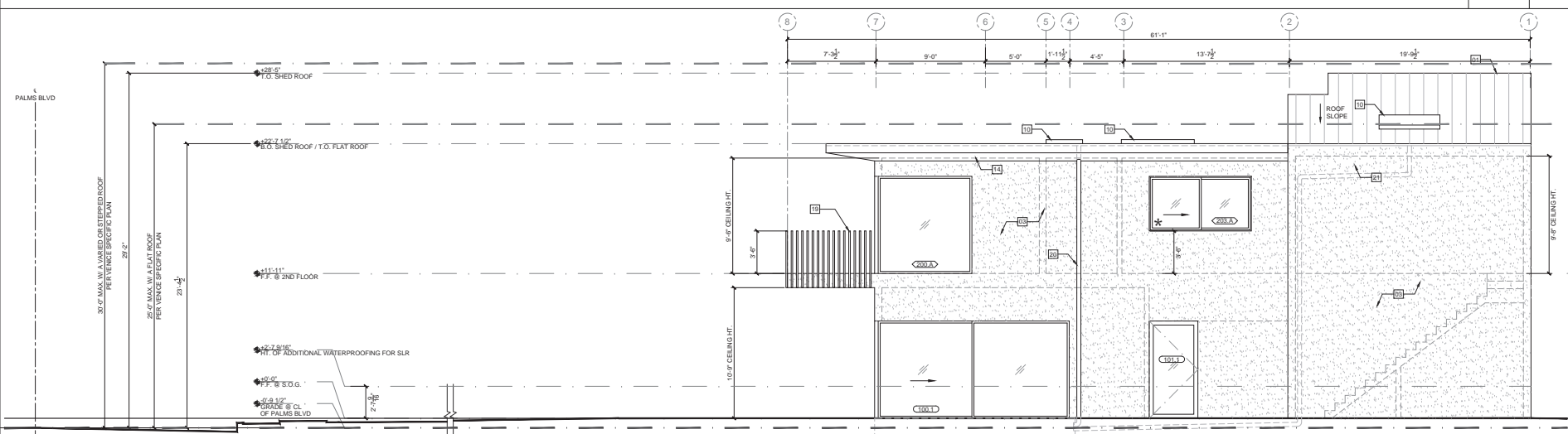
**SCALE**  
1" = 1'-0"

**DRAWING TITLE**  
ROOF PLAN

**SHEET NUMBER**  
**A102**  
02.08.2021



**NORTH ELEVATION** 1/4" = 1'-0" 03



**SOUTH ELEVATION** 1/4" = 1'-0" 01

ELEVATION NOTES	KEYNOTES	LEGEND
1. SEE SCHEDULES FOR ALL DOOR, WINDOW, AND EQUIPMENT DETAILS AND SPECIFICATIONS. 2. VERIFY ALL DIMENSIONS ON SITE. 3. NOTIFY ARCHITECT FOR ANY DISCREPANCIES BETWEEN SITE AND PLAN. 4. ALL DIMENSIONS FROM FACE OF FINISH TO FACE OF FINISH. 5. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 4 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. 6. THE ELEVATION OF THE WATER LEVEL THAT WOULD OCCUR WITH 6.6' OF ANTICIPATED SLR EXPECTED BY THE YEAR 2100 HAS BEEN NOTED ON THE ELEVATIONS. ALL EXTERIOR WALLS TO BE SEALED FOR ADDITIONAL WATER PROOFING UP TO 2.65' (2'-10") ABOVE FINISH FLOOR AS INDICATED.	01 CLASS A FIRE-RATED METAL STANDING SEAM ROOF 02 STUCCO, PTD. WHITE 03 STUCCO, PTD. BLACK 04 WOOD SIDING 05 WOOD SLATS 06 MIN. 1/2" GLASS RAILING, 42" MIN. HEIGHT 07 CLERESTORY WINDOWS 08 PLANTED EDGE BOX WITH GLASS RAILING, 42" MIN. HEIGHT 09 WOOD TRELLIS 10 SKYLIGHT 11 CLASS A FIRE-RATED BUILT-UP ROOF 12 16" WIDE ROLL-UP GARAGE DOOR 13 6" WIDE ROLL-UP GARAGE DOOR 14 WD. SIDING OVER 1/2" TYPE 'X' GYP. PER CBC 707A.3 TYP. 15 GRAY SIDING, TO MATCH PERIMETER FENCE 16 OPERABLE SLIDING WOOD SCREEN 17 24" WIDE ROLL-UP GARAGE DOOR, PTD. GRAY 18 POOL EQUIPMENT ENCLOSURE 19 WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" CLR. SPACING BETWEEN RAILS 20 4" DOWNSPOUT TO LID BMP 21 4" INTERNAL DOWNSPOUT TO LID BMP 22 530-GALLON RAIN TANK, SEE 02A022 23 MUDMAN PIZZA OVEN, 54" WIDE, MEDIA-WAP PROFESSIONAL, ACR BUILT IN 24 36" J.R. WOOD SHOW BROILER 25 30" KITCHEN AID GRILL, NATURAL GAS 26 27	<b>HATCHES</b> STUCCO WOOD <b>TAGS</b> DOOR TAG WINDOW TAG EQUIPMENT TAG FIXTURE TAG FINISH TAG FINISH FLOOR ELEV. MATCHLINE REVISION EGRESS <b>PARTITIONS</b> NEW PARTITION (WITH TYPE TAG) <b>DIMENSIONS</b> FACE OF FINISH FACE OF FRAMING SCALE: 1/4" = 1'-0" 0' 4' 8' 16'

PROJECT NAME & ADDRESS:  
 714-716 RESIDENCE  
 714-716 PALMS BOULEVARD  
 VENICE, CA 90291

LEGAL DESCRIPTION:  
 APN: 4241015022  
 TRACT: VENICE PARK TRACT  
 LOT: 4  
 BLOCK: 6  
 PROJECT NUMBER: 1830

OWNER:  
 ELI & STEPHANIE HOLZMAN  
 730 SUPERBA AVENUE  
 VENICE, CA 90291

ARCHITECT:  
**BESTOR ARCHITECTURE**  
 2030 HYPERION AVE. (LOS ANGELES, CA 90027)  
 323-465-0289

CONSULTANTS:  
 GEOTECHNICAL ENGINEER:  
 GROVER HOLLINGSWORTH & ASSOCIATES, INC.  
 31129 VIA COLINAS, SUITE 707  
 WESTLAKE VILLAGE, CA 91362  
 T 818-889-0844

LAND USE CONSULTANT:  
 PACIFIC CREST CONSULTANTS  
 23622 CALABASAS RD, SUITE 100  
 CALABASAS, CA 91302  
 T 818-891-9309

STRUCTURAL ENGINEER:  
 CRAIG PHILLIPS ENGINEERING & DESIGN  
 2103 VESTAL AVE  
 LOS ANGELES, CA 90026  
 T 310-425-2325



**SUBMITTAL RECORD:**

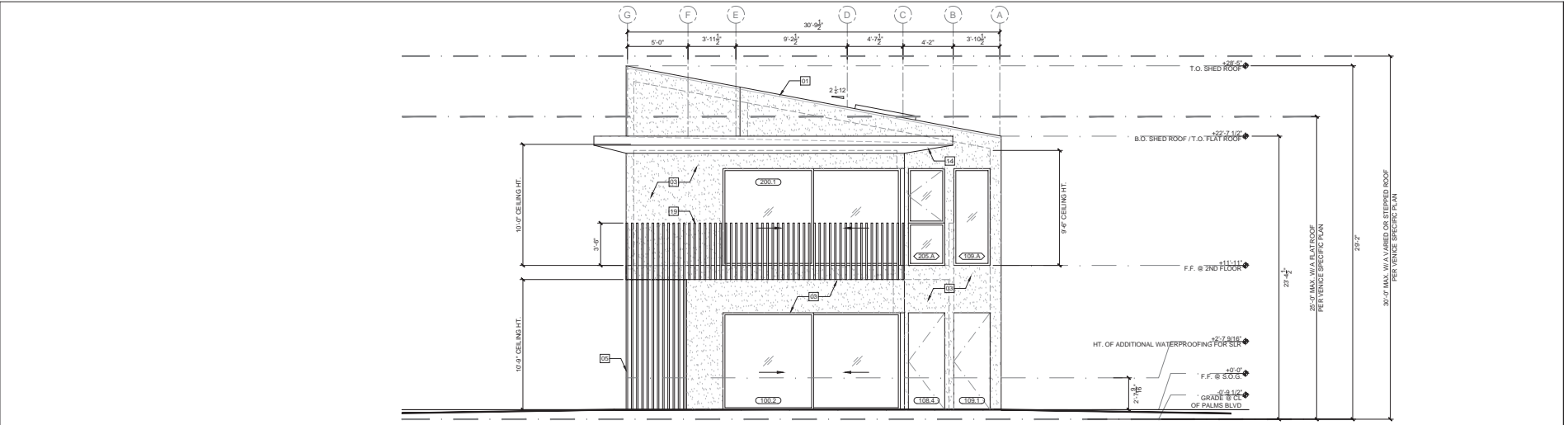
#	DATE	SUBMITTAL NAME
01	12/15/2019	CSP APPLICATION
02	12/20/2019	CSP PRELIMINARY
03	12/20/2019	PERMIT SET
04	03/16/2020	CSP PRELIMINARY
05	03/16/2020	PERMIT PRELIMINARY
06	03/16/2020	PERMIT PRELIMINARY
07	03/16/2020	CSP PRELIMINARY
08	03/16/2020	CSP PRELIMINARY

SCALE: 1/4" = 1'-0"

DRAWING TITLE:  
 ELEVATIONS

SHEET NUMBER:  
**A200**  
 02.08.2021

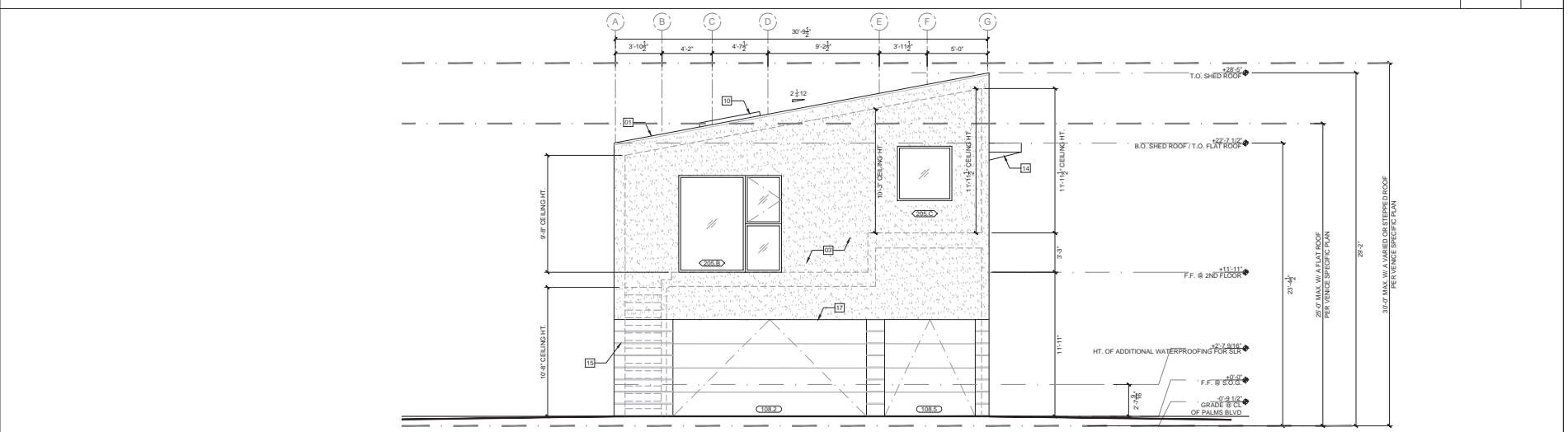




WEST ELEVATION

1/4" = 1'-0"

03



EAST ELEVATION

1/4" = 1'-0"

01

ELEVATION NOTES	KEYNOTES	LEGEND																											
1. SEE SCHEDULES FOR ALL DOOR, WINDOW, AND EQUIPMENT DETAILS AND SPECIFICATIONS. 2. VERIFY ALL DIMENSIONS ON SITE. 3. NOTIFY ARCHITECT FOR ANY DISCREPANCIES BETWEEN SITE AND PLAN. 4. ALL DIMENSIONS FROM FACE OF FINISH TO FACE OF FINISH. 5. PROVIDE ANTI-GRAFFITI FINISH WITHIN THE FIRST 3 FEET, MEASURED FROM GRADE, AT EXTERIOR WALLS AND DOORS. 6. THE ELEVATION OF THE WATER LEVEL THAT WOULD OCCUR WITH 6.6' OF ANTICIPATED SLR EXPECTED BY THE YEAR 2100 HAS BEEN NOTED ON THE ELEVATIONS. ALL EXTERIOR WALLS TO BE SEALED FOR ADDITIONAL WATER PROOFING UP TO 2.62' (2'-7 1/2") ABOVE FINISH FLOOR AS INDICATED.	<table><tr><td>01 CLASS A FIRE-RATED METAL STANDING SEAM ROOF</td><td>10 SKYLIGHT</td><td>19 WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" C.L.R. SPACING BETWEEN RAILS</td></tr><tr><td>02 STUCCO, PTD. WHITE</td><td>11 CLASS A FIRE-RATED BUILT-UP ROOF</td><td>20 4" DOWNSPOUT TO LID BMP</td></tr><tr><td>03 STUCCO, PTD. BLACK</td><td>12 18" WIDE ROLL-UP GARAGE DOOR</td><td>21 4" INTERNAL DOWNSPOUT TO LID BMP</td></tr><tr><td>04 WOOD SIDING</td><td>13 8' WIDE ROLL-UP GARAGE DOOR</td><td>22 530-GALLON RAIN TANK, SEE 02A022</td></tr><tr><td>05 WOOD SLATS</td><td>14 WD. SIDING OVER 1/2" TYPE 'X' GYP. PER CBC 707A.3 TYP.</td><td>23 MUDMAN PIZZA OVEN, 54" WIDE MEDIA-WAP PROFESSIONAL, ACR BUILT IN</td></tr><tr><td>06 MIN. 1/2" GLASS RAILING, 42" MIN. HEIGHT</td><td>15 GRAY SIDING TO MATCH PERIMETER FENCE</td><td>24 36" J.R. WOOD SHOW BROILER</td></tr><tr><td>07 CLERESTORY WINDOWS</td><td>16 OPERABLE SLIDING WOOD SCREEN</td><td>25 30" KITCHEN AID GRILL, NATURAL GAS</td></tr><tr><td>08 PLANTED EDGE BOX WITH GLASS RAILING, 42" MIN. HEIGHT</td><td>17 24" WIDE ROLL-UP GARAGE DOOR, PTD. GRAY</td><td>26</td></tr><tr><td>09 WOOD TRELLIS</td><td>18 POOL EQUIPMENT ENCLOSURE</td><td>27</td></tr></table>	01 CLASS A FIRE-RATED METAL STANDING SEAM ROOF	10 SKYLIGHT	19 WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" C.L.R. SPACING BETWEEN RAILS	02 STUCCO, PTD. WHITE	11 CLASS A FIRE-RATED BUILT-UP ROOF	20 4" DOWNSPOUT TO LID BMP	03 STUCCO, PTD. BLACK	12 18" WIDE ROLL-UP GARAGE DOOR	21 4" INTERNAL DOWNSPOUT TO LID BMP	04 WOOD SIDING	13 8' WIDE ROLL-UP GARAGE DOOR	22 530-GALLON RAIN TANK, SEE 02A022	05 WOOD SLATS	14 WD. SIDING OVER 1/2" TYPE 'X' GYP. PER CBC 707A.3 TYP.	23 MUDMAN PIZZA OVEN, 54" WIDE MEDIA-WAP PROFESSIONAL, ACR BUILT IN	06 MIN. 1/2" GLASS RAILING, 42" MIN. HEIGHT	15 GRAY SIDING TO MATCH PERIMETER FENCE	24 36" J.R. WOOD SHOW BROILER	07 CLERESTORY WINDOWS	16 OPERABLE SLIDING WOOD SCREEN	25 30" KITCHEN AID GRILL, NATURAL GAS	08 PLANTED EDGE BOX WITH GLASS RAILING, 42" MIN. HEIGHT	17 24" WIDE ROLL-UP GARAGE DOOR, PTD. GRAY	26	09 WOOD TRELLIS	18 POOL EQUIPMENT ENCLOSURE	27	<p><b>HATCHES</b></p> <p>STUCCO</p> <p>WOOD</p> <p><b>TAGS</b></p> <p>DOOR TAG</p> <p>WINDOW TAG</p> <p>EQUIPMENT TAG</p> <p>FIXTURE TAG</p> <p>FINISH TAG</p> <p>FINISH FLOOR ELEV.</p> <p>MATCHLINE</p> <p>REVISION</p> <p>EGRESS</p> <p><b>PARTITIONS</b></p> <p>NEW PARTITION (WITH TYPE TAG)</p> <p><b>DIMENSIONS</b></p> <p>FACE OF FINISH</p> <p>FACE OF FRAMING</p> <p>0' 4' 8' 16'</p>
01 CLASS A FIRE-RATED METAL STANDING SEAM ROOF	10 SKYLIGHT	19 WOOD SLAT RAILING, 42" MIN. HEIGHT, MAX. 4" C.L.R. SPACING BETWEEN RAILS																											
02 STUCCO, PTD. WHITE	11 CLASS A FIRE-RATED BUILT-UP ROOF	20 4" DOWNSPOUT TO LID BMP																											
03 STUCCO, PTD. BLACK	12 18" WIDE ROLL-UP GARAGE DOOR	21 4" INTERNAL DOWNSPOUT TO LID BMP																											
04 WOOD SIDING	13 8' WIDE ROLL-UP GARAGE DOOR	22 530-GALLON RAIN TANK, SEE 02A022																											
05 WOOD SLATS	14 WD. SIDING OVER 1/2" TYPE 'X' GYP. PER CBC 707A.3 TYP.	23 MUDMAN PIZZA OVEN, 54" WIDE MEDIA-WAP PROFESSIONAL, ACR BUILT IN																											
06 MIN. 1/2" GLASS RAILING, 42" MIN. HEIGHT	15 GRAY SIDING TO MATCH PERIMETER FENCE	24 36" J.R. WOOD SHOW BROILER																											
07 CLERESTORY WINDOWS	16 OPERABLE SLIDING WOOD SCREEN	25 30" KITCHEN AID GRILL, NATURAL GAS																											
08 PLANTED EDGE BOX WITH GLASS RAILING, 42" MIN. HEIGHT	17 24" WIDE ROLL-UP GARAGE DOOR, PTD. GRAY	26																											
09 WOOD TRELLIS	18 POOL EQUIPMENT ENCLOSURE	27																											

PROJECT NAME & ADDRESS:  
714-716 RESIDENCE  
714-716 PALMS BOULEVARD  
VENICE, CA 90291

LEGAL DESCRIPTION:  
APN: 4241015022  
TRACT: VENICE PARK TRACT  
LOT: 4  
BLOCK: 6  
PROJECT NUMBER: 1830

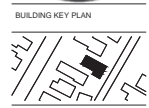
OWNER:  
ELI & STEPHANIE HOLZMAN  
730 SUPERBA AVENUE  
VENICE, CA 90291

ARCHITECT:  
**BESTOR ARCHITECTURE**  
2030 HYPERION AVE (LOS ANGELES, CA 90027)  
323.465.0209

CONSULTANTS:  
GEOTECHNICAL ENGINEER:  
GROVER HOLLINGSWORTH &  
ASSOCIATES, INC.  
31129 VIA COLINAS, SUITE 707  
WESTLAKE VILLAGE, CA 91362  
T 818-889-0844

LAND USE CONSULTANT:  
PACIFIC CREST CONSULTANTS  
23622 CALABASAS RD, SUITE 100  
CALABASAS, CA 91302  
T 818-491-9309

STRUCTURAL ENGINEER:  
CRAG PHILLIPS ENGINEERING  
& DESIGN  
2120 WEST AVE  
LOS ANGELES, CA 90026  
T 310-625-2325



SUBMITTAL RECORD:

#	DATE	SUBMITTAL NAME
01	09/05/2019	CSP APPLICATION
02	10/05/2019	CSP PRELIMINARY
03	10/05/2019	PERMIT SET
04	03/16/2020	CSP PRELIMINARY
05	06/05/2020	PERMIT PRELIMINARY
06	06/16/2021	CSP PRELIMINARY
07	09/16/2021	CSP PRELIMINARY

SCALE  
1/4" = 1'-0"

DRAWING TITLE  
ELEVATIONS

SHEET NUMBER  
**A201**  
02.08.2021