### CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE 301 E. OCEAN BLVD., SUITE 300 LONG BEACH, CA 90802-4830 (562) 590-5071



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## 5-20-0503 (802 Strand Investments, LLC) March 11, 2020

### **EXHIBITS**

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- Exhibit 1 Vicinity Map and Project Site
- Exhibit 2 Project Plans
- Exhibit 3 Proposed 552 sq. ft. ADU
- Exhibit 4 Community Character Analysis
- Exhibit 5 Commission Approvals of Density Reduction Projects in Hermosa Beach since 2014

Hermosa Beach

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## **Project Location**

Pter Ave

@ 2020 Google California Coast

# **Project Site**

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Stram

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California Coastal Commission

8<sup>th</sup> Street

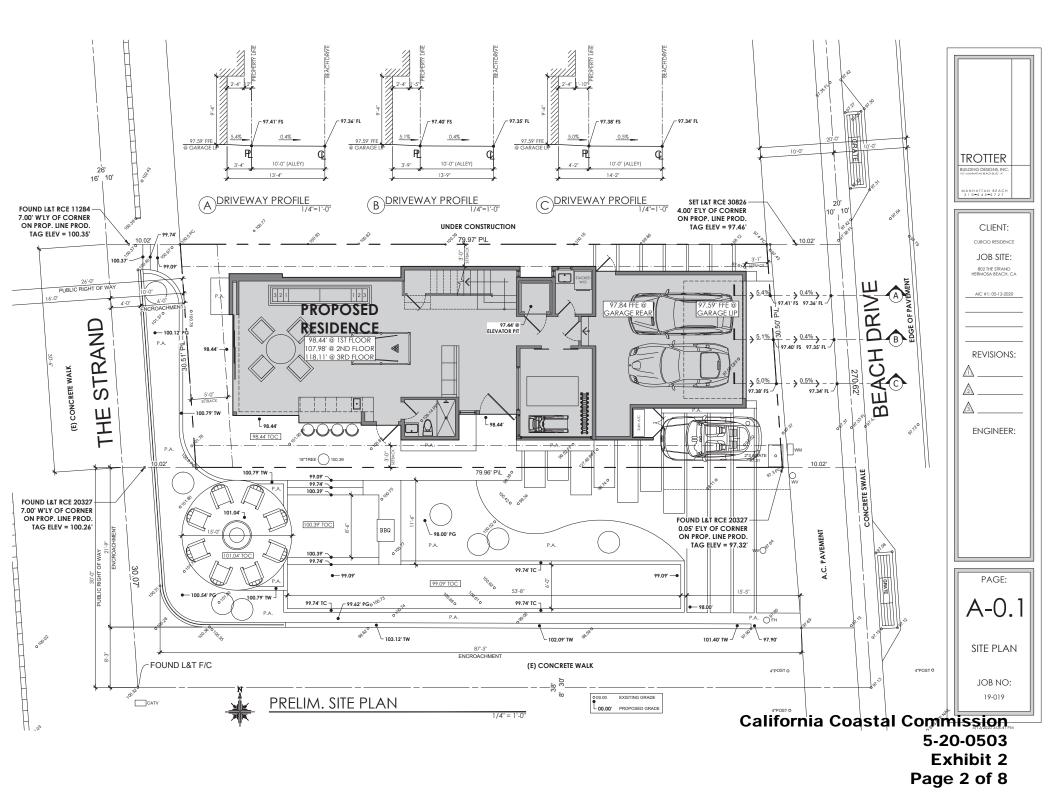
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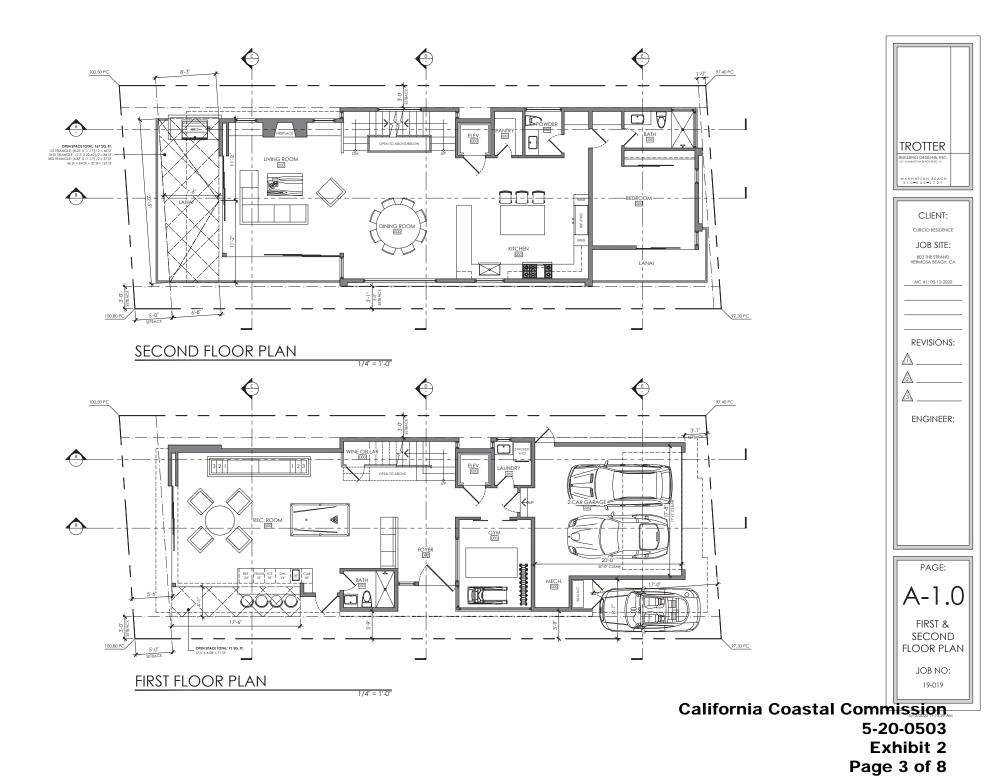
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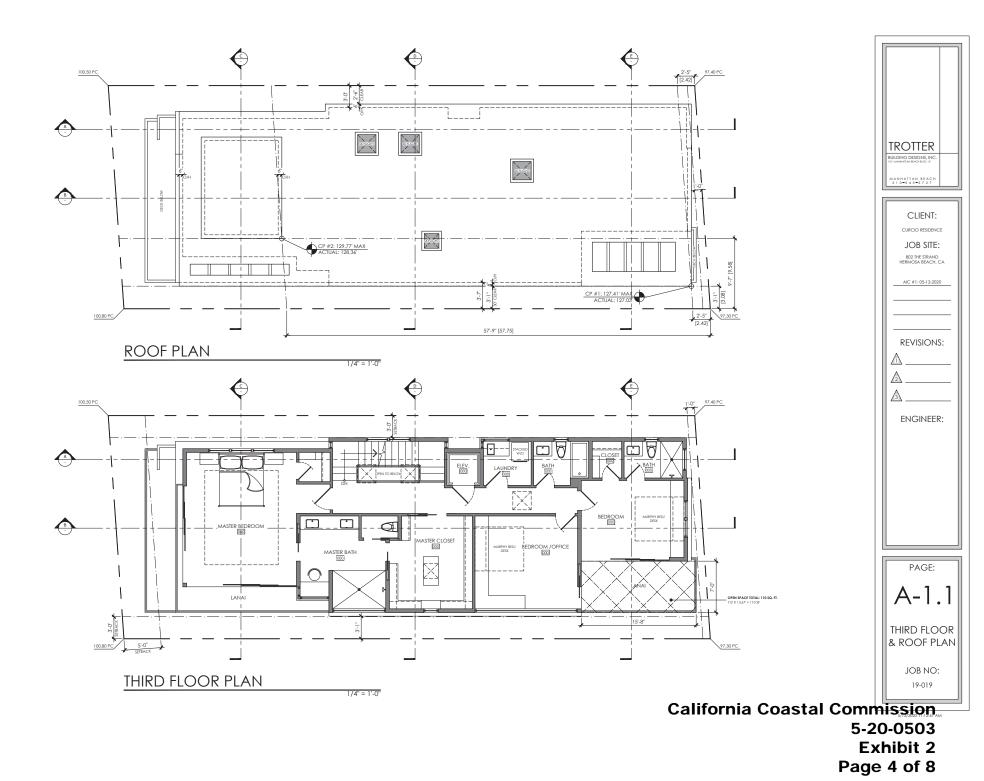
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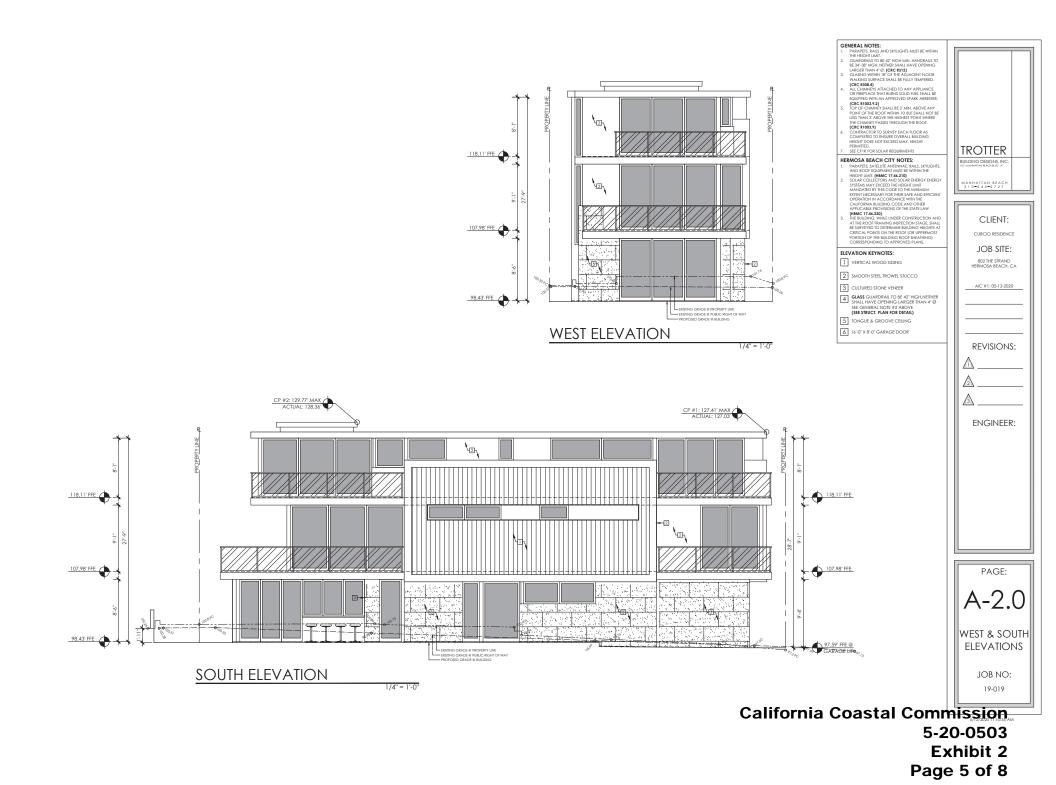
		12		n <sup>12</sup> Big Lots <b>Q</b> set	GENERAL NOTES	CAL GREEN REQUIREMENTS		
A PROPOSED SINGLE FAMILY RESIDENCE FOR		Acopalie Re	and a state of	· · · · · · · ·	PROVIDE 3" CLEARANCE ON ALL SIDES, BACK AND TOP AND 6" IN FRONT OF THE FURNACE AND WATER HEATER.     PROVIDE (2) ANCHOR STRAPS FOR WATER HEATER. (CPC-S10.5)     RECEIPTACE OUTLETS SHALL BE LOCATED WITHIN 12 TO IS INCHES OFF THE FLOOR. (CEC 210-50 (D)).	SUSTAINABLE GREEN BUILDING PROGRAM AND ENERGY EFFICIENCY STANDARDS Requirements for LOW-RISE RESIDENTIAL BUILDING. A building that is of Occupancy Group R		
THE CURCIO RESIDENCE				Made g from the	4 LIGHT SWITCHES WILL BE INSTALLED WITHIN 34 TO 48 INCHES OFF THE FLOOR	and is sk stories or less, or that is a one- or two-family dwelling or townhouse.  1. The Following Requirements Apply to All SFD Project: (New Dwellings, Additions, and Remodels.)		
THE CURCIC	) KESIDENCE			10 <sup>10</sup> 10 <sup>2</sup> 10 <sup>2</sup> 10 <sup>2</sup>	<ol> <li>The LUE OF ALLWAREM WRIE IN OTFERMITE.</li> <li>GAS RED APPLANCES EQUIPMENT DWIN INTENTION TO MOVES.</li> <li>AN SICKANTON/COSTRUCTORY FEMILY SALL BE OSTANGE PROR TO COSTRUCTION OF ANY IMPROVEMENTS WITHIN PUBLIC REGISTORY MY, TES INCLUES ET IN OT IMPTED TO JANARMAS DEPARTURES, CUES, GUITES, DRIVENAT APPROACHES, OR</li> </ol>	Water Efficiency		
AT 802 THE STRAND, HERMOSA BEACH, CA			Watz The Strand	••• Q Our Guar	UNDERGROUNCING OF UTLITES. 8. BULDING, GRADING, AND DERVISITION PERMITS TO COMPLY WITH <u>HERMOSA BEACH ZONING CODE</u> . 9. FACTORY REPEACES SHALL HAVE: TOHY THING, CLOSEABLE METAL, OR CLASS DOORS.	Indeer Water Use 4.301.1 The provisions shall establish the means of conserving water used indoors, outdoors, and in wastewater conveyrance, indoor Water Use Section 4.303 nequirements shall apply to any new indoor water flutures to obtain 20% savings compared to the baseline provided in Table 4.303.1		
			and the		O. IIGHT HIMR, LILBBARE MIRAL OK GASS DUNG.     E. DUSTER MIRAE MIRA DAVE AND CONROL.     CRUE DAVER AND CONROL.     O. RUE DAVER AND CONROL.     O. NO CONNOLS BRINNE GAS AND CONROL.     O. NO CONNOLS BRINNE AND FAILS AND CONROL.     I. 4 DAVERS PHILE NATION FAST SHOULD BE AND CONROL.     TO ADVERSE PHILE NATION FAST SHOULD BE AND CONROL.     TO ADVERSE PHILE NATION FAST SHOULD BE AND CONROL.     TO ADVERSE PHILE NATION FAST SHOULD BE AND CONROL.     TO ADVERSE PHILE NATION FAST SHOULD BE AND CONROL.     TO ADVERSE PHILE NATION FAST SHOULD BE AND CONROL.     TO ADVERSE PHILE NATION FAST SHOULD BE AND CONROL.     TO ADVERSE PHILE NATION FAST SHOULD BE AND CONROL.     TO ADVERSE PHILE NATION FAST SHOULD BE AND CONROL.	Indoor water fixtures must incorporate the fixture flow rates of Table 4.303.2		
				Rocke 🖓 👘 🖓	<ol> <li>NO CONTINUOUS BURNING GAS PILOTS ALLOWED.</li> <li>47 DIAMERE SPHERE MAY NOT PASS THROUGH THE INTERMEDIATE RAILS.</li> <li>12. FENCE HEIGHTS, AS MEASURED FROM THE LOWEST FINISHED GRADE ADJACENT TO EACH SECTION OF THESE STRUCTURES, MAY BE</li> </ol>	HXTURE TYPE FLOW RATE Lovatory Foucets 1.50 GPM Vietnes Forcets 1.00 GPM		
PROJECT CONTACTS		I and a start		No. Vanada	A MAXIMUM OF: 42'IN THE FRONT YARD SETBACK, AND 6' AT OTHER LOCATIONS ON SITE (3'IF OBSTRUCTING DRIVEWAY VSBULTY). 13. PROVIDE LANDSCAFE RRIGATION SYSTEM BACK FLOW PREVENTION DEVICE. ONLY LOS ANGELES COUNTY HEALTH DEPARTMENT APPROVED DEVICES NAY BE USED.	Water Closets (lolets) 1.28 GPM Showerheads 200 GPM Urient 0 CPM		
WNEI: SHERYL & DOMINIC CURCIO	Primary Contact: DOMINIC			may and a	A PERVISED DEVICES MAY BE USED.     ALL ROSE BAS REFORMED TO A MAY BE USED.     ALL ROSE BAS REFORMED TO A MAY BE USED.     ALL ROSE BAS REFORMED TO A MAY BE USED.     PROVIDES MARKE DEVICED BY A MACK ROW PREVENTION DEVICE.     IS: PROVIDES MARKE DEVICED BY A MACK ROW PREVENTION TO A MORE DEVICE.     IS: PROVIDES MARKE DEVICED BY A MACK ROW PREVENTION TO A MORE DEVICE.     IS: PROVIDES MARKE DEVICED BY A MACK ROW PREVENTION TO A MORE DEVICE.     IS: PROVIDES MARKE DEVICED BY A MACK ROW PREVENTION TO A MORE DEVICE.     IS: PROVIDES MARKE DEVICED BY A MACK ROW PREVENTION TO A MORE DEVICE.     IS: PROVIDES MARKE DEVICED BY A MACK ROW PREVENTION TO A MORE DEVICE.     IS: PROVIDES MARKE DEVICED BY A MACK ROW PREVENTION TO A MORE DEVICE.     IS: PROVIDES MARKE DEVICES MARKE DEVICES MARKED A MORE DEVICED BY A MORE DEVICE.     IS: PROVIDES MARKED DEVICES MARKED A MORE DE	Alternatively, the applicant can provide a water budget calculation that can demonstrate the 20% savings as per California Energy Code Section 4.30.1.	TROTTER	
(312) 560-0772		AES Redordo Beech 🛛 King Harbor Plaza 🖓			WITH BATTERY BACK-UP. 16. BUILDING ADDRESS SHALL BE PROVIDED ON THE BUILDING IN SUCH A POSITION AS TO BE PLAINLY VISIBLE AND LEGIBLE FROM THE STREET, CRC SECTION R319.1.	Option Water Use 4.304.1 highlion controllers. Automatic imgation system controllers for iondxcoping provided and instelled at the time of final inspection hall comply with the following: 1. Controllers into be weather or an iondivide based controllers that automatically adjust inigation in response to changes in	BUILDING DESIGNS, INC. 1011 MANNATTAN BEACH BLVD, "A"	
signer: OTTER BUILDING DESIGNS, INC.	Surveyor: DENN ENGINEERS 3914 Del Amo Blvd., Suite 921 Torrance, CA 90503	Sum One			INALLI, CLOSES SHALL BE EQUIPPED WITH 'ULTRA LOW FLUSH' TYPE WITH 1.6 GALLONS MAXIMUM PER FLUSH, SHOWER HEADS [2.5 GPM] AND FAUCES [2.2 GPM].     IS CONTROL VALVE FOR SHOWER SHALL BE OF THE PRESSURE BALANCE OR THERMOSTATIC MIXING VALVE TYPE PER CPC SECTION	plants needs as weather conditions change.	MANHATTAN BEACH	
Manhattan Beach Blvd., Suite A		DEFERRED SUBMITTALS		Google3each	410.7. 19. A TWO-STAGE THERMOSTAT, WHICH CONTROLS THE SUPPLEMENTARY HEAT ON ITS SECOND STAGE, SHALL BE PROVIDED FOR HEAT PUMPS. THERMOSTATS SHALL BE EQUIPPED WITH AN AUTOMATIC SETBACK, WHICH THE BUILDING OCCUPANT CAN PROGRAM TO AUTOMATICALLY SET BACK. THE THERMOSTATI TWICE IN 24 HOUSE.	<ol> <li>Weather-based controllers without integral rais sensors or communication systems that account for local rainfal shall have a separate wheat or wireless rain sensor which connects or communicates with the controller(s. Soil moliture-based controllers are not required to have rain sensor input.</li> </ol>	3 1 0 - 5 4 5 - 2 7 2 7	
w.TrotterBuildingDesigns.com	P: (310) 542-9433				AUTOWARICALLY SEE BACK THE FIREMOSIST TWICE IN 24 HOURS. D. ALLEAN OR KOWER STSTEMENT KATE EXHAUST REPORT HE CONDITIONED BUILDING ENVELOPE TO THE OUTSIDE SHALL BE PROVIDED WITH BACKERAFT DAMPERS. 21. ELECTRICAL CONTINCTOR SHALL SUBMIT COLD CALCULATIONS TO BUILDING DEPARTMENT TO JUSTFY SIZE OF ELECTRICAL	Material Conservation and Resource Efficiency. 4.406.1 Protect annular spaces around pipes, electric cables, conduits at exterior wals against the passage of rodents		
	Ci il Facilitati				21. ELECTRICAL CONTRACTOR SHALL SUBWIT LOAD CALCULATIONS TO BUILDING DEPARTMENT TO JUSTFY SIZE OF ELECTRICAL SERVICE PRIOR TO ISSUANCE OF ELECTRICAL PERMIT. 22. PROVIDE PREDESTININ PROTECTION DURING CONSTRUCTION IF THERE IS A PUBLIC SIDEWALK & STREET SIDE.	Environmental Quality	CLIENT:	
uctural Engineer:	Civil Engineer: AZAD CONSULTING ENGINEERS	DEFERED SUBMITALITEMS SHALL BE EVIEWED BY THE DESIGNER OR ENGINEER OF RECORD <sup>2</sup> AND SHALL FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERED SUBMITAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERED SUBMITALIE BON SPEARED FEMIL AND NOT BE INSTALLED UNIT. THERE <sup>2</sup>			23. ALL WORK SHALL CONFORM TO THE STANDARDS SET FORTH IN THE 2016 C.B.C., C.P.C., C.M.C.,C.E.C., 2013 T-24 & CALIFORNIA	4.00.11 the providence of this chapter shall outline means of reducing the quantity of air contaminants that are adarous, initiating and/or harmful to the comflot and well-being of a building's installers, accupants and neighbors. Requirements for adhesives, sections, caulis, and finites shall apply to any construction.	CURCIO RESIDENCI	
	Contact: Jila Azad 10636 Wilshire Blvd. #408				UNER BUILING, COURTES WITH TITLE 24 REQUIREMENTS FOR ZONE & USING THE COMPUTER PERFORMANCE MEHOD. SEE COMPUTANCE CHECKLIST AND FORM CF-R. 25. ALL COMPUTED SHALLY OTH FER AND EXAMINE ALL DRAWINGS PROFITO COMMENCING WORK, AND REPORT ANY DRCERANCES TO INS OFFICE 30 AND THE MATTER ANY TRE RESCAVED. ALL REPORTS TO AND ADDRESS OF THE MATTER ANY TRE RESCAVED. ALL REPORTS TO AND ADDRESS OF THE MATTER ANY TRE RESCAVED.	Pollution Control 4.504 Pollution control must be provided as follows.		
	Los Angeles, Ca 90024	DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.		BY THE BUILDING OFFICIAL.	SHOWN ON THE STEP FLAN. 77 A CAME NOTIFICATION IS RECUIRED TO DAYS PROR TO RECEIVING ANY RAPITAL OR COMPLETE DEMOTITION WORK.	<ol> <li>All duct and related distribution component openings must be covered with tape or other approved means to prevent dust accumulation.</li> </ol>	JOB SITE:	
e ete ele Francia e en	Phone: (818) 497-2923				<ol> <li>AQMO NOTIFICATION S REQUIRED 10 DAYS PRIOR TO BEGINING ANY PARIAL OR COMPLETE DEMOLITION WORK.</li> <li>RECEPTACE OUTLETS SHALL BE PACED 18 17 OC. AMX. AND SHALL BE LOCATED WITH 6 / O FOOR OPENINGS [E.G. CLOSET DOORS, ETC]. ALSO, IVERY 2 OR WIDER OF WALLS, OUTLETS ALSO REQUIRED FOR COUNTER TOPS 4 4 O.C. AND WITHIN OF 2' OF BILLS OR BRACKS OR COUNTERS, INC.</li> </ol>	Adversives, secients, and caulis must be meet minimum VOC limits (see VOC Limits Handoul),     Parits and cauling must meet minimum VOC limits (see VOC Limits Handoul),     Aeroxal Parits and caudings shall meet the Product-Weighted MIR limits for ROCL in Section 9452(a)(a) and other     nequinement, including prohibilitions on use of carbot hask: carbon hask carbot and carbot elefining substrates, in Sections	802 THE STRAND HERMOSA BEACH, C	
eotech Engineer: RCAL ENGINEERING	Title 24:				29. USE 2X8 MAXIMUM STUDS FOR PLUMBING WALLS. 30. STUCCO LATH AND DRYWALL SHALL BE NAILED TO ALL STUDS AND TOP-BOTTOM PLATES.	In the second se		
41 Humboldt Street Alamitos, CA 90720		GENERAL BUILDING INFORMATION			<ol> <li>USE 2-115 REL BACKING WERN STUCCO IS APPLIED OVER PLYMOOD, CIC SECLIZOIA.</li> <li>DE BELCICCI STU MALIS, INT IN REVINALE JORGITORIA, AND VERTICALI JENCICOB AND CONCELLED SPACES, AND AT 2010 DE DE</li></ol>		AIC #1:05-12-202	
Alamitos, CA 90/20 562) 799-9469 F: (562) 799-9459				-	PLACES AT CEILING. 33. CHECK CITY RECORD FOR THE EXISTENCE OF ABANDONED CESSPOOL/SEPTIC TANKS. ANY EXISTING ABANDONED CESSPOOL OR SEPTIC TANK SHALL BE LOCATED, CITY INSPECTION SHALL ALSO BE REQUIRED PRIOR TO THE SSUANCE OF DEMO OR BUILDING	d. d. Scherklin Certifications System: Indoor Advantage Gold.     Al. carpet curkion installed in the building interior shall meet the requirements of the Carpet and Rug Institute Green Label program.	II	
		GARAGE		2 SF	PERMIT.	<ol> <li>Al Carpet adhesive shall meet minimum VOC limits (see VOC Limits Handouf).</li> <li>Where results floaring introload a least 30 percent of floar care acceiving resilent floaring shalload comply with the VOC emission limits defined in Collobardive for High Performance Schools (CHP) Low-emitting Materials List or certified under the Resilent Root Covering struttles (RC) Root Score program.</li> </ol>	II	
		FIRST FLOOR LIVING AREA		32 SF	34. AN ADDIARCE REGISTING, THE SPANIES SYSTEM S RECORED PRICTING CODE SECTION I SOLUDI & CHI THE CODE SECTION I SOLUTION AND ADDIARCE STATUS AND ADDIARCE AND ADDIARCE AND ADDIARCE	Instance instance of excellential of the instance of the		
ROJECT DATA		SECOND FLOOR LIVING AREA		04 SF	<ol> <li>DECORATIVE CHIMNEY CAPS SHALL BE A PART OF THE APPROVED CHIMINEY ASSEMBLT.</li> <li>PROVIDED SCREENING OF UTILITY METERS (NEED NOT BE SCREENED IF LOCATED ON INTERIOR SIDE OF A SINGLE FAMILY DWELLING,</li> </ol>	Wood (17 CCR 93120 et seq.),by or before the dates specified in those sections, as shown in Table 4.504.5		
NER: SHERYL & DOMINIC CURCIO	HERMOSA BEACH, CA LEGAL: LOT 1, BLOCK 9 HERMOSA BEACH M.B. 1-25-26 COMPLYING 2016 CRC, CBC, CMC,	DECKS / BALCONIES 249 SF @ LIVING ROOM / 73 SF @ BEDROOM 3		DM / 73 SF @ BEDROOM	AND LOAS NUT HERVAL HILD REURIEUT MADE) 8. INSTALL ON HERVALMANN, HILD REURIEUT MADE) 8. INSTALL ON HERVALMANN, HILD REURIEUT FAITHE TOP CF HER WAREN HEALTER A CAPPED T'HTING TO PLUME FOR FULURE SCLAR WARENENING. 9. PLUMENT CRUITES SHALL COMPLY WITH GBC TABLE 4333, 1,4332,24,4333. 40. ANT HISTALIAD CIGA MERVACE SHALL BE A DIRECT-YONE SALED-COMBINITY IFFE FER GBC SECTION 4333. 11. PROVIDE LEVICES TO ARGOME HUM PERSIDER SEGUINATION FROM THE QUICE CLOSING OF THE QUICE ACTION VALVES FROM THE 11. PROVIDE LEVICES TO ARGOME HUM PERSIDER SEGUINATION FROM THE QUICE CLOSING OF THE QUICE ACTION VALVES FROM THE 11. PROVIDE LEVICES TO ARGOME HUM PERSIDER SEGUINATION FROM THE QUICE CLOSING OF THE QUICE ACTION VALVES FROM THE	FORMALDENYDE LIMITS PER MILLION PRODUCT CURRENT LIMIT JANUARY 1,2012 JULY 1,2012 Hordwood Fly Veneer Core	REVISION	
CONSTRUCTION: V-B (10 BE FULLY SPRINKLERED, PER GENERAL NOTE #34) OCCUPANCY: R3/U STORIES: 3 STORIES		THIRD FLOOR LIVING AREA 1,326 SF		26 SF	<ol> <li>PUMBING HRUNGS SHALL COMPLY WITH OSC. TABLE 4.303.1, 4.303.2</li> <li>AVY INSTALLED GAS REPLACE SHALL BE A DIRECT-VENT SEALED-CONSUSTION TYPE PER GBC SECTION 4.503.1.</li> <li>PROVIDE DEVICES TO ABSORB HIGH PRESSURES RESULTING FROM THE QUICK CLOSING OF THE QUICK-ACTING VALVES FROM THE</li> </ol>	Hardwood Ply Composite .08 .05 Core .09 Particleboard .09		
		DECKS / BALCONIES 79 SF @ MASTER BEDROOM / 110 SF @BEDROOM		OM / 110 SF @BEDROOM	WASHEK AND DDHWASHEK, EIC. PER CPC SECION 607.10 42 COOKING EQUIEMENT MILT BEITED EXPERIMENTAL ISS	Medium Density Riberboard .11 Thin Medium Density .21 .13		
NES. STORES		TOTAL LIVING AREA			EQBINIDE FOLIE LOCATED BELOW THE NEXT UPSTEAM MANNEL CA BELOW THE MAIN SERVE EVEN. BEQUIRES INVESTIGATION TO ACCENTIANT HE NECESSITY OF SERVER BACKWARE BOVICE INSTALLATION. CPC SECTION 710.0.     AL ALL SEM MARKAES SHALL BE REMANNED AT PUBLIC WAY VIA NON-REGISIVE DEVICES PER HIM.C.     ALL SEM MARKAES SHALL BE REMANDED AT PUBLIC WAY VIA NON-REGISIVE DEVICES PER HIM.C.	Documentation for the items listed above must be made available to your inspector upon request.	<u></u>	
IING: R-2	CODES: CPC, CEC, CGBC, CFC, CA ENERGY EFFICIENCY CODE, & TILE 24 2017 LACOFC	TOTAL DECKS / BALCONIES 511 SF		1 SF	<ol> <li>ALL WORKMANSHE AND MATERIALS SHALL CONFORM TO THE MINIMUM STANDARDS OF THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE (C.B.C.) AND SUCH OTHER REGULATING AGENCIES EXERCISING AUTHORITY OVER ANY PORTION OF THE WORK.</li> </ol>	2. The Following Requirements Apply Only to New SFD. Material Conservation and Resource Efficiency	<u>3</u>	
4187-002-001				4	INE COMPACTOR SHALL MANNARY ACUPY OF THE LEL AN THE SHE A ALL IMAS. AT THE CONTRACTOR SHALL MANNE THE ASMINGS AND SPECTATIONS (CONTRACT DOCUMENTS) AND VERY ALL DIMENSIONS AND REPORT ANY DOCERFANCES TO THE ENGINEER SERVICE PROCEEDIng WIN CONSTRUCTION. THE ARCHITECTURAL PLANS SMALL BE LED FOR ALL MANNISONS AND WALL ANOTES. 48. ALL RECOMMITION OF DESING CONSTRUCTIONS SHOWN FOR THE DARMINGS ARE BASED ON BEST RESIDENT REVOWED DE AVALABLE, BUT MINIFORD GUARANTE OF ACCUMENT. THE CONTRACTOR SHALL WERF HODE BERDORISE FOR ALL DARGEORGA AND BUT MINIFORD GUARANTE OF ACCUMENT. THE CONTRACTOR SHALL WERF HODE BERDORISE FOR ALL DARGEORGA AND	A4.303.2 Reduction in cement use: Reduce cement in foundation mix design by 20%. Note: Products commonly used to replace cement in concrete mix designs include, but are not limited to: Ry Ash, Slag, Slica fume, and Rice hull ash.		
TCOVERAGE: 1.540 SQ. FT. (BLDG FOOTPRINT) = 63.2% LOT COVERAGE		NO. OF BATHROOMS 6 (5 FULL / 1 PWDR)		/ 1 PWDR)	4. ALLINCOMATION FOR VERSION PRIDE DIVIDUAL DIVIDUAL NOT THE DRAWINGS ARE BASED ON BEST PRESENT KNOWLEDGE AVAILABLE, BUT WITHOUT GUARANTEE OF ACCURACY. THE CONTRACTOR SHALL VERITY AND BE RESPONSIBLE FOR ALL DIMENSIONS AND CONTRACTOR DIVIDUAL D	4.408.1 The Construction waste reduction requirements shall be required for the following projects:	ENGINEER	
2,433 SQ. FT. (LOT SIZE) 63.2% ≤ 65% (MAX		ZONING INFORMATION			BUT INTEGRI OLIMANTERIO I ALCUNAL, LI NE CUMINICIA IND. L'ENTE VIULE REPUBLIE LA MELLANDA AND CONCIDIO AL TA EST, DUBRIC CONSTRUCTION, NE CONSTRUCTION NA INFORMATIONA DI UNO DESEN CONCIDENT DI COMPINIA NI NI CONSTRUCTION NA INFORMATIONA DI MESTI NELLA MESTI NA INFORMATIONA DI CONSTRUCTIONA DI CONTRUMO NI NI CONSTRUCTIONA INFORMATIONA DI CONTROLO ANE MESTI NELLA MESTI INFORMATIONA DI CONSTRUCTIONA DI CONTRUMO NI NI CONSTRUCTIONA INFORMATIONA DI CONTROLO ANE MESTI NELLA MESTI INFORMATIONA DI CONSTRUCTIONA DI CONTRUMO NI NI CONSTRUCTIONA DI MESTI NI DI CONTROLO ANE MESTI NI DI CONTROLI INFORMATIONA DI CONTRUCTIONA DI CONTRUMO NI NI CONSTRUCTIONA DI MESTI NI DI CONTROLI ANE MESTI NI DI CONTRUMO INFORMATIONI DI CONTRUCTIONA DI CONTRUMO NI NI CONSTRUCTIONA DI MESTI NI DI CONTRUMO NI DI CONTRUMO NI DI CONTRUMO INFORMATIONI DI CONTRUCTIONI DI CONTRUMO NI NI CONSTRUCTIONA DI MESTI NI DI CONTRUMO NI DI DI CONTRUMO NI DI DI CONTRUMO NI DI DI CONTRUMO NI DI CONTRUMO NI DI CONTRUMO NI DI CONTRUMO NI DI DI DI CONTRUMO NI DI DI CONTRUMO NI DI DI CONTRUMO NI DI	Al demo permits     Al remoting projects where valuation exceed \$100,000.     Al remotioning projects where valuation exceed \$100,000.     Constructions where valuation and all sent AVR Rescales and for reluman for resure a minimum of 45 permet of the per-homotoxy		
		AREA	REQUIRED	PROVIDED	THE TRUE, THE MANNELS AT THE PLANT OF CONTROL OF CONTROL AND THE PLANT. 9. THERE SHALL BE NO DEVIATION FROM THE PLANS, DETAILS, NOTES, AND SPECICATIONS WITHOUT THE WRITTEN APPROVAL OF THE STRUCTURAL ENGINEERS. 50. DO NOT SCALE STRUCTURAL PLANS OR DETAILS. ONLY WRITTEN DIMENSIONS SHALL BE USED.	Construction Waste Reduction of at least 65% Recycle and/or salvage for reuse a minimum of 65 percent of the non-hazardous construction and denation debris. See Municipal Code sections: 326.010. A construction waste management plan shall be submitted to the Waste Management Plan complement (Plance Official).		
		LOT AREA	N/A	1,540 SF	51. THE FOLLOWING NOTES, TYPICAL DETAILS, AND SCHEDULES SHALL APPLY TO ALL PHASES OF THIS PROJECT UNLESS NOTED OR SHOWN OTHERWISE ON PLANS	Interior Moisture Control - CG8SC 4.505 A capillary break shall be installed and shall consist of the following: a 4-inch thick base of ½ inch or larger clean aggregate shall		
		LOT COVERAGE	65% MAX	63.2%	22. SPECIEL NOTES AND BETAXES SHALL TAKE PRECEIPINGE OVER GUNERAL NOTES AND THYCAL DETAILS. 3. THE CONTRACTOR SHALL INANE PRECEIPINGE OVER YOU COMPILING, WHICH IN IS OPINON, MICHT ENDANGER THE STABLITY OF THE STRUCTURE OR CAUSE DISTRESS OF THE STRUCTURE. 4. ALL WORK SHALL CONTROL NO THE BEST PRACTICE PREVALUES OF THE VARIOUS TRADES COMPREING THE WORK. THE	be provided with a vapor barrier in direct contact with concrete and a concrete mix design, which will address bleeding, shrinkage, and cuting, shall be used. For additional information, see American Concrete Institute ACI 302.28-06. An equivalent slab design by a design protessional is acceptable.		
304 57		YARDS	REQUIRED	PROVIDED	<ol> <li>ALL HOM, SHALL CURIOM TO THE EST FOLLING FREVAILUS THE VARIOUS THE VARIOUS TRADE COMPARING THE MONITON. THE CONTRACTOR SHALL BEREFONSIBLE FOR COORDINATION FILM WORK OF ALL TRADES.</li> <li>THESE NOTES, DETALS, DRAWINGS AND SPECIFICATIONS (CONTRACT DOCUMENTS) REPRESENT THE FINISHED STRUCTURE, AND DO NOT INTECATE THE MEMORY OF CONSTRUCTION. THE CONTRACTOR SHALL BEREVISE AND DEEPT THE WORK AND SHALL BE</li> </ol>	Moisture Content of Building Materials - CG8SC 4.505.3 Building motionary with visite dama of water damage trail and he installed. Wall and floor framing that not be enclosed when the		
5.5 K 1387 S		FRONT	5'-0"	5'-0"	SOLELY RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES. 56. THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR INFORMATION NOT COVERED BY THESE DRAWINGS AND GENERAL	Building motified with valids signal of water domage scale to be installed. Wall and foor forming shall not be enclosed when the forming members exceed 19 percent motifiers control. Motive control hab be verified in compliance with the following: 1. Motifier content hab be determined with either a probe-type or control-type motifier meter. 2. Motifier exading shall be batten at a pair's 12 effect to 14 feet from the grade stanged and of each pice to be verified.		
16-9" 16-2" 16-3" 10 SF	42.5F	SIDE	3'-0"	3'-0" (NORTH) 3'-9" (SOUTH)	NOTES. 57. THE CONTRACTOR SHALL PROVIDE THE DESIGN, MATERIALS, AND FABRICATION OF ALL TEMPORARY BRACING AND SHORING FOR ALL STRUCTURAL MEMBERS AS REQUIRED FOR STRUCTURAL STABILITY OF THE STRUCTURE DURING ALL PHASES OF THE	<ol> <li>At least three random moisture readings shall be performed on wall and floor framing with documentation provided immediately prior to enclosure of the wall and floor framing, documentation to be submitted to the Building Inspector at</li> </ol>		
REA BREAKDOWN			3'-0" (GROUND)	3'-0" (GROUND)	CONSTRUCTION 58. THE CONTRACTOR SHALLTAKE ALL STEPS NECESSARY TO ENSURE PROPER ALIGNMENT OF THE STRUCTURE AFTER THE INSTALLATION OF ALL STRUCTURAL AND FINISH MATERIALS. THIS SHALL INCLUDE ANY NECESSARY PRE-LOADING OF THE STRUCTURE TO	rough framing. Insulation products which are visibly wet or have high moliture content shall be replaced or allowed to dry prior to prior to enclosure in wall or floor cavilies. Wet-applied insulation products shall follow the manufacturers' drying recommendations prior to		
		REAR	1'-0" (@2ND / 3RD)	1'-0" (2ND FLOOR) 1'-0" (3RD FLOOR)	30. IHE CURRINGLIGS HAIL UND ALL SIZE RECEIVENT IN DRIVER FORMAL ALLANDAMENTO FREE SILECTURE AFER THE INFOLUTION OF ALL STRUCTURE AND RIGHT AND REAL THE SHALL LICENT INCESSAFE TREAST EXECUTION TO THE SILECTURE TO DETERMINE THAN FOR THE ADDRESS IN STRUCTURE AND RESEARCH AND REAL THE SILECTURE TO DETERMINE THAN FOR THE ADDRESS IN STRUCTURE AND RESEARCH AND REAL THE SILECTURE TO DETERMINE THAN FOR THE ADDRESS IN STRUCTURE AND RESEARCH AND RESEARCH AND REAL THE SILECTURE AND REAL THE INFORMATION OF A PERCICIPATION FOR ADDRESS AND REAL THE SILECTURE AND RESEARCH AND REAL THE INFORMATION OF A PERCICIPATION FOR ADDRESS AND REAL THE SILECTURE AND REAL THE SILECTURE AND REAL THE INFORMATION OF A PERCICIPATION FOR ADDRESS AND REAL THE SILECTURE AND REAL THE SILECTURE AND REAL THE SILECTURE INFORMATION FOR ADDRESS AND REAL THE SILECTURE ADDRESS AND REAL THE SILECTURE AND REAL THE SILECTURE AND REAL THE INFORMATION FOR ADDRESS AND REAL THE SILECTURE AND REAL T	enclosure. Indoor Air Quality and Exhaust - CGBSC 4.506		
FIRST FLOOR: 1,032 SF	DECKS @ LIVING ROOM: 249 SF @ BEDROOM: 73 SF	PARKING & DRIVEWAYS	REQUIRED	PROVIDED	CONTINUOUS AND DETAILED INSPECTION SERVICES (AS REQUIRED BY ANY REGULATING GOVERNMENTAL AGENCY, LE, LOCAL BILLIDING DEPARTMENT) PROVIDED BY OTHERS. THERS THERS THERE MATERIAL OR WORK: ARE PRECOMED	For bathrooms containing a bathlub, shower, or tub/shower combination, a mechanical exhaust far which exhaust directly from the bathroom must be installed. Fans must be ENERGY STAR compliant and be ducted to terminate outside the building. Unless functioning as a component of a whole house ventifiation system, fans must be controlled by a humidistat which shall be readily.	L	
SECOND FLOOR: 1,404 SF THIRD FLOOR: 1,326 SF		NUMBER OF SPACES	2	2	SOLEX FOR THE PURPOSE OF ASSISTING IN QUALITY CONTROL AND IN ACHIEVING CONFORMANCE TO THE CONSTRUCTION DOCUMENTS, BUT DO NOT GUARANTEE THE CONTRACTOR'S PERFORMANCE AND SHALL NOT CONSTRUED AS SUPERVISION OF CONSTRUCTION.	real-only the Bonness of the Second S	24.05	
TOTAL LIVING: 3,762 SF	@ MASTER BEDROOM: 79 SF	GUEST SPACES	1	1	60. PROVIDE OPENINGS AND SUPPORTS AS BEQUIED PRE TIPICAL DETAILS AND NOTES FOR MECHANICAL AND DESCRICTAL EQUIPMENT, VENTS, DUCCT, PRING, ETC. ALL MECHANICAL AND LECTRICAL EQUIPMENT SHALL BE PROPERTY SWAY' BRACED AGAINST ALL LATEAL (WIND, SISSINC, VIIISATION, ETC.) FORCES. 61. THESE MOLTS, DETAILS, DEWINGS, AND SPECIFICATIONS (CONTRACT DOCUMENTS) DO NOT CAREY IN RECESSARY PROVISIONS FOR	Whole house exhaust fans shall have insulated louvers or covers which close when the fan is off. Covers or louvers shall have a minimum insulation value of R-4.2.	PAGE:	
GARAGE: 412 SF	@ BEDROOM 110 SF	PARKING SETBACK	3'-0"	3'-0"	41. THER KOTES, DETALS, DRAWINGS, AND SPECIFICATIONS (CONTINUCT DOCUMENTS) DO NOT CARRY HECESSARY PROVISIONS FOR CONTINUETOR SPETT, THERE DOCUMENTS AND LAT PARSES OF CONTINUENT DIRECTOR HERE TO BE GOVERNE AT ALL TIMES BY APPLICABLE PROVISIONS OF THE CURRENT CALCERGINA OCCUPATIONAL AND HEALTH ACT 24. WHERE MY CONFLICT CONTENT OF THE CURRENT CALCERGINA, COCCUPATIONAL AND HEALTH ACT 24. WHERE MY CONFLICT CONTENT OF THE CURRENT CALCERGINA, TABLE, AND LOCAL LVMS, CODES, DRIDNAVCES, 24. WHERE MY CONFLICT CONTENT OF THE CURRENT CALCERGINA, TABLE, AND LOCAL LVMS, CODES, DRIDNAVCES, 24. WHERE MY CONFLICT CONTENT OF THE CURRENT CALCERGINA, TABLE, AND LOCAL LVMS, CODE, DRIDNAVCES, 24. WHERE MY CONFLICT CONTENT OF THE CURRENT CALCERGINA, TABLE, AND LOCAL LVMS, CODE, DRIDNAVCES, 24. WHERE MY CONFLICT CONTENT OF THE CURRENT OF THE CURRENT OF THE CURRENT CONFLICTION. THE REVERT OF THE CONFLICTION OF THE CURRENT OF THE C	Whole-Building Venillation Requirements (From ASHRAE 62.2) At least one mechanical ventilation system in the building must be designated for use in compliance with the Whole-Building		
		PARKING STALL DIMENSIONS	17'-0" X 20'-0"	17'-8" X 20'-0"	AT ALL IMPES BY APPLICABLE PROVIDENTS OF THE EXEMPTION ACCUMATION ACCUMATION AND THE ATTACK AND A 20 WHERE ANY CONNECT COLUMN ENVIRONMENT OF FEDERAL AND LOCAL LAWS, CODES, ORDINANCES, RULES, REGULATIONS AND RESEARCH REPORTS, THE MOST STRINGENT (OR CONSERVATIVE) SHALL GOVERN. THE CONTRACTOR SHALL NOTIFY THE INGINEER OF SULCI-CONTLICT INMEDIATELY.	At least one mechanical ventificition system in the building must be designated for use in compliance with the Whole-Building Ventifician Requirement. Alternatively, the sum of the roted airflows them multiple fans called to be utilized to meet the required Whole-Building Ventifician airflow. The system) must deliver continuous ventifician oritiow at a rate greater than ar equal to the rate specified in equation 4.1a, and in a Sinar airflow must not exceed 1.16 for dwelling accupant densities harven to be greater that specified in equation 4.1a, and in a Sinar airflow must not exceed 1.16 for dwelling accupant densities harven to be greater that specified in equation 4.1a, and in Sinar airflow must not exceed 1.16 for dwelling accupant densities harven to be greater that specified in the specified in the specified of the	∥ <b>A</b> -().	
		TURNING AREA	-	23'-0"	4.3. PROR TO COMMENDENT WITH THE CONSTITUTION, THE CONTRACTOR SHALL BEEF TO ARCHITECTURAL DRAWINGS TO CONSTRUCT WITH STRUCTURAL DRAWINGS, AND AN INFOCEMENT OF THEM THESE DRAWINGS SHALL BEEFERSTO TO THE ENGINEER FOR CLARENCIATON BEFORE STAT OF CONSTRUCTION, AN INFORMATION SHALL BEEFERSTO TO THE AL IN THE STRUCTURAL STRUCTURES OF THE CONSTRUCTION ARE NOT INTUIT SHOWNINGS OR CALLED FOR IN THE AL IN THE STRUCTURAL STRUCTURES OF THE CONSTRUCTION ARE NOT INTUITY SHOWNINGS OR CALLED FOR IN THE CONSTRUCTURES OF THE CONSTRUCTION ARE NOT INTUITY SHOWNINGS OR CALLED FOR IN THE INTUINE OF THE STRUCTURE OF THE CONSTRUCTION ARE NOT INTUITY SHOWNINGS OR CALLED FOR IN THE CONSTRUCTURES OF THE CONSTRUCTION ARE NOT INTUITY SHOWNINGS OR CALLED FOR IN THE INTUINE OF THE STRUCTURES OF THE CONSTRUCTION ARE NOT INTUITY SHOWNINGS OR CALLED FOR IN THE CONSTRUCTURES OF THE CONSTRUCTION ARE NOT INTUITY SHOWNING AND	than (N +1), the rate shall be increased by 7.5 CFM for each additional person.		
NDEX		DRIVEWAY WIDTH	N/A	N/A		(Eq. 4.1a) Quie = 0.01Asiur +7.5 (Na+1) Asiur = conditioned floor area, ft <sup>2</sup> Asiur = X st		
0 COVER	A-1.1 FLOOR PLAN & ROOF PLAN	200120000000000	12.5%	8.3%	CONDITIONS THAT ARE SHOWN OR CALLED FOR. 65. ASTIN DEGINATIONS AND SITUANARDS, ICEO REPORTS, AND CITY OF LOS ANGELES (COLA) RESEARCH REPORTS (BP) REFER TO THE LATEST AMENDMENTS. 64. ONLY "APPROVED AND PERMITTED" STRUCTURAL WORKING DRAWINGS (AND ALL OTHER CONSTRUCTION DOCUMENTS) ARE	X CFM         = 0.01(X)+7.5(X+1)         Nsr         = number of bedrooms; not to be less than one         Nsr = X           Whole-House Ventiliator # X CFM         Qssr         = ventilation air requirement = fan flow rate, (cfm)         Qssr         > X CFM	COVER	
0 COVER 2 SITE PLAN 0 LAYOUT & MATERIALS COVER SHEET	A-1.1 FLOOR PLAN & ROOF PLAN A-2.0 ELEVATIONS A-2.1 ELEVATIONS			0.3%	64. ONLY "APPROVED AND PERMITED'STRUCTIRAL WORKING DRAWINGS (AND ALL OTHER CONSTRUCTION DOCUMENTS) ARE PERMITED TO BE USED FOR CONSTRUCTION ON THIS PROJECT. ALL OTHER DRAWINGS ARE OSSILETE AND ARE NOT PERMITED ON THE JOB STE, NOS SHALL THEY BE USED FOR ANY CONSTRUCTION PURPOSES (INCLUDING THE CALCULATION OF ALL RINAL		SHEET	
D COVER 2 SITE PLAN D LAYOUT & MATERIALS COVER SHEET LAYOUT PLAN 2 MATERIALS PLAN	A-2.0 ELEVATIONS A-2.1 ELEVATIONS A-3.0 SECTIONS		12.376		ON THE JOB STE, NOR SHALL THET BE USED FOR ANY CONSTRUCTION PURPOSES (INCLUDING THE CALCULATION OF ALL FINAL	Heating and air-conditioning systems shall be sized, designed and have their equipment selected		
0 COVER 2 SITE PLAN 0 LAYOUT & MATERIALS COVER SHEET 1 LAYOUT PLAN 2 MATERIALS PLAN 0 HARDSCAPE PLAN	A-2.0 ELEVATIONS A-2.1 ELEVATIONS A-3.0 SECTIONS A-3.1 SECTIONS	OPEN SPACE		0.7	ESTIMATES AND BIDS). ANY CONTRACTOR USING UNAPPROVED DRAWINGS WILL BE HELD SOLELY RESPONSIBLE FOR ALL WORK NOT PERFORMED IN ACCORDANCE WITH THE "APPROVED" DRAWINGS. AT THE CONTRACTOR SHALL SUBJECT THE DESIGNER AND ENGINEER A CONSTRUCTION SCHEDULE OUTLINNG THE SEQUENCE OF	using the following methods: 1. The heat loss and heat gain is established according to ACCA Manual J, ASHRAE handbooks or other equivalent design software methods.		
JDEX 10 COVER 12 SITE PLAN 10 LAYOUT FLAN 11 LAYOUT FLAN 12 MATERIALS COVER SHEET 10 HARDSCAPE FLAN 10 HARDSCAPE FLAN 10 PLANTING PLAN 10 PLANTING DEFAILS & NOTES 10 LIGHTING PLAN & NOTES 11 LIGHTING PLAN & NOTES	A-2.0 ELEVATIONS A-2.1 ELEVATIONS A-3.0 SECTIONS A-3.1 SECTIONS C.1 COVER SHEET C.2 GRADING & DRAINAGE PLAN			iQ. FT.	ESTIMATES AND BIOS., ANY COMPACTOR USING UAAPPROVED DRAWINGS WILL BE HED SOLELY REPONDEL FOR ALL WORK NOT PERFORMED IN ACCORRENCE WITH HE PROVED DRAWINGS. 57. THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER AND DRIVINES. THE CONTRACTOR SHALL SUBMIT TO THE DESIGNER AND DRIVINES.	using file following method: 1. The heat is and heat gain is established according to ACCA Manuel J. ASHRAE handbooks or other equivalent design software methods. The method is and back according to ACCA 29-D Manuel D. ASHRAE handbooks or other equivalent design software or Destination.	JOB NO:	
0. COVER 2. SITE PLAN 1. LAYOUT & MATERIALS COVER SHEET 1. LAYOUT PLAN 2. MATERIALS PLAN 0. HARDSCAPE PLAN 0. PLANTING PLAN 1. PLANTING DETAILS & NOTES	A-2.0 ELEVATIONS A-2.1 ELEVATIONS A-3.0 SECTIONS A-3.1 SECTIONS C.1 COVER SHEET	OPEN SPACE	71 S 167 SF @ LI	iq. ft. VING ROOM BEDROOM	ESTIMATES AND BIDS). ANY CONTRACTOR USING UNAPPROVED DRAWINGS WILL BE HELD SOLELY RESPONSIBLE FOR ALL WORK NOT PERFORMED IN ACCORDANCE WITH THE "APPROVED" DRAWINGS. AT THE CONTRACTOR SHALL SUBJECT THE DESIGNER AND ENGINEER A CONSTRUCTION SCHEDULE OUTLINNG THE SEQUENCE OF	using the following methods: 1. The heat loss and heat gain is established according to ACCA Manual J, ASHRAE handbooks or other equivalent design software methods.	JOB NO: 19-019	

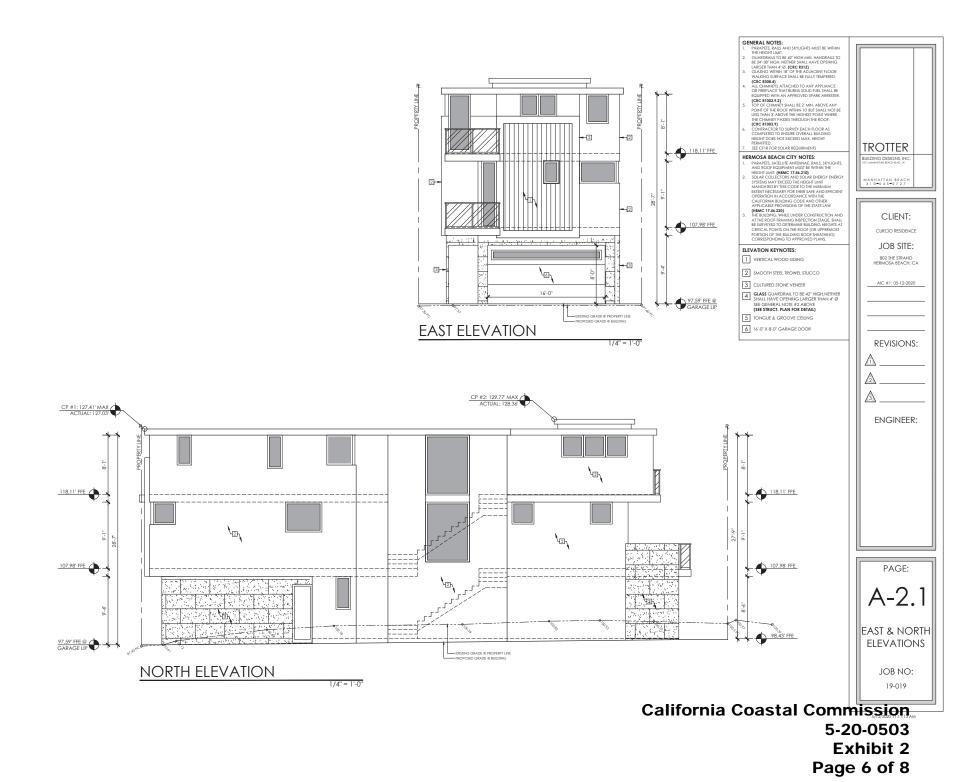
Exhibit 2 Page 1 of 8

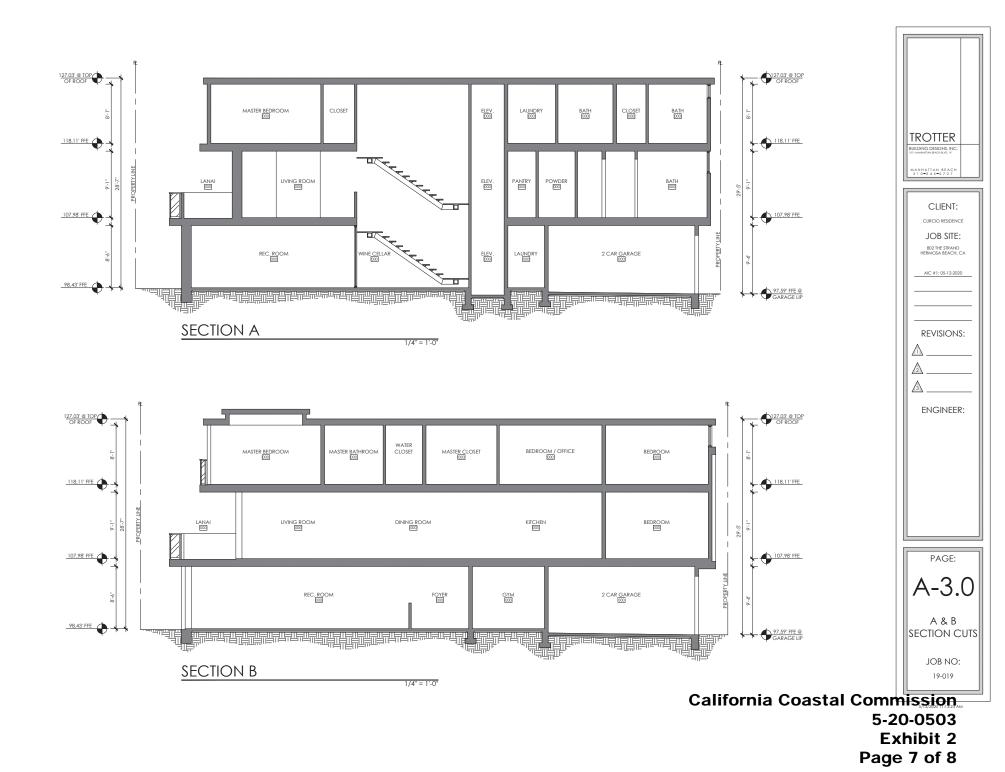


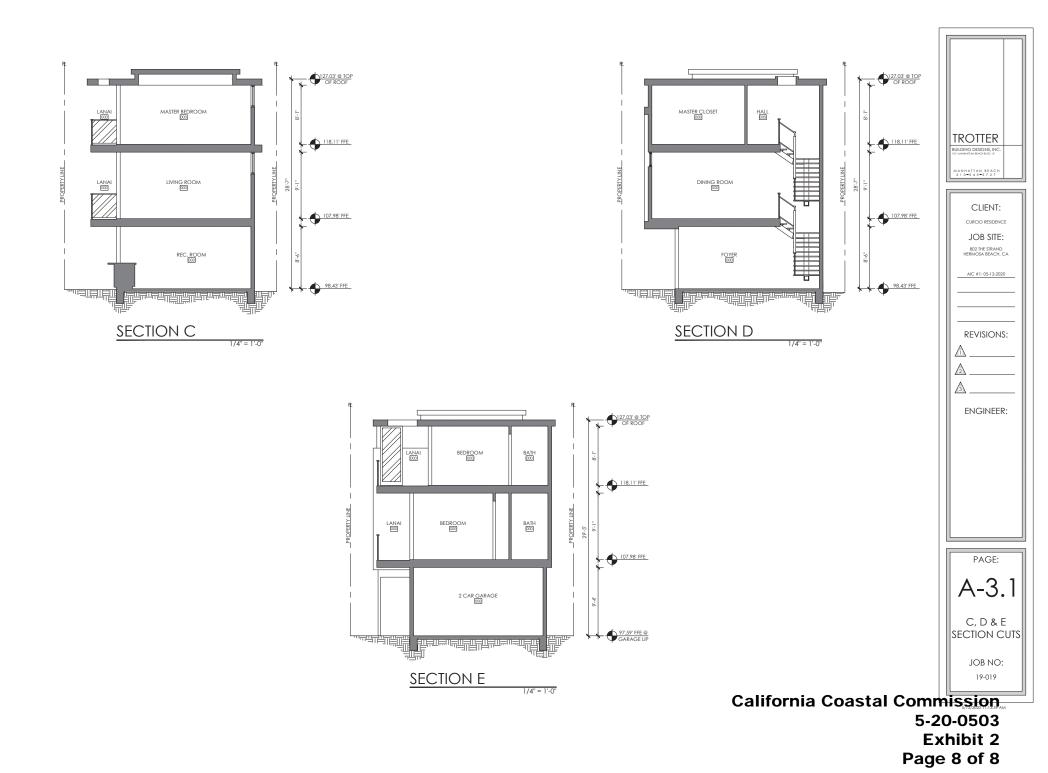


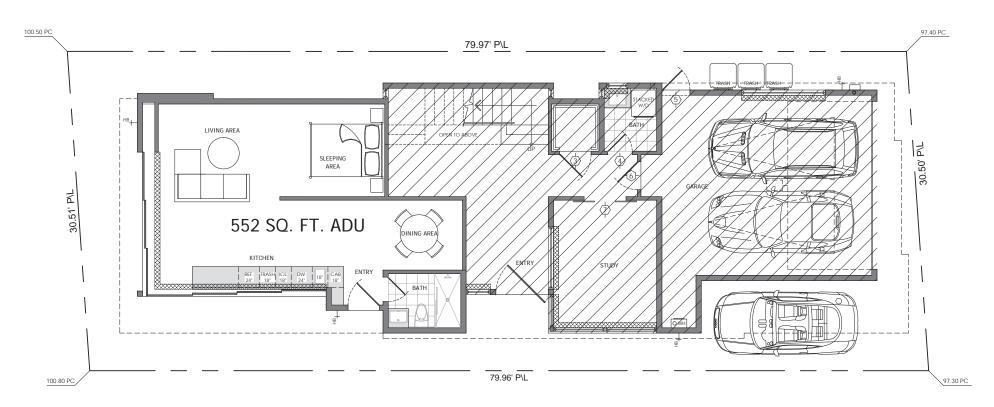








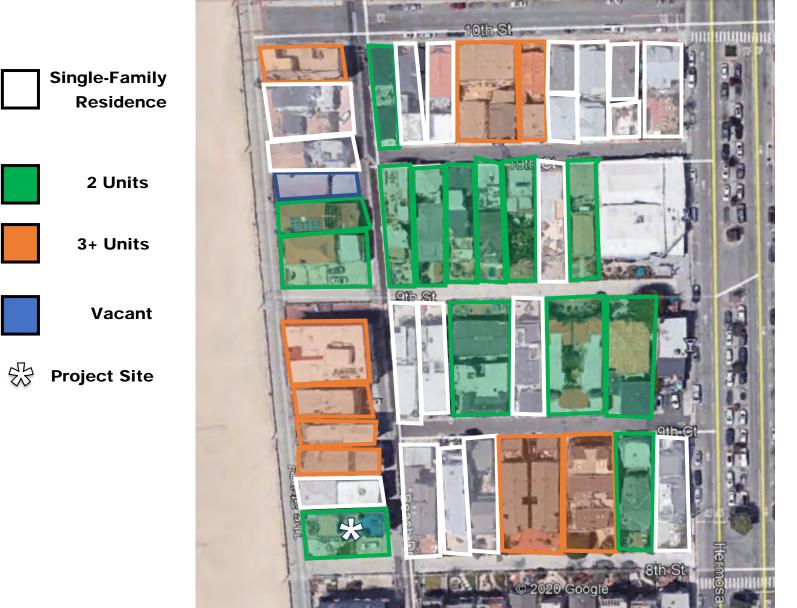




PROPOSED FIRST FLOOR PLAN WITH ADU UNIT

California Coastal Commission 5-20-0503 Exhibit 3

# **Community Character Analysis**



California Coastal Commission 5-20-0503 Exhibit 4

## Commission Approvals of Housing Density Reduction Projects in Hermosa Beach Since 2014

Permit Number	Date Approved	Units Before Project	Units After Project	Net Unit Loss
5-13-1348-W	2/13/2014	2	1	-1
5-13-1239-W	2/13/2014	2	1	-1
5-14-0006-W	3/12/2014	3	1	-2
5-14-0002-W	3/12/2014	2	1	-1
5-14-0528-W	4/11/2014	2	1	-1
5-14-1056-W	8/13/2014	2	1	-1
5-14-1687-W	11/18/2014	2	1	-1
5-15-0619-W	7/09/2015	2	1	-1
5-15-0612-W	8/12/2015	2	1	-1
5-15-0552-W	8/12/2015	3	2	-1
5-15-0968-W	9/15/2015	2	1	-1
5-15-1234-W	10/09/2015	2	1	-1
5-15-1969-W	2/11/2016	2	1	-1
5-15-1799	4/14/2016	2	1	-1
5-16-0153	7/14/2016	2	1	-1
5-16-0628-W	9/08/2016	2	1	-1
5-17-0016-W	2/08/2017	1	0	-1
5-17-0030-W	2/08/2017	2	1	-1
5-17-0040-W	5/12/2017	2	1	-1
5-17-0100-W	5/12/2017	5	1	-4
5-17-0285-W	6/07/2017	3	1	-2
5-17-0691-W	10/12/2017	2	1	-1
5-17-0822-W	10/27/2017	2	1	-1
5-17-0823-W	11/09/2017	2	1	-1
5-17-0802-W	11/09/2017	2	1	-1
5-17-0792	3/08/2018	2	1	-1
5-17-1005	7/11/2018	2	1	-1
5-18-0651	11/07/2018	3	1	-2
5-18-0827	2/07/2019	2	1	-1
5-18-0949	3/06/2019	2	1	-1
5-19-0137	9/12/2019	2	1	-1
5-19-0195	10/17/2019	2	1	-1
5-19-1209	11/13/2019	3	2	-1
5-19-0955	6/12/2020	2	1	-1
5-19-1244	9/10/2020	2	1	-1
5-20-0142	9/10/2020	2	1	-1
5-20-0223	9/10/2020	2	1	-1
5-19-1215	10/08/2020	3	2	-1
5-19-1220	10/08/2020	2	1	-1
5-20-0530	12/10/2020	2	1	-1