

## **CALIFORNIA COASTAL COMMISSION**

South Coast District Office  
301 E Ocean Blvd., Suite 300  
Long Beach, CA 90802-4302  
(562) 590-5071



# **Th14d**

**5-20-0595 (Baboolal)**

**FEBRUARY 11, 2021**

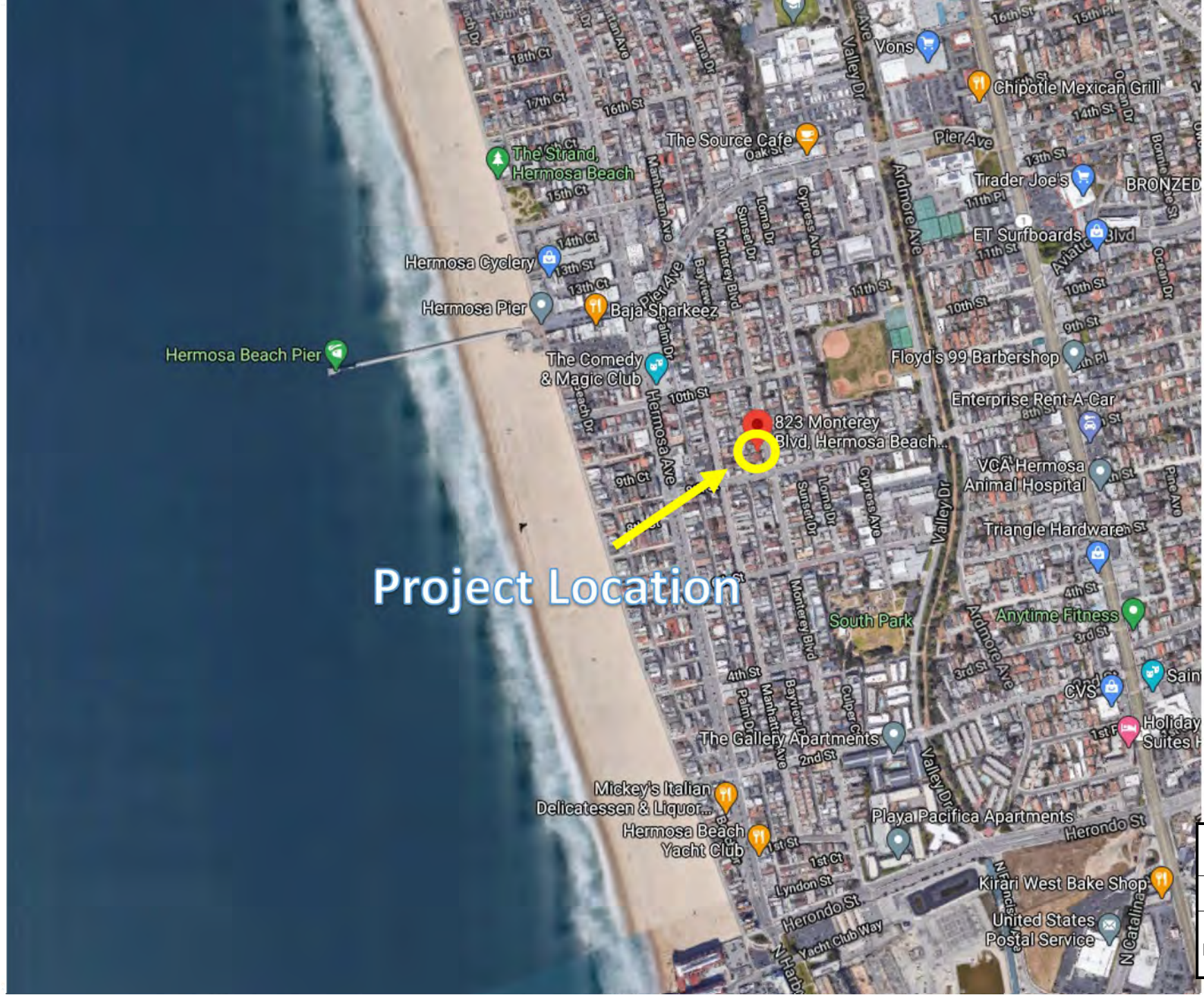
### **EXHIBITS**

#### **Table of Contents:**

Exhibit 1 – Vicinity Map and Project Site

Exhibit 2 – Project Plans

Exhibit 3 – Commission Approvals of Housing Density Reduction Projects



Project Location

## Exhibit 1

Page 1 of 2



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## Exhibit 1

Page 2 of 2



California Coastal  
Commission



# BABOOLAL RESIDENCE

823 Monterey Blvd. Hermosa Beach, CA 90254



## PROJECT INFORMATION

Project Info • Topic	Information
STREET ADDRESS	823 Monterey Blvd. Hermosa Beach, CA 90254
NUMBER OF STORIES	3
APN	4187-009-018
LEGAL DESCRIPTION	TRACT # 880 LOT 15 BLK A
OCCUPANCY	R-3 SINGLE FAMILY RESIDENCE
CONSTRUCTION TYPE	I-4S
ZONING	R-3
MAX. ALLOWABLE HEIGHT	35'-0"
LOT AREA	2,500 SF
FIRE ZONE	N/A
PROJECT DESCRIPTION	NEW 3,974 SF 3-STORY HOME WITH A ATTACHED ADJ. PAVING AND LANDSCAPE IMPROVEMENTS.
APPLICABLE CODES & STANDARDS:	2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA FIRE CODE, 2019 CALIFORNIA RESIDENTIAL CODE, 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

LOT AREA	2,500 SQFT	
MAX LOT COVERAGE 65%	1,625 SQFT ALLOWED	
PROPOSED LOT COVERAGE	1,580 SQFT (63.0%)	
LEVEL 1		
LIVING AREA	285 SQFT	
ADJ.	684 SQFT	
GARAGE	520 SQFT	
LEVEL 2		
LIVING AREA	1,480 SQFT	EXCLUDES STAIRS
FRONT PATIO	252 SQFT	
LEVEL 3		
LIVING AREA	1,029 SQFT	EXCLUDES STAIRS
BALCONY	16 SQFT	
DECK	555 SQFT	
TOTAL BLDG. AREA		
	3,970 SQFT	
TOTAL BLDG. LIVING AREA		
	3,448 SQFT	
TOTAL BALCONY AND DECK		
	561 SQFT	
TOTAL OPEN SPACE		
	625 SQFT	

## PROJECT DIRECTORY

CLIENT	CIVIL
NAME: PAUL AND HEATHER BABOOLAL	NAME: BOLTON ENGINEERING CORPORATION
CONTACT: PAUL AND HEATHER BABOOLAL	CONTACT: DAN BOLTON
ADDRESS: 823 Monterey Blvd. Hermosa Beach, CA 90254	ADDRESS: 25834 NARBONNE AVE., SUITE 210 LOMITA, CA 90371
PHONE: (310) 922-5875	PHONE: (310) 325-4592
EMAIL: paul.baboolal@nm.com, heatherbaboolal@gmail.com	EMAIL: dbolton@boltonengineering.com
WEBSITE: www.baboolalnm.com, baboolal@gmail.com	WEBSITE: www.boltonengineering.com

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EMAIL: joe@calarchitect.com
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PHONE: (310) 543-9433
EMAIL: mcorrad@denn.com
WEBSITE: www.denn.com

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NAME: SEED GROUP LA
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WEBSITE: www.seedgroupla.com

GEOTECH
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PHONE: (562) 798-4489
EMAIL: mmark@norcaleng.com
WEBSITE: www.norcaleng.com

## DEFERRED SUBMITTALS BY OTHERS

1. .

## SHEET INDEX

GENERAL ARCHITECTURAL	CIVIL
A2.00 COVER SHEET	C-1 CIVIL PLAN
A6.10 ABBREVIATIONS, SYMBOLS, LEGENDS	C-2 GRADING AND DRAINAGE
A6.11 GENERAL NOTES	C-3 DETAILS
A6.12 GENERAL NOTES	C-4 EROSION CONTROL PLAN

SURVEY
SURVEY

ARCHITECTURAL DEMO
ARCHITECTURAL DEMO

ARCHITECTURAL
A1.00 SITE PLAN
A1.01 OPEN SPACE & LOT COVERAGE
A2.00 FLOOR PLAN-LEVEL 1
A2.01 FLOOR PLAN-LEVEL 2
A2.02 FLOOR PLAN-LEVEL 3
A2.03 ROOF PLAN
A2.04 HEIGHT CALCULATION
A3.00 EXTERIOR ELEVATION
A3.01 EXTERIOR ELEVATION
A4.01 BUILDING SECTION

LANDSCAPE
L-1.0 PLANTING PLAN
L-2.0 IRRIGATION PLAN
L-2.1 HYDROZONE MAP AND WATER CALCULATIONS
L-2.2 HYDROZONE MAP AND WATER CALCULATIONS
L-2.3 NOTES

## PROJECT SUMMARY

PROJECT LOCATION: 823 Monterey Blvd. Hermosa Beach, CA 90254

LEGAL DESCRIPTION: TRACT # 880 LOT 15 BLK A

ASSESSOR PARCEL NO.: 4187-009-018

ZONING: R-3

SCOPE OF WORK: PLEASE SELECT ALL APPLICABLE AREAS OF WORK:

<input checked="" type="checkbox"/> NEW SINGLE-FAMILY	<input type="checkbox"/> PATIO COVER
<input checked="" type="checkbox"/> ADDITION	<input type="checkbox"/> TRELLIS
<input checked="" type="checkbox"/> ACCESSORY DWELLING UNIT	<input type="checkbox"/> POOL/SPA
<input type="checkbox"/> REMODEL	<input type="checkbox"/> STORAGE UNIT
<input type="checkbox"/> EXTERIOR MODIFICATIONS	<input type="checkbox"/> SHED
<input type="checkbox"/> ROOF MODIFICATIONS	<input type="checkbox"/> MECHANICAL EQUIPMENT (A/C, WATER HEATER)
<input type="checkbox"/> DRIVEWAY MODIFICATIONS	<input type="checkbox"/> UTILITY METERS (WATER, GAS, ETC.)
<input type="checkbox"/> OTHER:	

Description:

NEW 3,970 SF 3-STORY HOME WITH A ATTACHED 684 SF ADJ. PAVING AND LANDSCAPE IMPROVEMENTS.

GENERAL BUILDING INFORMATION (NOTE: FOR ADDITION AND REMODEL PROJECTS, PLEASE PROVIDE INFORMATION FOR EXISTING AREA AND ADDED AREA.)		
Garage (Interior Dimensions)	Existing	Proposed
	335 SF	489 SF
1ST LEVEL LIVING AREA	872 SF	295 SF + 884 SF ADJ.
2ND LEVEL LIVING AREA	688 SF	1,450 SF
DECK/SBALCONIES	162 SF	
3RD LEVEL LIVING AREA	N/A	1,326 SF
DECK/SBALCONIES	N/A	681 SF
TOTAL LIVING AREA	1,660 SF	3,448 SF
TOTAL DECK/SBALCONIES	162 SF	681 SF
NO. OF BEDROOMS	2	4
NO. OF BATHROOMS	1	4.5

ZONING INFORMATION		
AREA	REQUIRED	PROVIDED
LOT AREA	2,500 SF	2,500 SF
LOT COVERAGE	1,625 SF (65% Max)	1,580 SF (63.0%)
YARDS		
FRONT	5'-0"	5'-0"
SIDE	5'-0"	5'-0"
REAR	10'-0" (5'-0" MIN. @ 10' SETBACK) 10'-0" (5'-0" MIN. @ 10' SETBACK)	10'-0" (5'-0" MIN. @ 10' SETBACK)
PARKING AND DRIVEWAYS:		
NUMBER OF SPACES	2	2
GUEST SPACES	17'-0"	17'-0"
PARKING SETBACK	20'-0" X 8'-0"	20'-0" X 8'-0"
PARKING STALL DIMENSION	20'-0" X 8'-0"	20'-0" X 8'-0"
TURNING AREA	N/A	N/A
DRIVEWAY WIDTH	8'-0"	8'-0"
DRIVEWAY MAXIMUM SLOPE	20% MAX	12% MAX

OPEN SPACE	PROVIDED
ON GRADE	1,889 SF
DECK/SBALCONIES	162 SF
TOTAL	1,487 SF

BASEMENT QUALIFICATION CALCULATION (REQUIRED FOR ALL PROJECTS PROPOSING TWO STORIES AND 1ST LEVEL F.F. ELEVATION)	
LINEAL FEET (L.F.) OF PERIMETER	
L.F. OF PERIMETER < 6' FROM GRADE TO F.F. ABOVE	
% OF PERIMETER < 6' TO F.F. ABOVE	

## VICINITY MAP



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BABOOLAL RESIDENCE  
823 Monterey Blvd, Hermosa Beach, CA 90254

SUBMITTAL
A Planning Docs 08/29/20
B Planning Docs 10/20/20
C Planning Docs 10/16/20

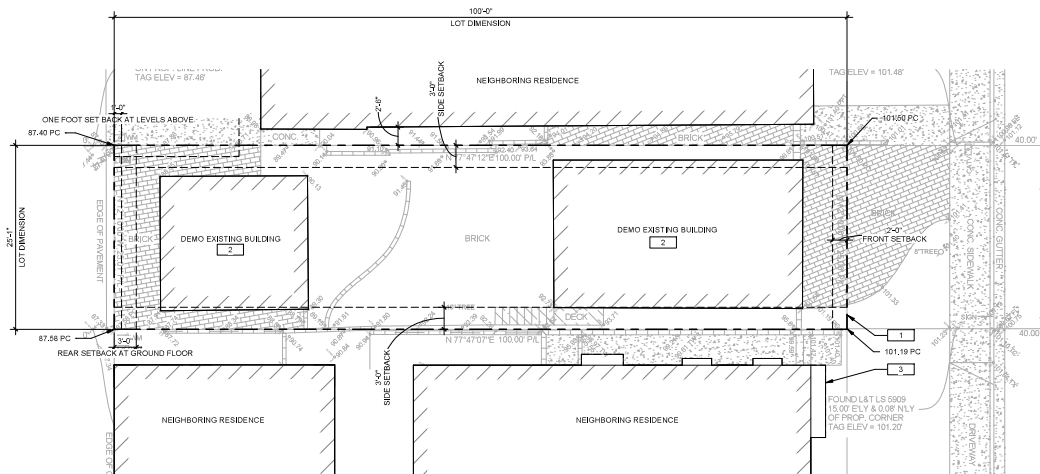


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Exhibit 2

Page 1 of 16

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EXISTING SITE PLAN | 1  
1/8" = 1'-0"

### DEMOLITION NOTES

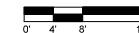
1. The contractor shall protect existing to remain, new work, and all adjacent property and landscape from loss or damage resulting from operations for the duration of the project. In the event of such loss or damage by the contractor or his subcontractors, the contractor shall make such replacements or repairs as required without additional cost to the owner.
2. Refer to civil drawings for all notes and information related to existing and proposed utilities including location of existing utilities prior to any site demolition or clearing or associated with any site grading or trenching operations.
3. All existing and proposed utility structures including but not limited to valve boxes, sewer and storm structures, electrical, water, gas and telephone boxes and vaults occurring in the location of proposed improvements shall be noted to the proper grade based on proposed grades.
4. Existing underground utilities and improvements are shown in their approximate locations based upon record information available at the time of preparation of these plans. Refer to civil drawings. Locations may not have been verified in the field and no guarantee is made as to the accuracy and completeness of the information shown. The exact location and elevation of utilities shall be determined by the contractor.
5. Contractor to recycle, strategic waste reduction, & divert demolished materials where possible.

### LEGEND

- PROPERTY LINES
- - - - - BUILDING SETBACK

### KEYNOTES

1. PROPERTY LINE
2. EXISTING TO BE REMOVED
3. FLOOR ABOVE



## Exhibit 2

Page 2 of 16



California Coastal Commission

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PROJECT  
BABOOLAL RESIDENCE  
823 Monterey Blvd, Hermosa Beach, CA 90254

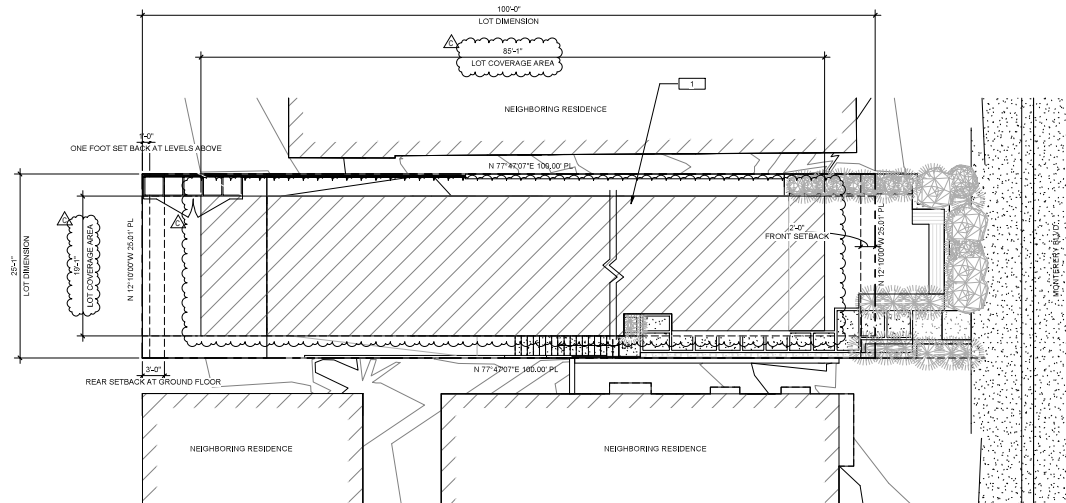
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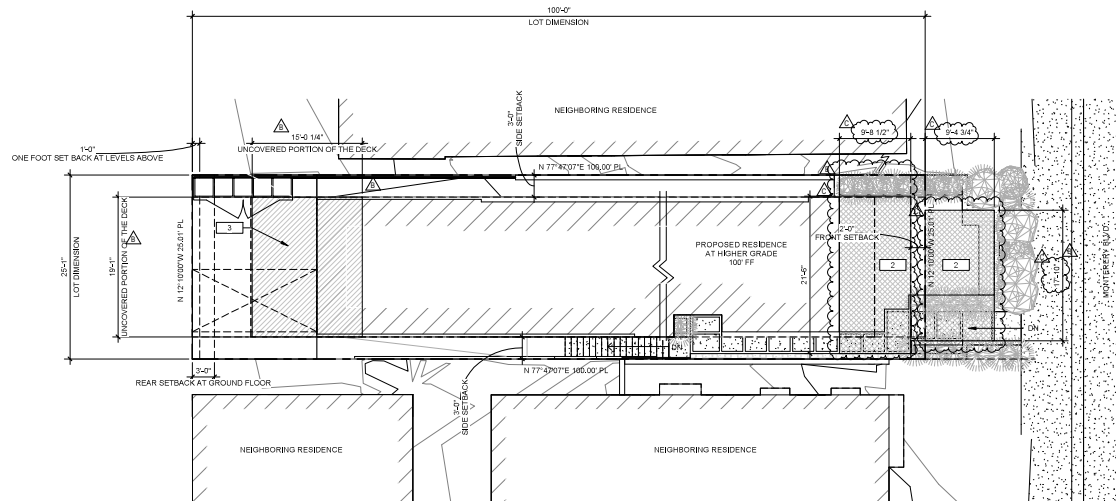
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PROPOSED LOT COVERAGE DIAGRAM | 2  
1/8" = 1'-0"



PROPOSED OPEN SPACE DIAGRAM | 1  
1/8" = 1'-0"



#### LEGEND

- LOT COVERAGE AREA (1,550 SF)
- OPEN SPACE ON GROUND LEVEL (376.3 SF)
- UNCOVERED PORTION OF THE DECK ABOVE (286.8 SF)



#### LOT AREA CALCULATION

LOT AREA: 2,500 SF  
MAXIMUM LOT COVERAGE: 62%  
PROPOSED LOT COVERAGE: 1,550 SF (62.0%)

#### OPEN SPACE CALCULATION

OPEN SPACE ON GROUND LEVEL: 376.3 SF  
UNCOVERED PORTION OF THE DECK ABOVE: 286.8 SF  
OPEN SPACE TOTAL: 663.1 SF



#### KEYNOTES

- LOT COVERAGE AREA
- OPEN SPACE ON GROUND LEVEL
- UNCOVERED PORTION OF THE DECK



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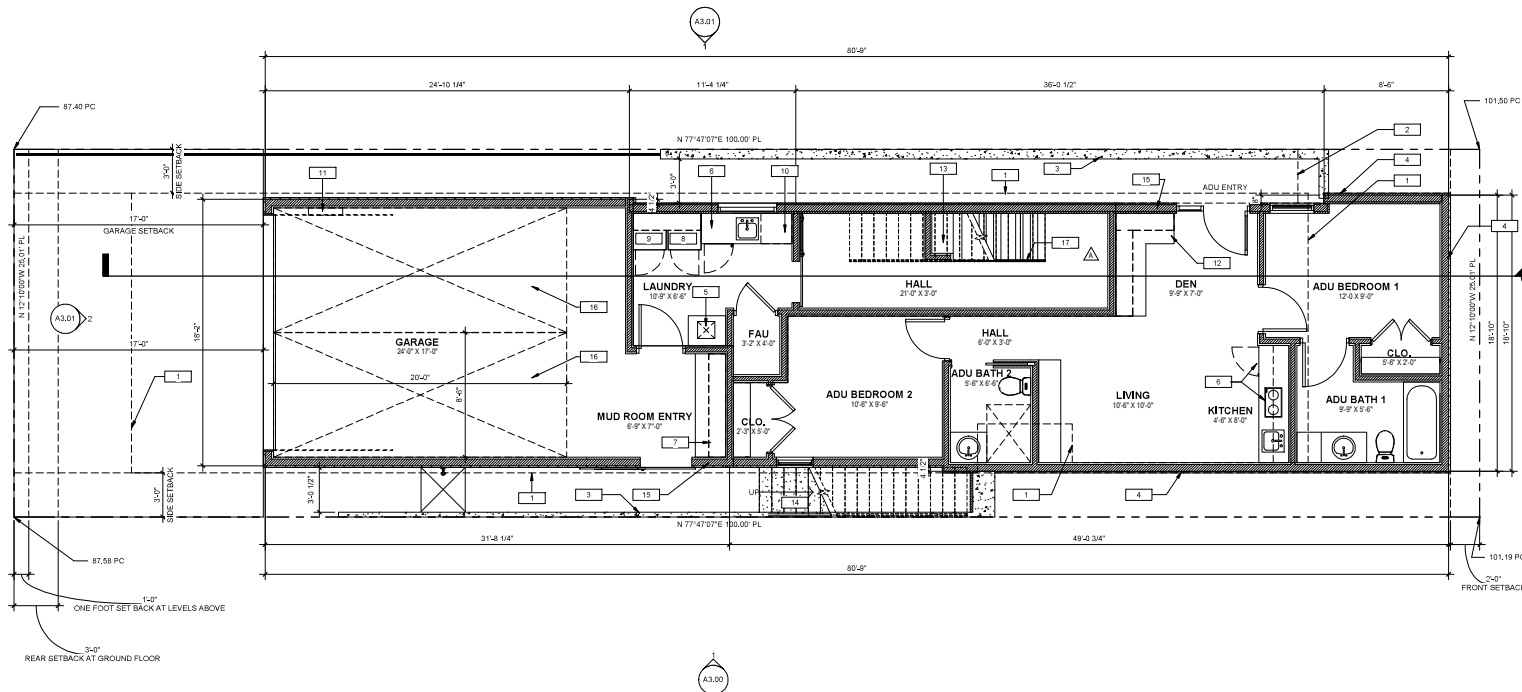
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## Exhibit 2

Page 4 of 16



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# FLOOR PLAN NOTES

- Dimensions indicated on plans for horizontal control are accurate if measured on a level line not parallel with ground slope.
- Coordinate partition framing with required structural, mechanical, plumbing, and electrical work.
- "Typical" or "TYP" means identical for all similar conditions, unless otherwise noted. "Similar" or "SIM" means comparable characteristics to the elevation or detail noted. Verify dimensions and orientation of the plan.
- Plan dimensions on drawings are shown to the centerline of studs in all interior walls and exterior of stud at all exterior walls U.S.O.
- Height dimensions are measured from the top of the slab or sheathing, (unless noted "A.F.F." above finish floor) to the top plate elevation. Dimensions are not adjustable without review of the architect.
- Ceiling height dimensions labeled with "MIN." should be constructed tight to the structure or ducting above.
- Contractor to field verify dimensions for any existing conditions.
- Wrap all drainage pipes located inside of walls to minimize sound transmission.

## LEGEND

- WINDOW TYPE
- INTERIOR PARTITION TYPE
  - A = WALL TYPE, VARIES (LETTER WILL VARY)
  - 2 = NOMINAL STUD SIZE (NUMBER WILL VARY)
  - X = 5/8" TYPE 'X' GYP, WHERE OCCURS
- DOOR NUMBER
- ROOM TAG
- EXISTING TO REMAIN
- EXISTING TO REMOVE
- NEW
- 1HR
- 2HR
- PROPERTY LINES
- BUILDING SETBACK

## KEYNOTES

- FLOOR ABOVE
- PLANTER ABOVE
- SITE WALL - RETAINING
- RETAINING WALL
- LAUNDRY CHUTE
- REFRIGERATOR AND COOKTOP
- UPPER CABINETS
- CLOTHES WASHER
- CLOTHES DRYER
- UNDERCOUNTER CAT AREA
- ELECTRIC VEHICLE CHARGING PORT
- BENCH SEAT WITH UPPEERS
- CONTROL 4 UNDER STAIRS
- AT GRADE STEPS
- NON-RETAINING WALL
- PARKING SPACE
- PROPOSED INTERIOR STAIRWAY TO HAVE A MINIMUM OF ONE OPEN WALL THAT IS NOT MORE THAN 42" IN HEIGHT CONTAINING AN OPEN GUARD RAIL PURSUANT TO HBMC SECTION 17.04.040

PROPOSED LEVEL 1 | 1  
1/4" = 1'-0"



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**JOSEPH SPIERER ARCHITECTS, INC.**  
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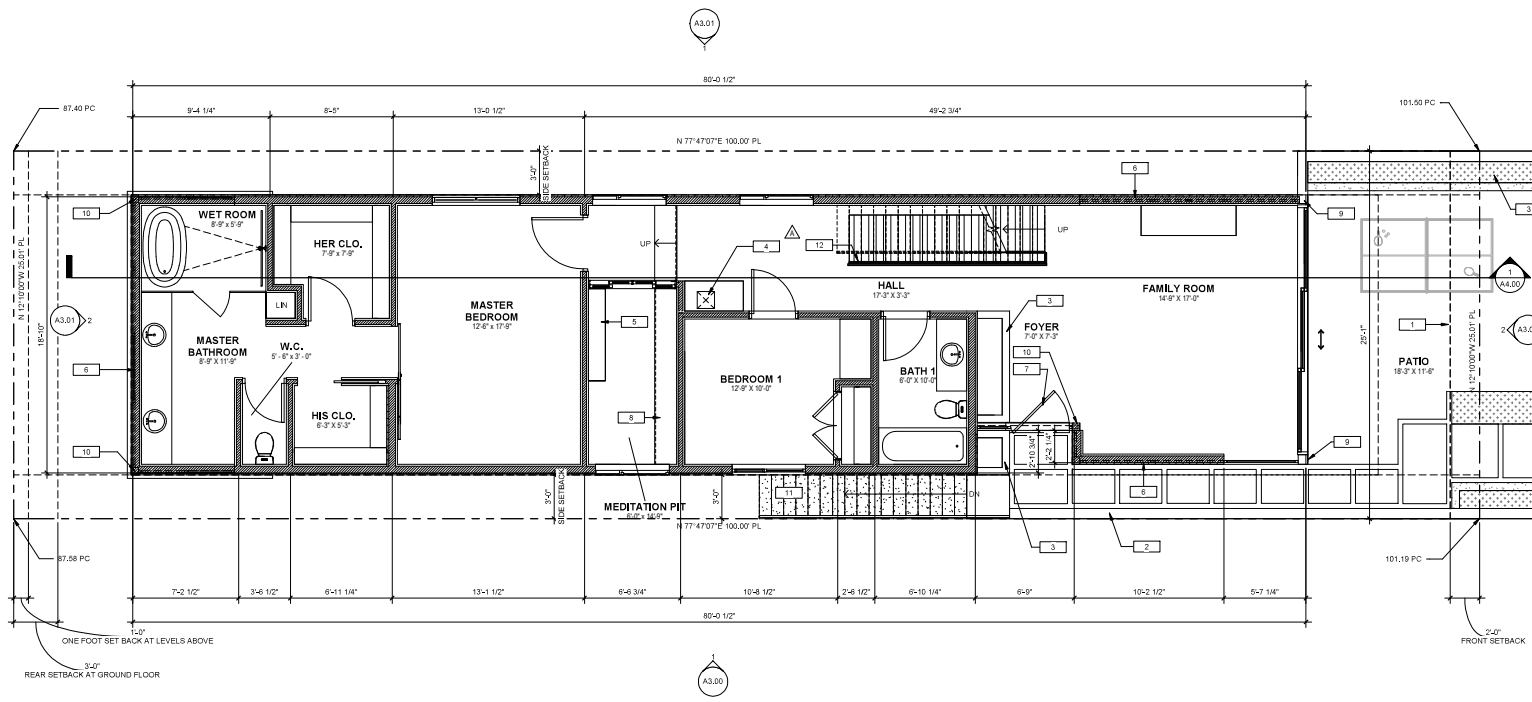
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## Exhibit 2

Page 5 of 16







- FLOOR PLAN NOTES**
- Dimensions indicated on plans for horizontal control are accurate if measured on a level line not parallel with ground slopes.
  - Coordinate partition framing with required structural, mechanical, plumbing, and electrical work.
  - "Typical" or "TYP" means identical for all similar conditions, unless otherwise noted. "Similar" or "SIM" means comparable characteristics to the elevation or detail noted. Verify dimensions and orientation of the plan.
  - Plan dimensions on drawings are shown to the centerline of studs in all interior walls and exterior of stud at all exterior walls U.N.C.
  - Height dimensions are measured from the top of the slab or sheathing, (unless noted) "A.F.F." (above finish floor) to the top plate elevation. Dimensions are not adjustable without review of the architect.
  - Ceiling height dimensions labeled with "M.C." should be constructed tight to the structure or ducting above.
  - Contractor is field verify dimensions for any existing conditions.
  - Wrap all drainage pipes located inside of walls to minimize sound transmission.

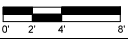
- LEGEND**
- WIND WINDOW TYPE
  - INTERIOR PARTITION TYPE
    - A = WALL TYPE, VARIES (LETTER WILL VARY)
    - 2 = NOMINAL STUDS, ELEV. NUMBER WILL VARY
    - X = 5/8" TYPE X GYP, WHERE OCCURS
  - DOOR NUMBER
  - KITCHEN
  - ROOM TAG
  - EXISTING TO REMAIN
  - EXISTING TO REMOVE
  - NEW
  - 1HR
  - 2HR
  - PROPERTY LINES
  - BUILDING SETBACK

- KEYNOTES**
- FLOOR ABOVE
  - SITE WALL
  - PLANTER
  - LAUNDRY CHUTE
  - BOOKSHELF
  - WINDOW- CLERESTORY
  - PIVOT DOOR
  - STEP SEATING
  - 8"x8" COLUMN
  - 6"x8" COLUMN
  - AT GRADE STEPS
  - PROPOSED INTERIOR STAIRWAY TO HAVE A MINIMUM OF ONE OPEN WALL THAT IS NOT MORE THAN 42" IN HEIGHT CONTAINING AN OPEN GUARD RAIL PURSUANT TO HBMC SECTION 11.04.240

**KEYNOTES**

1	FLOOR ABOVE
2	SITE WALL
3	PLANTER
4	LAUNDRY CHUTE
5	BOOKSHELF
6	WINDOW- CLERESTORY
7	PIVOT DOOR
8	STEP SEATING
9	8"x8" COLUMN
10	6"x8" COLUMN
11	AT GRADE STEPS
12	PROPOSED INTERIOR STAIRWAY TO HAVE A MINIMUM OF ONE OPEN WALL THAT IS NOT MORE THAN 42" IN HEIGHT CONTAINING AN OPEN GUARD RAIL PURSUANT TO HBMC SECTION 11.04.240

PROPOSED LEVEL 2 | 1  
1/4" = 1'-0"



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**PROJECT #** 19-030

**Exhibit 2**  
Page 6 of 16

**California Coastal Commission**

FLOOR PLAN NOTES

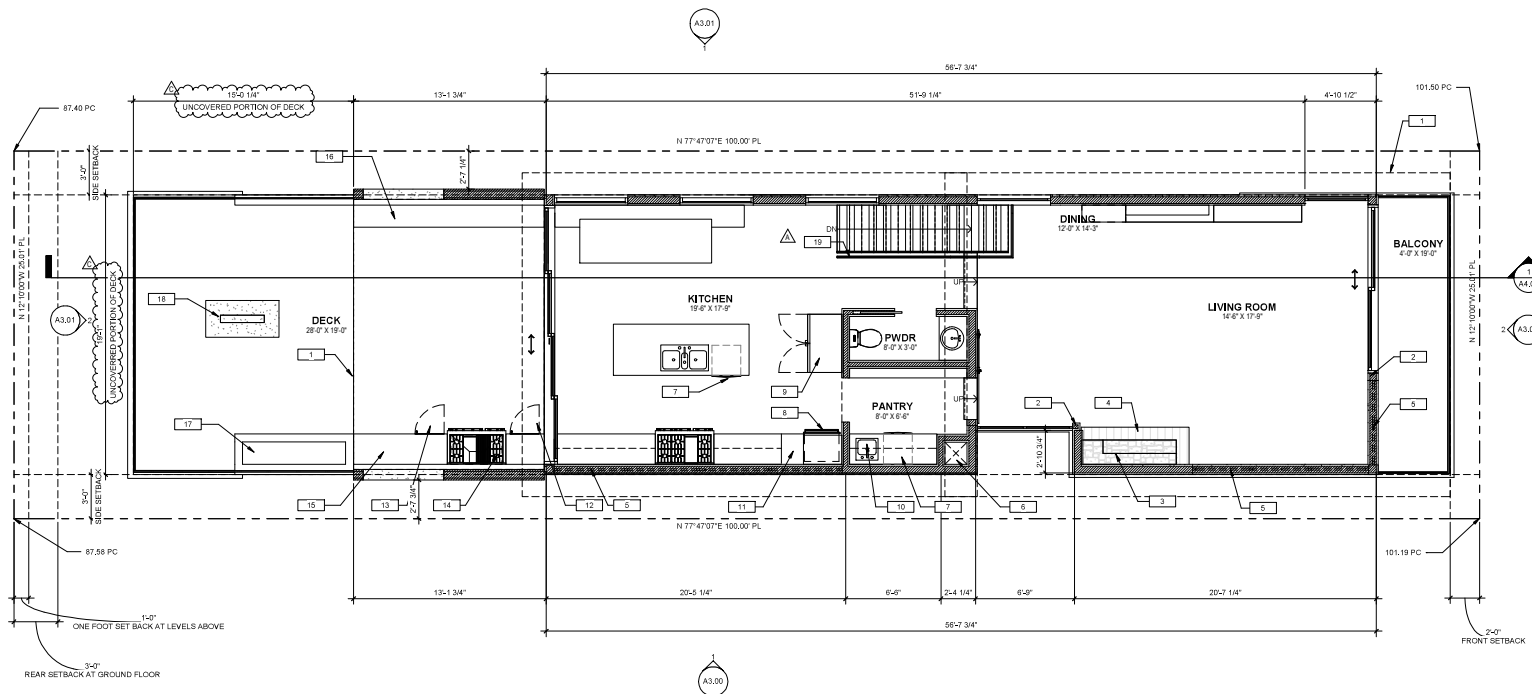
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- Height dimensions are measured from the top of the slab or sheathing, unless noted "x'x" (x' above from floor) to the top plate elevation. Dimensions are not adjustable without review of the architect.
- Ceiling height dimensions loaded with "N/A" should be constructed tight to the structure or ducting above.
- Contractor to field verify dimensions for any existing conditions.
- Wrap all drainage pipes located inside of walls to minimize sound transmission.

LEGEND

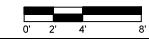
- WINDOW TYPE
- INTERIOR PARTITION TYPE
- DOOR NUMBER
- ROOM TAG
- EXISTING TO REMAIN
- EXISTING TO REMOVE
- NEW
- 1HR
- 2HR
- PROPERTY LINES
- BUILDING SETBACK

KEYNOTES

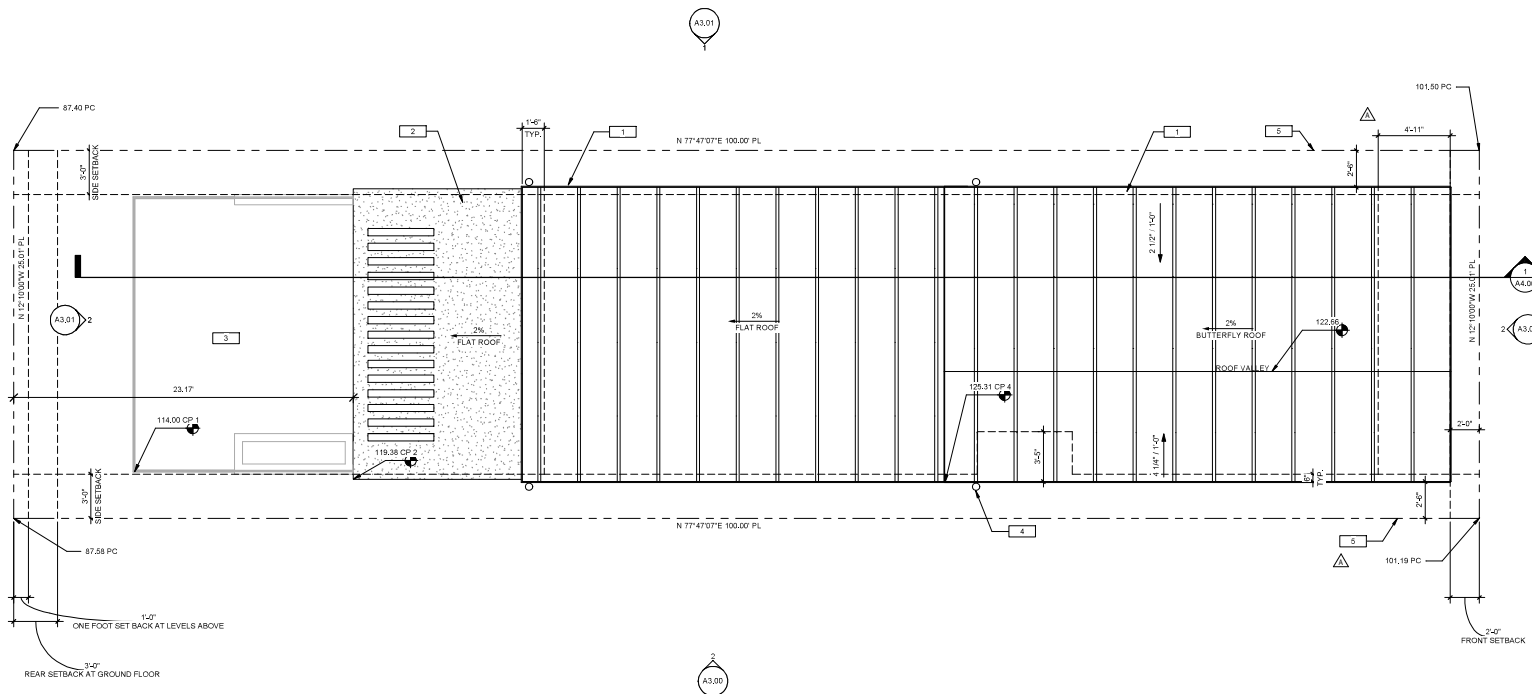
- ROOF ABOVE
- 6"X6" COLUMN
- FIREPLACE
- FIREPLACE SEAT
- WINDOW, CLERESTORY
- HVAC DUCT
- DEHWASHER
- OVEN
- REFRIGERATOR
- PREP SINK AREA
- APPLIANCE GARAGE
- 24" U.C. WINE REFRIGERATOR
- U.C. REFRIGERATOR
- GRILL WITH DUCT ABOVE
- EXTENDED COUNTER FROM INTERIOR
- EXTENDED BENCH WITH UNDER STORAGE
- HERB PLANTER
- FIREPIT
- PROPOSED INTERIOR STAIRWAY TO HAVE A MINIMUM OF ONE OPEN GUARD RAIL THAT IS NOT MORE THAN 42" IN HEIGHT, CONTAINING AN OPEN GUARD RAIL PURSUANT TO HSMC SECTION 17.04.040



PROPOSED LEVEL 3 | 1  
1/4" = 1'-0"



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- KEYNOTES**
- 1 ROOF - METAL, STANDING SEAM
  - 2 CONCRETE
  - 3 DECK BELOW
  - 4 DOWNSPOUT, TYP.
  - 5 PROPERTY LINE

PROPOSED ROOF PLAN | 1  
1/4" = 1'-0"

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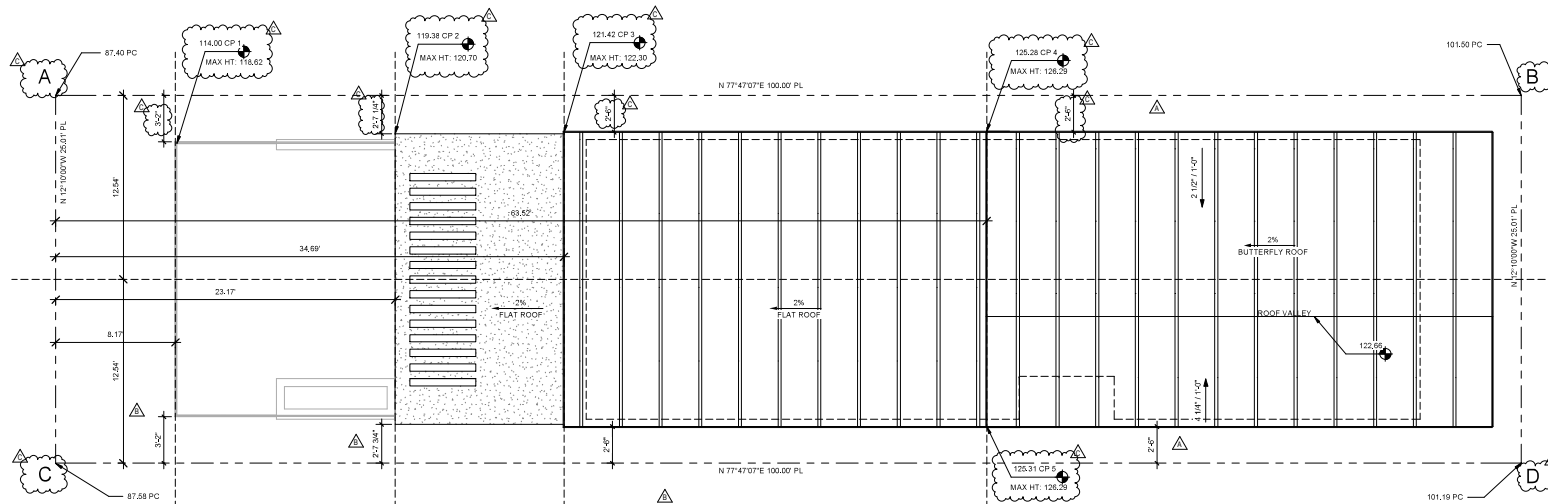
PROJECT # 19-030

## Exhibit 2

Page 8 of 16







PROPOSED ROOF PLAN HEIGHT CALCULATION 1  
1/4" = 1'-0"

# HEIGHT CALCULATIONS PER CRITICAL POINTS

## Critical Height Calculation For: CP1

Elev. PL A	87.48
Elev. PL B	101.50
Length A-B	100
Length A-BP	8.17
Elev. ABP	88.65197
Elev. PL C	87.58
Elev. PL D	101.19
Length C-D	100
Length C-CP1	8.17
Elev. C-CP1	88.69193
Length AB-CP1	25.01
Length AB-CP1	12.54
Elev. C-CP1	88.622148
Height Limit	30
Max. Ht. @ CP1	118.62
Prop. Ht. @ CP1	114

## Critical Height Calculation For: CP2

Elev. PL A	87.48
Elev. PL B	101.50
Length A-B	100
Length A-BP	23.17
Elev. ABP	90.6669
Elev. PL C	87.58
Elev. PL D	101.19
Length C-D	100
Length C-CP2	23.17
Elev. C-CP2	90.73343
Length AB-CP2	25.01
Length AB-CP2	12.54
Elev. C-CP2	90.70029
Height Limit	30
Max. Ht. @ CP2	120.38
Prop. Ht. @ CP2	119.38

## Critical Height Calculation For: CP3

Elev. PL A	87.48
Elev. PL B	101.50
Length A-B	100
Length A-BP	34.69
Elev. ABP	92.29129
Elev. PL C	87.58
Elev. PL D	101.19
Length C-D	100
Length C-CP3	34.69
Elev. C-CP3	92.301308
Length AB-CP3	25.01
Length AB-CP3	12.54
Elev. C-CP3	92.29674
Height Limit	30
Max. Ht. @ CP3	122.30
Prop. Ht. @ CP3	121.42

## Critical Height Calculation For: CP4

Elev. PL A	87.48
Elev. PL B	101.50
Length A-B	100
Length A-BP	63.52
Elev. ABP	96.33632
Elev. PL C	87.58
Elev. PL D	101.19
Length C-D	100
Length C-CP4	63.52
Elev. C-CP4	96.332072
Length AB-CP4	25.01
Length AB-CP4	12.54
Elev. C-CP4	96.290512
Height Limit	30
Max. Ht. @ CP4	126.32
Prop. Ht. @ CP4	125.31

## Critical Height Calculation For: CP5

Elev. PL A	87.48
Elev. PL B	101.50
Length A-B	100
Length A-BP	63.52
Elev. ABP	96.33632
Elev. PL C	87.58
Elev. PL D	101.19
Length C-D	100
Length C-CP5	63.52
Elev. C-CP5	96.332072
Length AB-CP5	25.01
Length AB-CP5	12.54
Elev. C-CP5	96.290512
Height Limit	30
Max. Ht. @ CP5	126.32
Prop. Ht. @ CP5	125.31

JOSEPH SPIERER ARCHITECTS, INC.  
707 TORRANCE BLVD., SUITE 100, REDONDO BEACH, CA 90277  
T: (310) 816-8161 • www.joe@spiererarchitects.com



BABOOL RESIDENCE  
823 Monterey Blvd., Hermosa Beach, CA 90254

PROJECT	DATE
REVISION	DATE
1	10/15/2020
2	10/15/2020
3	10/15/2020
4	10/15/2020
5	10/15/2020
6	10/15/2020
7	10/15/2020
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10/15/2020  
10:56:29 AM  
19-030

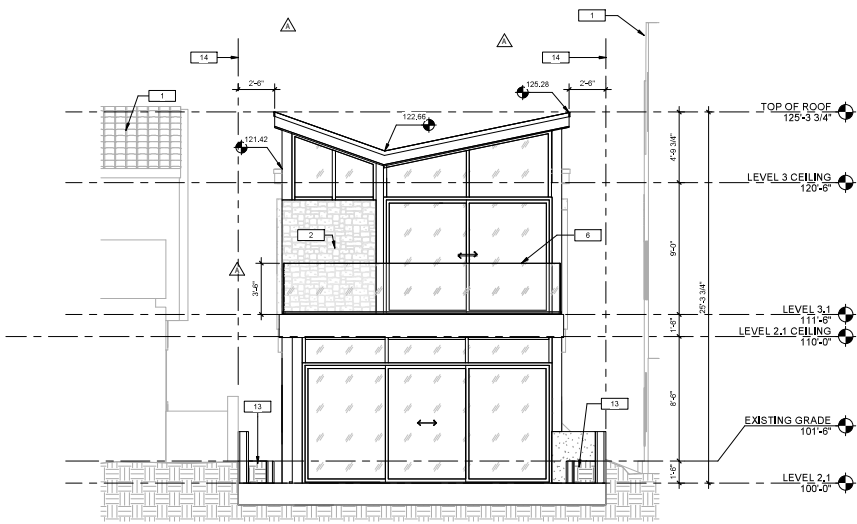
Exhibit 2

Page 9 of 16

California Coastal Commission






The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (Joseph Spierer Architects, Inc.), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (Joseph Spierer Architects, Inc.). Permits must be obtained prior to construction. No construction shall take place without applicable permits.

(DRAWN)



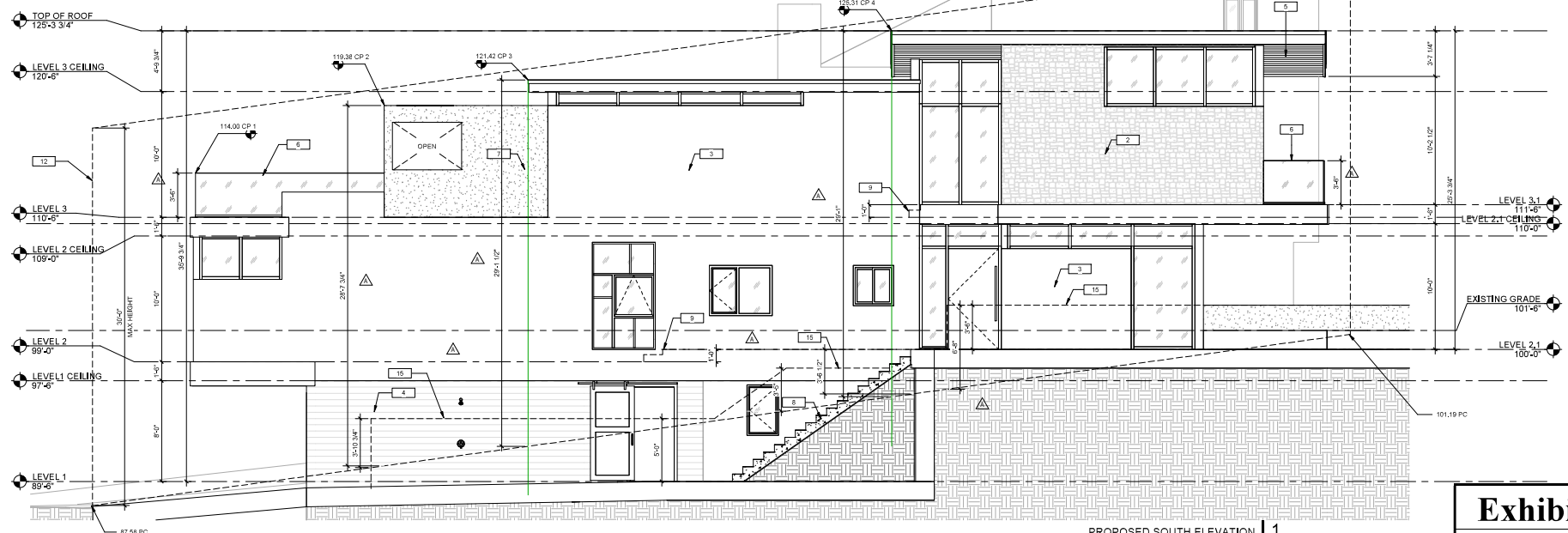
PROPOSED EAST ELEVATION | 2

### ELEVATION LEGEND

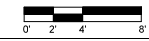
-  STUCCO
-  CONCRETE
-  WOOD SIDING/FENCE
-  STONE
-  T&G

### KEYNOTES

- 1 NEIGHBORING BUILDING
- 2 STONE
- 3 STUCCO
- 4 WOOD
- 5 TONGUE AND GROOVE
- 6 GLASS RAILING
- 7 CONCRETE
- 8 CONCRETE STEPS
- 9 LEVEL CHANGE
- 10 MAX HEIGHT
- 11 FRONT SETBACK
- 12 REAR SETBACK
- 13 PLANTER
- 14 PROPERTY LINE
- 15 SITE WALL/FENCE IN FOREGROUND

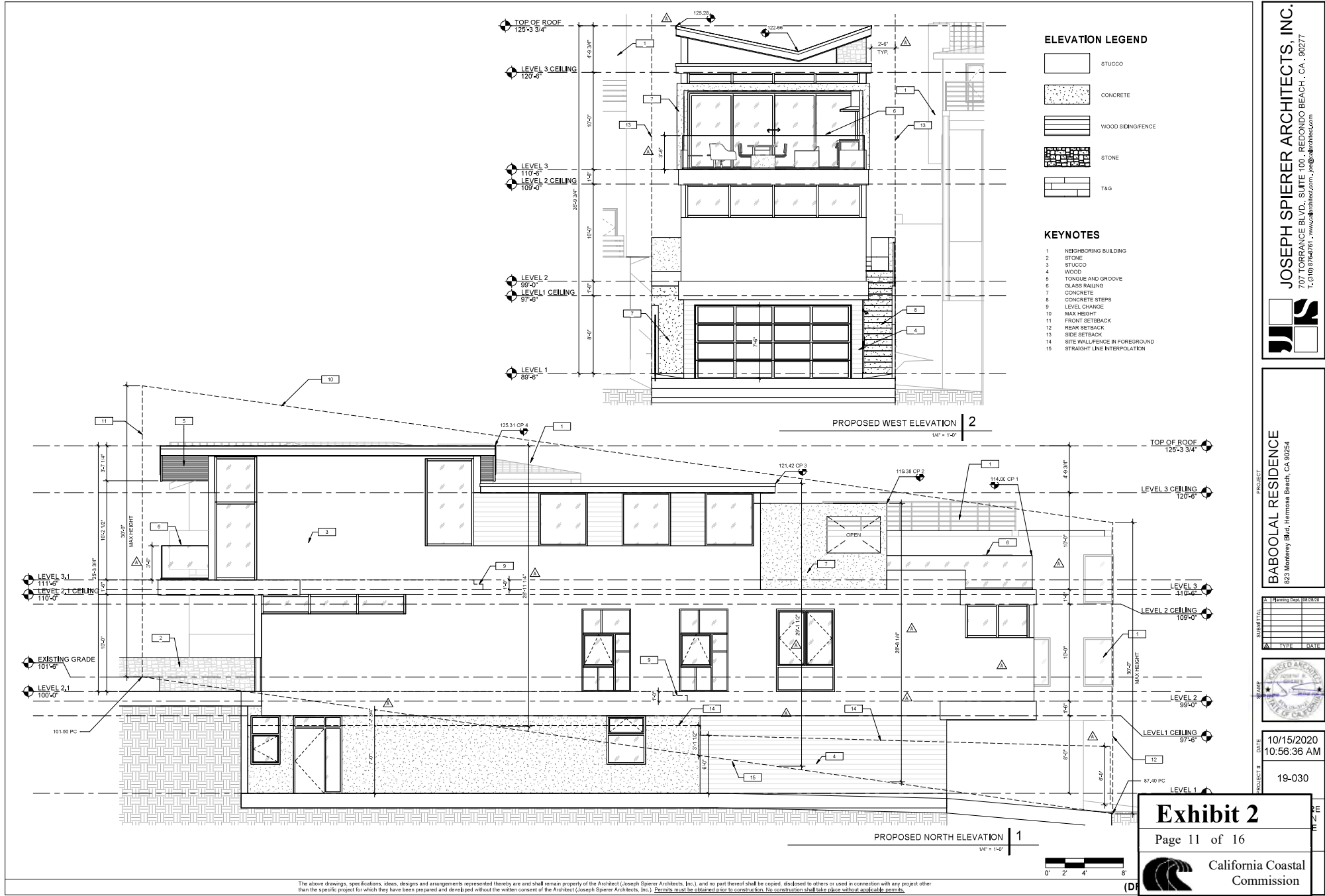


PROPOSED SOUTH ELEVATION | 1

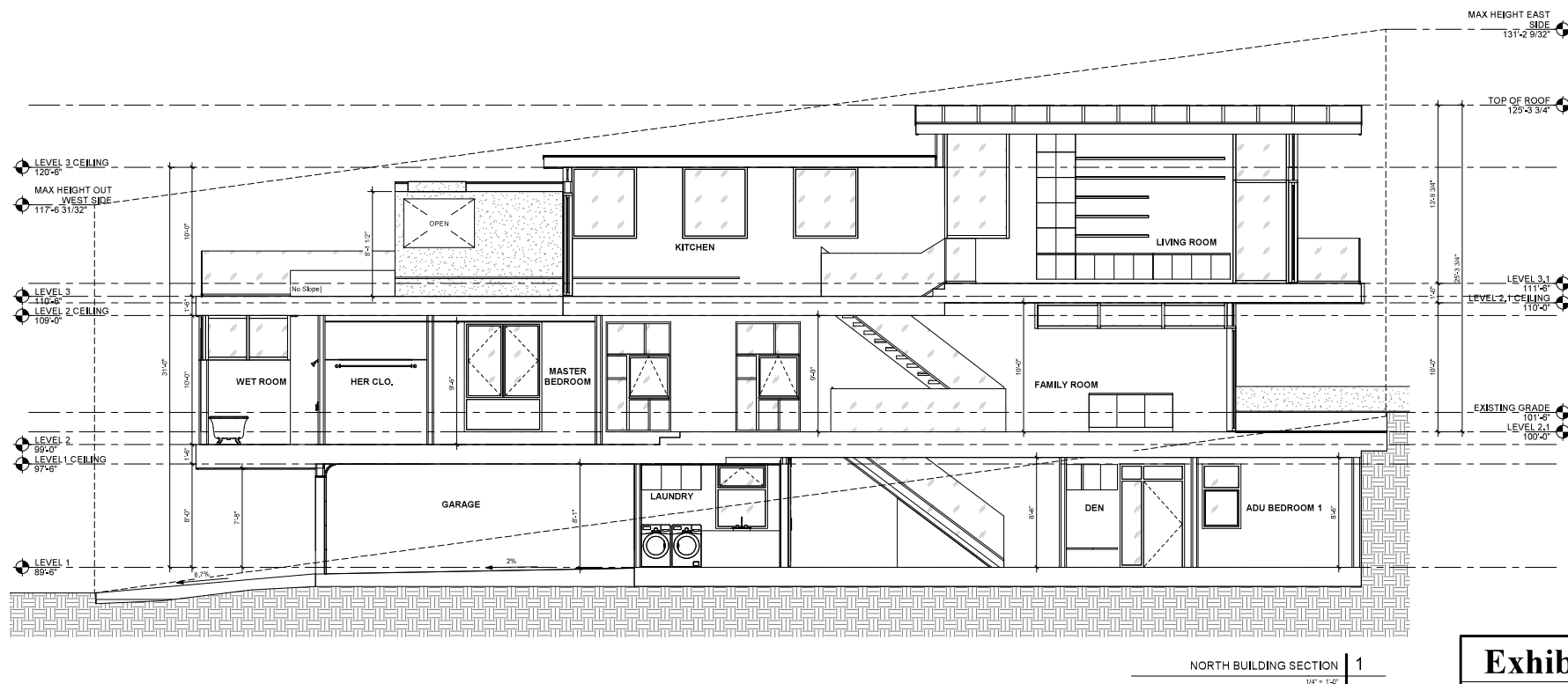


The above drawings, specifications, plans, designs and arrangements represented hereby are and shall remain property of the Architect (Joseph Spierer Architects, Inc.), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (Joseph Spierer Architects, Inc.). Permits must be obtained prior to construction. No construction shall start until all applicable permits are obtained.

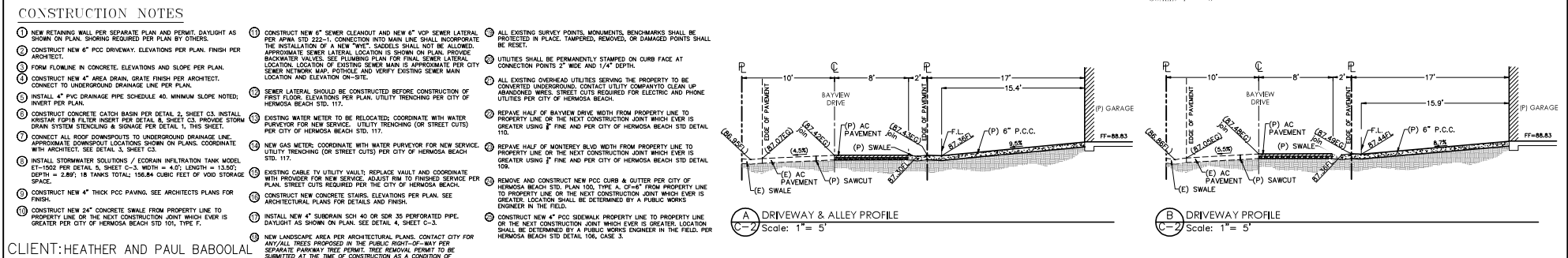
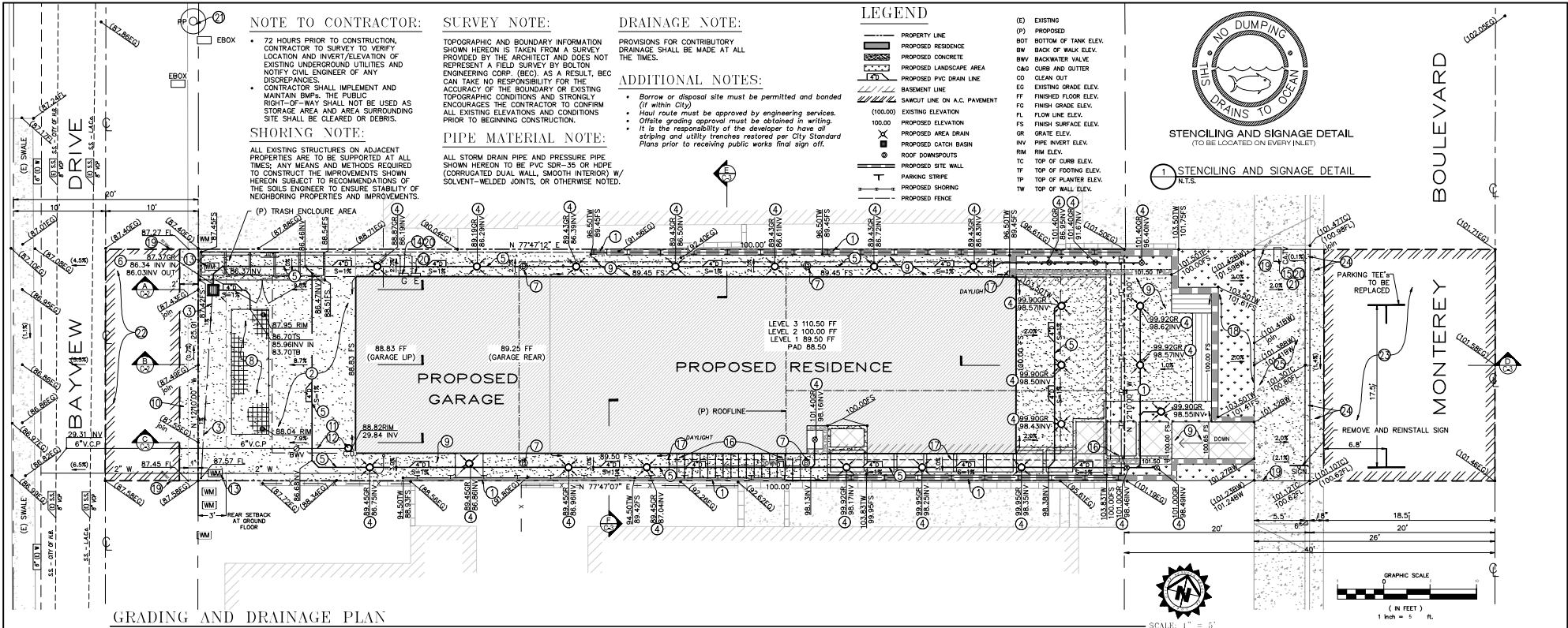
SUBMITTAL		
DATE	TYPE	DATE
10/15/2020	19-030	







The above drawings, specifications, ideas, designs and arrangements represented thereby are and shall remain property of the Architect (Joseph Spierer Architects, Inc.), and no part thereof shall be copied, disclosed to others or used in connection with any project other than the specific project for which they have been prepared and developed without the written consent of the Architect (Joseph Spierer Architects, Inc.). Permits must be obtained prior to construction. No construction shall take place without applicable permits.



CLIENT: HEATHER AND PAUL BABOOL

JOB NO: 20314

BENCH MARK:

- SET L&T RCE 30826 15.00' ELY OF CORNER ON PROP. LINE. PROD. TAG ELEV. = 87.46'
- FOUND L&T LS 5909 15.00' ELY & 0.08' NLY OF PROP. CORNER. TAG ELEV. 101.20'
- SET N&T RCE 30826 3.00' WLY OF CORNER ON PROP. LINE. PROD. TAG ELEV. = 87.43'
- SET N&T RCE 30826 3.00' WLY OF CORNER ON PROP. LINE. PROD. TAG ELEV. = 87.46'

**REVISIONS**

No.	DESCRIPTION	DATE

**BOLTON ENGINEERING CORP.**

25834 Narbonne Avenue, Suite 210  
Lomita, CA 90717

boltonengineering.com | 310.326.5588

**PLANS PREPARED BY:**

DAN BOLTON, RCE 63290

10/20/2020

ENGINEER NAME, RCE LICENSE No. DATE

**CITY OF HERMOSA BEACH PUBLIC WORKS DEPARTMENT**

RECOMMENDED FOR PERMIT ISSUANCE:

DATE

**PRIVATE IMPROVEMENT PLANS**

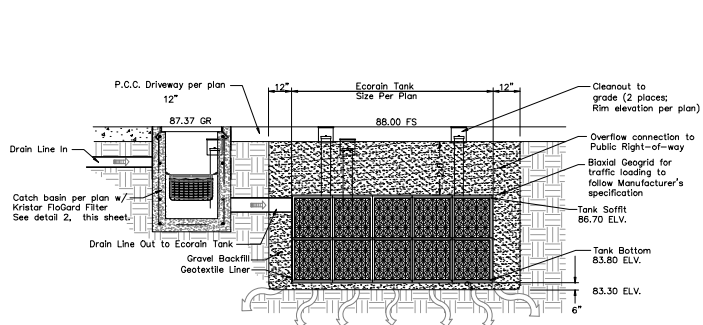
NEW SINGLE FAMILY  
823 MONTEREY BL  
HERMOSA BEACH,  
GRADING AND DRAINAGE

FILE NUMBER

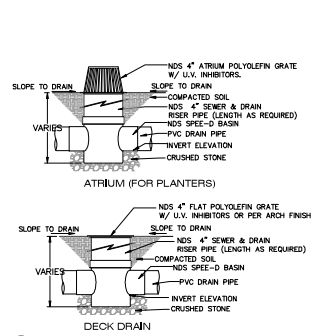
**Exhibit 2**

Page 13 of 16

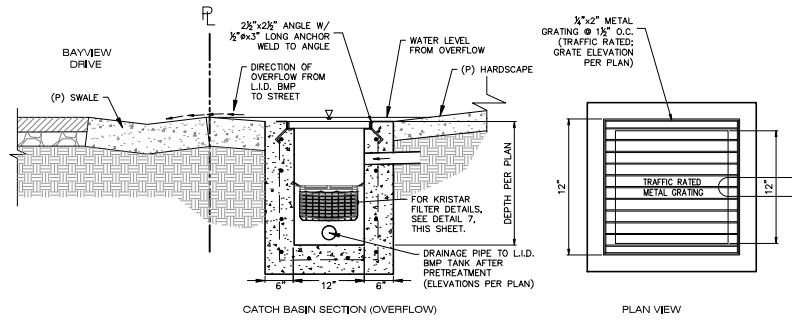
California Coastal Commission



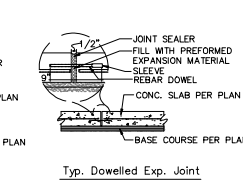
5 ECO RAIN TANK DETAIL  
N.T.S.



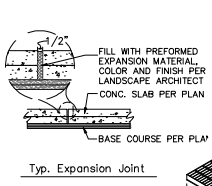
1 AREA DRAIN  
N.T.S.



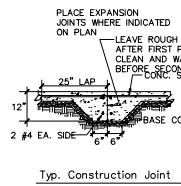
2 P.C.C. CATCH BASIN DETAIL  
N.T.S.



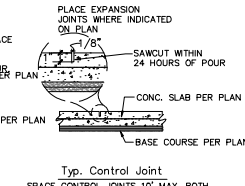
Typ. Dowelled Exp. Joint



Typ. Expansion Joint

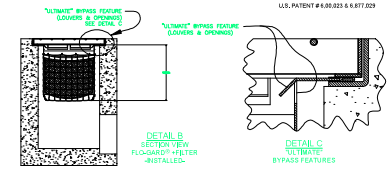


Typ. Construction Joint

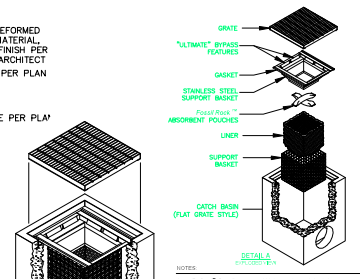


Typ. Control Joint  
SPACE CONTROL JOINTS 10' MAX. BOTH DIRECTIONS AND AT ALL INSET CORNERS.

6 JOINT DETAILS  
N.T.S.

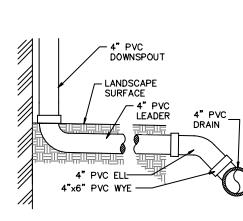


7 KRISTAR FLOGARD CATCH BASIN FILTER  
N.T.S.

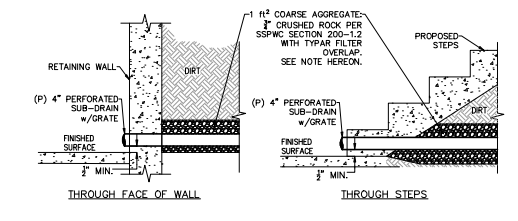


FLOGARD PLUS+ FILTER  
-INSTALLED INTO CATCH BASIN-

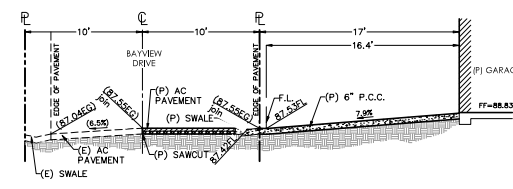
- NOTES:
1. FLOGARD PLUS+ FILTER is a registered trademark of Kristar Enterprises, Inc. and is used under license. It is not to be used in any other project without the written consent of Kristar Enterprises, Inc.
  2. If the filter is used in a catch basin, it must be installed in accordance with the manufacturer's instructions.
  3. If the filter is used in a catch basin, it must be installed in accordance with the manufacturer's instructions.
  4. If the filter is used in a catch basin, it must be installed in accordance with the manufacturer's instructions.
  5. If the filter is used in a catch basin, it must be installed in accordance with the manufacturer's instructions.
  6. If the filter is used in a catch basin, it must be installed in accordance with the manufacturer's instructions.
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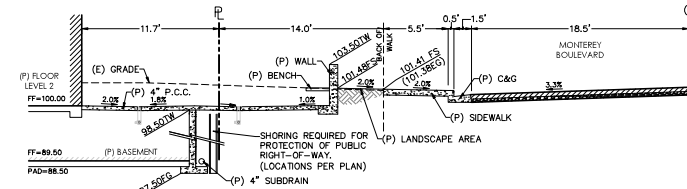
3 DOWNSPOUT  
N.T.S.



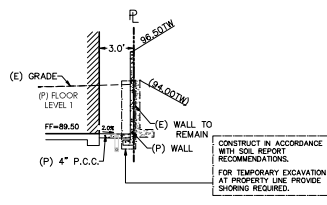
4 SUBDRAIN DETAIL  
N.T.S.



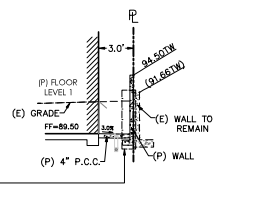
C DRIVEWAY PROFILE  
Scale: 1" = 5'



D FRONT PORCH PROFILE  
Scale: 1" = 5'



E CONCRETE WALK PROFILE  
Scale: 1" = 5'



F CONCRETE WALK PROFILE  
Scale: 1" = 5'

CLIENT: HEATHER AND PAUL BABOOLAL  
JOB NO: 20314

BENCH MARK:  
  
No. \_\_\_\_\_, ELEV. \_\_\_\_\_  
DATE ADJ. \_\_\_\_\_, QUAD. \_\_\_\_\_



REVISIONS		
No.	DESCRIPTION	DATE



25834 Narbonne Avenue Suite 210  
Lomita, CA 90717  
boltonengineering.com | 310.325.5580

PLANS PREPARED BY:



DAN BOLTON, RCE 63290 10/20/2020  
ENGINEER NAME, RCE LICENSE No. DATE

CITY OF HERMOSA BEACH  
PUBLIC WORKS DEPARTMENT

RECOMMENDED FOR PERMIT ISSUANCE:

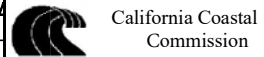
PRIVATE IMPROVEMENT PLANS

NEW SINGLE FAMILY  
823 MONTEREY BL  
HERMOSA BEACH,

CIVIL DETAIL

FILE NUMBER  
XXXX-CIVIL

Exhibit 2  
Page 14 of 16





1. IN CASE OF EMERGENCY, CALL HEATHER & PAUL BABOOLAL AT 310-922-8876
2. TOTAL DISTURBED AREA: 0.257 ACRES
- WID # N/A
- RISK LEVEL 1 2 3 (circle one as determined by State General Permit for sites greater than 1 acre)
3. A STANDBY CREW FOR EMERGENCY WORK SHALL BE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON (OCTOBER 1 TO APRIL 30). NECESSARY MATERIALS SHALL BE AVAILABLE ON-SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF EMERGENCY DEVICES WHEN RAIN IS IMMINENT.
4. EROSION CONTROL DEVICES SHOWN ON THIS PLAN MAY BE REMOVED WHEN APPROVED BY THE BUILDING OFFICIAL IF THE GRADING OPERATION HAS PROCEEDED TO THE POINT WHERE THEY ARE NO LONGER REQUIRED.
5. GRADED AREAS ADJACENT TO FILL SLOPES LOCATED AT THE SITE PERIMETER MUST DRAIN AWAY FROM THE TOP OF SLOPE AT THE CONCLUSION OF EACH WORKING DAY. ALL LOOSE SOILS AND DEBRIS THAT MAY CREATE A POTENTIAL HAZARD TO OFF-SITE PROPERTY SHALL BE STABILIZED OR REMOVED FROM THE SITE ON A DAILY BASIS.
6. ALL SILT AND DEBRIS SHALL BE REMOVED FROM ALL DEVICES WITHIN 24 HOURS AFTER EACH RAINSTORM AND BE DISPOSED OF PROPERLY.
7. A GUARD SHALL BE POSTED ON THE SITE WHENEVER THE DEPTH OF WATER IN ANY DEVICE EXCEEDS TWO FEET. THE DEVICE SHALL BE DRAINED OR PUMPED DRY WITHIN 24 HOURS AFTER EACH RAINSTORM. PUMPING AND DRAINING OF ALL BASINS AND DRAINAGE DEVICES MUST COMPLY WITH THE APPROPRIATE BMP FOR DEWATERING OPERATIONS.
8. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE AND CONTAIN POLLUTANTS WITHIN THE SITE IS LEFT TO THE DISCRETION OF THE FIELD ENGINEER. ADDITIONAL DEVICES AS NEEDED SHALL BE INSTALLED TO RETAIN SEDIMENTS AND OTHER POLLUTANTS ON SITE.
9. DESILTING BASINS MAY NOT BE REMOVED OR MADE INOPERABLE BETWEEN OCTOBER 1 AND APRIL 30 OF THE FOLLOWING YEAR WITHOUT THE APPROVAL OF THE BUILDING OFFICIAL.
10. STORM WATER POLLUTION AND EROSION CONTROL DEVICES ARE TO BE MODIFIED, AS NEEDED, AS THE PROJECT PROGRESSES. THE DESIGN AND PLACEMENT OF THESE DEVICES IS THE RESPONSIBILITY OF THE FIELD ENGINEER. PLANS REPRESENTING CHANGES MUST BE SUBMITTED FOR APPROVAL IF REQUESTED BY THE BUILDING OFFICIAL.
11. EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORM WATER FROM THE PROJECT SITES AT ALL TIMES.
12. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES, OR WIND.
13. STOCKPILES OF EARTH AND OTHER CONSTRUCTION-RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
14. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOILS AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
15. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
16. DEVELOPERS/CONTRACTORS ARE RESPONSIBLE TO INSPECT ALL EROSION CONTROL DEVICES AND BMPs ARE INSTALLED AND FUNCTIONING PROPERLY IF THERE IS A 40% CHANCE OF 0.25 INCHES OR GREATER OF PREDICTED PRECIPITATION, AND AFTER ACTUAL PRECIPITATION. THE CONSTRUCTION SITE INSPECTION CHECKLIST AND INSPECTION LOG SHALL BE MAINTAINED AT THE PROJECT SITE AT ALL TIMES AND AVAILABLE FOR REVIEW BY THE BUILDING OFFICIAL (COPIES OF THE SELF-INSPECTION CHECK LIST AND INSPECTION LOGS ARE AVAILABLE UPON REQUEST).
17. TRASH AND CONSTRUCTION-RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
18. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
19. ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
20. AS THE ARCHITECT/ENGINEER OF RECORD, I HAVE SELECTED APPROPRIATE BMPs TO EFFECTIVELY MINIMIZE THE NEGATIVE IMPACTS OF THIS PROJECT'S CONSTRUCTION ACTIVITIES ON STORM WATER QUALITY. THE PROJECT OWNER AND CONTRACTOR ARE AWARE THAT THE SELECTED BMPs MUST BE INSTALLED, MONITORED, AND MAINTAINED TO ENSURE THEIR EFFECTIVENESS. THE BMPs NOT SELECTED FOR IMPLEMENTATION ARE REDUNDANT OR DEEMED NOT APPLICABLE TO THE PROPOSED CONSTRUCTION ACTIVITY."

CIVIL ENGINEERS/ARCHITECTS SIGNATURE DATE

CLIENT:HEATHER AND PAUL BABOOLAL  
JOB NO: 20314

BENCH MARK:

- SET L&T RCE 30826 15.00' ELY OF CORNER ON PROP. LINE PROD. TAG ELEV = 101.48' (ASSUMED)
- FOUND LAT LS 5909 15.95' ELY & 0.08' NLY OF PROP. CORNER. TAG ELEV. 101.20'
- SET N&T RCE 30826 3.00' WLY OF CORNER ON PROP. LINE PROD. TAG ELEV. = 87.43'
- SET N&T RCE 30826 3.00' WLY OF CORNER ON PROP. LINE PROD. TAG ELEV. = 87.46'



REVISIONS			DATE
No.	DESCRIPTION		
1	SANDBAG REMOVED PER COMMENT.		10/01/2020

**BEC** **BOLTON** ENGINEERING CORP.

25834 Narbonne Avenue Suite 210  
Lomita, CA 90717

boltonengineering.com | 310.325.5580

PLANS PREPARED BY:



DAN BOLTON, RCE 63290 10/01/2020  
ENGINEER NAME, RCE LICENSE No. DATE

CITY OF HERMOSA BEACH  
PUBLIC WORKS DEPARTMENT

RECOMMENDED FOR PERMIT ISSUANCE:

PRIVATE IMPROVEMENT PLANS

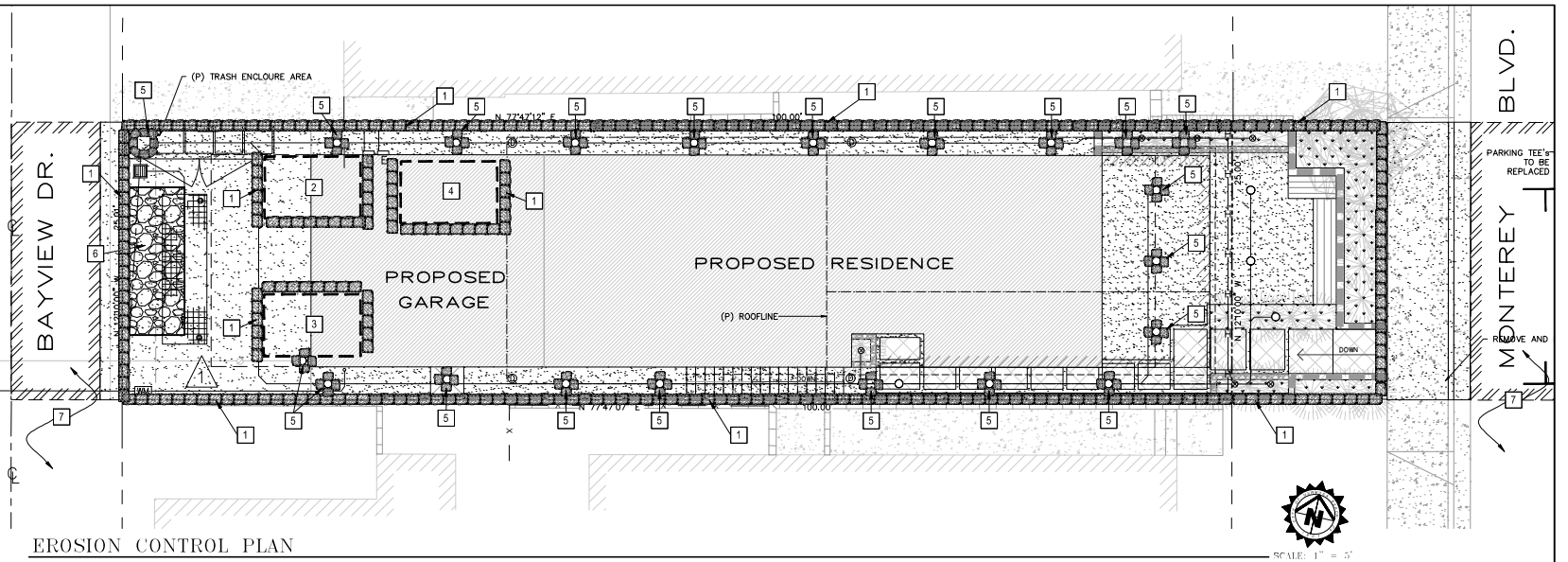
NEW SINGLE FAMILY  
823 MONTEREY BL  
HERMOSA BEACH,  
CA 90705

EROSION CONTROL PLAN

FILE NUMBER  
XXXX-CIVIL

**Exhibit 2**  
Page 15 of 16

California Coastal Commission



EROSION CONTROL PLAN

CONSTRUCTION BMP NOTES

- 1 PLACE GRAVEL BERM/BARRIER 3 BAGS HIGH PER SE-6/8 BMP.
- 2 MATERIALS HANDLING AND STORAGE AREA PER WM-1, 2, AND 3.
- 3 VEHICLE & EQUIPMENT MANAGEMENT PER NS-8, 9 AND 10
- 4 WASTE MANAGEMENT PER WM-5, 6, 7, 8, AND 9.
- 5 PLACE SANDBAG INLET PROTECTION PER SE-10, TYPE 3.
- 6 PLACE STABILIZED CONSTRUCTION ENTRANCE PER TC-1, TYPE 2 (W/ SHAKER PLATES).
- 7 DAILY STREET SWEEPING PER SE-7 BMP.

ENTIRE SITE - APPLY WIND EROSION CONTROL MEASURES PER WE-1.

GENERAL NOTES FOR DUST & AIR QUALITY CONTROL

1. DUST GENERATED BY GRADING ACTIVITIES SHALL COMPLY WITH THE SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT RULE 403 AND THE CITY MUNICIPAL CODE REQUIREMENTS THAT REQUIRE REGULAR WATERING FOR THE CONTROL OF DUST.
2. DURING CONSTRUCTION, ALL GRADING ACTIVITIES SHALL CEASE DURING PERIODS OF HIGH WINDS (I.E., GREATER THAN 30 MPH), TO ASSURE COMPLIANCE WITH THIS MEASURE. GRADING ACTIVITIES ARE SUBJECT TO PERIODIC INSPECTIONS BY CITY STAFF.
3. CONSTRUCTION EQUIPMENT SHALL BE KEPT IN PROPER OPERATING CONDITION, INCLUDING PROPER ENGINE TUNING AND EXHAUST CONTROL SYSTEMS.
4. OBTAIN RIGHT OF WAY PERMITS FROM CITY OF REDONDO BEACH AS NEEDED.

THE FOLLOWING BMPs AS OUTLINED IN, BUT NOT LIMITED TO, THE CALIFORNIA STORMWATER BEST MANAGEMENT PRACTICES HANDBOOK, JANUARY 2003 OR THE LATEST REVISED EDITION, MAY APPLY DURING THE CONSTRUCTION OF THIS PROJECT (ADDITIONAL MEASURES MAY BE REQUIRED IF DEEMED APPROPRIATE BY THE PROJECT ENGINEER OR BUILDING OFFICIAL). ITEMS BOLD BELOW HAVE BEEN DEEMED APPLICABLE TO THIS PROJECT.

EROSION CONTROL		NON-STORMWATER MANAGEMENT	
EC1	SCHEDULING	NS1	WATER CONSERVATION PRACTICES
EC2	PRESERVATION OF EXISTING VEGETATION	NS2	DE-WATERING OPERATIONS
EC3	HYDRAULIC MULCH	NS3	PAVING AND GRINDING OPERATIONS
EC4	HYDROSEEDING	NS4	TEMPORARY STREAM CROSSING
EC5	SOIL BINDERS	NS5	CLEAN WATER DIVERSION
EC6	STRAW MULCH	NS6	ILLUOT CONNECTION/DISCHARGE
EC7	GEOTEXTILES AND MATS	NS7	POTABLE WATER/IRRIGATION
EC8	WOOD MULCHING	NS8	VEHICLE AND EQUIPMENT CLEANING
EC9	EARTH Dikes AND DRAINAGE SYSTEMS	NS9	VEHICLE AND EQUIPMENT FUELING
EC10	VELOCITY DISSIPATION DEVICES	NS10	VEHICLE AND EQUIPMENT MAINTENANCE
EC11	SLOPE DRAINS	NS11	PILE DRIVING OPERATIONS
EC12	STREAMBANK STABILIZATION	NS12	CONCRETE CURING
EC13	RESERVED	NS13	CONCRETE FINISHING
EC14	COMPOST BLANKETS	NS14	MATERIAL AND EQUIPMENT USE
EC15	SOIL PRESERVATION/ROUGHENING	NS15	DEMOLITION ADJACENT TO WATER
EC16	NON-VEGETATED STABILIZATION	NS16	TEMPORARY BATCH PLANTS
TEMPORARY SEDIMENT CONTROL		WASTE MANAGEMENT AND MATERIAL POLLUTION CONTROL	
SE1	SILT FENCE	WM1	MATERIAL DELIVERY AND STORAGE
SE2	SEDIMENT BASIN	WM2	MATERIAL USE
SE3	SEDIMENT TRAP	WM3	STOCKPILE MANAGEMENT
SE4	CHECK DAM	WM4	SPILL PREVENTION AND CONTROL
SE5	FIBER ROLLS	WM5	SOLID WASTE MANAGEMENT
SE6	GRAVEL BAG BERM	WM6	HAZARDOUS WASTE MANAGEMENT
SE7	STREET SWEEPING AND VACUUMING	WM7	CONTAMINATION SOIL MANAGEMENT
SE8	SANDBAG BARRIER	WM8	CONCRETE WASTE MANAGEMENT
SE9	STRAW BALE BARRIER	WM9	SANITARY SEPTIC WASTE MANAGEMENT
SE10	STORM DRAIN INLET PROTECTION	WM10	LIQUID WASTE MANAGEMENT
SE11	ACTIVE TREATMENT SYSTEMS		
SE12	TEMPORARY SILT DIKE		
SE13	COMPOST SOCKS & BERMS		
SE14	BIOFILTER BAGS		
WIND EROSION CONTROL		EQUIPMENT TRACKING CONTROL	
WE1	WIND EROSION CONTROL	TC1	STABILIZED CONSTRUCTION ENTRANCE EXT
		TC2	STABILIZED CONSTRUCTION ROADWAY
		TC3	ENTRANCE/OUTLET TIRE WASH

BEST MANAGEMENT PRACTICE BMP NOTES

1. EVERY EFFORT SHOULD BE MADE TO ELIMINATE THE DISCHARGE OF NON-STORMWATER FROM THE PROJECT SITE AT ALL TIMES.
2. ERODED SEDIMENTS AND OTHER POLLUTANTS MUST BE RETAINED ON-SITE AND MAY NOT BE TRANSPORTED FROM THE SITE VIA SHEET FLOW, SWALES, AREA DRAINS, NATURAL DRAINAGE COURSES OR WIND.
3. STOCKPILES OF EARTH AND OTHER CONSTRUCTION RELATED MATERIALS MUST BE PROTECTED FROM BEING TRANSPORTED FROM THE SITE BY THE FORCES OF WIND OR WATER.
4. FUELS, OILS, SOLVENTS, AND OTHER TOXIC MATERIALS MUST BE STORED IN ACCORDANCE WITH THEIR LISTING AND ARE NOT TO CONTAMINATE THE SOIL AND SURFACE WATERS. ALL APPROVED STORAGE CONTAINERS ARE TO BE PROTECTED FROM THE WEATHER. SPILLS MUST BE CLEANED UP IMMEDIATELY AND DISPOSED OF IN A PROPER MANNER. SPILLS MAY NOT BE WASHED INTO THE DRAINAGE SYSTEM.
5. EXCESS OR WASTE CONCRETE MAY NOT BE WASHED INTO THE PUBLIC WAY OR ANY OTHER DRAINAGE SYSTEM. PROVISIONS SHALL BE MADE TO RETAIN CONCRETE WASTES ON-SITE UNTIL THEY CAN BE DISPOSED OF AS SOLID WASTE.
6. TRASH AND CONSTRUCTION RELATED SOLID WASTES MUST BE DEPOSITED INTO A COVERED RECEPTACLE TO PREVENT CONTAMINATION OF RAINWATER AND DISPERSAL BY WIND.
7. SEDIMENTS AND OTHER MATERIALS MAY NOT BE TRACKED FROM THE SITE BY VEHICLE TRAFFIC. THE CONSTRUCTION ENTRANCE ROADWAYS MUST BE STABILIZED SO AS TO INHIBIT SEDIMENTS FROM BEING DEPOSITED INTO THE PUBLIC WAY. ACCIDENTAL DEPOSITIONS MUST BE SWEEPED UP IMMEDIATELY AND MAY NOT BE WASHED DOWN BY RAIN OR OTHER MEANS.
8. ANY SLOPES WITH DISTURBED SOILS OR DENuded OF VEGETATION MUST BE STABILIZED SO AS TO INHIBIT EROSION BY WIND AND WATER.
9. AS THE PROJECT OWNER OR AUTHORIZED AGENT OF THE OWNER, I HAVE READ AND UNDERSTAND THE REQUIREMENTS LISTED ABOVE, NECESSARY TO CONTROL STORM WATER POLLUTION FROM SEDIMENTS, EROSION, AND CONSTRUCTION MATERIALS, AND I CERTIFY THAT I WILL COMPLY WITH THESE REQUIREMENTS.

PRINT NAME: \_\_\_\_\_

SIGNATURE: \_\_\_\_\_ DATE: \_\_\_\_\_  
(OWNER OR AUTHORIZED AGENT OF THE OWNER)

EROSION CONTROL PLAN

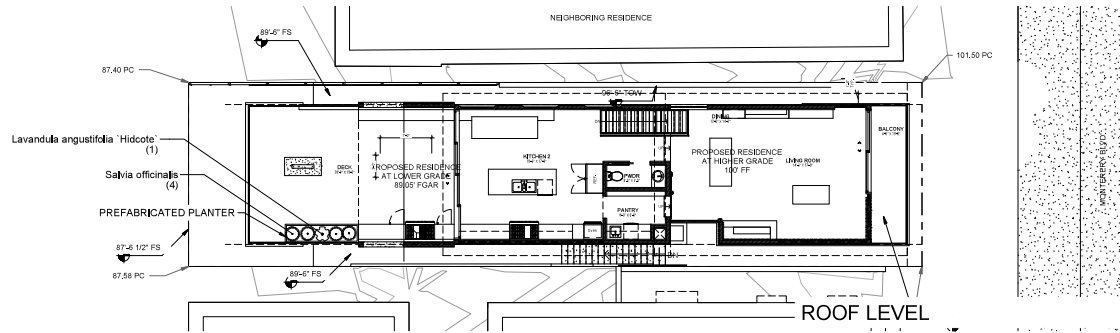
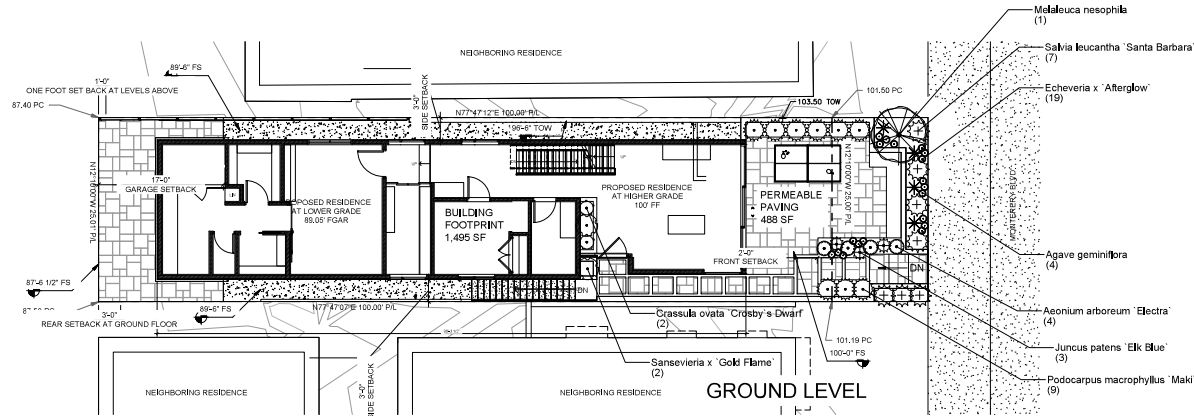
Lot square Footage: 2,500 sq. ft.  
Building Footprint: 1,495 sq. ft.  
Driveway: 313 sq. ft.

Total Exterior Surface Area=Lot Sq. Ft - Building Footprint  
=2,500 sq. ft. - 1,495 sq. ft.=1,005 sq. ft.

Maximum 20% of landscaped area may be used for high water use landscape (turf and plants) as listed in the Water Use Classification for Landscape Species (WUCOLS)

166 sq. ft. (landscaped areas) x 20% (max high water use)  
Max high water use =33.2 sq. ft.  
=0 sq. ft. proposed <33.2 sq. ft.

Minimum 50% of exterior surface area must consist of water permeable surfaces as required in HBMC.  
Permeable Areas: 586 sq. ft.  
Nonpermeable Areas: 419 sq. ft.  
Permeable Areas 624 sq. ft./ 1,005 sq. ft. = 58% permeable



### PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY
	Melaleuca nesophila	Pink Melaleuca	24"box	Low	1
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	WATER USE	QTY
	Aeonium arboreum 'Electra'	Purple Pinwheel Aeonium	1 gal	Low	4
	Agave geminiflora	Twin Flowered Agave	5 gal	Low	4
	Crassula ovata 'Crosby's Dwarf'	Large Jade Plant	1 gal	Low	2
	Echeveria x 'Afterglow'	Afterglow Echeveria	1 gal	Low	19
	Juncus patens 'Elk Blue'	Spreading Rush	1 gal	Low	3
	Lavandula angustifolia 'Hidcote'	Hidcote Lavender	1 gal	Low	1
	Podocarpus macrophyllus 'Maki'	Maki Shrubby Yew Podocarpus	15 gal	Low	9
	Salvia leucantha 'Santa Barbara'	Mexican Bush Sage	5 gal	Low	7
	Salvia officinalis	Garden Sage	1 gal	Low	4
	Sansevieria x 'Gold Flame'	Gold Flame Snake Plant	1 gal	Low	2

#### Water Permeable Surface Area(s)

PERMEABLE PAVING  
553 SF



LANDSCAPED AREAS  
33 SF



#### Impervious Surface Area(s)

CONCRETE PAVING  
419 SF



**SEED GROUP**  
landscape architecture  
1505 border avenue  
torrance ca 90501  
T 310.782.0555 F 310.787.9291



DATE 03-17-20  
SCALE AS SHOWN  
DRAWN BY SH  
CHECKED BY AA

#### REVISIONS/PLAN LOG

#### PROJECT AND CLIENT NAME

#### RESIDENCE

823 MONTEREY BLVD.  
HERMOSA BEACH, CA 90254

#### SHEET DESCRIPTION

PLANTING PLAN

## Exhibit 2

Page 16 of 16

California Coastal Commission

# Commission Approvals of Housing Density Reduction Projects in Hermosa Beach Since 2014

Permit Number	Date Approved	Units Before Project	Units After Project	Net Unit Loss
5-13-1348-W	2/13/2014	2	1	-1
5-13-1239-W	2/13/2014	2	1	-1
5-14-0006-W	3/12/2014	3	1	-2
5-14-0002-W	3/12/2014	2	1	-1
5-14-0528-W	4/11/2014	2	1	-1
5-14-1056-W	8/13/2014	2	1	-1
5-14-1687-W	11/18/2014	2	1	-1
5-15-0619-W	7/09/2015	2	1	-1
5-15-0612-W	8/12/2015	2	1	-1
5-15-0552-W	8/12/2015	3	2	-1
5-15-0968-W	9/15/2015	2	1	-1
5-15-1234-W	10/09/2015	2	1	-1
5-15-1969-W	2/11/2016	2	1	-1
5-15-1799	4/14/2016	2	1	-1
5-16-0153	7/14/2016	2	1	-1
5-16-0628-W	9/08/2016	2	1	-1
5-17-0016-W	2/08/2017	1	0	-1
5-17-0030-W	2/08/2017	2	1	-1
5-17-0040-W	5/12/2017	2	1	-1
5-17-0100-W	5/12/2017	5	1	-4
5-17-0285-W	6/07/2017	3	1	-2
5-17-0691-W	10/12/2017	2	1	-1
5-17-0822-W	10/27/2017	2	1	-1
5-17-0823-W	11/09/2017	2	1	-1
5-17-0802-W	11/09/2017	2	1	-1
5-17-0792	3/08/2018	2	1	-1
5-17-1005	7/11/2018	2	1	-1
5-18-0651	11/07/2018	3	1	-2
5-18-0827	2/07/2019	2	1	-1
5-18-0949	3/06/2019	2	1	-1
5-19-0137	9/12/2019	2	1	-1
5-19-0195	10/17/2019	2	1	-1
5-19-1209	11/13/2019	3	2	-1
5-19-0955	6/12/2020	2	1	-1
5-19-1244	9/10/2020	2	1	-1
5-20-0142	9/10/2020	2	1	-1
5-20-0223	9/10/2020	2	1	-1
5-19-1215	10/08/2020	3	2	-1
5-19-1220	10/08/2020	2	1	-1
5-20-0530	12/10/2020	2	1	-1

## Exhibit 3

Page 1 of 1



California Coastal  
Commission