

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
301 E. OCEAN BLVD., SUITE 300
LONG BEACH, CA 90802-4830
(562) 590-5071



F14d

A-5-LGB-20-0003 (Dekovner)

April 16, 2020

EXHIBITS

Table of Contents

Exhibit 1 – Vicinity Map and Project Site

Exhibit 2 – Proposed Project Plans

Exhibit 3 – Excerpts From Original Construction Plans (1968)



Main Beach

Laguna Beach

Project Site



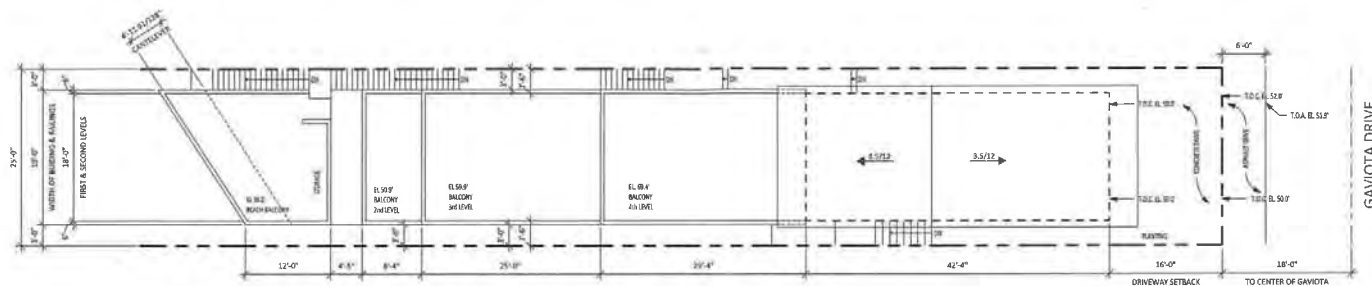
California Coastal Commission
A-5-LGB-20-0003
Exhibit 1
Page 1 of 2

Figure 1: Vicinity Map



California Coastal Commission
A-5-LGB-20-0003
Exhibit 1
Page 2 of 2

Figure 2: Project Site



1 EXISTING PLOT PLAN
1/8" = 1'-0"

VICINITY MAP



PROJECT SCOPE

- THE PROJECT CONSISTS OF MAKING WINDOW SAFETY UPDATES TO AN EXISTING DUPLEX.
- ADDITION OF BALUSTERS TO EXISTING INTERIOR AND EXTERIOR BALCONIES TO REDUCE THE CLEAR OPENING BETWEEN EXISTING BALUSTERS FROM 7" TO LESS THAN 4" PER CURRENT CODE.
- ADDITION OF A CROSS-COMMUNITY HALLWAY TO EXISTING INTERIOR BALCONIES.
- RAIL PROTECTION (ON INTERIOR AT OPERABLE WINDOW) WITH VERTICALS LESS THAN 24" FROM FINISHED FLOOR.
- REPAIR/REPLACE OF EXISTING ELECTRICAL SUBPANEL.
- REPLACEMENT OF EXISTING WATER HEATER.
- STRUCTURAL ROOF & BEAM REPAIRS SEE STRUCTURAL DRAWINGS.

SHEET INDEX

ARCHITECTURAL

- A1.0 EXISTING PLOT PLAN
- A3.1 LOWER LEVEL FLOOR PLANS
- A3.2 UPPER LEVEL FLOOR PLANS
- A6.0 EXTERIOR ELEVATIONS
- A6.1 EXTERIOR ELEVATIONS
- A6.2 EXTERIOR ELEVATIONS
- D1.0 DETAILS

STRUCTURAL

- S1 LOFT FRAMING PLAN & DETAILS
- S2 PLANS & DETAILS & STRUCTURAL GENERAL NOTES



OATMAN ARCHITECTS INC.
architecture • planning

412 31st Street, Newport Beach, CA 92663
P (949) 675-1755 • F (949) 675-1788
oatmanarchitects.com

STAMP:



CLIENT:

RHODES FAMILY TRUST

RHODES DUPLEX
1045 GAVIOTA DR.
LAGUNA BEACH, CA
APN # 644-076-05
SAFETY UPDATES

PRINCIPAL: HOMER OATMAN
PROJECT DIRECTOR: CORY ADAMS
PROJECT DESIGNER: BEHTASH AZAR

PROJECT NUMBER: 2019006

SUBMITTAL:

DATE DESCRIPTION

06/25/19 FIRST CITY REVIEW

06/26/19 PLANNING / COP SUBMITTAL

08/23/19 PLANNING / COP SUBMITTAL 2

REVISION:

NO. DATE DESCRIPTION

PERMIT NUMBER:

THESE DRAWINGS ARE THE PROPERTY OF OATMAN ARCHITECTS AND SHALL NOT BE LOANED OR USED ON ANY OTHER PROJECT OR SITE WITHOUT WRITTEN PERMISSION.

IT IS THE OWNER'S AND ITS GENERAL CONTRACTOR'S RESPONSIBILITY, FROM THE COMMENCEMENT OF CONSTRUCTION, TO NOTIFY THE ARCHITECT IN WRITING OF ANY PREVIOUS CHANGES OR OMISSIONS IN THE PLANS AND/OR GENERAL NOTES OR WHICH A CONTRACTOR THOUGHTS THEY WERE DISREGARDING WITH THE BUILDING CODES AND MEANS & METHODS OF CONSTRUCTION SHOULD REASONABLY BE AVAILABLE. WRITTEN INSTRUCTIONS AND/OR CHANGES SHOULD BE RECEIVED FROM THE ARCHITECT PRIOR TO THE OWNER OR OWNER'S CONTRACTOR PROCEEDING WITH THE WORK. THE OWNER WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF SUCH DEFECTS ARE NOT FOLLOWED.

NOTE: THE ORIGINAL SET OF THIS DRAWING SHEET IS LOCKED.

EXISTING PLOT PLAN

A1.0

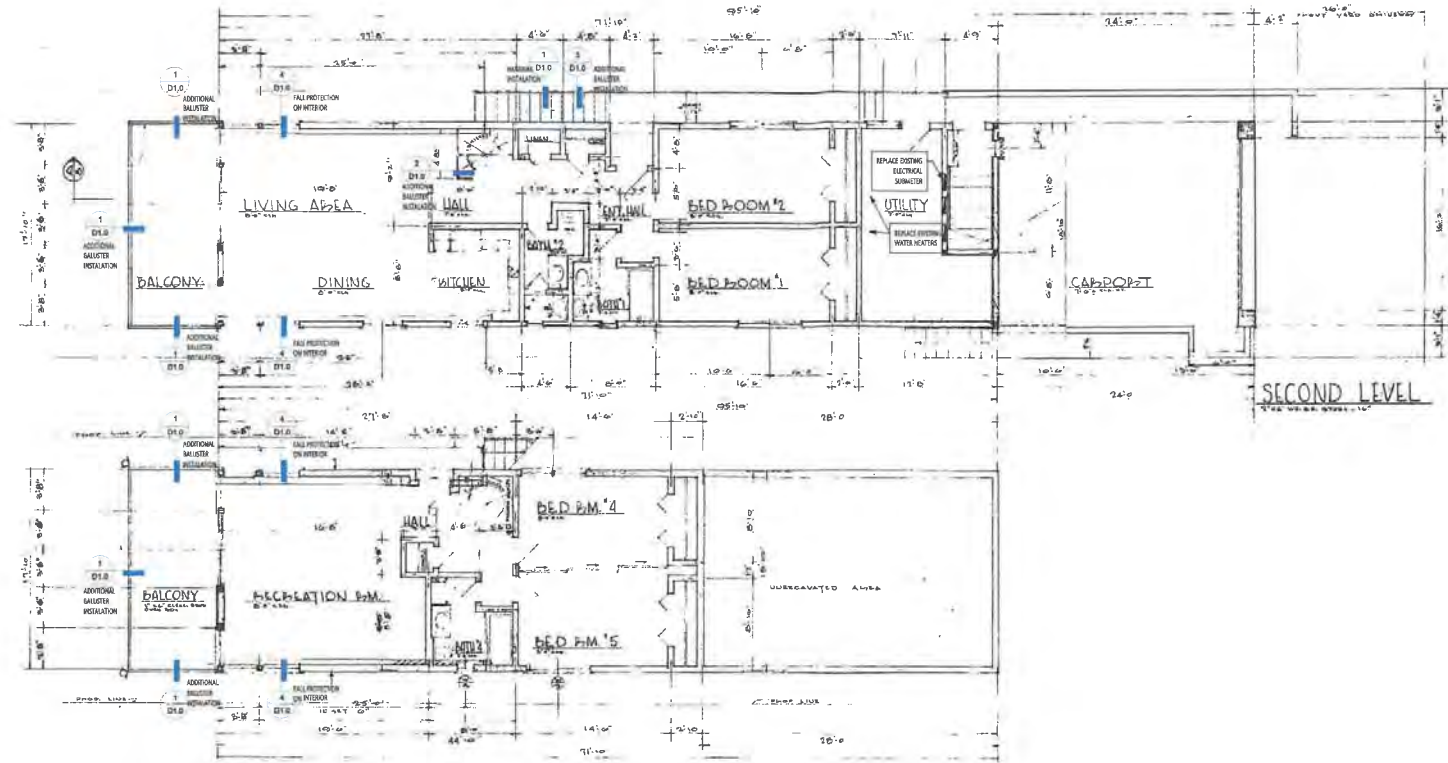
California Coastal Commission

A-5-LGB-20-0003

Exhibit 2

Page 1 of 9

5-LGB-20-0019



1 UNIT 2 FLOOR PLANS
3/8" = 1'-0"

FLOOR PLAN LEGEND

	NEW CONC. WALL, REFER TO STRUCTURAL
	NEW 2x6 WOOD STUD WALLS
	NEW 2x4 WOOD STUD WALLS
	1HR FIRE RATED
	DOOR TAG
	WINDOW TAG
	EGRESS SYMBOL
	TEMPERED GLAZING
	KEYNOTE
	ELEVATION CALLOUT
	SECTION CALLOUT


OATMAN ARCHITECTS INC.
 ARCHITECTURE • PLANNING
 412 31st Street Newport Beach, CA 92663
 P (949) 675-1732 • F (949) 675-1738
 oatmanarchitects.com



CLIENT:
RHODES FAMILY TRUST

RHODES DUPLEX
 1045 GAVIOTA DR.
 LAGUNA BEACH, CA
 APN # 644-076-05
 SAFETY UPDATES

PRINCIPAL: HOMER OATMAN
 PROJECT DIRECTOR: CORY ADAMS
 PROJECT DESIGNER: BEHTASH AZAR

PROJECT NUMBER: 2019006

SUBMITTAL:	DATE	DESCRIPTION
06/25/19		FIRST CITY REVIEW
06/26/19		PLANNING / CDP SUBMITTAL
08/21/19		PLANNING / CDP SUBMITTAL 2

REVISION:	NO.	DATE	DESCRIPTION
-----------	-----	------	-------------

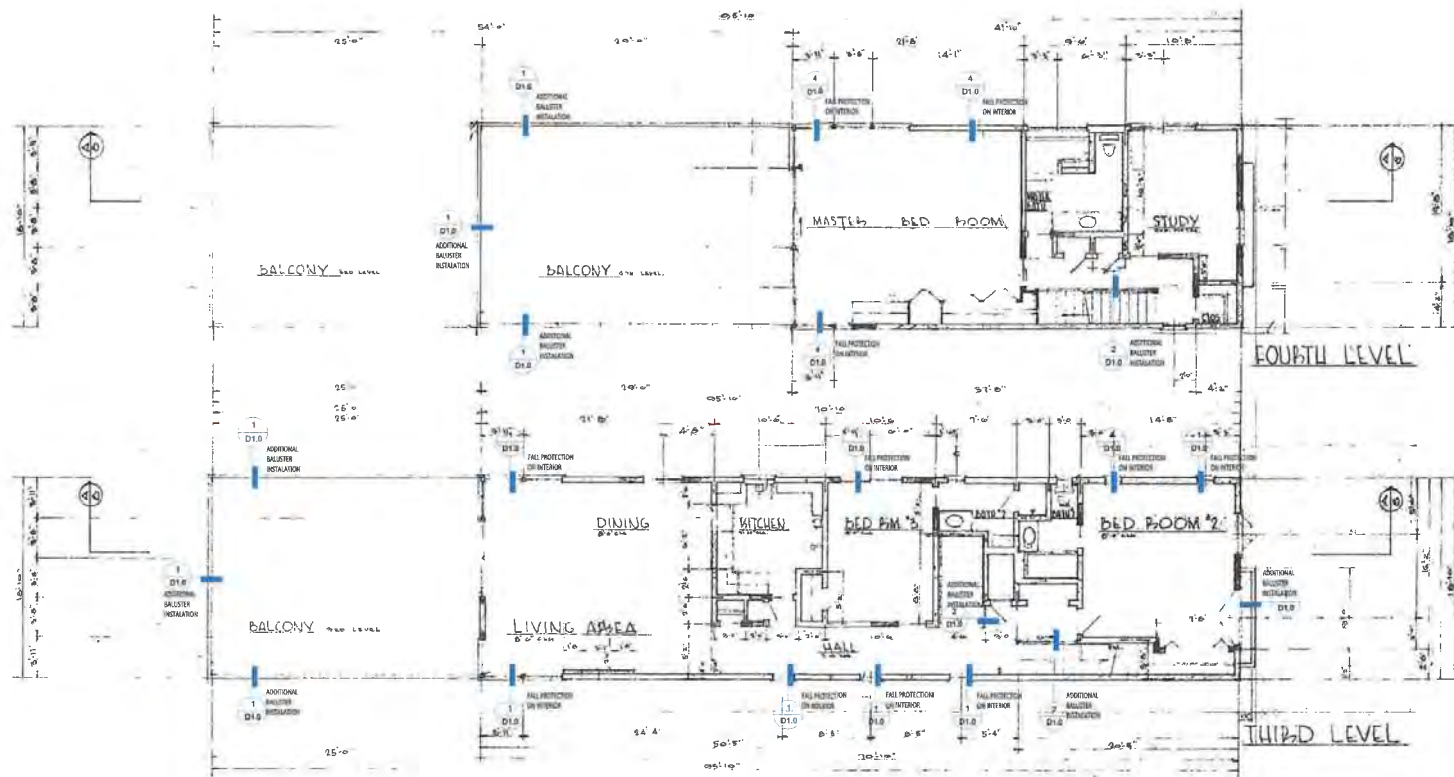
PERMIT NUMBER:
 THESE DRAWINGS ARE THE PROPERTY OF OATMAN ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF OATMAN ARCHITECTS.

IT IS THE OWNER'S AND ITS GENERAL CONTRACTOR'S RESPONSIBILITY, PRIOR TO OR DURING CONSTRUCTION, TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND/OR GENERAL NOTES OF WHICH A CONTRACTOR INDEPENDENTLY UNDETERMINABLE WITH THE BUILDING CODES AND MEANS & METHODS OF CONSTRUCTION SHOULD BE AWARE. THE ARCHITECT'S RESPONSIBILITY ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS SHALL BE RECEIVED FROM THE ARCHITECT PRIOR TO THE OWNER OR OWNER'S CONTRACTOR PROCEEDING WITH THE WORK. THE OWNER SHALL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THOSE DEFECTS ARE NOT FOLLOWED.

Source: Submittal Log for 1045 Gaviota Dr., 10/19/19

LOWER LEVEL FLOOR PLANS

A3.1



1 UNIT 1 FLOOR PLANS
3/16" = 1'-0"

FLOOR PLAN LEGEND

	NEW CONC. WALL, REFER TO STRUCTURAL
	NEW 2x6 WOOD STUD WALLS
	NEW 2x4 WOOD STUD WALLS
	1HR FIRE RATED
	DOOR TAG
	WINDOW TAG
	EGRESS SYMBOL
	TEMPERED GLAZING
	KEYNOTE
	ELEVATION CALLOUT
	SECTION CALLOUT

OATMAN ARCHITECTS INC.
ARCHITECTURE • PLANNING

412 31st Street, Newport Beach CA 92663
P (949) 676-1755 • F (949) 676-1758
oatmanarchitects.com

STAMP:

CLIENT:
RHODES FAMILY TRUST

RHODES DUPLEX
1045 GAVIOTA DR.
LAGUNA BEACH, CA
APN # 644-076-05
SAFETY UPDATES

PRINCIPAL:	HOMER OATMAN
PROJECT DIRECTOR:	CORY ADAMS
PROJECT DESIGNER:	BENTASH AZAR
PROJECT NUMBER:	2019006
SUBMITTAL:	
DATE	DESCRIPTION
05/25/19	FIRST CITY REVIEW
06/26/19	PLANNING / CDP SUBMITTAL
08/21/19	PLANNING / CDP SUBMITTAL 2

REVISION:	NO.	DATE	DESCRIPTION

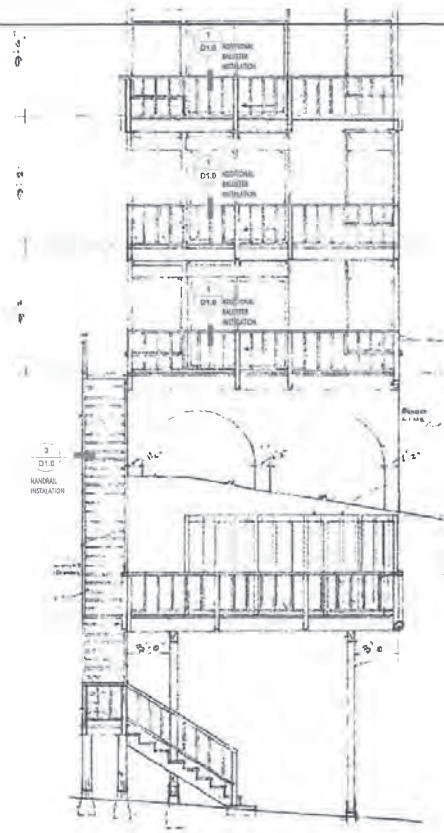
PERMIT NUMBER:

THESE DRAWINGS ARE THE PROPERTY OF OATMAN ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED ON ANY OTHER PROJECT OR SITE WITHOUT WRITTEN PERMISSION.

IT IS THE OWNER'S AND ITS GENERAL CONTRACTOR'S RESPONSIBILITY, PRIOR TO OR DURING CONSTRUCTION, TO NOTIFY THE ARCHITECT IN WRITING OF ANY FIELDWORK ERRORS OR OMISSIONS IN THE PLANS AND/OR OTHER NOTES OF WHICH A CONTRACTOR THOROUGHLY KNOWLEDGEABLE IN THE BUILDING CODES AND HAVING A KNOWLEDGE OF CONSTRUCTION SHOULD REASONABLY BE AWARE. WRITTEN INSTRUCTIONS ADDRESSING SUCH FIELDWORK ERRORS OR OMISSIONS SHALL BE PROVIDED FROM THE ARCHITECT PRIOR TO THE OWNER OR OWNER'S CONTRACTOR RECOMMENDING THE ACTION. THE OWNER SHALL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEEDURES ARE NOT FOLLOWED.

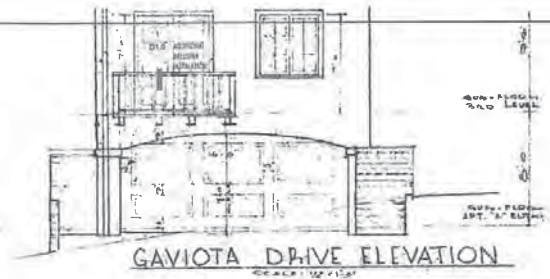
DATE: 08/21/19, FILED AT THE COUNTY CLERK'S OFFICE, LAGUNA BEACH, CA

UPPER LEVEL FLOOR PLANS
A3.2

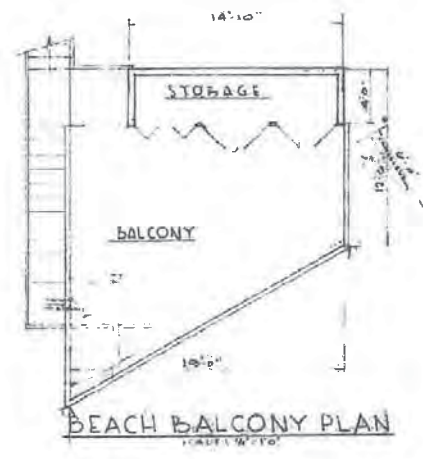


WEST ELEVATION
SCALE: 3/8"=1'-0"

1 EAST & WEST ELEVATIONS
1/4" = 1'-0"



GAVIOTA DRIVE ELEVATION
SCALE: 3/8"=1'-0"



BEACH BALCONY PLAN
SCALE: 3/8"=1'-0"

ELEVATION LEGEND

	PROPERTY LINE
	SETBACK LINE
	NATURAL GRADE/HEIGHT LIMIT
	KEYNOTE
	DETAIL CALLOUT

OATMAN ARCHITECTS INC.
architecture + planning

412 31st Street Newport Beach CA 92663
P (949) 675-1755 • F (949) 675-1758
oatmanarchitects.com



STAMP:
CLIENT: RHODES FAMILY TRUST

RHODES DUPLEX
1045 GAVIOTA DR.
LAGUNA BEACH, CA
APN # 644-076-05
SAFETY UPDATES

PRINCIPAL: HOMER OATMAN
PROJECT DIRECTOR: CORY ADAMS
PROJECT DESIGNER: BENTASH AZAR

PROJECT NUMBER: 2019006

SUBMITTAL:

DATE	DESCRIPTION
06/25/19	FIRST CITY REVIEW
06/26/19	PLANNING / CDP SUBMITTAL
06/27/19	PLANNING / CDP SUBMITTAL 2

REVISION:

NO.	DATE	DESCRIPTION

PERMIT NUMBER:
THESE DRAWINGS ARE THE PROPERTY OF OATMAN ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED ON ANY OTHER PROJECT WITHOUT WRITTEN PERMISSION.

IT IS THE OWNER'S AND ITS GENERAL CONTRACTOR'S RESPONSIBILITY, PRIOR TO OR DURING CONSTRUCTION, TO NOTIFY THE ARCHITECT IN WRITING OF ANY VARIATIONS FROM OR OMISSIONS IN THE PLANS AND/OR OTHER NOTES OF WHICH A CONTRACTOR THROUGHOUT PROCEEDING WITH THE WORK, THE OWNER WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

NOTE: THE PROJECT IS NOT TO BE CONSIDERED A PERMIT TO CONSTRUCT.

EXTERIOR ELEVATIONS

A6.0



1 NORTH ELEVATION
1/8" = 1'-0"

ELEVATION LEGEND

	PROPERTY LINE
	SETBACK LINE
	NATURAL GRADE/HEIGHT LIMIT
	KEYNOTE
	DETAIL CALLOUT



OATMAN ARCHITECTS INC.
architecture • planning

412 31st Street Newport Beach CA 92663
P (949) 675-1751 • F (949) 675-1758
oatmanarchitects.com

STAMP:



CLIENT:

RHODES FAMILY TRUST

RHODES DUPLEX

1045 GAVIOTA DR.
LAGUNA BEACH, CA
APN # 644-076-05

SAFETY UPDATES

PRINCIPAL: HOMER OATMAN
PROJECT DIRECTOR: CORY ADAMS
PROJECT DESIGNER: BENTASH AZAR

PROJECT NUMBER: 2019006

SUBMITTAL:
DATE DESCRIPTION
05/25/19 FIRST CITY REVIEW
05/26/19 PLANNING / CDP SUBMITTAL
08/21/19 PLANNING / CDP SUBMITTAL 2

REVISION:
NO. DATE DESCRIPTION

PERMIT NUMBER:

THESE DRAWINGS ARE THE PROPERTY OF OATMAN ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED IN ANY MANNER WITHOUT WRITTEN PERMISSION.

IT IS THE OWNER'S AND ITS GENERAL CONTRACTOR'S RESPONSIBILITY, PRIOR TO OR DURING CONSTRUCTION, TO NOTIFY THE ARCHITECT IN WRITING OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND/OR OTHER ASPECTS OF WHICH A CONTRACTOR THOROUGHLY UNDERSTANDS WITH THE EXCLUDED TIES AND ASHES @ 1/4" = 1'-0" CONSTRUCTION SHOULD REASONABLY BE AWARE. WRITTEN INSTRUCTIONS ADDRESSING SUCH PERCEIVED ERRORS OR OMISSIONS SHALL BE RECEIVED FROM THE ARCHITECT PRIOR TO THE OWNER OR OWNER'S CONTRACTOR PROCEEDING WITH THE WORK. THE OWNER WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

NOTE: THE DRAWING IS NOT TO BE USED FOR ANY OTHER PURPOSES.

EXTERIOR
ELEVATIONS

A6.1

California Coastal Commission

A-5-LGB-20-0003

Exhibit 2

Page 5 of 9

TOP OF COL LINE - MASTER PLAN

4TH LEVEL AUP - FLOOR 2

3RD LEVEL AUP - FLOOR 1

2ND LEVEL AUP - FLOOR 1

1ST LEVEL AUP - FLOOR 1

1 SOUTH ELEVATION
1/8" = 1'-0"

ELEVATION LEGEND

- PROPERTY LINE
- SETBACK LINE
- NATURAL GRADE/HEIGHT LIMIT
- KEYNOTE
- DETAIL CALLOUT



OATMAN ARCHITECTS INC.
architecture + planning
412 31st Street Newport Beach CA 92663
P (949) 675-1755 • F (949) 675-1756
oatmanarchitects.com

STAMP:



CLIENT:

RHODES FAMILY TRUST

RHODES DUPLEX
1045 GAVIOTA DR.
LAGUNA BEACH, CA
APN # 644-076-05
SAFETY UPDATES

PRINCIPAL: HOMER OATMAN
PROJECT DIRECTOR: CORY ADAMS
PROJECT DESIGNER: BEHTASH AZAR
PROJECT NUMBER: 2019006
SUBMITTAL:
DATE DESCRIPTION
06/25/19 FIRST CITY REVIEW
08/26/19 PLANNING / CDP SUBMITTAL
08/27/19 PLANNING / CDP SUBMITTAL 2

REVISION:	NO.	DATE	DESCRIPTION

PERMIT NUMBER:
THESE DRAWINGS ARE THE PROPERTY OF OATMAN ARCHITECTS AND SHALL NOT BE REPRODUCED OR USED ON ANY OTHER PROJECT OR SITE WITHOUT WRITTEN PERMISSION.
IT IS THE OWNER'S AND IT'S GENERAL CONTRACTOR'S RESPONSIBILITY, PRIOR TO OR DURING CONSTRUCTION TO NOTIFY THE ARCHITECT IN WRITING OF ANY PROPOSED CHANGES OR OMISSIONS IN THE PLANS AND/OR GENERAL NOTES OF WHICH A CONTRACTOR THOROUGHLY UNDERSTANDING WITHIN THE BUILDING CODE AND AWARE A METHOD OF CONSTRUCTION SHOULD REASONABLY BE AVAILABLE. WRITTEN INSTRUCTIONS ADDRESSING SUCH REQUESTS OR PROPOSALS SHOULD BE PROVIDED FROM THE ARCHITECT PRIOR TO THE OWNER OR OWNER'S CONTRACTOR PROCEEDING WITH THE WORK. THE OWNER WILL BE RESPONSIBLE FOR ANY DEFECTS IN CONSTRUCTION IF THESE PROCEDURES ARE NOT FOLLOWED.

NOTE: THE PERMITTING AGENCY HAS REVIEWED THESE PLANS.
EXTERIOR
ELEVATIONS

A6.2



OATMAN ARCHITECTS INC.
architectural • planning

412 25th Street Newport Beach CA 92663
P (949) 475-1755 • F (949) 475-1758
oatmanarchitects.com

STAMP:



CLIENT:

RHODES FAMILY TRUST

RHODES DUPLEX
1045 GAVIOTA DR.
LAGUNA BEACH, CA
APN # 644-076-05
SAFETY UPDATES

PRINCIPAL: HOMER OATMAN
PROJECT DIRECTOR: CORY ADAMS
PROJECT DESIGNER: BEHTASH AZAR
PROJECT NUMBER: 2019006

DATE	DESCRIPTION
06/25/19	FIRST CITY REVIEW
06/26/19	PLANNING / CDP SUBMITTAL
08/21/19	PLANNING / CDP SUBMITTAL 2

REVISION:	NO.	DATE	DESCRIPTION
-----------	-----	------	-------------

PERMIT NUMBER:

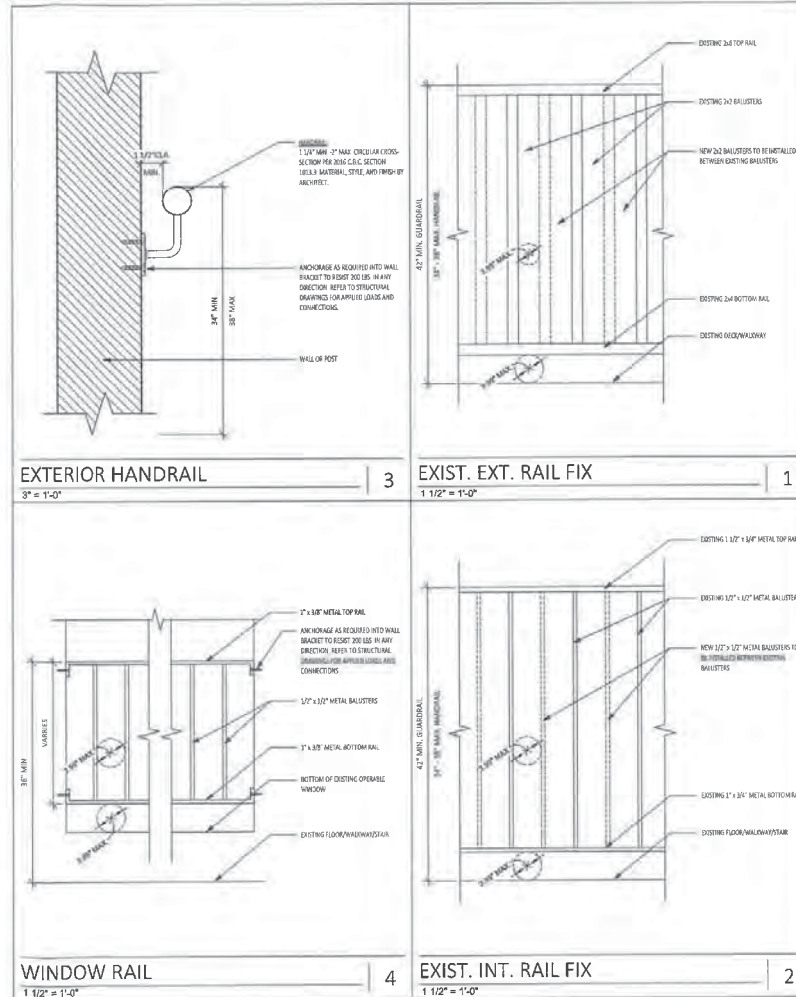
THESE DRAWINGS ARE THE PROPERTY OF OATMAN ARCHITECTS AND SHALL NOT BE MODIFIED OR USED ON ANY OTHER PROJECT OR SITE WITHOUT WRITTEN PERMISSION.

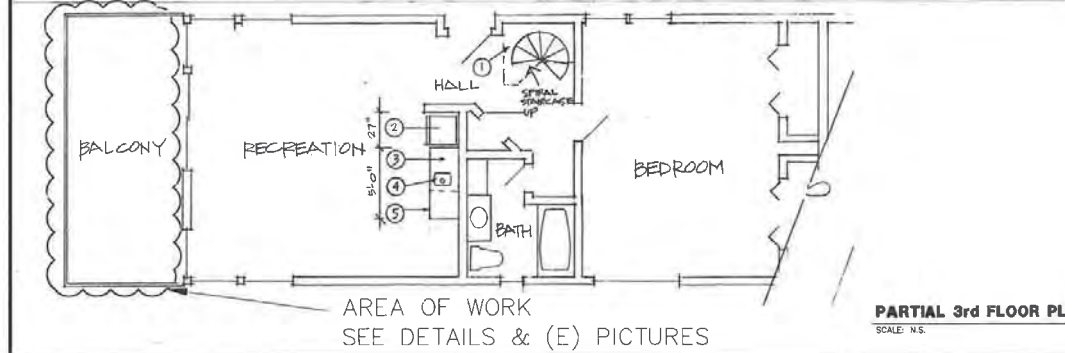
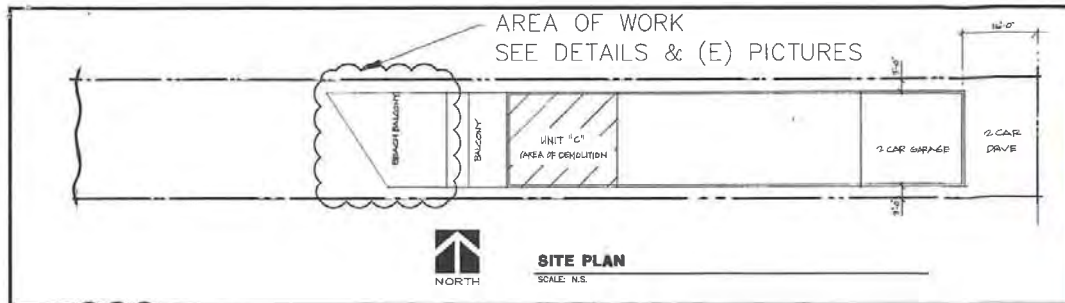
IT IS THE OWNER'S AND ITS AGENT'S RESPONSIBILITY TO NOTIFY THE ARCHITECT OF ANY PERCEIVED ERRORS OR OMISSIONS IN THE PLANS AND/OR OF ANY OTHER ISSUES OF SPECIAL CONCERN TO THE ARCHITECT. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE BUILDING CODES AND STANDARDS AND THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE BUILDING CODES AND STANDARDS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE BUILDING CODES AND STANDARDS. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE BUILDING CODES AND STANDARDS.

NOTE: THE ARCHITECT'S WORK IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT WRITTEN PERMISSION.

DETAILS

D1.0





GENERAL REQUIREMENTS

- CONSTRUCTION SHALL BE IN CONFORMITY WITH THE 2016 EDITION OF THE CALIFORNIA BUILDING CODE (CBC) AND ALL APPLICABLE LOCAL AND STATE CODES AND ORDINANCES.
- CONTRACTOR SHALL CONSULT WITH REPRESENTATIVES OF CITY AND UTILITY COMPANIES CONCERNING AVAILABLE FACILITIES BEFORE COMMENCING WORK OR CONNECTING TO SEWER, PIPING OR WIRING, ETC., AND REPORT ANY PROBLEMS TO "WILLIAM SIMPSON & ASSOCIATES, INC." HEREINAFTER CALLED "THE ENGINEER".
- CONTRACTOR SHALL PROVIDE BARRICADES AND PEDESTRIAN PROTECTION AS REQUIRED BY STATE AND LOCAL CODES, AND FULLY PROTECT ALL ADJACENT PROPERTIES BEFORE COMMENCING ANY WORK.
- CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS AT JOB SITE PRIOR TO ORDERING ANY MATERIAL AND/OR COMMENCING WORK AND SHALL REPORT ANY DISCREPANCIES TO "THE ENGINEER".
- OMISSIONS OR CONFLICTS BETWEEN VARIOUS ELEMENTS OF THE DRAWINGS, NOTES, AND DETAILS SHALL BE BROUGHT TO THE ATTENTION OF "THE ENGINEER" AND RESOLVED BEFORE PROCEEDING WITH THE WORK.
- DO NOT SCALE THE DRAWINGS. WRITTEN DIMENSIONS SHALL BE USED WHERE A DETAIL, TYPICAL DETAIL, SECTION, TYPICAL SECTION, OR A NOTE IS SHOWN FOR ONE CONDITION, IT SHALL ALSO APPLY FOR ALL LIKE OR SIMILAR CONDITIONS UNLESS NOTED OTHERWISE.
- CONSTRUCTION MATERIALS SHALL BE SPREAD OUT IF PLACED ON EACH FLOORS OR ROOF. LOAD SHALL NOT EXCEED DESIGN LIVE LOAD FOR EACH PARTICULAR LEVEL.

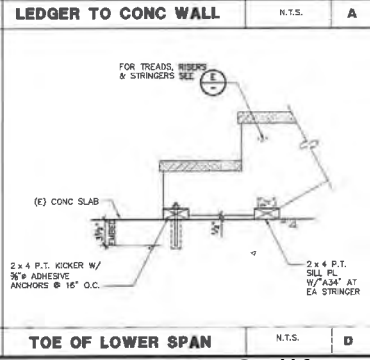
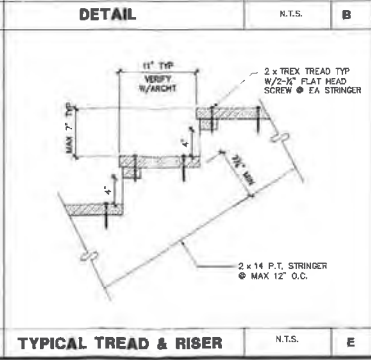
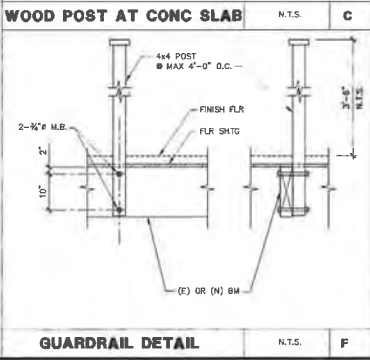
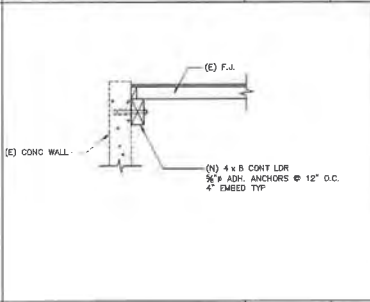
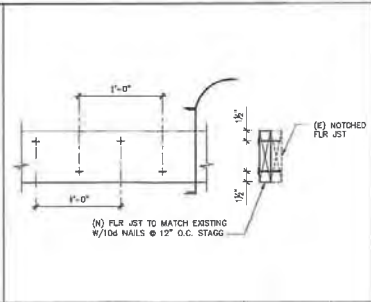
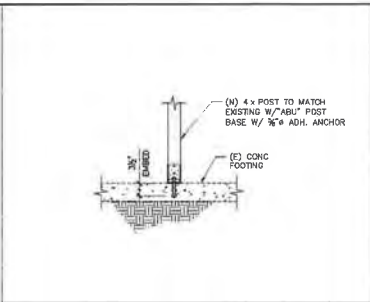
SCOPE OF WORK
PROVIDE DETAILS TO CORRECT THE DEFICIENCIES.

WOOD MEMBERS

- ALL ROUGH LUMBER SHALL BE DOUGLAS FIR-LARCH #1.
- ALL BOLT HOLES IN WOOD MEMBERS SHALL BE A MINIMUM OF 1/32" TO A MAXIMUM OF 1/16" LARGER THAN THE BOLT DIAMETER.
- SHEATHING SHALL BE 5 PLYS AND APA GRADE STAMPED, TYPE STRUCTURAL I PLYWOOD OR ORIENTED STRAND BOARD (OSB), EXTERIOR GLUE, 15/32" AND 19/32" THICK SHEARINGS SHALL HAVE INDEX NO. 32/18, 23/32" THICK SHEATHING SHALL HAVE INDEX NO. 49/24. GLUE PLYWOOD SHEATHING TO ALL FLOOR JOISTS AND BEAMS WITH CONSTRUCTION ADHESIVE.
- HAULING THE EDGES OF ALL OPENINGS SHALL BE THE SAME AS BOUNDARY HAULING.

NAILING AND FASTENERS

- ALL NAILS AND FASTENERS SHALL BE CORROSION RESISTANT MEETING ASTM A153 CLASS D, HOT DIP GALVANIZED AND BE ACRYLIC ADHESIVE OR THERMAL PLASTIC RESIN LATEX ADHESIVE COATED.
- ALL NAILS SHALL BE 16d (0.148" DIAMETER) HELICAL THREAD NAILS.
- NAILS FOR ROOF AND FLOOR SHEATHING SHALL HAVE A MIN OF 1/8" PENETRATION INTO THE FRAMING MEMBERS.



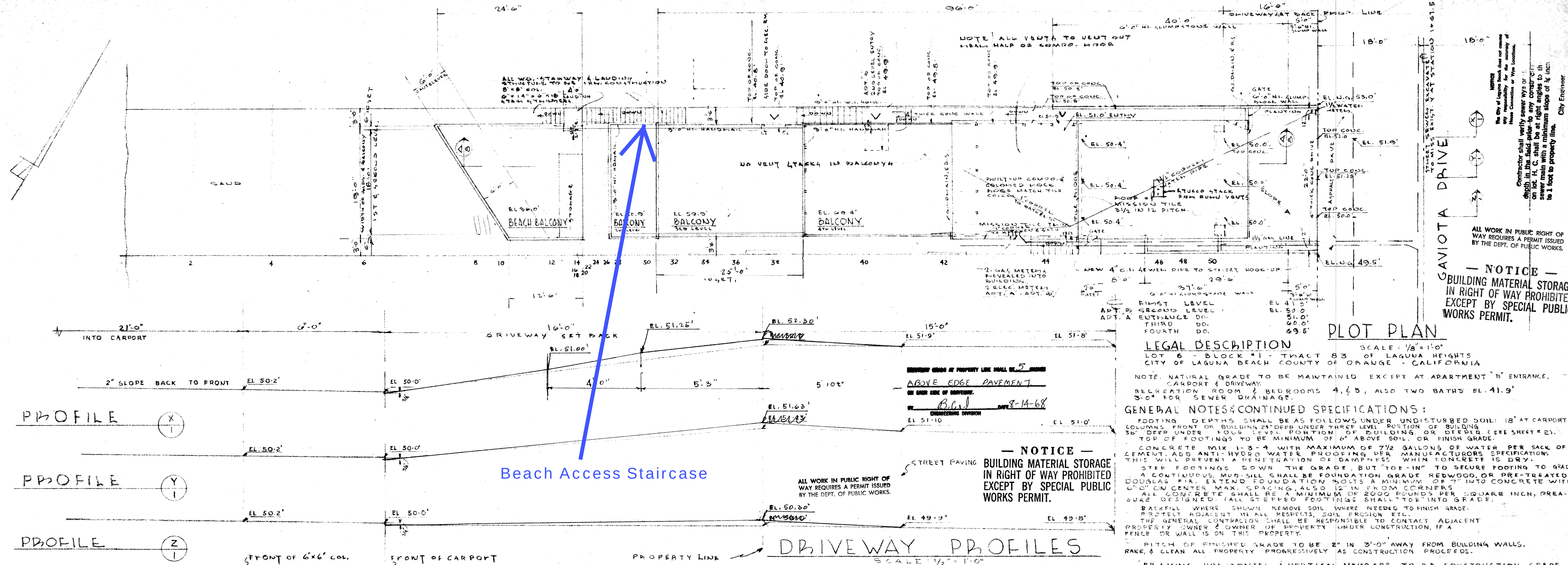
OWNER / APPLICANT

1045GAVIOTA DR
1048 GAVIOTA DR.
LAGUNA BEACH, CA 92651
LOFT FRAMING PLAN & DETAILS

WILLIAM SIMPSON & ASSOCIATES, INC.
CONSULTING STRUCTURAL ENGINEERS
23 ORCHARD, SUITE 250
LAGUNA BEACH, CA 92653
P (949) 206-1903
F (949) 206-1905
www.williamsimpson.com

Professional Engineer Seal:
WILLIAM SIMPSON
No. 53617
01/07/19
01/07/19

Project Information:
SHEET 7164
S-1
01/07/19



Beach Access Staircase

ROOM FINISH SCHEDULE APT. "A"

ROOM	FLOOR	WALLS	CEILING	CASING	BASE	WAINSCOT	PAINT			WOODWORK	REMARKS
ENTRANCE DECK	TERRAZZO AT ENTRANCE, WALK CONC. KIDNEY COLOR	EXT. STUCCO	NONE	2" x 2" AROUND DOORS & WINDOWS	NONE	NONE	WALLS: COLOR IN STUCCO	CEILING: NONE	1 COAT FLAT 2 COATS ALKYD FLAT ENAMEL	FRONT DOOR GLAZE ANTIQUE FINISH (IF NOT PRE-FINISHED) HARDWOOD, OTHER STAIN GLAZE APT. B & REC RM. DOORS.	
CARPORT	TERRAZZO AT ENTRANCE, WALK CONC. KIDNEY COLOR	DO.	EXP. PARTS & SHEATHING	NONE	DO.	DO.	DO.	2 COATS HEAVY OLYMPIC STAIN	DO.		
ENTRANCE STAIR	TERRAZZO AT ENTRANCE, WALK CONC. KIDNEY COLOR	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
ENTRANCE HALL	CARPET OVER HEAVY PAD DO. PYLONUM 400-EL	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	CARPET ON HEAVY PAD (SEE PLAN) WALL PAPER (SEE PLAN)	
LIVING AREA	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	MAIN HANDLING DARK WALNUT FINISH FLAT FINISH COORDINATE WITH DECORATOR	
DINING AREA	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	
BED ROOM #2	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
BED ROOM #3	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
CLOSETS	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
KITCHEN	QUALITY EQUAL TO "NENTLE" VINYL MODA MODERNA	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	CABINETS: SELECT ASH MATCH GRAIN WALNUT STAIN-SEALER COORDINATE WITH DECORATOR	
BATH #1	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	
BATH #2	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	
STAIR HALL	CARPET HEAVY PAD	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	PAINT WOODWORK IRON HORL. UP STAIRS & INTO BED RM. 1 COAT LEAD 2 COATS FLAT ALKYD EN.	
MASTER B.D.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	OVER HANG, ASH FINISH OAK CABINETS, SELECT ASH MATCH 2 COATS STAIN & LATEL FIN.	
STUDY & CLOSET	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
MASTER BATH	HEAVY CARPET PAD AND CERAMIC TILE	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	CERAMIC TILE TUB 2" JOINTS TILE EQUAL TO CERAMIC VENEER DO. RAMONA.	
FURNACE CLOS.	PLY. SUB FL.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	SET FURNACE ON 1" THICK 4" x 6" x 8" BRG LASS	
UTILITY R.M.	VINYL MASTIC	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	
RECREATION RM.	CARPET HEAVY PAD	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
HALL	VINYL KENTLE MODA MODERNA OR EQUAL	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
BED R.M. #4	CARPET & HEAVY PAD	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
BED R.M. #5	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
CLOSETS	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		
BATHROOM #4	VINYL KENTLE MODA MODERNA OR EQUAL	DO.	DO.	DO.	DO.	DO.	DO.	DO.	DO.		

FRONT DOOR CHIMES "NUTONE" L-28 ACCESS-BUILT TWO NOTES WITH 3" X 8" CUT OUT, 6" H. HOUSING 2" DEEP KNOCK OUTS. NUTONE P.B. GL. SILVER, WITH LIGHT IN CHIME PUSH BUTTON AT FRONT DOOR.

MAIL BOX, PURMA-BILT -- "P.O. 13" X 16" 7/8" P.O. 14 1/8" X 18 1/4" X 210-3 ACCESS MODEL NOTE PUSH BUTTON FROM EACH APARTMENT TO BOX & INTERCOM. SHALL BE INSTALLED WITH THIS UNIT.

PRE-FABRICATED FIREPLACE SHALL BE INSTALLED ACCORDING TO LOCAL CODE.

ALL CONCRETE FLAT WORK SHALL BE COLORED, KENAMARK CONCRETE STAIN AS PER MANUFACTURER'S SPECIFICATIONS.

ALL MASONRY WALLS ADJACENT TO BUILDING WHERE BACK FILL OCCURS SHALL BE COATED WATER-PROOFED WITH ASPHALT PREPARATION ON FILL SIDE.

PROTECT ALUMINUM FRAMES ETC. WITH ACKER & ACKER INC. MAGIC SPRAY MASK. METAL, GLASS & W.D.

FRONT DOOR THRESHOLD ALL ENTRANCES SHALL BE "HOME WEATHERSTRIP #200 AB (449 B) V" MULTIFLEX WITH INTER-LOCK JAMB. & HEAD WEATHERSTRIP

FIBERGLASS INSULATION TO BE INSTALLED AS FOLLOWS: UNDER FIRST LEVEL SUB-FLOOR, STAPLE BATTENS TO FLOOR JOISTS - 4" THICK BATTENS.

ALL OTHER LEVELS TO HAVE 2" THICKNESS OF FIBER GLASS INSULATION BETWEEN FLOORS AS EXPOSED WOOD. INSTALL 3/4" THICK RIGID FIBERGLASS UNDER ALL FLOOR JOISTS BEFORE DRYWALL MATERIAL & AC-CUSTICAL CEILING IS BLOWN ON. SEE DETAIL (2)

TELEVISION CABLE FROM TV RECEPT. TO CONDUIT-TRANCE ON ROOF SHALL BE HEAVY DUTY, STENO SPRAYED TO BE WIND AFTER, FRAMING & BRACKET OUTER DRYWALL IN APT. A & B GARAGE.

GROUT SILLS
AS REQUIRED
FOR FIRM BEARING

EAVES MUST CLEAR
PROPERTY LINE BY 30"

20% MAXIMUM GRADE
GARAGE FLOOR TO PROPERTY LINE

NOTE: CONSULT BUILDING DEPARTMENT PRIOR TO PLACING OR CEMENTING ANY EARTH OR DEBRIS UPON ANY CUT OR FILL SLOPE. COPY OF GRADING ORDINANCE 440 AVAILABLE AT BUILDING DEPARTMENT.

NOTE: COMPLIANCE WITH SECTION 2802 OF THE UNIFORM BUILDING CODE MUST BE STIPULATED AND/OR SPECIFIED BEFORE FOOTING TRENCH INSPECTION WILL BE MADE.

LIVING AREA 4 332 &
DECK 716 &
CARPORT 403 &

ENCL. 59 GLASS
OF THE U. B. C., 1964 EDITION

LEGAL DESCRIPTION

LOT 6 - BLOCK 1 - TRACT 83 OF LAGUNA HEIGHTS CITY OF LAGUNA BEACH COUNTY OF ORANGE - CALIFORNIA

NOTE: NATURAL GRADE TO BE MAINTAINED EXCEPT AT APARTMENT "B" ENTRANCE, RECREATION ROOM & BEDROOMS 4 & 5, ALSO TWO BATHS EL. 41.9' 3.0' FOR SEWER DRAINAGE.

GENERAL NOTES & CONTINUED SPECIFICATIONS:

FOOTING DEPTHS SHALL BE AS FOLLOWS UNDER UNDISTURBED SOIL: 18" AT CARPORT, 24" UNDER 24" DEEP UNDER THREE LEVEL PORTION OF BUILDING, OR DEEPER (SEE SHEET #2). 36" DEEP UNDER FLOOR LEVEL PORTION OF BUILDING, OR DEEPER (SEE SHEET #2). TOP OF FOOTINGS TO BE MINIMUM OF 6" ABOVE SOIL, OR FINISH GRADE.

CONCRETE MIX 1-3-4 WITH MAXIMUM OF 7 1/2 GALLONS OF WATER PER SACK OF CEMENT. ADD ANT-HYDRATE WATER. PROOFING PER MANUFACTURER'S SPECIFICATIONS. THIS WILL PREVENT A PENETRATION OF DAMPNESS WHEN CONCRETE IS DRY.

STEP FOOTINGS DOWN THE GRADE, BUT "TOP-IN" TO SECURE FOOTING TO GRADE. A CONTINUOUS, MUD-SILL SHALL BE FOUNDATION GRADE REDWOOD, OR PRE-TREATED, DOUGLAS FIR, EXTEND FOUNDATION BOLTS A MINIMUM OF 2" INTO CONCRETE WITH 4" ON CENTER MAX. SPACING. ALSO 2" IN FROM CORNERS.

ALL CONCRETE SHALL BE A MINIMUM OF 2000 POUNDS PER SQUARE INCH, PRE-SURE DESIGNED. (ALL STEPPED FOOTINGS SHALL "TOP-IN" TO GRADE.)

BACKFILL WHERE SHOWN REMOVE SOIL, WHERE NEEDED TO FINISH GRADE. PROTECT ADJACENT IN ALL RESPECTS, SOIL PROVISION ETC.

THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE TO CONTACT ADJACENT PROPERTY OWNER & OWNER OF PROPERTY UNDER CONSTRUCTION, IF A FENCE OR WALL IS ON THIS PROPERTY.

PITCH OF FINISHED GRADE TO BE 2" IN 3'-0" AWAY FROM BUILDING WALLS. RAKE & CLEAN ALL PROPERTY PROGRESSIVELY AS CONSTRUCTION PROCEEDS.

FRAMING HORIZONTAL & VERTICAL MEMBERS TO BE CONSTRUCTION GRADE LUMBER, OR BETTER, FREE OF TERMITES, ROT, MOLD, OR AN ABUNDANCE OF KNOTS, LOOSE, OR OTHERWISE, UNLESS OTHERWISE SPECIFIED ON PLANS. DIAGONAL BRACE AT ALL CORNERS, WHERE POSSIBLE AND WITHIN EVERY 25' DIAGONAL FEET, OR AS SHOWN ON PLANS. ELEVATION SHALL BE TOP PLATE SPACING 4'-0" MINIMUM. ALL INTERIOR WALLS TO BE DIAGONAL SPACED, WHERE THERE ARE NO SHEAR WALLS, FIRE BLOCK HALF WAY UP WALL BETWEEN FLOOR & CEILING.

SHEAR WALLS, AS INDICATED ON PLANS, & ELEVATIONS SHALL BE 3/4" PLYFORM BLOCK AND NAIL AT 12" O.C. IN FIELD.

EXPOSED LINTELS, OUTRIGGERS, BEAMS, ROOF JOISTS, RAFTERS, COLUMNS, OR OTHER MEMBERS UNLESS OTHERWISE SPECIFIED, SHALL BE ON SELECT QUALITY, OR SELECT STRUCTURAL, WITH FEW KNOTS, AND MUST BE TIGHT.

DRYWALL OR LATH & PLASTER, FOR INTERIOR FINISH, INSTALLED, OR MIXED, AND TRIMMED AS PER LOCAL CODE. (SEE SPECIFICATIONS.)

ALL EXTERIOR STUCCO SHALL BE MIXED & TROWELED AS PER LOCAL CODE. (SEE SPECIFICATIONS.) EXTERIOR STUCCO COLOR TO BE CHOSEN BY COLOR CONSULTANT. A SAMPLE WILL BE SHOWN BEFORE PROCEEDING.

ALL ELECTRICAL WORK & PLUMBING WILL BE CARRIED THROUGH AS PER LOCAL CODE. ALL ELECTRICAL CONVENIENCE OUTLETS IN WALL SHALL BE 6" ABOVE FLOOR EXCEPT THOSE NOTED ON PLANS.

LUMBER - FUEL GAS KEY FOR FIREPLACE OR OTHER SHALL BE 6" ABOVE FLOOR ROOF. MISSION TILE COVER ALL AREAS INDICATED ON DRAWINGS AS FOLLOWS: SAN VALLE CLAY MISSION TILE - 18" LONG, 7 1/2" AT LARGE END TAPERED TO 6" AT SMALL END. TILE TO BE LAYED FROM MAIN PARTS OF BUILDING OR DEFECTIVE IMPAIRING THE DURABILITY OF THE TILE. TILE TO BE FLUSHED FROM BACK THROUGH RED, BROWN, THE TILE FASTENERS SHALL CONNECT EVERY TILE. (FINISH G.I. OR CORNER TILE TIES.)

ROOFING FELT: 2 LAYERS 30" FELT HOT MOPPED BETWEEN, AND ON TOP OF LAYERS. SHEET METAL FLASH WHERE SHOWN ON DRAWINGS.

APPLICATION: SWEEP ROOF SURFACE CLEAN. COVER KNOT HOLES WITH TIN. LAY ROOF FELT AT RIGHT ANGLE TO GABLE, LAP FELT MIN OR 12" HOT MOP SOLIDLY 25" PER SQUARE, APPROX. BETWEEN LAYERS. BLIND NAIL WITH LARGE HEADED GALV. ROOFING NAILS. CLAY ROOF TILE SPACING 10 1/2" O.C. AND EXPOSED NOT TO EXCEED 4". DO NOT LAY UP COVER TILE VARY EXPOSURE FROM 2" TO 4" BREAKING ALL HORIZONTAL LINES. USE 10 PERCENT EXTRA COVER TILE FOR VARIANCE IN EXPOSURE. (TILES CAN BE IRREGULAR.)

EQUIPMENT: KITCHEN DISHWASHER TO BE GAFFER & SATER DELUXE WITH (JET RINCE) GARBAGE DISPOSAL TO BE WASTE KING HUSH MODEL #7000. RANGE TOP TO BE GAFFER & SATER GAS 27" WIDE, OVEN TO BE GAFFER & SATER 2 OVEN "GALA" WITH BLACK GLASS DOORS, APARTMENT "B" RANGE SHALL BE 30" MODERN MAID CLEAN A-MATIC TOWN HOUSE SERIES WITH BLACK GLASS DOOR. 20" DEEP 30" KITCHEN SINK TO BE WHITE CERAMIC. SEE DETAIL (3) FOR INTERIOR ELEVATIONS FOR WIDTH. NUTONE BUILT-IN FOOD CENTER #200N WATER CLOSET SEATS THROUGHOUT SHALL BE OLSONITE SOLID, WHITE #40 PLUMBING: MASTER BATH APT. "A" WATER CLOSET KOHLER OF KOHLER CHAMPLAIN IC-3290 EBA WHITE SEAT K-4690 - LAV TO BE CRANE OVAL TIARA UNDER COUNTER MOUNTED, 10" X 16" WHITE, HARCRAFT CRYSTAL-GLO GOLD FINISH WIDE SPREAD LAVATORY FAUCET, ROMA T-RECESSED TUB 20" X 28" VALVE DIVERTERS TO HOT WATER HEATER HEAD ARM, PLAN 4. DIVERTER SPURT - GOLD FINISH, 20-4008 WITH DDD UNIONS, 20-4048 WITH 1/2" NOMINAL DIRECT SWEAT, LESS UNION, TUB STOPPER AND OVERFLOW TO BE GOLD FINISH COORDINATED FOR A 2'-0" DEEP TUB. TUB TO BE OF CERAMIC TILE FINISH (SEE INTERIOR ELEVATIONS) A GALVANIZED 16 GAUGE LINING SHALL BE UNDER CERAMIC TILE, HOT MOP BELOW LINING.

NOTICE

BUILDING MATERIAL STORAGE IN RIGHT OF WAY PROHIBITED EXCEPT BY SPECIAL PUBLIC WORKS PERMIT.

NOTICE

BUILDING MATERIAL STORAGE IN RIGHT OF WAY PROHIBITED EXCEPT BY SPECIAL PUBLIC WORKS PERMIT.

NOTICE

BUILDING MATERIAL STORAGE IN RIGHT OF WAY PROHIBITED EXCEPT BY SPECIAL PUBLIC WORKS PERMIT.

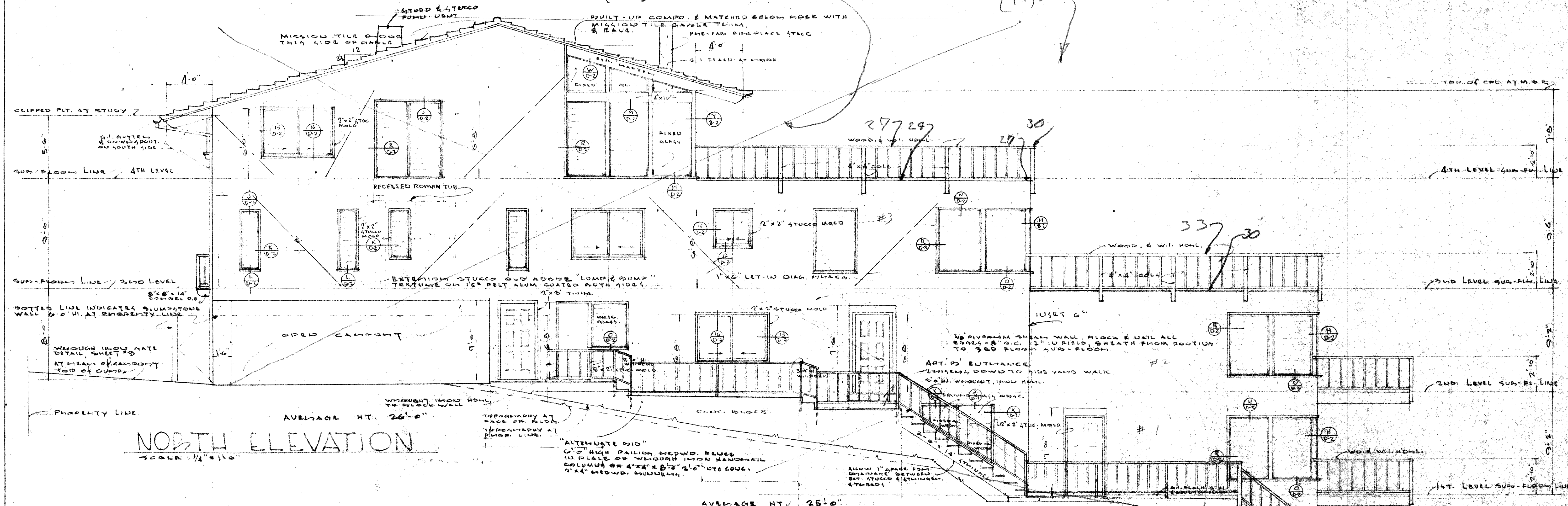
BEACH FRONTAGE DUPLEX for Mr. EARL S. FAIRBANK 1045 GAVIOTA DR. LAGUNA BEACH, CALIFORNIA

BRENT S. TOREY A. I. B. D. building designer 7-31-68

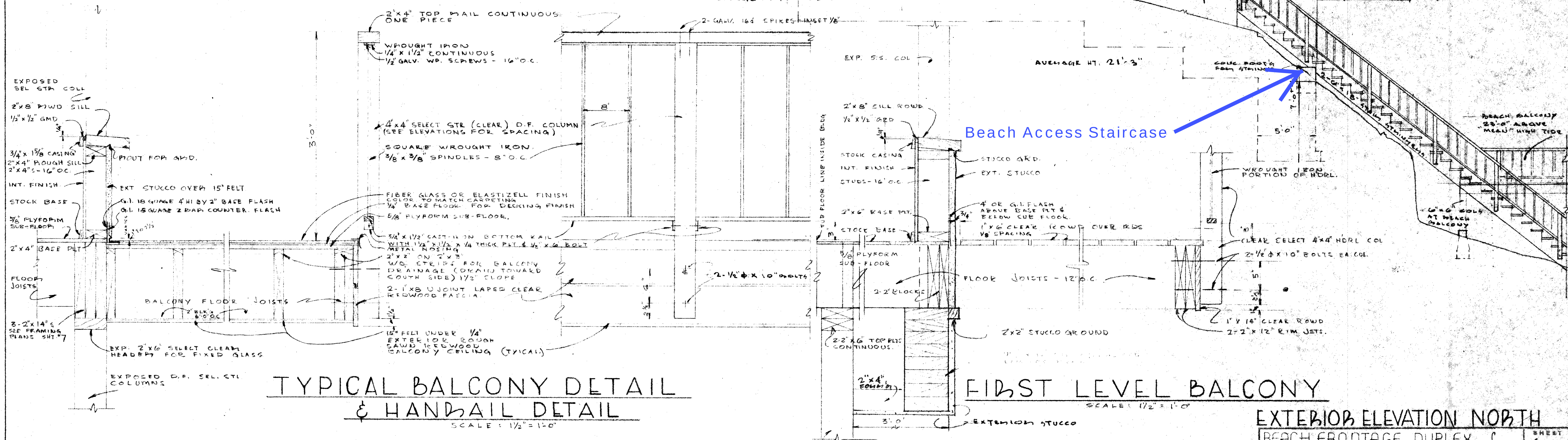
SUZETTE M. DARNEY, color interiors and decor 7-31-68

STUDIO 1120 CAROLITA STREET LAGUNA BEACH, CALIFORNIA AS NOTED

32 (34) (41)



NORTH ELEVATION
SCALE: 1/4" = 1'-0"



TYPICAL BALCONY DETAIL
& HANDRAIL DETAIL
SCALE: 1/2" = 1'-0"

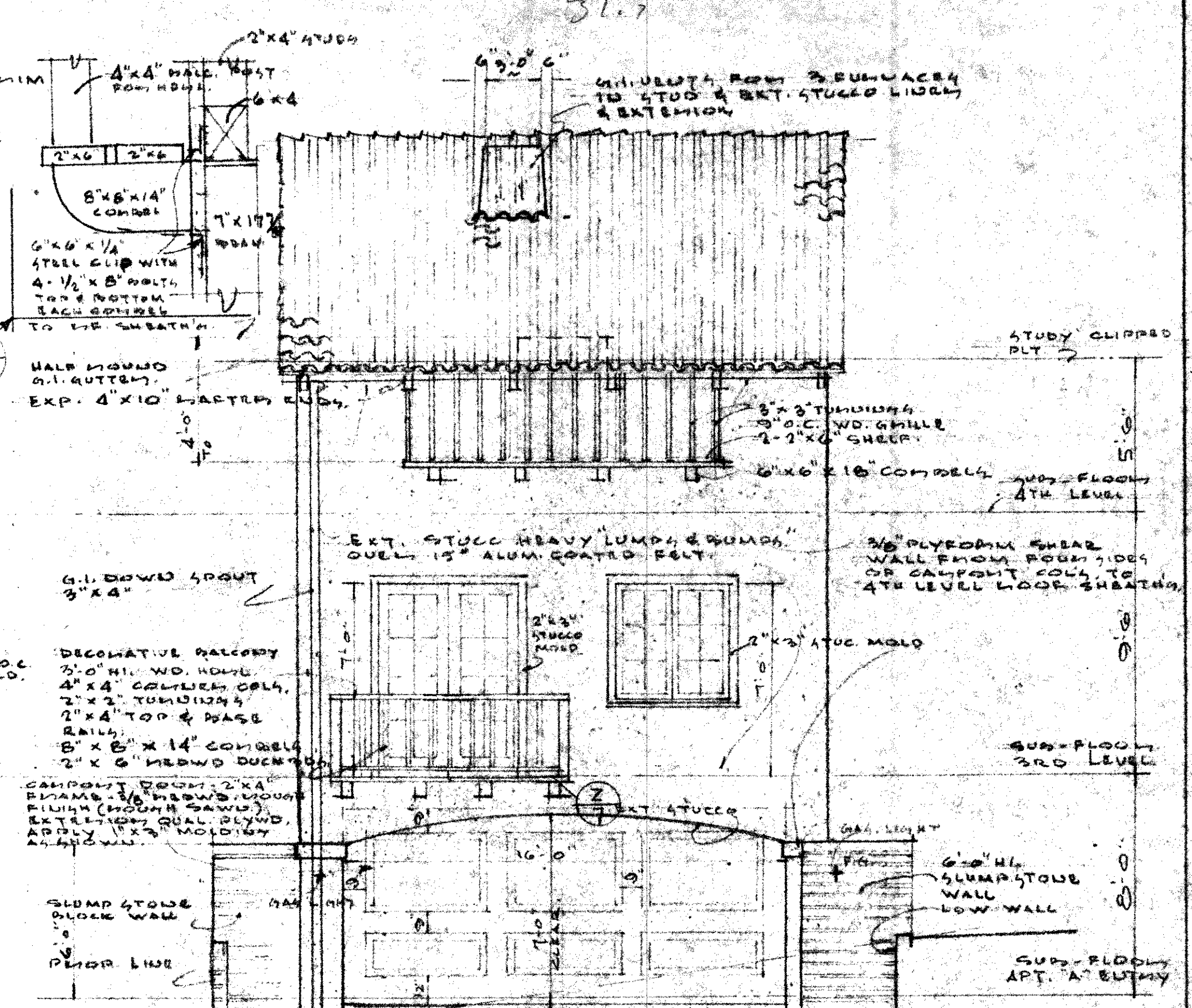
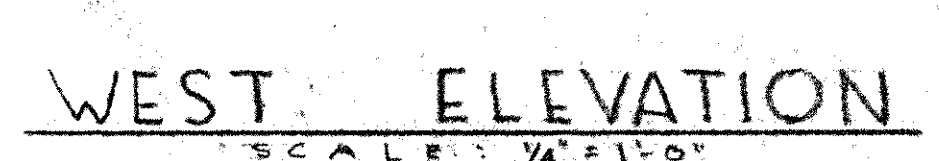
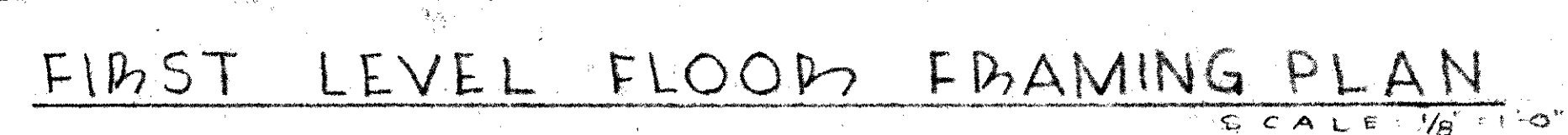
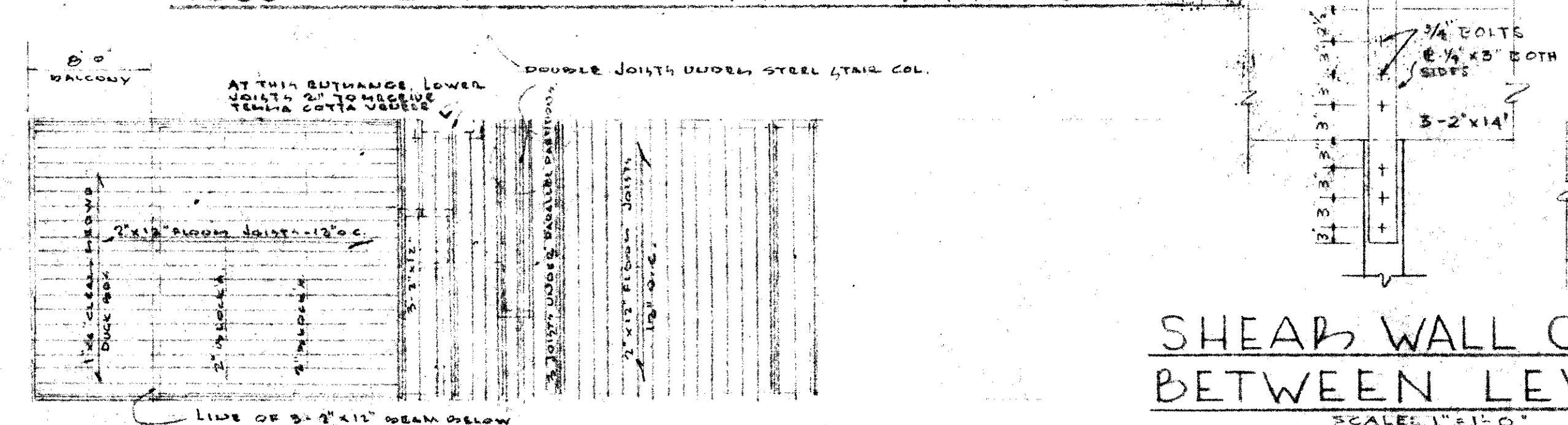
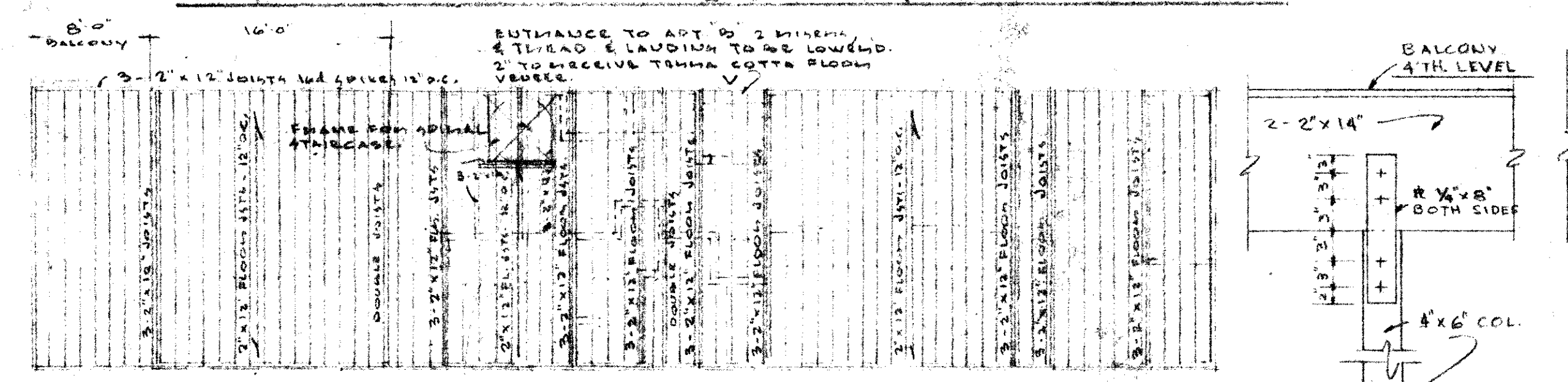
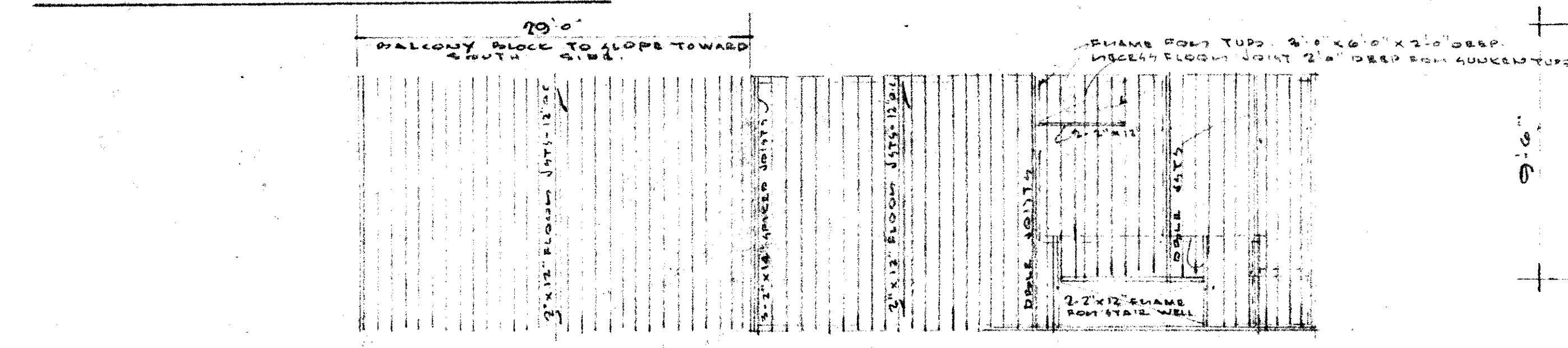
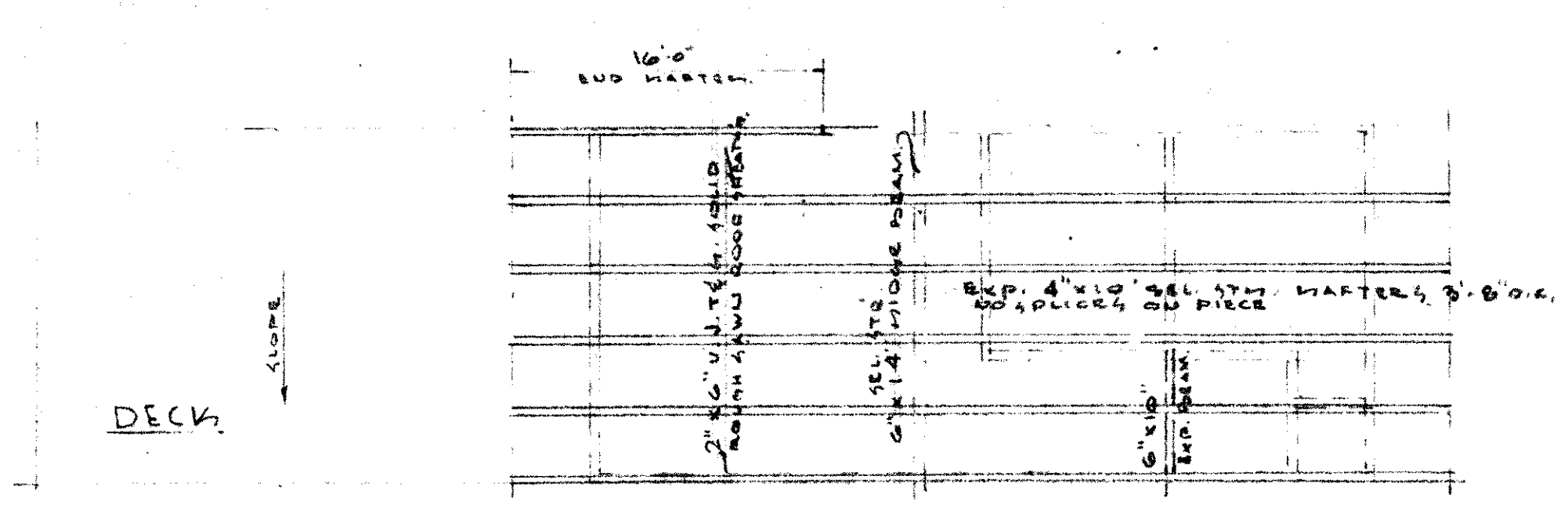
FIRST LEVEL BALCONY
SCALE: 1/2" = 1'-0"

EXTERIOR ELEVATION NORTH

This drawing and specifications and the structural design embodied thereon are instruments of service and the property of BRENT S. TOBEY, whether the work for which they are made be executed or not and are not to be used on other work, except by agreement with BRENT S. TOBEY.

The acceptance and/or use of this drawing shall be construed as an acceptance of the foregoing conditions and as an admission of the exclusive ownership in and to this drawing of BRENT S. TOBEY, designer of same.

BEACH FRONTAGE DUPLEX for		SHEET 11
MR. EARL S. FAIRBANK 1045 GAVIOTA DR. LAGUNA BEACH CALIFORNIA		
BRENT S. TOBEY A. I. B. D., building designer		1-31-68
SUZETTE M. DABNEY, color interiors and decor.		SCALE
STUDIO 1320 CARMELITA STREET LAGUNA BEACH CALIFORNIA		AS NOTED



This drawing and specifications and the incorporated design embodied thereon as instruments of service are the property of BRENT S. TOBEY, whether the work for which they are made be executed or not, and are not to be used on other work, except by agreement with BRENT S. TOBEY.

The acceptance and/or use of this drawing shall be construed as an acceptance of the foregoing conditions and as an admission of the exclusive ownership in, and to the drawing of BRENT S. TOBEY, designer of same.

BEACH FRONTAGE DUPLEX MR. EARL S. FAIRBAIN 1045 GAVIOTA DR. LAGUNA BEACH CALIFORNIA	SHEET 7 of 7
BRENT S. TOBEY A. I. E. D. building designer SUITE 201 DABNEY, Glor. Interiors, Inc. decor. STUDIO 3320 CARMELITA STREET LAGUNA BEACH CALIFORNIA	7-31-68 SCALE AS NOTED