

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
301 E. OCEAN BLVD., SUITE 300
LONG BEACH, CA 90802-4830
(562) 590-5071



Th13c

5-20-0503 (802 Strand Investments, LLC)

March 11, 2020

EXHIBITS

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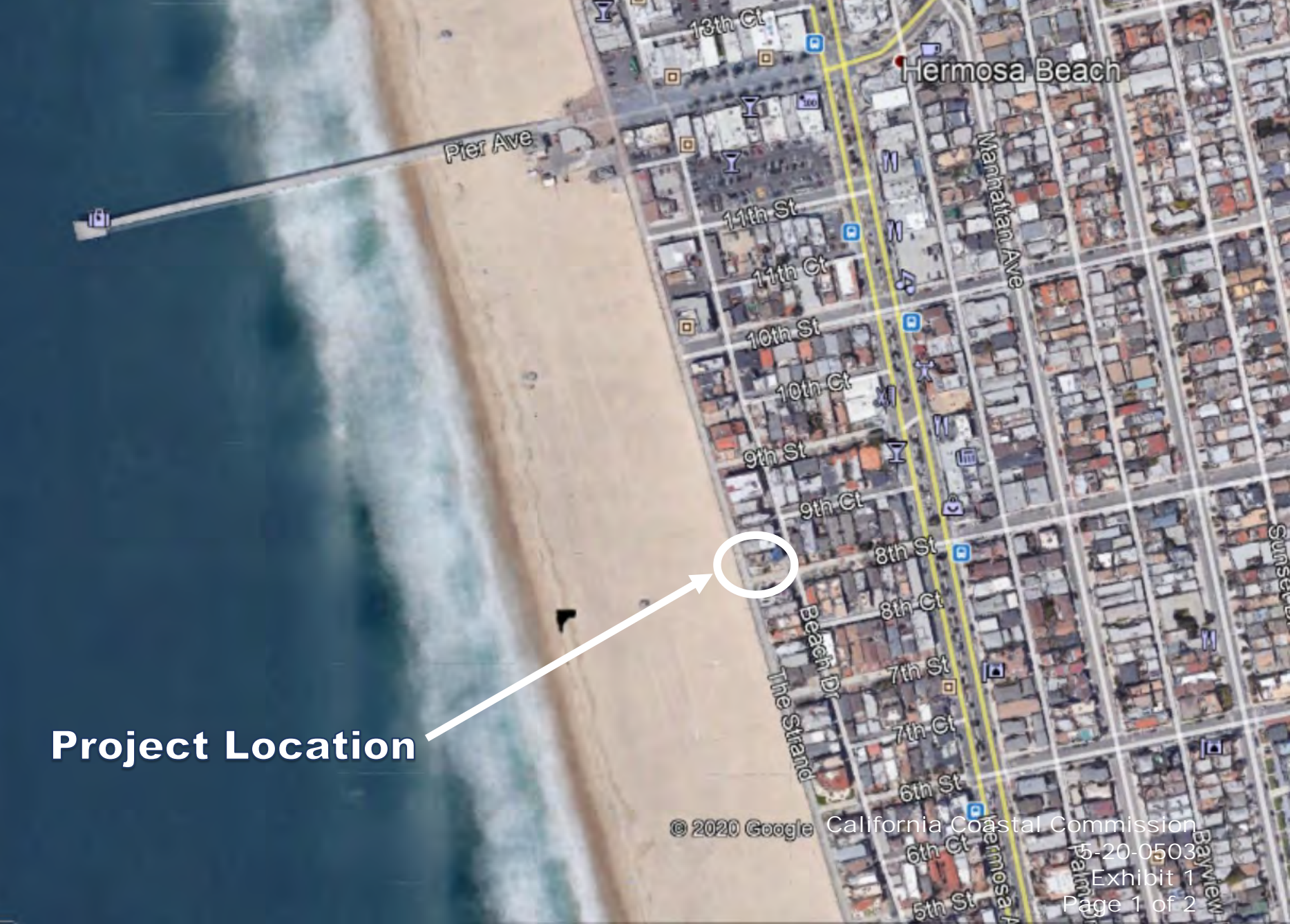
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Exhibit 2 – Project Plans

Exhibit 3 – Proposed 552 sq. ft. ADU

Exhibit 4 – Community Character Analysis

Exhibit 5 – Commission Approvals of Density Reduction Projects in
Hermosa Beach since 2014



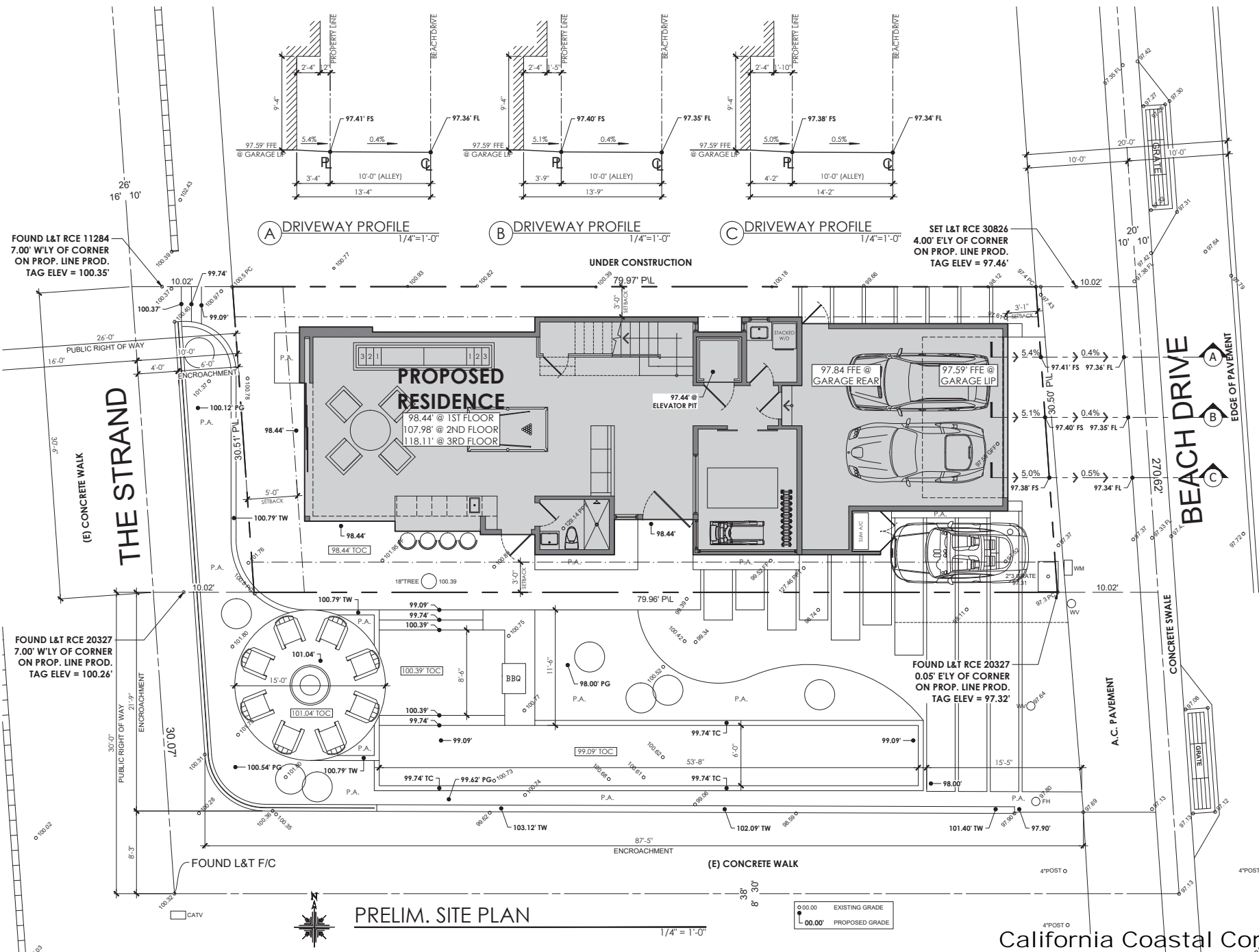
Project Location



The Strand

Project Site

8th Street



TROTTER
 BUILDING DESIGNS, INC.
 101 MANHATTAN BEACH BLVD, W.
 MANHATTAN BEACH, CA 90266
 310-445-7272

CLIENT:
 CURCIO RESIDENCE

JOB SITE:
 802 THE STRAND
 HERMOSA BEACH, CA

AIC #1: 05-12-2020

REVISIONS:

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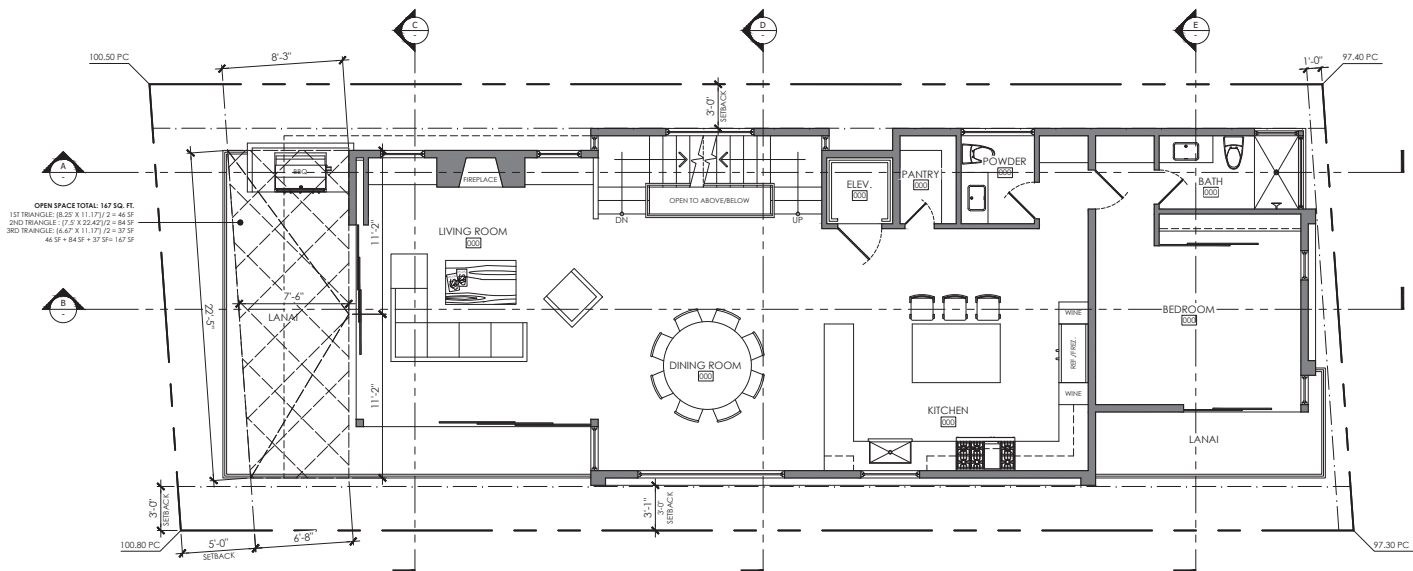
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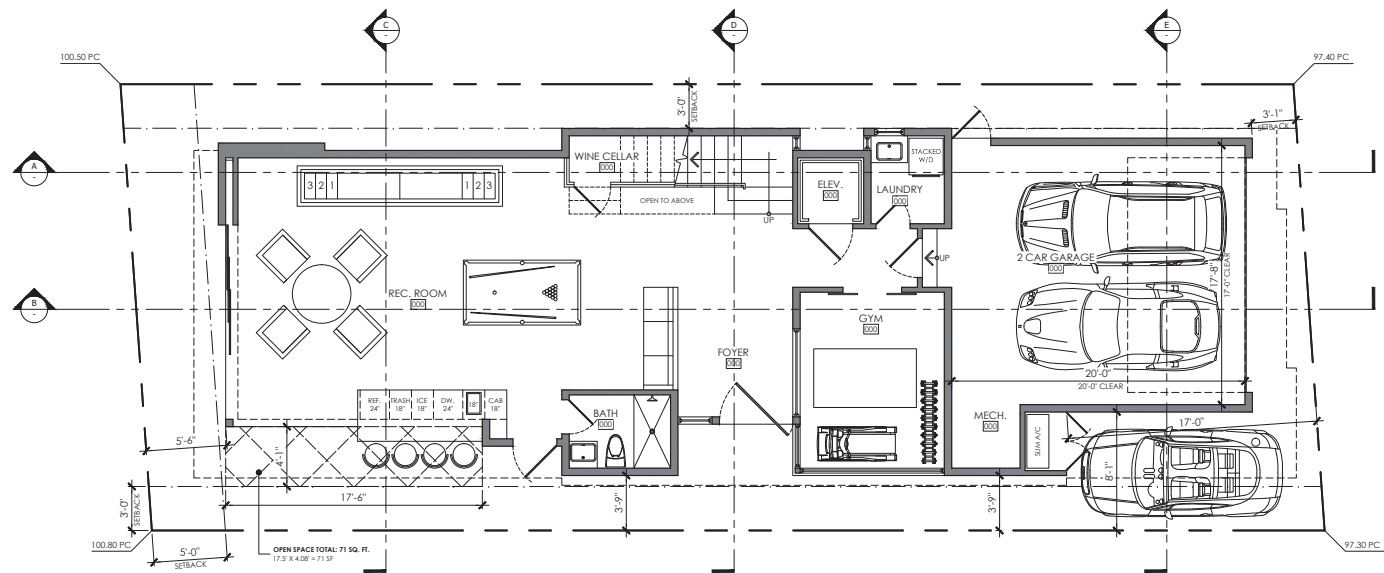
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SITE PLAN

JOB NO:
 19-019



SECOND FLOOR PLAN



FIRST FLOOR PLAN

TROTTER

MANHATTAN BEACH
310-545-2727

CLIENT:

CURCIO RESIDENCE

JOB SITE:

802 THE STRAND
HERMOSA BEACH, CA

AIC #1: 05-12-2020

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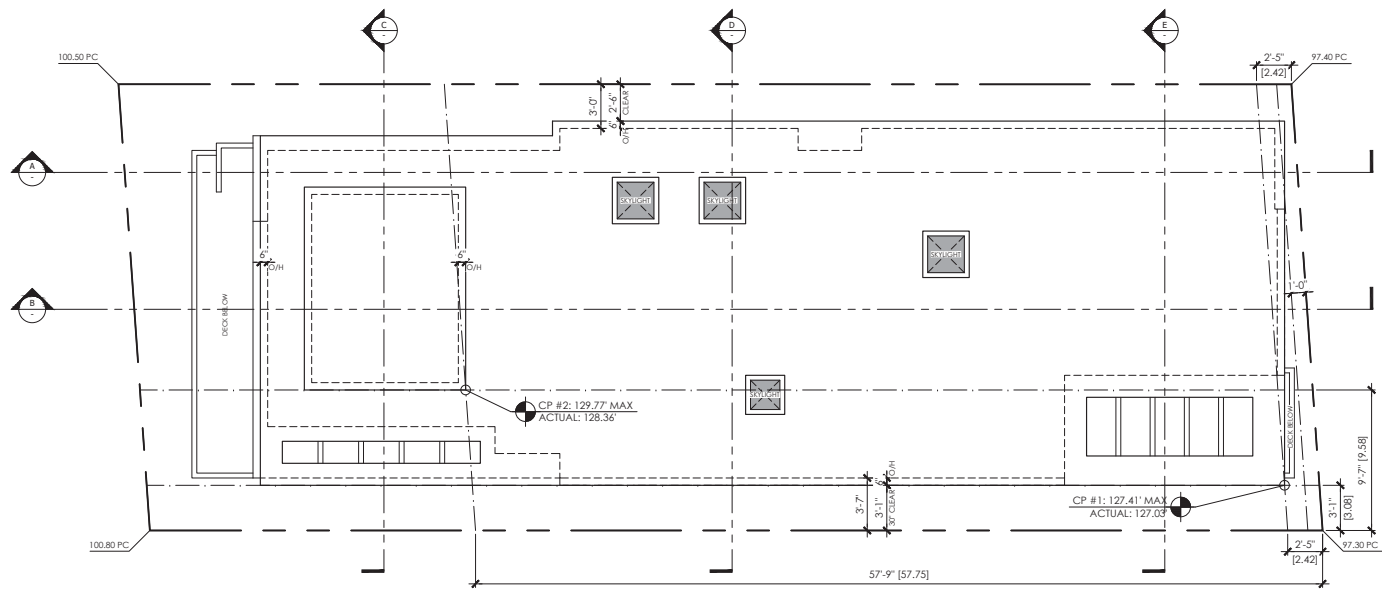
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FIRST &
SECOND
FLOOR PLAN

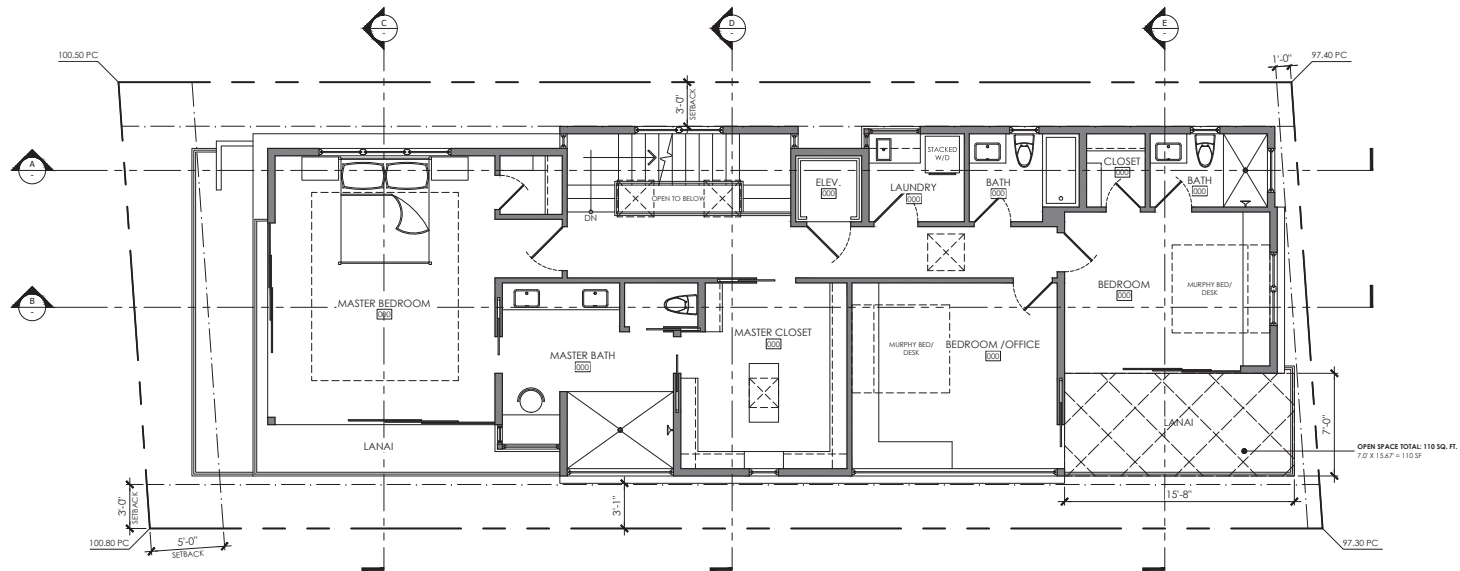
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ROOF PLAN

1/4" = 1'-0"



THIRD FLOOR PLAN

1/4" = 1'-0"

TROTTER

BUILDING DESIGNS, INC.

101 MANHATTAN BEACH BLVD., 9TH

MANHATTAN BEACH

310-445-7277

CLIENT:

CURCIO RESIDENCE

JOB SITE:

802 THE STRAND

HERMOSA BEACH, CA

AIC #1: 05-12-2020

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THIRD FLOOR
& ROOF PLAN

JOB NO:

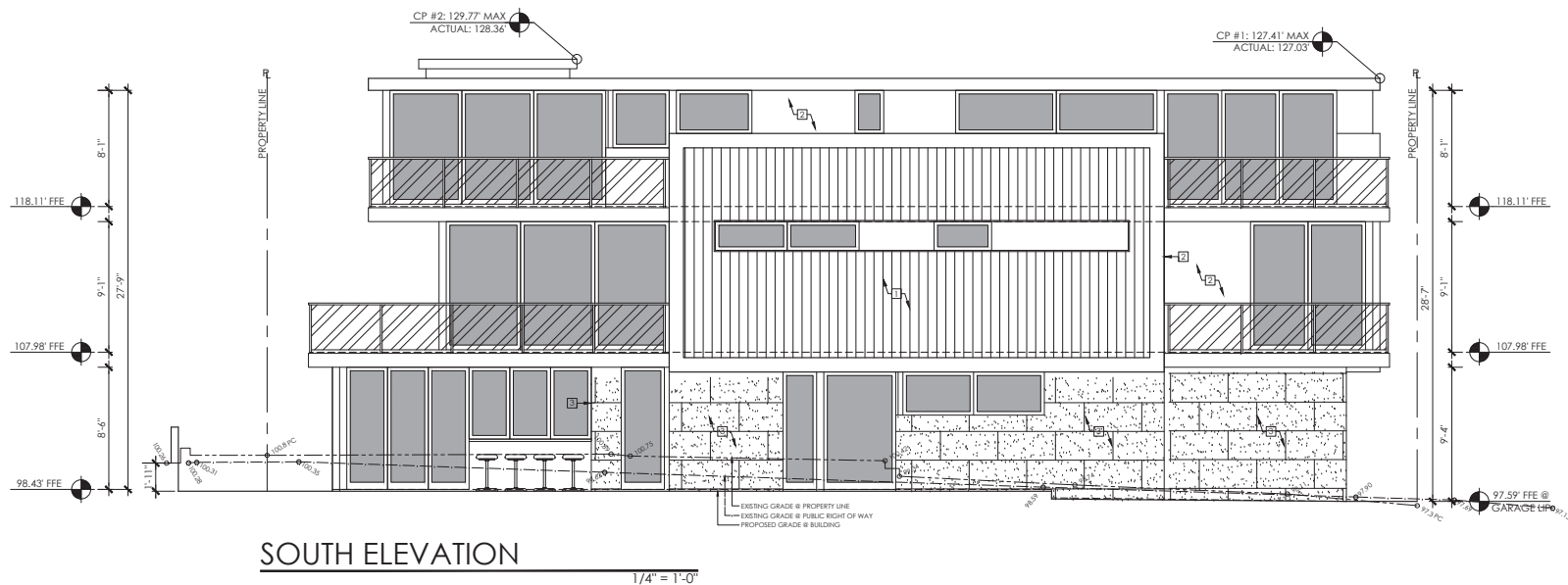
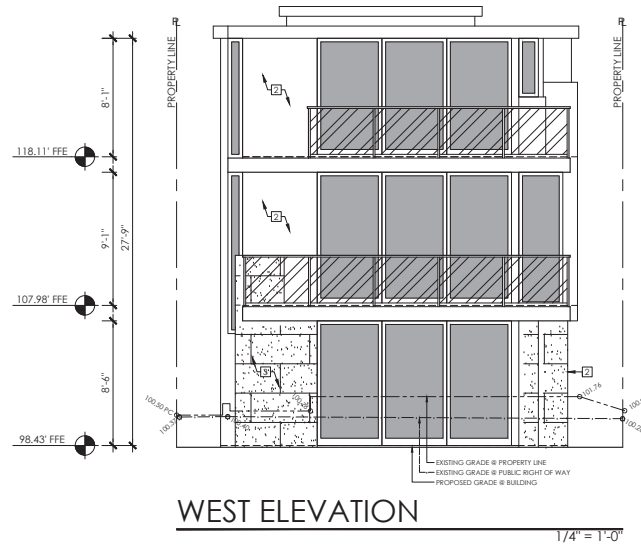
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California Coastal Commission

5-20-0503

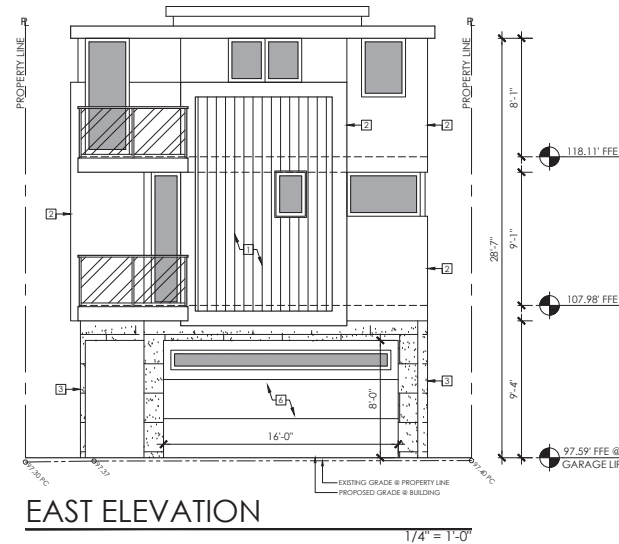
Exhibit 2

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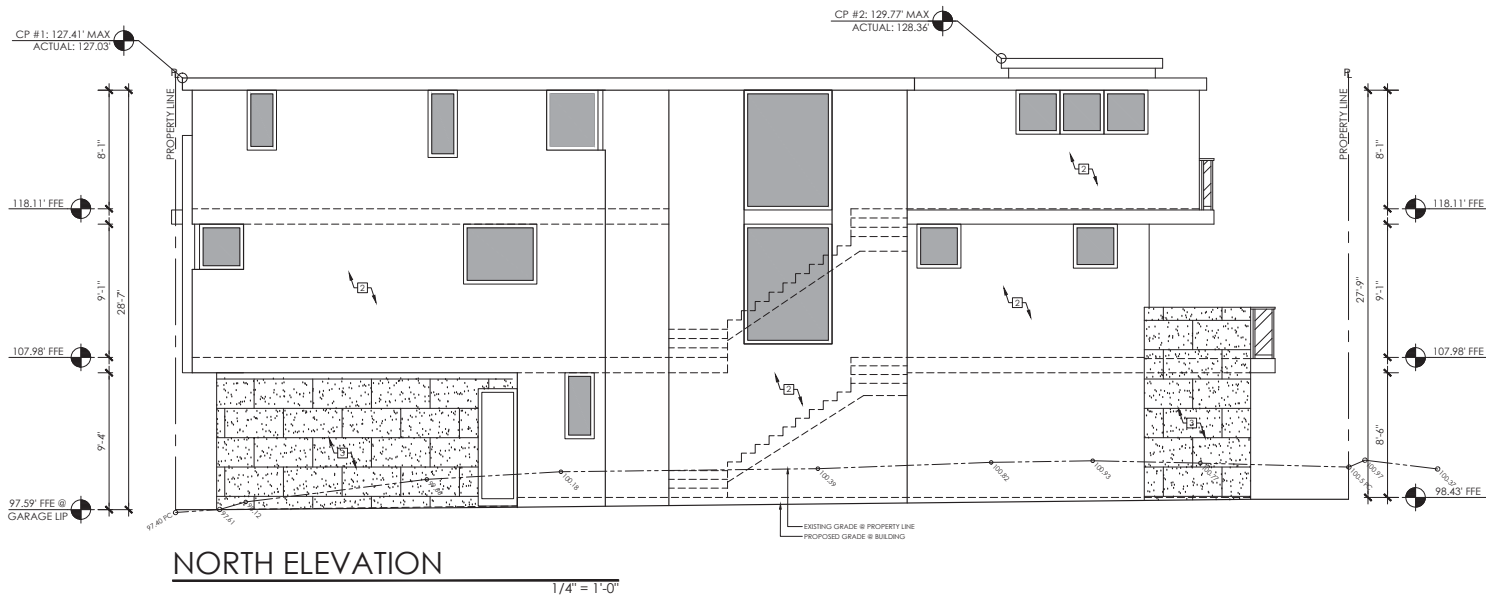


- GENERAL NOTES:**
1. PARAPETS, RAILS AND SKYLIGHTS MUST BE WITHIN THE HEIGHT LIMIT.
 2. GUARDRAILS TO BE 42" HIGH MIN. HANDRAILS TO BE 34" - 38" HIGH. NEITHER SHALL HAVE OPENING LARGER THAN 4" Ø. (CBC R312)
 3. GLAZING WITHIN 18" OF THE ADJACENT FLOOR WALKING SURFACE SHALL BE FULLY TEMPERED. (CBC R308.4)
 4. ALL CHIMNEYS ATTACHED TO ANY APPLIANCE OR FIREPLACE THAT BURNS SOLID FUEL SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTER. (CBC R303.7.2)
 5. TOP OF CHIMNEY SHALL BE 2' MIN. ABOVE ANY POINT OF THE ROOF WITHIN 10' BUT SHALL NOT BE LESS THAN 3' ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF. (CBC R303.9)
 6. CONTRACTOR TO SURVEY EACH FLOOR AS COMPLETED TO INSURE OVERALL BUILDING HEIGHT DOES NOT EXCEED MAX. HEIGHT PERMITTED.
 7. SEE CTR FOR SOLAR REQUIREMENTS
- HERMOSA BEACH CITY NOTES:**
1. PARAPETS, SATELLITE ANTENNAE, RAILS, SKYLIGHTS, AND ROOF EQUIPMENT MUST BE WITHIN THE HEIGHT LIMIT. (HBMC 17.4A.210)
 2. SOLAR COLLECTORS AND SOLAR ENERGY ENERGY SYSTEMS MAY EXCEED THE HEIGHT LIMIT MANDATED BY THIS CODE TO THE MINIMUM EXTENT NECESSARY FOR THEIR SAFE AND EFFICIENT OPERATION IN ACCORDANCE WITH THE CALIFORNIA BUILDING CODE AND OTHER APPLICABLE PROVISIONS OF THE STATE LAW (HBMC 17.4A.220)
 3. THE BUILDING, WHILE UNDER CONSTRUCTION AND AT THE ROOF FRAMING INSPECTION STAGE, SHALL BE SURVEYED TO DETERMINE BUILDING HEIGHTS AT CRITICAL POINTS ON THE ROOF (OR UPPERMOST PORTION OF THE BUILDING ROOF SHEATHING) CORRESPONDING TO APPROVED PLANS.
- ELEVATION KEYNOTES:**
- 1 VERTICAL WOOD SIDING
 - 2 SMOOTH STEEL TROWEL STUCCO
 - 3 CULTURED STONE VENEER
 - 4 GLASS GUARDRAIL TO BE 42" HIGH, NEITHER SHALL HAVE OPENING LARGER THAN 4" Ø SEE GENERAL NOTE #2 ABOVE (SEE STRUCT. PLAN FOR DETAIL)
 - 5 TONGUE & GROOVE CEILING
 - 6 16'-0" X 8'-0" GARAGE DOOR

| | |
|--|--|
| TROTTER BUILDING DESIGNS, INC. 101 MANHATTAN BEACH BLVD, 9th MANHATTAN BEACH 310-445-7277 | |
| CLIENT: CURCIO RESIDENCE | |
| JOB SITE: 802 THE STRAND HERMOSA BEACH, CA | |
| AIC #1: 05-12-2020 | |
| REVISIONS: 1 _____ 2 _____ 3 _____ | |
| ENGINEER: | |
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| WEST & SOUTH ELEVATIONS | |
| JOB NO: 19-019 | |



- GENERAL NOTES:**
1. PARAPETS, RAILS AND SKYLIGHTS MUST BE WITHIN THE HEIGHT LIMIT.
 2. GUARDRAILS TO BE 42" HIGH MIN. HANDRAILS TO BE 34" - 38" HIGH. NEITHER SHALL HAVE OPENING LARGER THAN 4" Ø. (CBC §312)
 3. GLAZING WITHIN 18" OF THE ADJACENT FLOOR WALKING SURFACE SHALL BE FULLY TEMPERED. (CBC §208.4)
 4. ALL CHIMNEYS ATTACHED TO ANY APPLIANCE OR FIREPLACE THAT BURNS SOLID FUEL SHALL BE EQUIPPED WITH AN APPROVED SPARK ARRESTER. (CBC §1003.7.2)
 5. TOP OF CHIMNEY SHALL BE 2' MIN. ABOVE ANY POINT OF THE ROOF WITHIN 10' BUT SHALL NOT BE LESS THAN 3' ABOVE THE HIGHEST POINT WHERE THE CHIMNEY PASSES THROUGH THE ROOF. (CBC §1003.9)
 6. CONTRACTOR TO SURVEY EACH FLOOR AS COMPLETED TO INSURE OVERALL BUILDING HEIGHT DOES NOT EXCEED MAX. HEIGHT PERMITTED.
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 - 6 16'-0" X 8'-0" GARAGE DOOR



TROTTER

BUILDING DESIGNS, INC.
101 MANHATTAN BEACH BLVD., 9TH FLOOR
MANHATTAN BEACH, CA 90266-3450

CLIENT:

CURCIO RESIDENCE

JOB SITE:

802 THE STRAND
HERMOSA BEACH, CA

A/C #1: 05-12-2020

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EAST & NORTH ELEVATIONS

JOB NO:

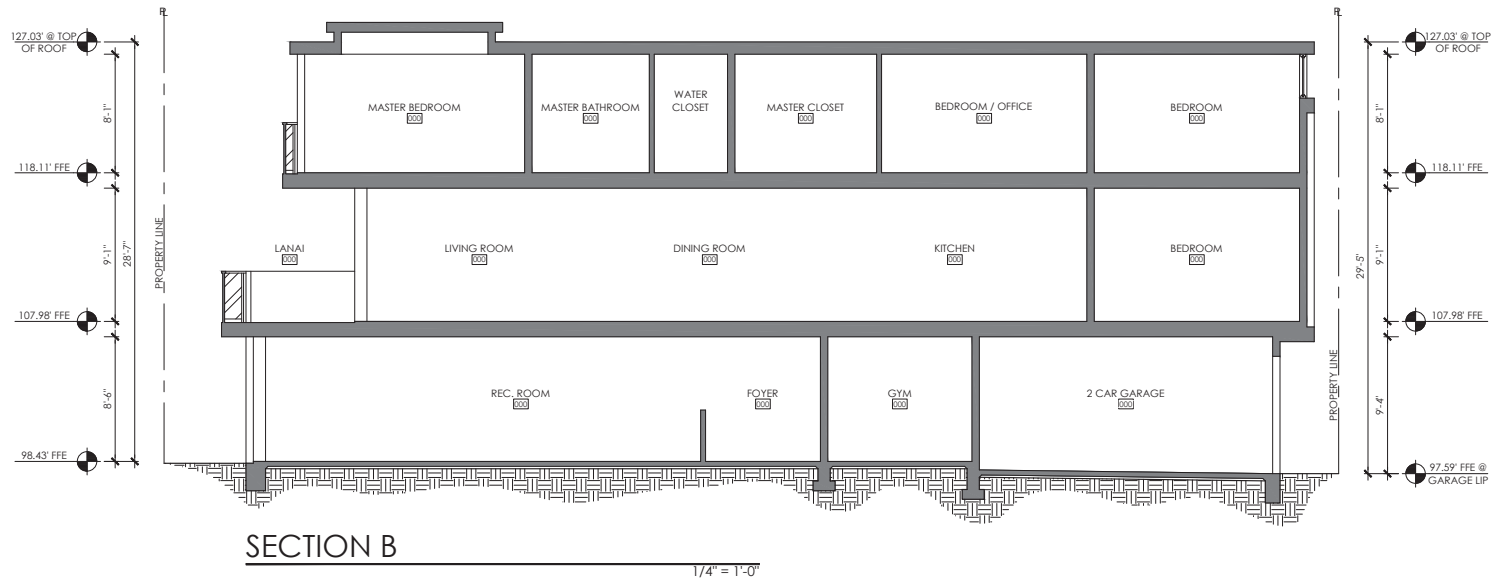
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California Coastal Commission

5-20-0503

Exhibit 2

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TROTTER

BUILDING DESIGNS, INC.

310 S. 4th St. Suite 202

MANHATTAN BEACH, CA 90266

CLIENT:

CURCIO RESIDENCE

JOB SITE:

802 THE STRAND

HERMOSA BEACH, CA

A/C #1: 05-12-2020

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**A & B
SECTION CUTS**

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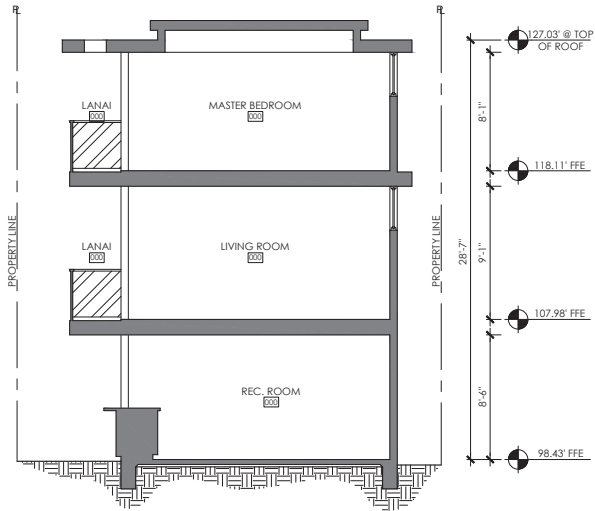
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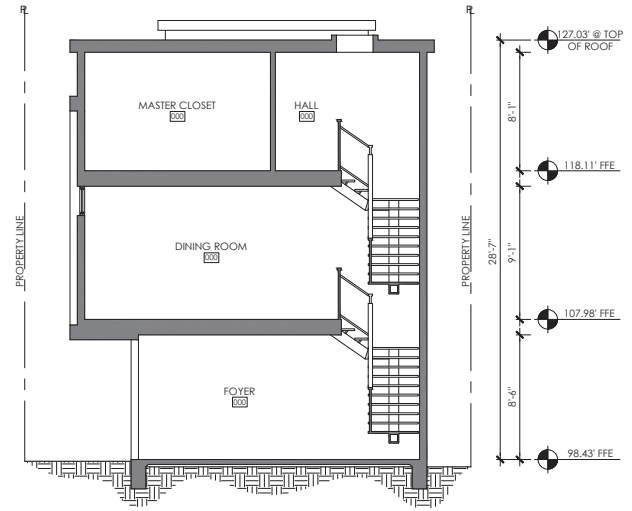
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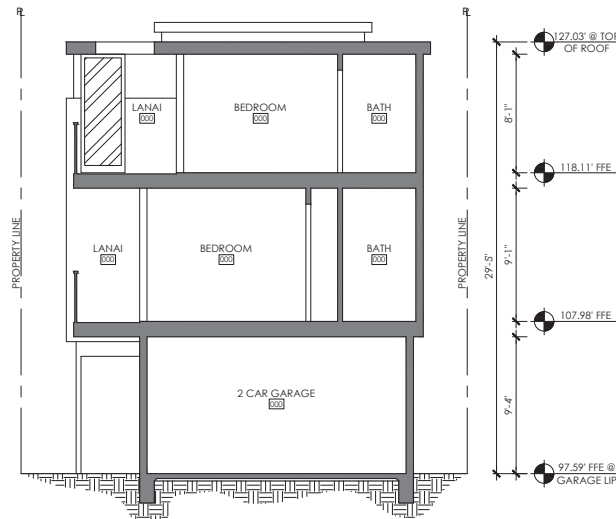
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SECTION C
1/4" = 1'-0"



SECTION D
1/4" = 1'-0"



SECTION E
1/4" = 1'-0"

TROTTER
BUILDING DESIGNS, INC.
310-450-7277
MANHATTAN BEACH, CA

CLIENT:

CURCIO RESIDENCE

JOB SITE:

802 THE STRAND
HERMOSA BEACH, CA

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C, D & E
SECTION CUTS

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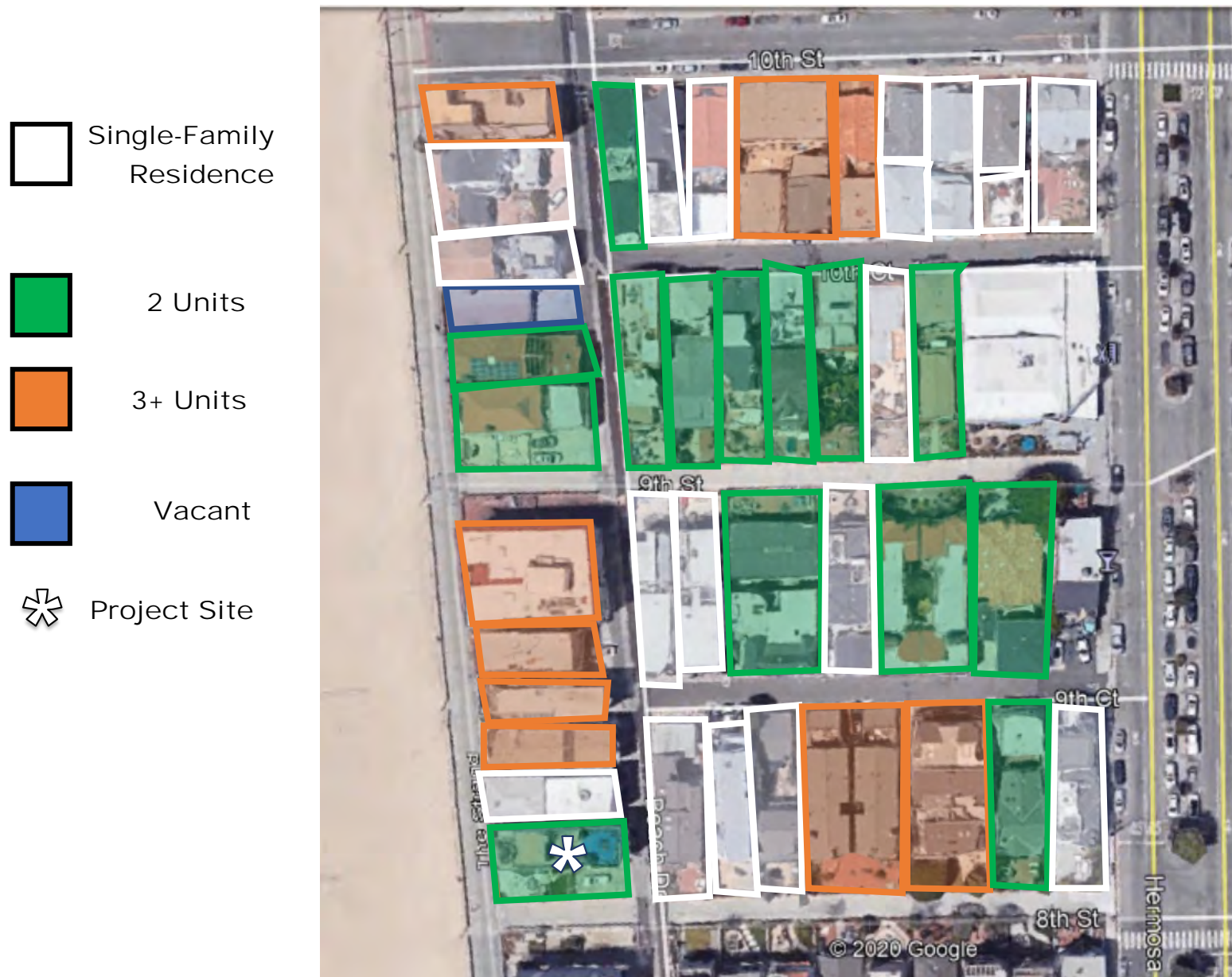
California Coastal Commission

5-20-0503

Exhibit 2

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Community Character Analysis



Commission Approvals of Housing Density Reduction Projects in Hermosa Beach Since 2014

| Permit Number | Date Approved | Units Before Project | Units After Project | Net Unit Loss |
|---------------|---------------|----------------------|---------------------|---------------|
| 5-13-1348-W | 2/13/2014 | 2 | 1 | -1 |
| 5-13-1239-W | 2/13/2014 | 2 | 1 | -1 |
| 5-14-0006-W | 3/12/2014 | 3 | 1 | -2 |
| 5-14-0002-W | 3/12/2014 | 2 | 1 | -1 |
| 5-14-0528-W | 4/11/2014 | 2 | 1 | -1 |
| 5-14-1056-W | 8/13/2014 | 2 | 1 | -1 |
| 5-14-1687-W | 11/18/2014 | 2 | 1 | -1 |
| 5-15-0619-W | 7/09/2015 | 2 | 1 | -1 |
| 5-15-0612-W | 8/12/2015 | 2 | 1 | -1 |
| 5-15-0552-W | 8/12/2015 | 3 | 2 | -1 |
| 5-15-0968-W | 9/15/2015 | 2 | 1 | -1 |
| 5-15-1234-W | 10/09/2015 | 2 | 1 | -1 |
| 5-15-1969-W | 2/11/2016 | 2 | 1 | -1 |
| 5-15-1799 | 4/14/2016 | 2 | 1 | -1 |
| 5-16-0153 | 7/14/2016 | 2 | 1 | -1 |
| 5-16-0628-W | 9/08/2016 | 2 | 1 | -1 |
| 5-17-0016-W | 2/08/2017 | 1 | 0 | -1 |
| 5-17-0030-W | 2/08/2017 | 2 | 1 | -1 |
| 5-17-0040-W | 5/12/2017 | 2 | 1 | -1 |
| 5-17-0100-W | 5/12/2017 | 5 | 1 | -4 |
| 5-17-0285-W | 6/07/2017 | 3 | 1 | -2 |
| 5-17-0691-W | 10/12/2017 | 2 | 1 | -1 |
| 5-17-0822-W | 10/27/2017 | 2 | 1 | -1 |
| 5-17-0823-W | 11/09/2017 | 2 | 1 | -1 |
| 5-17-0802-W | 11/09/2017 | 2 | 1 | -1 |
| 5-17-0792 | 3/08/2018 | 2 | 1 | -1 |
| 5-17-1005 | 7/11/2018 | 2 | 1 | -1 |
| 5-18-0651 | 11/07/2018 | 3 | 1 | -2 |
| 5-18-0827 | 2/07/2019 | 2 | 1 | -1 |
| 5-18-0949 | 3/06/2019 | 2 | 1 | -1 |
| 5-19-0137 | 9/12/2019 | 2 | 1 | -1 |
| 5-19-0195 | 10/17/2019 | 2 | 1 | -1 |
| 5-19-1209 | 11/13/2019 | 3 | 2 | -1 |
| 5-19-0955 | 6/12/2020 | 2 | 1 | -1 |
| 5-19-1244 | 9/10/2020 | 2 | 1 | -1 |
| 5-20-0142 | 9/10/2020 | 2 | 1 | -1 |
| 5-20-0223 | 9/10/2020 | 2 | 1 | -1 |
| 5-19-1215 | 10/08/2020 | 3 | 2 | -1 |
| 5-19-1220 | 10/08/2020 | 2 | 1 | -1 |
| 5-20-0530 | 12/10/2020 | 2 | 1 | -1 |