

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
301 E. OCEAN BLVD., SUITE 300
LONG BEACH, CA 90802-4830
(562) 590-5071



Th13b

5-20-0485 (Lopez)

March 11, 2021

EXHIBITS

Table of Contents

Exhibit 1 – Vicinity Map and Project Site

Exhibit 2 – Project Plans

Exhibit 3 – Community Character Analysis

An aerial photograph of a coastal city. The left side of the image shows the ocean with white surf breaking onto a sandy beach. A white circle is drawn on the beach, and a white arrow points from the text 'Project Site' to this circle. The right side of the image shows a dense residential neighborhood with many houses and streets. A green park area is visible in the middle of the neighborhood.

Project Site

An aerial photograph of a coastal residential area. In the foreground, a sandy beach is visible with a few people walking. A concrete sidewalk runs along the beach. Behind the sidewalk is a row of houses. The houses have various roof colors, including grey, brown, and white. Some houses have swimming pools in their backyards. A street runs parallel to the beach, and another street runs perpendicular to it, intersecting the row of houses. The text "The Strand" is overlaid on the image in three locations: at the top left, in the middle right, and at the bottom left. The numbers "2654" and "2666" are overlaid on the roofs of two houses in the middle right area.

The Strand

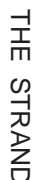
2654

The Strand

2666

The Strand



The Strand



27TH STREET

HERMOSA AVENUE

NOTE:
A TITLE POLICY WAS NOT PROVIDED TO DENN ENGINEERS AT THE TIME OF THIS SURVEY. THEREFORE, DENN ENGINEERS DOES NOT GUARANTEE THE LEGAL DESCRIPTION OF THIS PROPERTY SURVEYED NOR DOES IT REFLECT OR DELINEATE ANY EASEMENTS THAT MAY BE ON SAID PROPERTY.

	EXISTING BUILDING		BRICK
	CONCRETE		WOOD DECK
LEGEND			
	108.76	EXISTING ELEVATION	
	108.00	EXISTING CONTOUR	
	BLDG WALL		
	X	EXISTING FENCE	
ABBREVIATIONS			
BL	BEGINNINGS OF CURB RETURN		
CL	CENTERLINE		
C.F.	CHAN-LEIGH		
EC	EASTLEY		
EM	ELECTRIC METER		
FO	FOUND		
FE	FENCE		
FD	FIRE		
FI	FISH LANE		
FL	FLUSH FLOOR		
GF	GRADE INFRONT		
GI	GRASSY FRONT FLOOR		
GM	GAS METER		
GW	GWY HOLE		
LD	LEAD AND		
ML	MANHOLE		
MO	MOOREHEAD		
PC	PROPERTY CORNER / PROP. CORNER		
PL	PARTY LINE / PROP. LINE		
PO	POSSIBLE POLE		
PA	PARADE		
SAW	SAW PIPE AND WASHPIPE		
SELY	SOUTHEAST		
SP	SPINE		
SSCO	SEVENTH STREET CLEAN OUT		
SM	SANITARY SEWER MANHOLE		
ST	STAKE, STAKE & TAG		
STL	STREET LIGHT		
TC	TOP OF CURB		
TO	TOP OF HILL TO BE		
TX	TOP OF DRIVEWAY APRON		
WLM	WATER METER		

NOTE: ALL SETBACK DIMENSIONS SHOWN ARE MEASURED TO EXTERIOR SURFACE OF BUILDINGS UNLESS OTHERWISE NOTED.

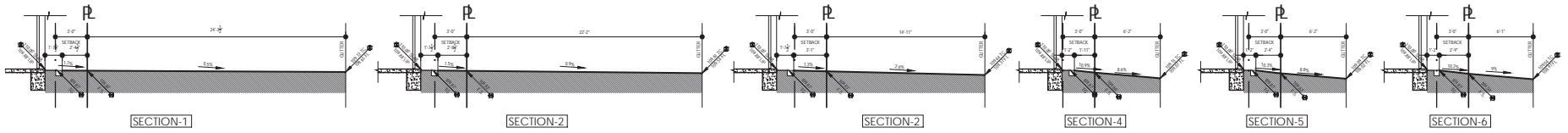
BOUNDARY MONUMENTS ARE NOT NECESSARY SET ON PROPERTY CORNERS. PLEASE REFER TO THE NOTATION ON THE PLANS FOR OFFSET DISTANCES. IF THERE ARE ANY QUESTIONS, PLEASE DO NOT HESITATE TO CONTACT DENNY ENGINEERS FOR CLARIFICATION AT :

COPYRIGHT

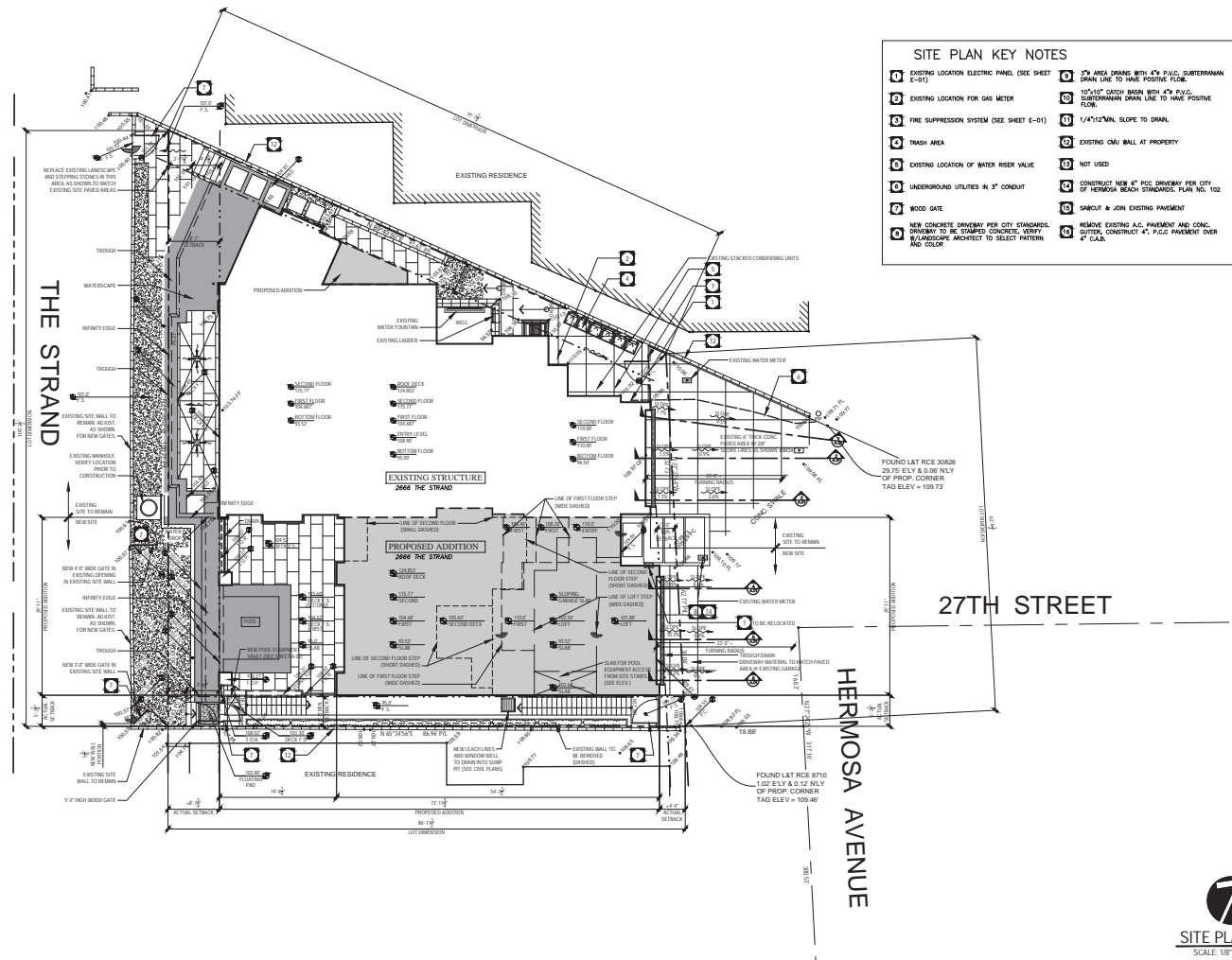
DRAFTING
CIVIL SURVEY

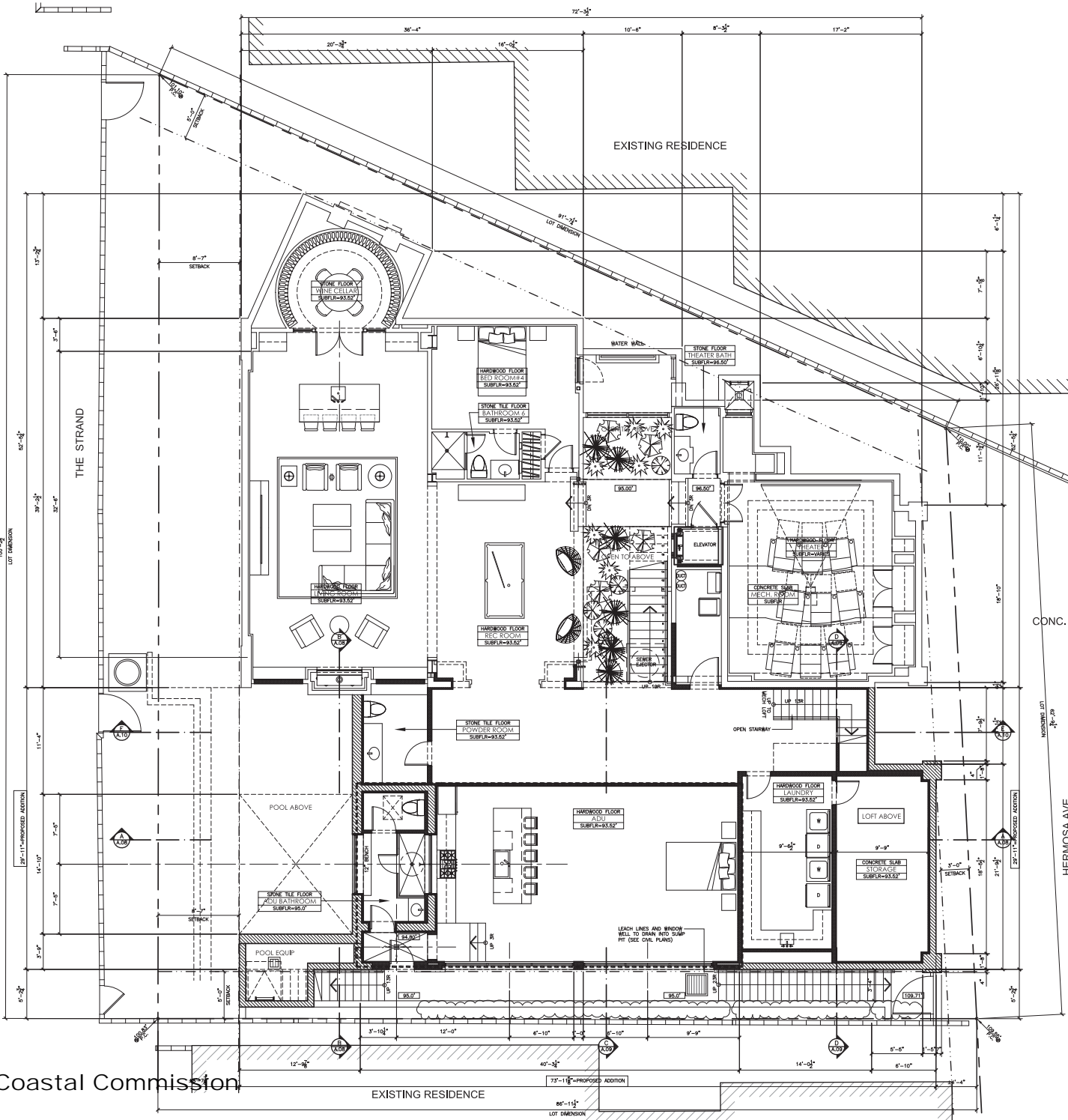
SHEET NUMBER
C.01

SHEET 1 OF 1
JOB NO. 17-541



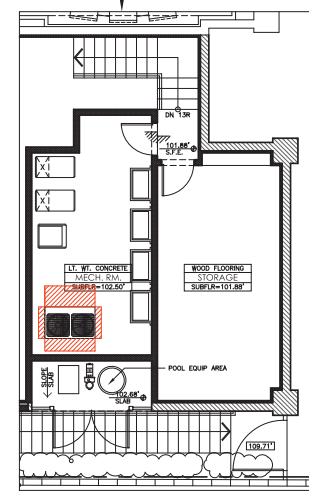
DRIVEWAY SECTIONS
SCALE: 1/4"=1'-0"





FLOOR PLAN WALL LEGEND	
GRAPHIC	DESCRIPTION
	NEW STUD WALL
	EXISTING STUD WALL TO REMAIN
	EXISTING STUD WALL TO BE REMOVED
	NEW RETAINING WALL
	EXISTING RETAINING WALL TO REMAIN
	EXISTING RETAINING WALL TO BE REMOVED

LOFT PLAN
SCALE: 1/4"=1'-0"



BASEMENT FLOOR PLAN
SCALE: 1/4"=1'-0"

**LOPEZ
RESIDENCE**
2886 + 2884 THE STRAND
HERMOSA BEACH
CALIFORNIA 90254

STAMP

PROJECT NUMBER
13001

PRINT DATE

REVISIONS

NO. 1 11/11/2017

NO. 2 11/11/2017

NO. 3 11/11/2017

NO. 4 11/11/2017

NO. 5 11/11/2017

NO. 6 11/11/2017

NO. 7 11/11/2017

NO. 8 11/11/2017

NO. 9 11/11/2017

NO. 10 11/11/2017

NO. 11 11/11/2017

NO. 12 11/11/2017

NO. 13 11/11/2017

NO. 14 11/11/2017

NO. 15 11/11/2017

NO. 16 11/11/2017

NO. 17 11/11/2017

NO. 18 11/11/2017

NO. 19 11/11/2017

NO. 20 11/11/2017

NO. 21 11/11/2017

NO. 22 11/11/2017

NO. 23 11/11/2017

NO. 24 11/11/2017

NO. 25 11/11/2017

NO. 26 11/11/2017

NO. 27 11/11/2017

NO. 28 11/11/2017

NO. 29 11/11/2017

NO. 30 11/11/2017

NO. 31 11/11/2017

NO. 32 11/11/2017

NO. 33 11/11/2017

NO. 34 11/11/2017

NO. 35 11/11/2017

NO. 36 11/11/2017

NO. 37 11/11/2017

NO. 38 11/11/2017

NO. 39 11/11/2017

NO. 40 11/11/2017

NO. 41 11/11/2017

NO. 42 11/11/2017

NO. 43 11/11/2017

NO. 44 11/11/2017

NO. 45 11/11/2017

NO. 46 11/11/2017

NO. 47 11/11/2017

NO. 48 11/11/2017

NO. 49 11/11/2017

NO. 50 11/11/2017

NO. 51 11/11/2017

NO. 52 11/11/2017

NO. 53 11/11/2017

NO. 54 11/11/2017

NO. 55 11/11/2017

NO. 56 11/11/2017

NO. 57 11/11/2017

NO. 58 11/11/2017

NO. 59 11/11/2017

NO. 60 11/11/2017

NO. 61 11/11/2017

NO. 62 11/11/2017

NO. 63 11/11/2017

NO. 64 11/11/2017

NO. 65 11/11/2017

NO. 66 11/11/2017

NO. 67 11/11/2017

NO. 68 11/11/2017

NO. 69 11/11/2017

NO. 70 11/11/2017

NO. 71 11/11/2017

NO. 72 11/11/2017

NO. 73 11/11/2017

NO. 74 11/11/2017

NO. 75 11/11/2017

NO. 76 11/11/2017

NO. 77 11/11/2017

NO. 78 11/11/2017

NO. 79 11/11/2017

NO. 80 11/11/2017

NO. 81 11/11/2017

NO. 82 11/11/2017

NO. 83 11/11/2017

NO. 84 11/11/2017

NO. 85 11/11/2017

NO. 86 11/11/2017

NO. 87 11/11/2017

NO. 88 11/11/2017

NO. 89 11/11/2017

NO. 90 11/11/2017

NO. 91 11/11/2017

NO. 92 11/11/2017

NO. 93 11/11/2017

NO. 94 11/11/2017

NO. 95 11/11/2017

NO. 96 11/11/2017

NO. 97 11/11/2017

NO. 98 11/11/2017

NO. 99 11/11/2017

NO. 100 11/11/2017

NO. 101 11/11/2017

NO. 102 11/11/2017

NO. 103 11/11/2017

NO. 104 11/11/2017

NO. 105 11/11/2017

NO. 106 11/11/2017

NO. 107 11/11/2017

NO. 108 11/11/2017

NO. 109 11/11/2017

NO. 110 11/11/2017

NO. 111 11/11/2017

NO. 112 11/11/2017

NO. 113 11/11/2017

NO. 114 11/11/2017

NO. 115 11/11/2017

NO. 116 11/11/2017

NO. 117 11/11/2017

NO. 118 11/11/2017

NO. 119 11/11/2017

NO. 120 11/11/2017

NO. 121 11/11/2017

NO. 122 11/11/2017

NO. 123 11/11/2017

NO. 124 11/11/2017

NO. 125 11/11/2017

NO. 126 11/11/2017

NO. 127 11/11/2017

NO. 128 11/11/2017

NO. 129 11/11/2017

NO. 130 11/11/2017

NO. 131 11/11/2017

NO. 132 11/11/2017

NO. 133 11/11/2017

NO. 134 11/11/2017

NO. 135 11/11/2017

NO. 136 11/11/2017

NO. 137 11/11/2017

NO. 138 11/11/2017

NO. 139 11/11/2017

NO. 140 11/11/2017

NO. 141 11/11/2017

NO. 142 11/11/2017

NO. 143 11/11/2017

NO. 144 11/11/2017

NO. 145 11/11/2017

NO. 146 11/11/2017

NO. 147 11/11/2017

NO. 148 11/11/2017

NO. 149 11/11/2017

NO. 150 11/11/2017

NO. 151 11/11/2017

NO. 152 11/11/2017

NO. 153 11/11/2017

NO. 154 11/11/2017

NO. 155 11/11/2017

NO. 156 11/11/2017

NO. 157 11/11/2017

NO. 158 11/11/2017

NO. 159 11/11/2017

NO. 160 11/11/2017

NO. 161 11/11/2017

NO. 162 11/11/2017

NO. 163 11/11/2017

NO. 164 11/11/2017

NO. 165 11/11/2017

NO. 166 11/11/2017

NO. 167 11/11/2017

NO. 168 11/11/2017

NO. 169 11/11/2017

NO. 170 11/11/2017

NO. 171 11/11/2017

NO. 172 11/11/2017

NO. 173 11/11/2017

NO. 174 11/11/2017

NO. 175 11/11/2017

NO. 176 11/11/2017

NO. 177 11/11/2017

NO. 178 11/11/2017

NO. 179 11/11/2017

NO. 180 11/11/2017

NO. 181 11/11/2017

NO. 182 11/11/2017

NO. 183 11/11/2017

NO. 184 11/11/2017

NO. 185 11/11/2017

NO. 186 11/11/2017

NO. 187 11/11/2017

NO. 188 11/11/2017

NO. 189 11/11/2017

NO. 190 11/11/2017

NO. 191 11/11/2017

NO. 192 11/11/2017

NO. 193 11/11/2017

NO. 194 11/11/2017

NO. 195 11/11/2017

NO. 196 11/11/2017

NO. 197 11/11/2017

NO. 198 11/11/2017

NO. 199 11/11/2017

NO. 200 11/11/2017

NO. 201 11/11/2017

NO. 202 11/11/2017

NO. 203 11/11/2017

NO. 204 11/11/2017

NO. 205 11/11/2017

NO. 206 11/11/2017

NO. 207 11/11/2017

NO. 208 11/11/2017

NO. 209 11/11/2017

NO. 210 11/11/2017

NO. 211 11/11/2017

NO. 212 11/11/2017

NO. 213 11/11/2017

NO. 214 11/11/2017

NO. 215 11/11/2017

NO. 216 11/11/2017

NO. 217 11/11/2017

NO. 218 11/11/2017

NO. 219 11/11/2017

NO. 220 11/11/2017

NO. 221 11/11/2017

EXTERIOR FINISH SCHEDULE

1. SLOPED ROOFING:	STANDING SEAM ALUMINUM ROOFING. COLOR TO BE ASK "DARK BRONZE". FTA SAMPLE TO BE PROVIDED PRIOR TO INSTALLATION. PROVIDE MINIMUM 1/2" CDX PLYWOOD SHEATHING OR LC.B.O. APPROVED U.S.G. COVER. PROVIDE DRAINAGE OVER FLOOR TO FELL OR EQUIVALENT UNDERLAMENT. SEE MANUFACTURER FOR SPECIFIC INSTALLATION INSTRUCTIONS. CLASS "B" NONCOMBUSTIBLE ROOF COVERING.
2. EAVES:	2X VERTICAL GRAN DOUG. FR FASCIA. 2X6 VERT. GRAN DOUG. FR T & S SOFFITS.
3. CHIMNEY:	1300 APPROVED SPARK ARRESTOR TO TOP OF PRETAB METAL CHIMNEY. PROVIDE MANTLE AND CITY APPROVED METAL CAP OVER. ARCHITECT TO SELECT. TOP OF CHIMNEY AT 2'-0" ABOVE ANY PART OF ROOF WITHIN 10'-0". SEE DETAIL.
4. OUTLOOKERS:	6X WOOD OUTLOOKER.
5. WOOD BAND:	3/4" MIN. HONOLULU MAHOGANY BAND. PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION.
6. WOOD TRIMMED COLUMNS:	3/4" MIN. HONOLULU MAHOGANY TRIMMED COLUMNS WITH METELED AND GLAZED CORNERS. PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION.
7. DECK RAILING:	CLEAR GLASS RAIL IN METAL BASE CHANNEL.
8. WINDOWS:	DUAL PANE FLEETWOOD ALUMINUM GLAZED WINDOWS. STYLE AND COLOR TO BE SELECTED BY OWNER AND ARCHITECT.
9. DOORS:	DUAL PANE FLEETWOOD ALUMINUM GLAZED PRESSBY DOORS. STYLE AND COLOR TO BE SELECTED BY OWNER AND ARCHITECT.
10. LIGHTING:	EXTERIOR LIGHT FIXTURES. SEE ELECTRICAL PLANS.
11. DECK SURFACE:	STONE TILE APPLIED WITH THINSET OVER DECKTOP. LOCATIONS WATERPROOF. BUILDING MEMBRANE OVER FLOAT BED. 100% WATERPROOF. LOC.B.O. # 1338 WATER PROOF BUILDING MEMBRANE.
12. STONE VENEER:	CULTURED STONE STONE VENEER ATTACHED TO STUCCO. BRUSH COAT FOR ONE SILENTER ALUMINUM. PROVIDE PRECAST CONCRETE LEDGE CAP TO TOP. SEE DETAIL.
13. SKYLIGHTS:	CUSTOM DUAL GLAZED SKYLIGHT. BRONZE ALUMINUM FRAME, VELLUX OR EQUAL. 1300 (P/N)-216.
14. GUTTERS AND DOWNSPOUTS:	4" HALF ROUND COPPER GUTTERS WITH 2" COPPER DOWNSPOUT.
15. STUCCO:	3" SMOOTH TROWEL FINISH STUCCO PLASTER OVER WIRE LATH ATTACHED WITH #6 COUPLER NAILS @ 4" O.C. OWNER AND ARCHITECT TO SELECT AND/OR APPROVE COLOR.
16. DECK RAILING:	STEEL CABLE RAILS WITH 1 1/4" SQUARE TUBE POSTS.

ELEVATION NOTES:

- THE ROOF VALLEY FLASHING SHALL BE PROVIDED BY NOT LESS THAN 16 GAUGE CORROSION RESISTANT METAL WHICH SHALL EXTEND AT LEAST 4' FROM THE CENTER LINE EACH WAY AND SHALL HAVE A STRAIN BREAKER AND NOT LESS THAN 1/2" OF ROOFING INSULATION FORMED AS PART OF THE FLASHING. SECTIONS OF FLASHING SHALL HAVE AN 8" LIFT OF NOT LESS THAN 1/2" OF FILL INSULATION. THE FLASHING SHALL BE 1/2" MIN. THICK AND SHALL BE INSTALLED IN CONJUNCTION WITH THE FLASHING. THE FLASHING SHALL BE 1/2" MIN. THICK AND SHALL BE INSTALLED IN CONJUNCTION WITH THE FLASHING. THE FLASHING SHALL BE 1/2" MIN. THICK AND SHALL BE INSTALLED IN CONJUNCTION WITH THE FLASHING.
- PROVIDE #10 FLY FLYER AT ALL EXTERIOR WALLS PRIOR TO EXTERIOR FINISHES.
- PROVIDE TWO LAYERS OF 1/2" POLYETHYLENE OVERLAP EXTERIOR DECORATIVE WALLS.
- ALL ROOF DRAINAGE TO THE ROOF DRAINAGE. REFER TO ALL FOR FURTHER INFORMATION.
- APPROXIMATE PORTAL AND CURRENT SHALL BE BRIDGES ON THE BACKING AND THE BACK OF THE VENEER UNIT. THE VENEER SHALL BE 1/2" MIN. THICK AND SHALL BE INSTALLED IN CONJUNCTION WITH THE FLASHING. THE FLASHING SHALL BE 1/2" MIN. THICK AND SHALL BE INSTALLED IN CONJUNCTION WITH THE FLASHING. THE FLASHING SHALL BE 1/2" MIN. THICK AND SHALL BE INSTALLED IN CONJUNCTION WITH THE FLASHING.

ABBREVIATION LEGEND:

PH - ACTUAL POINT HEIGHT

PROJECT

LOPEZ RESIDENCE
2855 + 2854 THE STRAND
HERMOSA BEACH
CALIFORNIA 90254

STAMP

PROJECT NUMBER

19001

PRINT DATE

7/23/2020 9:19:57 AM

REVISIONS

REVISIONS
DATE
BY

COPYRIGHT

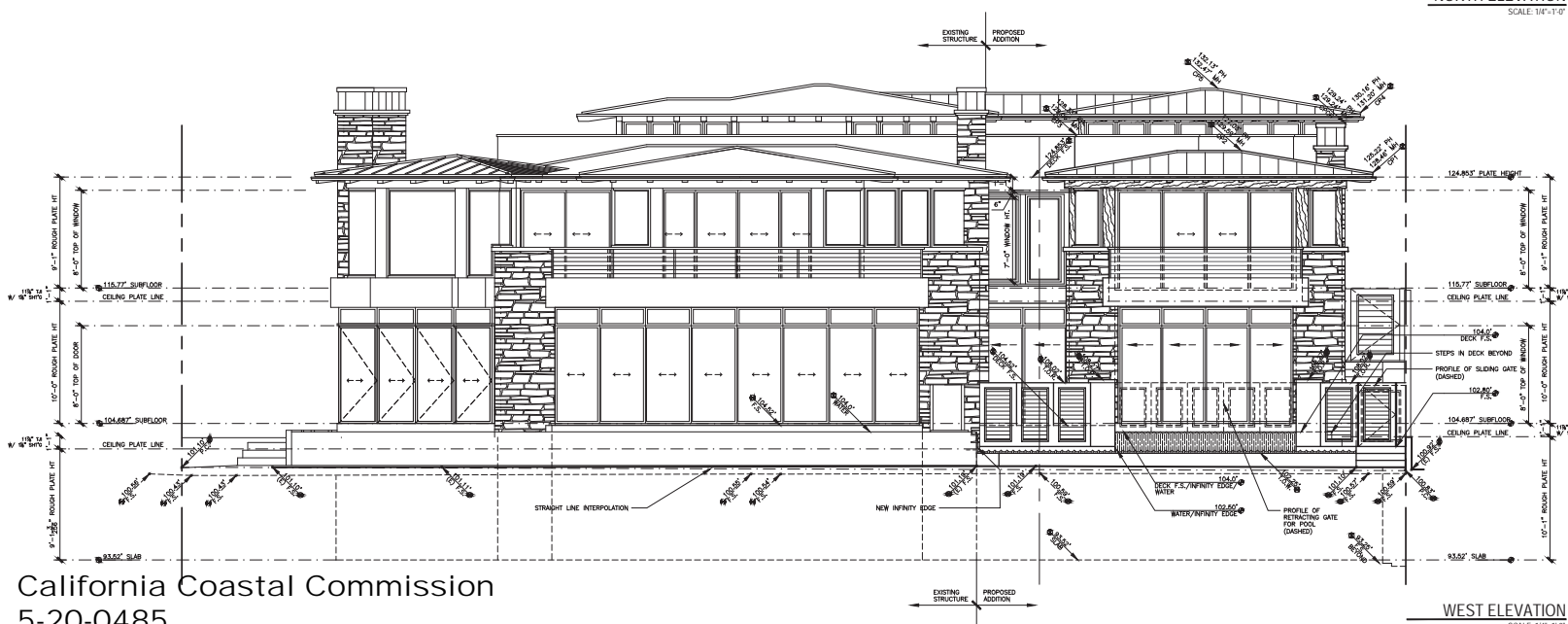
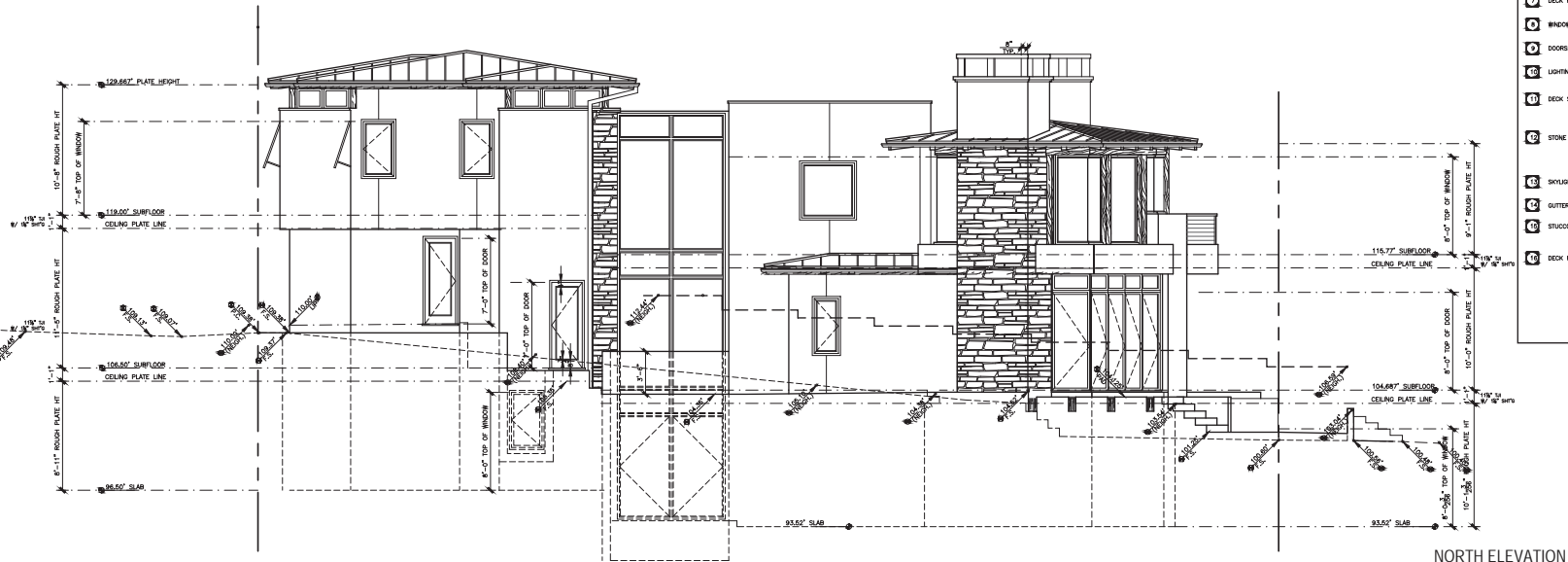
ALL RIGHTS RESERVED
NO PART OF THIS DOCUMENT
SHALL BE REPRODUCED OR
TRANSMITTED IN ANY FORM
OR BY ANY MEANS
ELECTRONIC OR MECHANICAL
INCLUDING PHOTOCOPYING
RECORDING OR BY ANY
INFORMATION STORAGE
RETRIEVAL SYSTEM
WITHOUT PERMISSION IN
WRITING FROM TOMARO
ARCHITECTURE

DRAWING

ELEVATIONS

SHEET NUMBER

A.06



ABBREVIATION LEGEND:

SEE EXISTING ELEVATION
FOR MATERIAL FINISH SCHEDULE

ELEVATION NOTES:

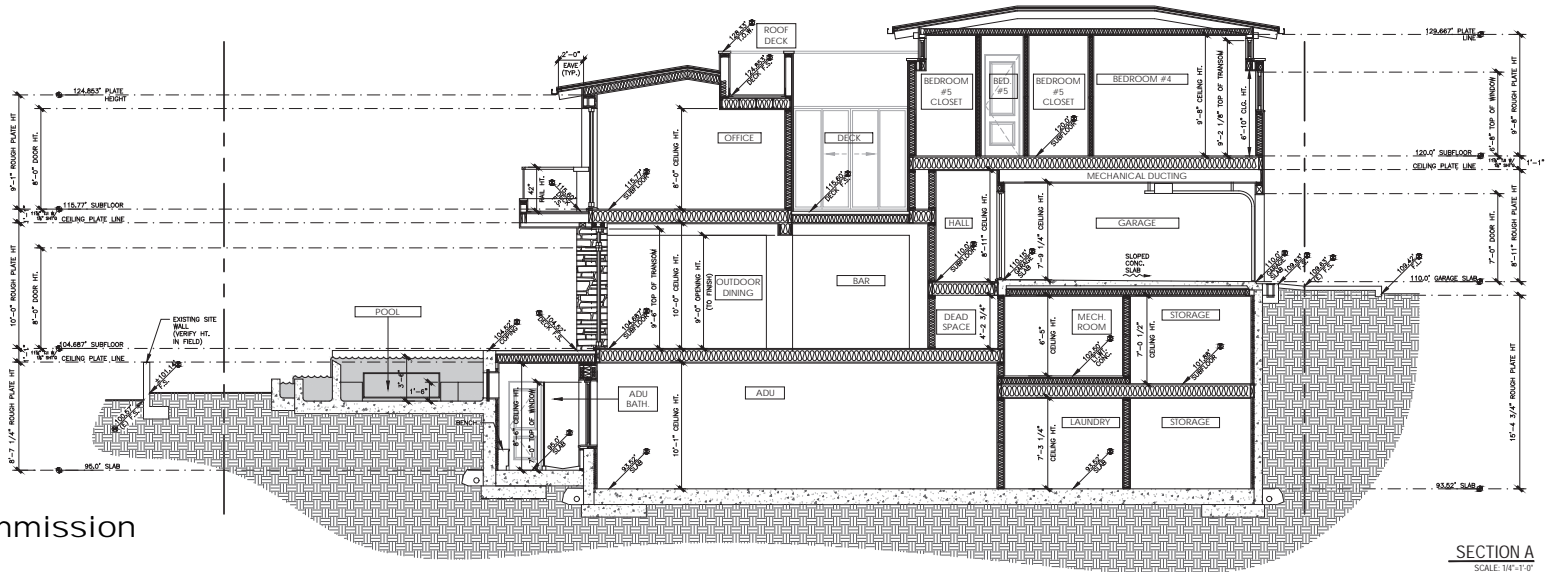
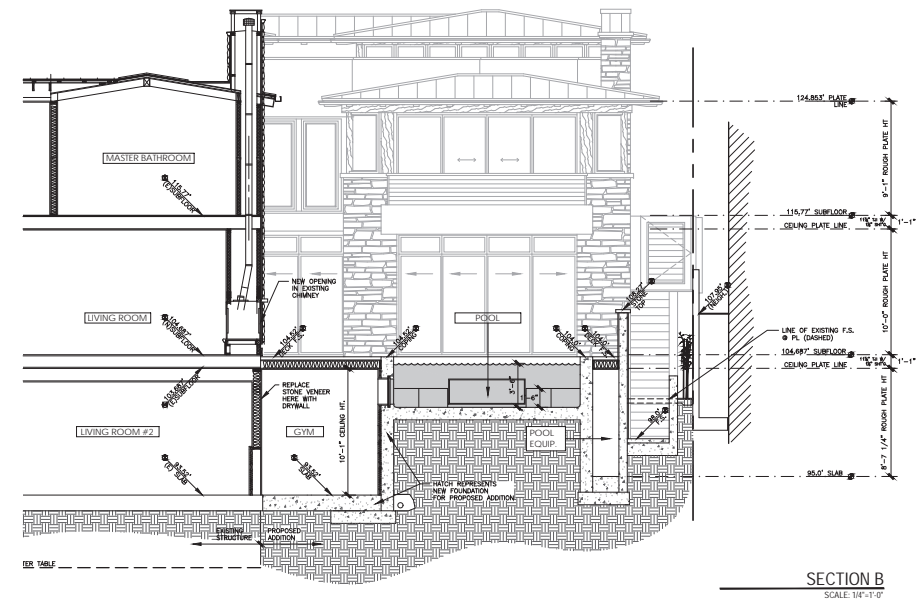
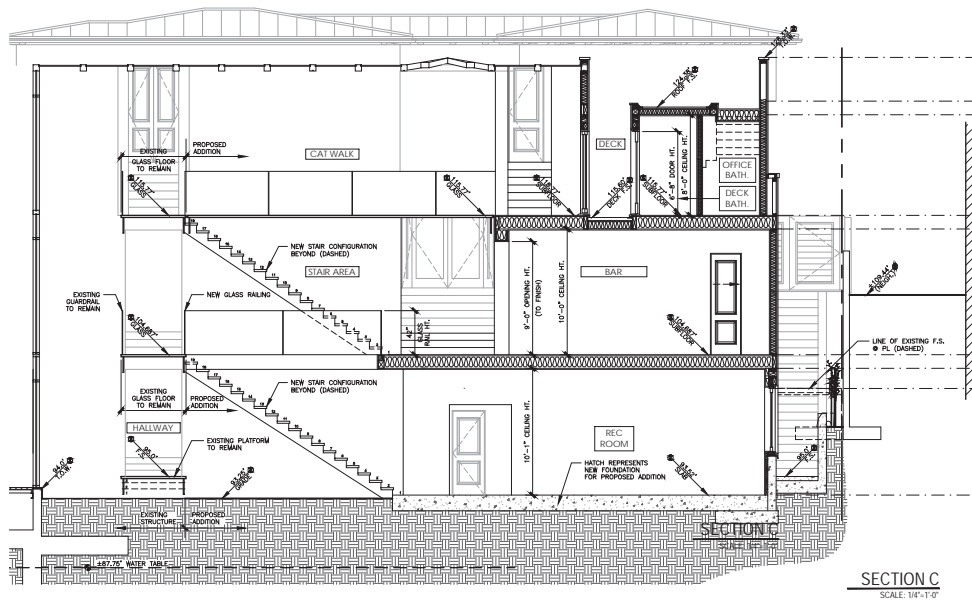
1. THE ROOF VALLEY FLASHING SHALL BE PROVIDED WITH 1/2" MIN. THICKNESS AND SHALL BE SEAMED TO THE ROOFING MATERIAL. THE FLASHING SHALL EXTEND AT LEAST 4" FROM THE CORNER AND EACH SIDE AND SHALL HAVE A SLOPE DIRECTION AND NOT LESS THAN 1/4" PER FOOT. THE FLASHING SHALL BE PROVIDED WITH A SLOPE DIRECTION AND NOT LESS THAN 1/4" PER FOOT. THE FLASHING SHALL BE PROVIDED WITH A SLOPE DIRECTION AND NOT LESS THAN 1/4" PER FOOT.
2. PROVIDE PER PERMANENT AT ALL EXTERIOR WALLS AND ROOFING MATERIALS.
3. PROVIDE TWO LAYERS OF 1/2" THICKNESS AND SHALL BE SEAMED TO THE ROOFING MATERIAL.
4. ALL ROOF DRAINAGE TO BE INTO DRAINAGE, REFER TO PLAN FOR DRAINAGE INFORMATION.
5. A PATTERN OF ROOF FLASHING SHALL BE PROVIDED ON THE BACK OF THE ROOFING MATERIAL. THE FLASHING SHALL BE PROVIDED WITH A SLOPE DIRECTION AND NOT LESS THAN 1/4" PER FOOT. THE FLASHING SHALL BE PROVIDED WITH A SLOPE DIRECTION AND NOT LESS THAN 1/4" PER FOOT.

SOUTH ELEVATION
SCALE: 1/4"=1'-0"

EXTERIOR FINISH SCHEDULE

- | | | |
|----|-----------------------|--|
| 1 | SLOPED ROOFING: | STANDING SEAM ALUMINUM ROOFING. COLOR TO BE ATAS TANK. BRONZE P71. SAMPLE TO BE PROVIDED PRIOR TO INSTALLATION. PROVIDE MINIMUM 1/2" COX PLYWOOD SHEETING OR I.C.B.O. APPROVED S.E.S. SELECTED. PROVIDE MINIMUM 1/2" LAYER TYPE 50 FELT OR EQUIVALENT UNDERLAYER. SEE MANUFACTURER FOR SPECIFIC INSTALLATION INSTRUCTIONS. CLASS "V" NONCOMBUSTIBLE ROOF COVERING. |
| 2 | EAVES: | 2x VERTICAL GRANT DOUG. FR. FASCIA. 2x6 VERT. GRANT DOUG. FR. 4 x 8 SOFFITS |
| 3 | CHIMNEY: | 1200 APPROVED SPARK ARRESTOR TO TOP OF PREFAB METAL CHIMNEY. PROVIDE MANTLE AND CITY APPROVED METAL CAP OVER. ARCHITECT TO SELECT. TOP OF CHIMNEY AT 2'-0" ABOVE AND PACE OF ROOF WITHIN 10'-0". SEE DETAIL. |
| 4 | OUTLOOKERS: | 6x WOOD OUTLOOKER |
| 5 | WOOD BAND: | 3/4" MIN. HORIZONTAL MANGROVE BAND PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION. |
| 6 | WOOD TRIMMED COLUMNS: | 3/4" MIN. HORIZONTAL MANGROVE TRIMMED COLUMNS WITH MITERED AND GLUED CORNERS. PROVIDE SAMPLE FOR APPROVAL PRIOR TO INSTALLATION. |
| 7 | DECK RAILING: | CLEAR GLASS RAIL IN METAL BASE CHANNEL. |
| 8 | WINDOWS: | DUAL PANE FLEETWOOD ALUMINUM CLO. WINDOWS. STYLE AND COLOR TO BE SELECTED BY OWNER AND ARCHITECT. |
| 9 | DOORS: | DUAL PANE FLEETWOOD ALUMINUM CLO. FRENCH DOORS. STYLE AND COLOR TO BE SELECTED BY OWNER AND ARCHITECT. |
| 10 | LIGHTING: | EXTERIOR LIGHT FIXTURE. SEE ELECTRICAL PLANS. |
| 11 | DECK SURFACE: | STONE TILE APPLIED WITH TRUSSET OVER DECOTED 1200 LBN WATERPROOF INSULATING MEMBRANE OVER FLAT 1/2" INSULATING I.C.B.O. # 1338 WATER PROOF INSULATING MEMBRANE. |
| 12 | STONE VENEER: | CUTLINED STONE VENEER ATTACHED TO STUCCO OVER 1/2" WATERPROOF INSULATING MEMBRANE. PROVIDE PRECAST CONCRETE LEDGE CAP TO TOP. SEE DETAIL. |
| 13 | SLOUGHTS: | CUSTOM DUAL GLAZED SLOUGHT, BRONZE ALUMINUM FRAME, VELUX OR EQUAL. ICB0 INER-216. |
| 14 | GUTTERS AND DOWNGUTS: | 4" HALF ROUND COPPER GUTTERS WITH 3/4" COPPER DOWNGUT |
| 15 | STUCCO: | 3/2" SMOOTH TRIMBLE FINISH STUCCO PLASTER OVER WIRE LATH ATTACHED WITH 16 COOLER NAILS @ 12" O.C. OWNER AND ARCHITECT TO SELECT AND/OR APPROVE COLOR. |
| 16 | DECK RAILING: | STEEL CABLE RAILS WITH 1 1/4" SQUARE TUBE POSTS |

EAST ELEVATION
SCALE: 1/4"=1'-0"



PROJECT
LOPEZ RESIDENCE
2885 + 2854 THE STRAND
HERMOSA BEACH
CALIFORNIA 90254

STAMP

PROJECT NUMBER
19001

PRINT DATE
7/23/2020 9:20:03 AM

REVISIONS
REVISION 1
REVISION 2

COPYRIGHT
ALL RIGHTS RESERVED
NO PART OF THIS DOCUMENT
MAY BE REPRODUCED OR
TRANSMITTED IN ANY FORM
OR BY ANY MEANS
ELECTRONIC OR MECHANICAL
INCLUDING PHOTOCOPYING
RECORDING OR BY ANY
INFORMATION STORAGE
RETRIEVAL SYSTEM
WITHOUT PERMISSION
IN WRITING FROM
TOMARO ARCHITECTURE

DRAWING
SECTIONS

SHEET NUMBER
A.08

Community Character Analysis



Lot No.	Address	Residence Type	Structure Size (sq. ft)	Lot Size (sq. ft.)
1	2909 The Strand	Single-Family	9713	6595
2	2840 The Strand	Single-Family	2341	3475
3	2838 The Strand	Single-Family	3506	3536
4	2831 The Strand	Duplex	1606	3552
5	2826 The Strand	Single-Family	7846	4618
6	2810 The Strand	Single-Family	2381	4530
7	2806 The Strand	Single-Family	6857	5317
8	2800 The Strand	Duplex	1599	3617
9	2728 The Strand	Single-Family	5872	5452
10	2724 The Strand	Single-Family	2769	5454
11	2702 The Strand	Single-Family	2245	5734
12	2666 The Strand*	Single-Family	7008	4380
13	2654 The Strand*	Single-Family	3180	2597
14	2652 The Strand	Single-Family	3107	2652
15	2648 The Strand	Single-Family	3795	2685
16	2642 The Strand	Duplex	1384	2738
17	2634 The Strand	Single-Family	4409	2775
18	2630 The Strand	Triplex	4375	2824
19	2621 The Strand	Single-Family	3758	2871
20	2617 The Strand	Single-Family	4858	2935
21	2601 The Strand	Triplex	4540	5992

*Project Site

Average Structure Size: 4150 sq. ft. **Average Lot Size:** 4016 sq. ft.

Max Structure Size: 9713 sq. ft. **Average Lot Size:** 6595 sq. ft.

Min Structure Size:1384 sq. ft. **Average Lot Size:** 2597 sq. ft.