

CALIFORNIA COASTAL COMMISSION

South Coast District Office
301 E Ocean Blvd., Suite 300
Long Beach, CA 90802-4302
(562) 590-5071



W18f

5-20-0650 (Smith)

APRIL 14, 2021

EXHIBITS

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Exhibit 3 – CoSMoS Pictures

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Project Location

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California Coastal
Commission



Project Site

Exhibit 1

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California Coastal
Commission

A NEW THREE STORY DUPLEX WITH JADU

SMITH RESIDENCE

24 3RD STREET
HERMOSA BEACH, CA. 90254

TOMARO
ARCHITECTURE
20177 NORTH SEPULVEDA BLVD.
MANHATTAN BEACH, CA 90266
TEL: 310-318-6089 WWW.TOMARO.COM



PROJECT

**SMITH
RESIDENCE**
24 3RD STREET
HERMOSA BEACH, CA 90254

STAMP

PROJECT NUMBER

19034

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REVISIONS

Number	Description	Date

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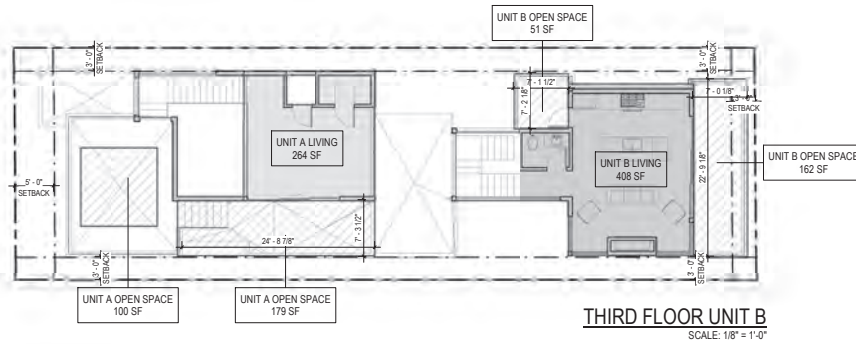
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Exhibit 2

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AREA CALCULATIONS:			
	UNIT A	UNIT B	JADU
FIRST FLOOR	= 711 SF	0 SF	313 SF
SECOND FLOOR	= 961 SF	580 SF	0 SF
THIRD FLOOR	= 264 SF	412 SF	0 SF
TOTAL LIVING	= 1,936 SF	992 SF	313 SF
TOTAL LIVING AREA	= 3,241 SF		
GARAGE	= 731 SF		
BALCONIES	= 989 SF		

OPEN SPACE CALCULATION:		
	UNIT A	UNIT B
OPEN SPACE REQUIRED	= 300 SF	300 SF
FIRST FLOOR	= 0 SF	0 SF
SECOND FLOOR	= 125 SF	102 SF
THIRD FLOOR	= 179 SF	217 SF
ROOF DECK	= 100 SF	0 SF
TOTAL OPEN SPACE	= 404 SF	319 SF

LOT COVERAGE CALCULATIONS:	
LOT SIZE	= 2,843 SF
MAX ALLOWABLE LOT COVERAGE	= 1,848 SF (65%)
PROPOSED LOT COVERAGE	= 1,847 SF (65%)

LEGEND

- UNIT A LIVING
- UNIT B LIVING
- UNIT A OPEN SPACE
- UNIT B OPEN SPACE



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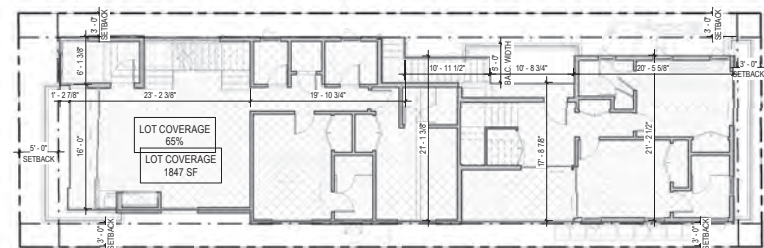
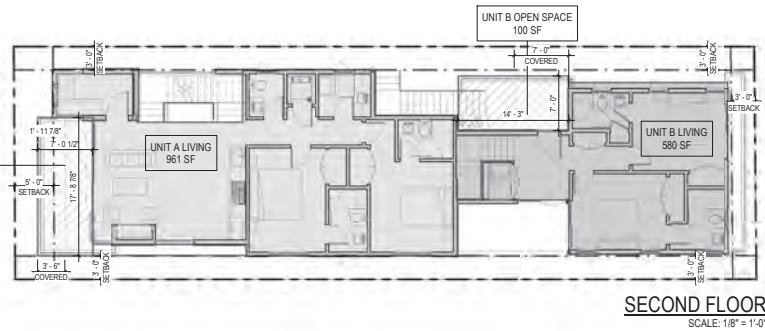
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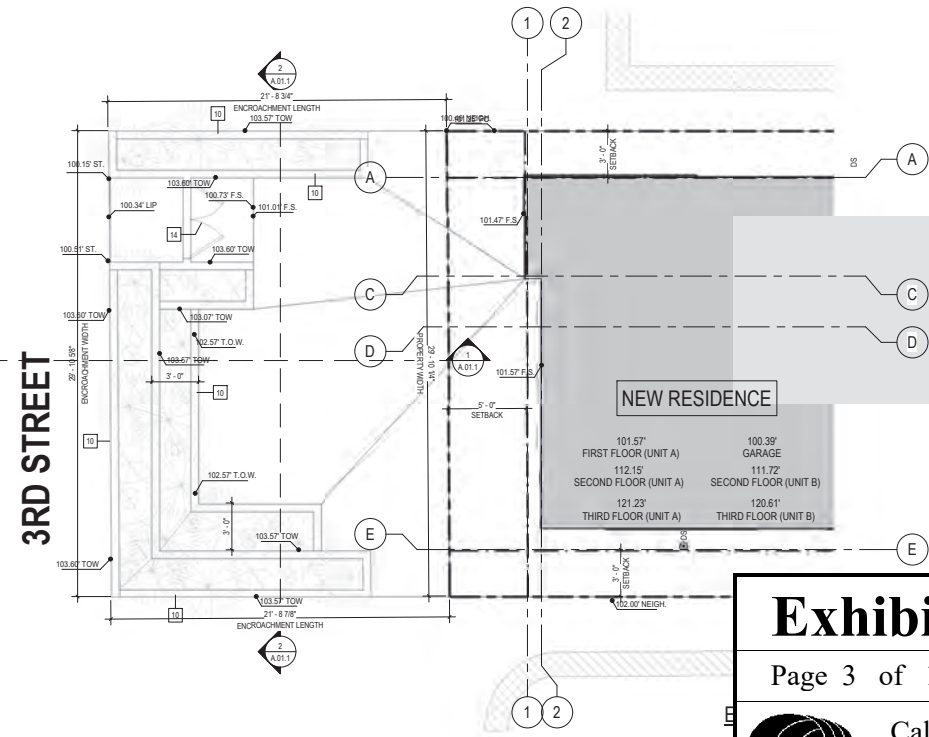
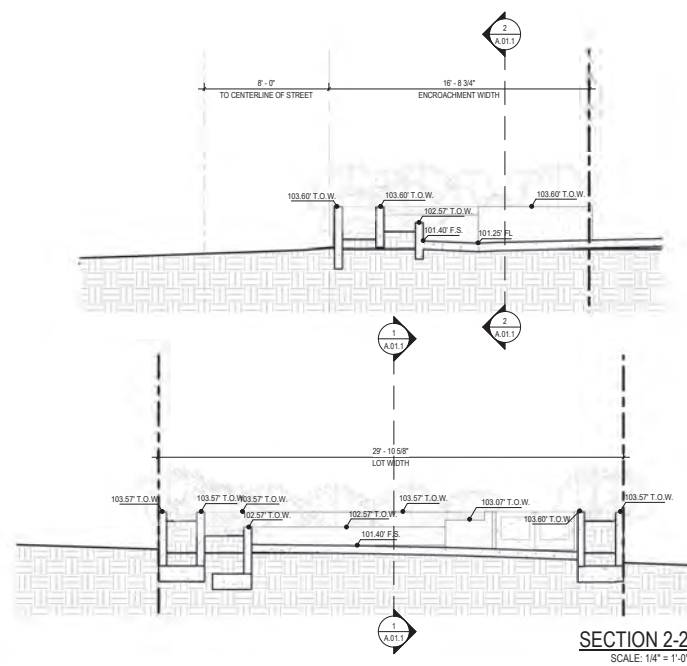
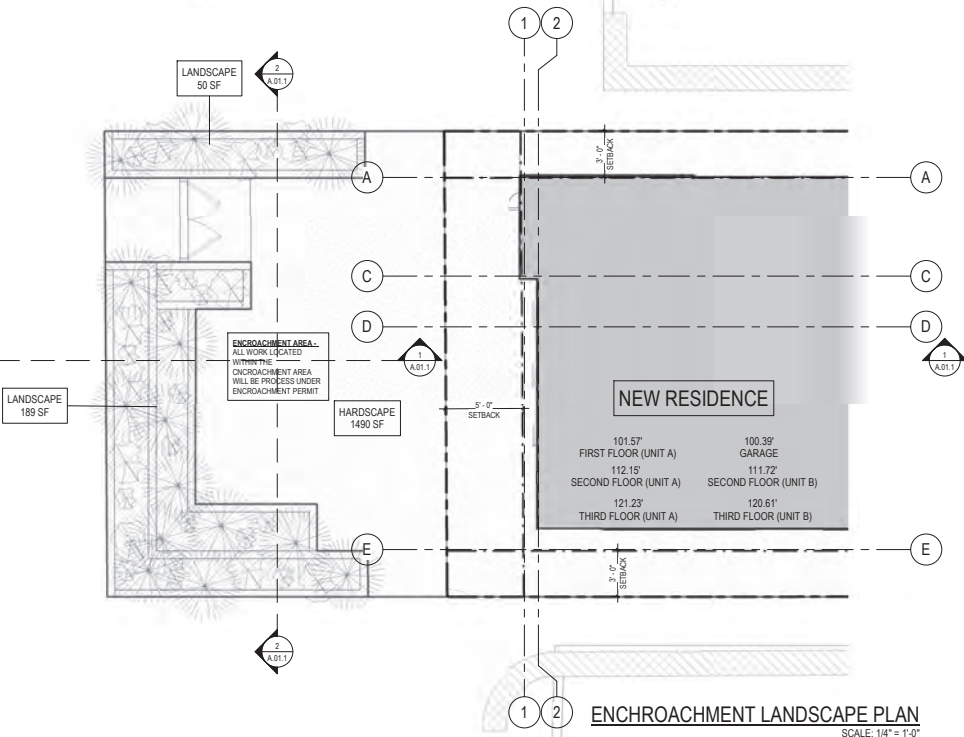
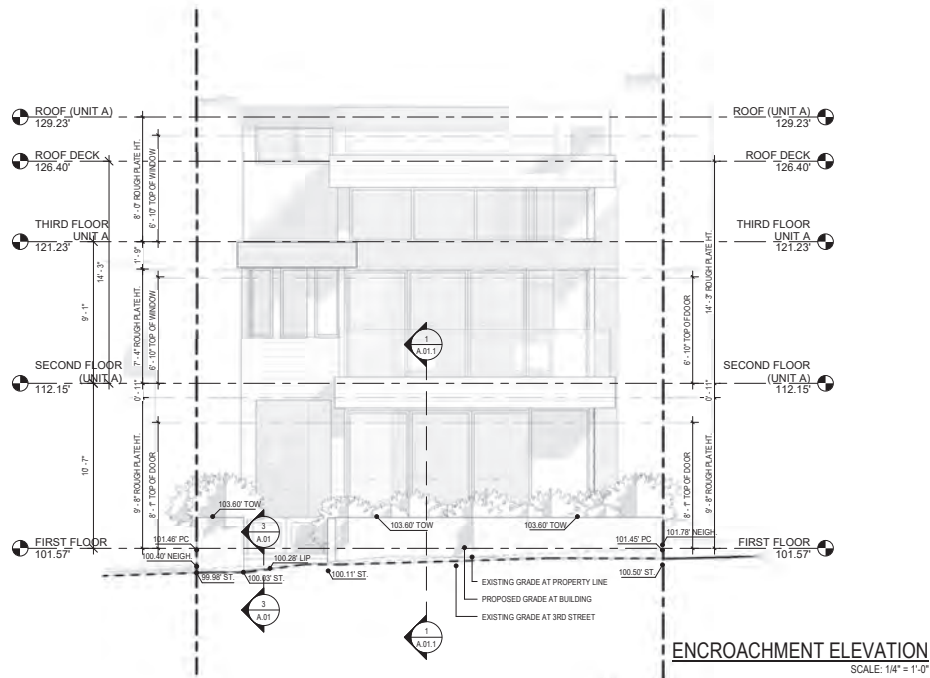
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Exhibit 2

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NOTARIZED OWNER'S AGREEMENT

• PROVIDE NOTARIZED OWNER'S ENCROACHMENT PERMIT AGREEMENT AND AGENCY SIGNED INSURANCE ENDORSEMENT FORM #1 (GENERAL) TO COMMUNITY DEVELOPMENT PRIOR TO FINAL INSPECTION

ENCROACHMENT CALCULATIONS

AREA OF ENCROACHMENT IN PUBLIC RIGHT OF WAY

21'-8" x 25'-10" = 651 SF

LANDSCAPING CALCULATIONS

LANDSCAPING REQUIRED = 1/3 OF ENC. AREA

= 1/3 X 651 = 217 SF

LANDSCAPING PROVIDED = 189 = 50 = 239 SF

*ACTUAL LANDSCAPE AREA > REQUIRED LANDSCAPE AREA

ENCROACHMENT NOTES:

- ALL WALLS AND GATES IN ENCROACHMENT AREA TO BE LESS THAN 42"
- CONTRACTOR TO PROVIDE FOR AUTOMATIC IRRIGATION FOR ALL LANDSCAPED AREAS PER MUNICIPAL CODE
- LANDSCAPING WITHIN ENCROACHMENT AREA NOT TO EXCEED 16" MAX HEIGHT PER MUNICIPAL CODE

PLANTING LIST

SYM.	BOTANICAL NAME	QTY	SIZE	WUCOLS CLASS
1	CORYLINE 'ESTIVE GRASS'	4	1g	LM
2	KALANCHOE THYRSIFLORA 'PADDLE PLANT'	12	1g	L
3	AEONIU 'TREE HOUSELEEK'	15	1g	L

LANDSCAPE NOTES:

- 1) ALL LANDSCAPE IRRIGATION PROVIDED BY POTABLE (NOT RECYCLED) WATER MUST USE DRP OR MICROSPRAY IRRIGATION SYSTEMS.
- 2) AT LEAST 20% OF ALL VISIBLE PORTIONS OF A REQUIRED FRONT OR CORNER SIDE YARD SHALL BE PLANTING AREA. MMBC 10.12.030

KEYNOTE LEGEND

SYM	KEYNOTE TEXT
10	NEW CONC. SITE WALL TO HAVE SMOOTH TROWELED STUCCO FINISH [HEIGHT NOT TO EXCEED 42" MAX HT.]
14	NEW WOOD GATE

Exhibit 2

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California Coastal Commission

LANDSCAPE NOTES:
1) ALL LANDSCAPE IRRIGATION PROVIDED BY POTABLE (NOT RECLAIMED) WATER MUST USE DRIP OR MICROSPRAY IRRIGATION SYSTEMS.
2) PROPOSED LANDSCAPE MUST MEET HERMOSA BEACH MUNICIPAL CODES CHAPTER 8.55 - WATER CONSERVATION AND 8.60 - EFFICIENT LANDSCAPING

PERMEABLE AREA CALCULATION	
LOT AREA	2843 SF
BUILDING FOOTPRINT	1768 SF
EXTERIOR SURFACE AREA	1696 SF
LANDSCAPE AREA	239 SF
NON-PERMEABLE SURFACE (HARDSCAPE)	1490 SF
PERMEABLE SURFACE (HARDSCAPE)	000 SF
PERMEABLE AREA	239 SF
AT LEAST 50% (849 SF) OF THE EXTERIOR SURFACE AREA MUST BE PERMEABLE OR AN INFILTRATION SYSTEM MUST BE PROVIDED	

PLANTING LIST			
SYM.	BOTANICAL NAME	QTY	WUCOLS CLASS
•	CORDYLINE 'FESTIVE GRASS'	4	1g LM
•	KALANCHOE THYRSIFLORA 'PADDLE PLANT'	12	1g L
•	AEONIUM 'TREE HOUSELEEK'	15	1g L

LANDSCAPING LEGEND

 BUILDING FOOTPRINT

 HARDSCAPE

 LANDSCAPE


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PROJECT
SMITH RESIDENCE
24 3RD STREET
HERMOSA BEACH, CA 90254

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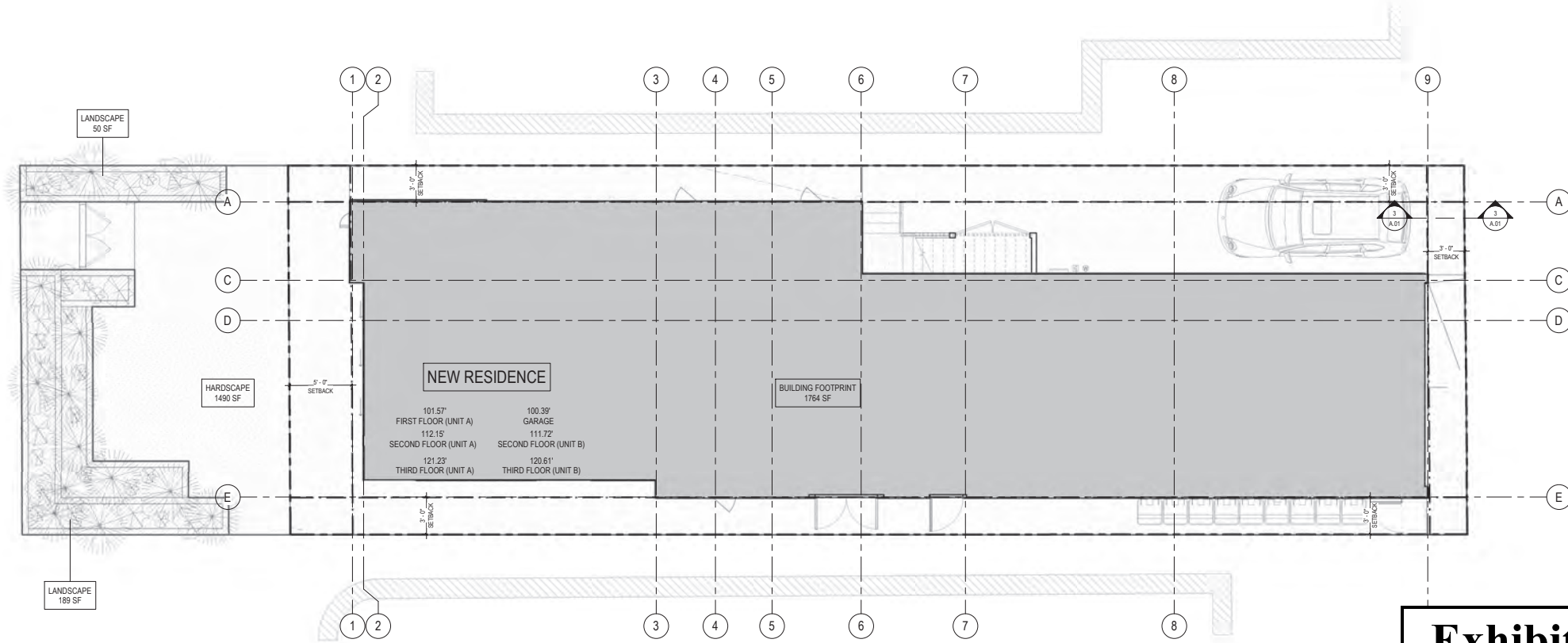


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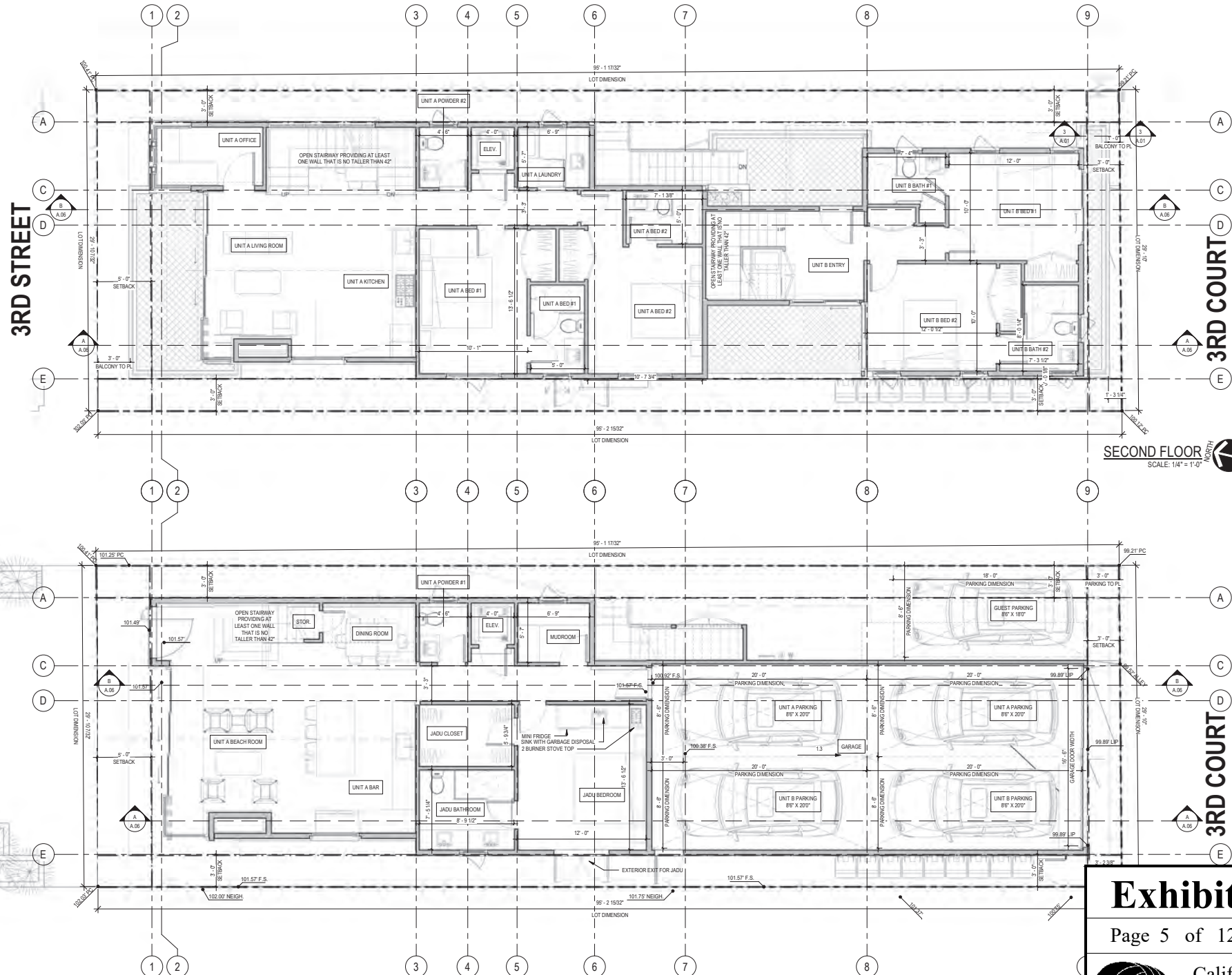
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SECOND FLOOR
SCALE: 1/4" = 1'-0"

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SYM	KEYNOTE TEXT
151	EAVES: BONDERIZED METAL FASCIA
154	DECK RAILING: CLEAR GLASS RAILING IN METAL BASE CHANNEL.
155	WINDOWS: DUAL PANE FLEETWOOD ALUMINUM. STYLE AND COLOR TO BE SELECTED BY OWNER AND ARCHITECT.
158	STONE VENEER: (INTERIOR DESIGNER TO SPECIFY) ATTACHED TO STUCCO BROWN COAT PER CBC SECTION 1403.5.4. PROVIDE PRECAST CONCRETE LEDGE CAP
159	STUCCO: 7/8" SMOOTH TROWEL FINISH STUCCO PLASTER OVER WIRE LATH ATTACHED WITH #8 COOLER NAILS @ 8" O.C. OWNER AND ARCHITECT TO SELECT AND/OR APPROVE COLOR
163	TRESPA WOOD SIDING: 1X6 WOOD SIDING OVER #15 FELT PAPER (OWNER TO SPECIFY COLOR)

PROJECT

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HERMOSA BEACH, CA 90254

SCALE

EAST ELEVATION
SCALE: 1/4" = 1'-0"

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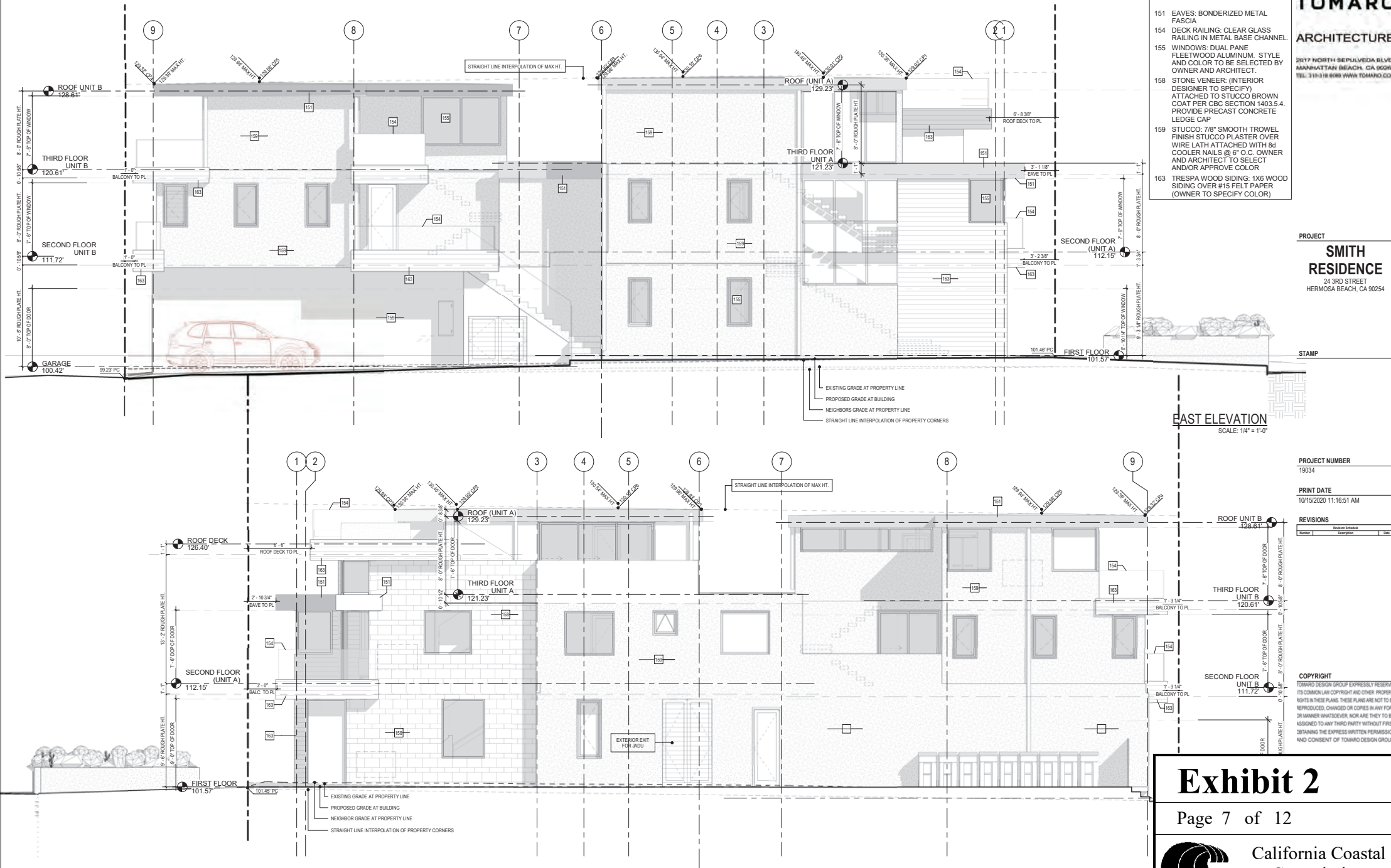
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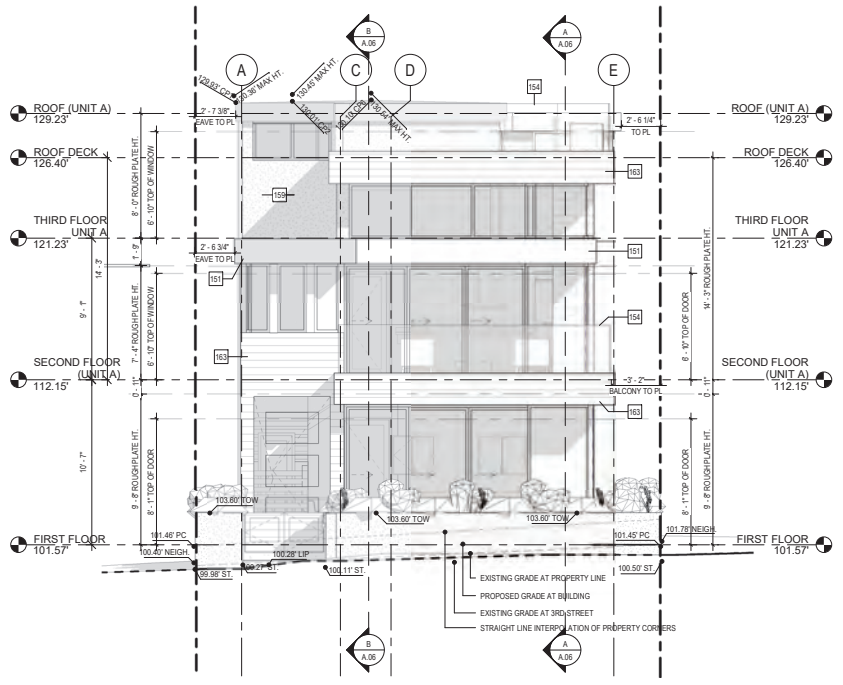
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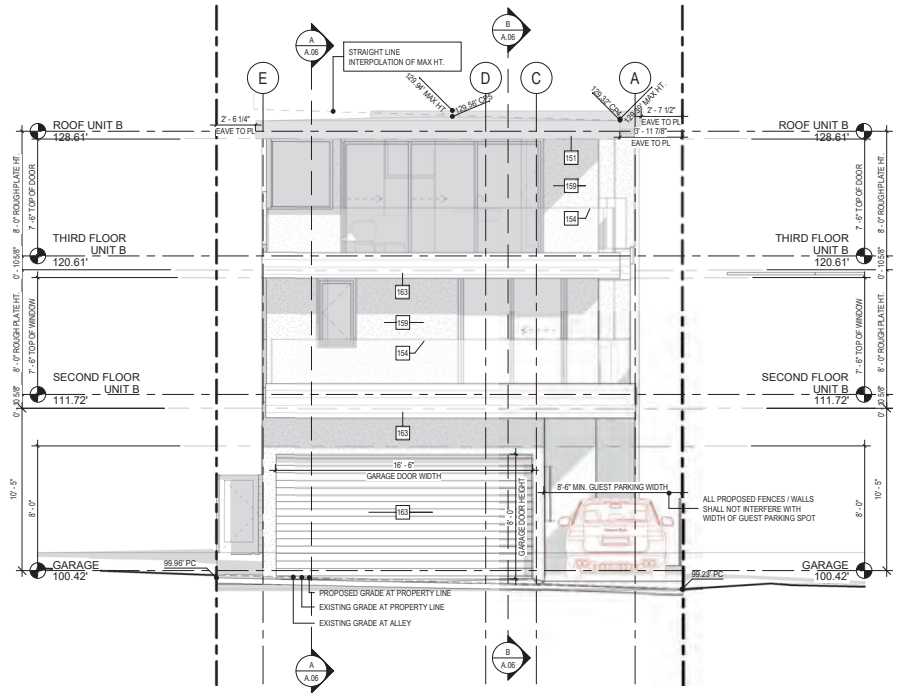
KEYNOTE LEGEND	
SYM	KEYNOTE TEXT
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163	TRESPA WOOD SIDING: 1X6 WOOD SIDING OVER #15 FELT PAPER (OWNER TO SPECIFY COLOR)

TOMARO
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NORTH ELEVATION
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

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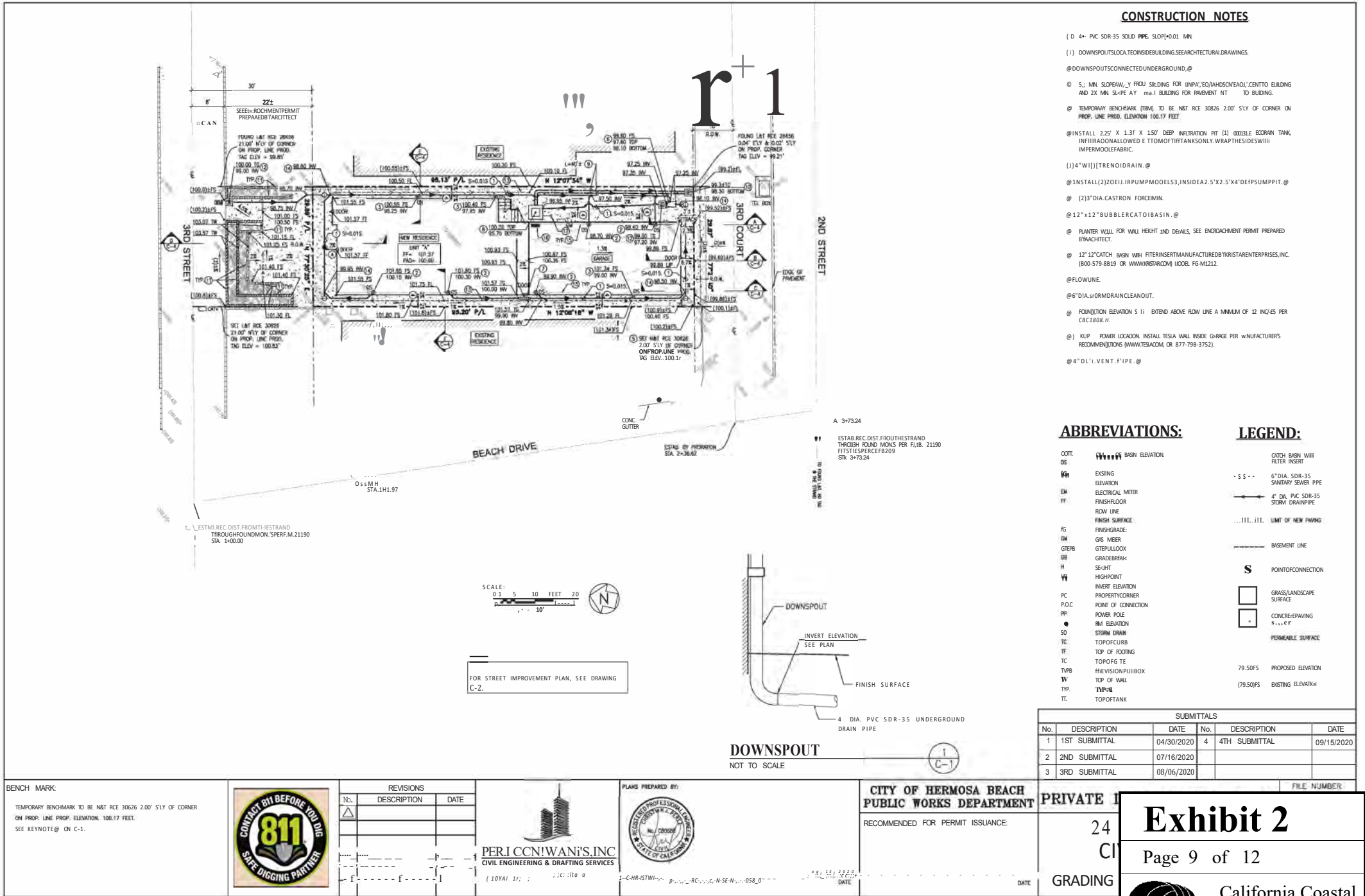
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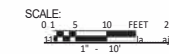
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CONSTRUCTION NOTES

- (1) DALL OVERHEAD UTILITIES IN 3RD COURT & 3RD STREET SHALL BE UNBROKEN. OVERHUNG FROM SEE FOR LIE. VARY FOR PERMIT FROM THE CITY. APPROVED. UTILITY Wires SHALL BE CLIPPED UP. CONTACT UTILITY COMPANY.
- (2) CONTRACTOR TO BUILD NEW 8" Ø PVC SDR35 SEWER MAIN PER CITY'S DESIGN PREPARED BY S.O.F.A.S.
- (3) EXISTING SEWER LATERALS SHALL BE OPENED AT LATERAL CONNECTION IN 3RD COURT. PROPERTIES ARE STILL BEING SERVED BY THE LATERAL AT THE MILE OF CONSTRUCTION. FALL PROPERTIES SERVED BY THE LATERAL W/ 18" BORN CONNECTED TO NEW LATERAL. CAP EXISTING LATERAL AT LATERAL. CAP PERMIT FROM PUBLIC WORKS FOR THESE WEREN. CO. RTD 1010, ENR 1010, CLC LOCATION.
- (4) NOT A SHARED AREA IS PERMITTED WITHIN THE 2' FOR OPEN VAY APPROACH. COORDINATE WITH WATER TO RELOCATE, IF REQUIRED.
- (5) PROTECT SURVEY MONUMENT PER NOTE 100 FT. EGENEAL CONSTRUCTION NOTES. RELOCATE IF REQUIRED.
- (6) TRENCH SEPARATION REQUIREMENTS SHALL BE IN ACCORDANCE WITH FORMA. DEPARTMENT OF HEALTH SERVICES. CONCRETE FOR THE SEPARATION OF WATER MAINS AND NONPOTABLE PIPELINES. TRENCHING SHALL BE PER CITY OF HERMOSA BEACH STANDARD PLAN No. 117.
- (7) BACKFLOW PREVENTION VALVE.
- (8) 5" CLEANOUT.
- (9) ELECTRICITY LOCATION.
- (10) CONSTRUCT 2" WIDE GUTTER PER CITY STANDARD REFERENCE PLAN No. 102. FROM P/L TO P/L OR THE NEXT CONSTRUCTION JOINT. WHICHEVER IS GREATER. JOINT WITH EXISTING CONCRETE SAME UP STREET (2.5' WIDE APPROX). UTILITY UNLESS OTHERWISE IDENTIFIED ON CURBFACE. FONT 2" HEIGHT. AND 2" DEPTH.
- (11) SAW CUT (E) PAVING.
- (12) INSTALL UNDERGROUND UTILITIES. 10" W/ 10' TYPICAL. DIVERSE EXACT LOCATION. 1. NO DEPTH OF EXISTING MAIN UTILITY LINES. CONTACT GALT. COORDINATE WITH THE UTILITY COMPANY A PUBLIC WORKS PRIOR TO INSTALLATION. REPAIRING TO EXISTING. PER CITY STANDARD PLAN No. 117. IF INSTALLATION IS IN A MONITORING STREET. PUBLIC WORKS WILL DETERMINE THE EXISTENT OF THE AREA TO BE REPAIRED. SEE GENERAL CONSTRUCTION NOTES ON C-1.
- (13) PROTECT IN PLACE EXISTING UTILITY.
- (14) HEIGHT 2' DETAILS. SEE EXISTING PERMIT.
- (15) JOINT. LATCH EXISTING GRADE.
- (16) 24" WIDE CFW. DEPTH 18". PATCH BICK.
- (17) REPAIR TRENCH FIRE. NE. TO UAT. EXISTING.
- (18) REMOVE AND REPLACE PCC PAVEMENT PER HERMOSA BEACH STANDARD PLAN No. 115. SAND CRUSHED AS BASE. GATE PER CITY STANDARD PLAN No. 111. PL. TO PL. OR THE NEXT CONSTRUCTION JOINT, WHICHEVER IS GREATER.
- (19) GRIND AND CONSTRUCT 2" 1. OVERLAY. USE 5/8" FINE. REMOVE AND REPLACE DETERIORATED X. PAVEMENT. REPLACEMENT SHALL BE PER CITY STANDARD PLAN No. 117. PL. TO PL. OR THE NEXT CONSTRUCTION JOINT, WHICHEVER IS GREATER.
- (20) CONTRACTOR SHALL MAINTAIN B.M.P. TIE PUBLIC O.W. SW. LINT BE USED IN SHAW. E. AREA AND AREA SURROUNDING SITE SHALL BE CLEAR OF DEBRIS. SEE DRAWING C-5 FOR BROCK CONTROL PLAN.
- (21) CONTRACTOR TO BOLL. DNEV. MANHOLE. PER CITY'S DESIGN PREPARED BY S.O.F.A.S.
- (22) CONSTRUCT NEW 8" Ø PVC SEWER LATERAL PER W.A. STD. PLAN No. 222-1. CONNECTION TO MAIN LINES. W. L. INCORPORATE TRENCH LATERAL TO PANE W. SACKS SHALL NOT BE ALLOWED. SEWER MAIN LATERAL SHALL BE CONSTRUCTED PRIOR TO THE CONSTRUCTION OF THE FIRST FLOOR.

NOTE:
FOR GRADING & DRAINAGE PLAN, SEE DRAWING C-1.



SUBMITTALS					
No.	DESCRIPTION	DATE	No.	DESCRIPTION	DATE
1	1ST SUBMITTAL	04/30/2020	4	4TH SUBMITTAL	09/15/2020
2	2ND SUBMITTAL	07/16/2020			
3	3RD SUBMITTAL	08/06/2020			

FILE NUMBER

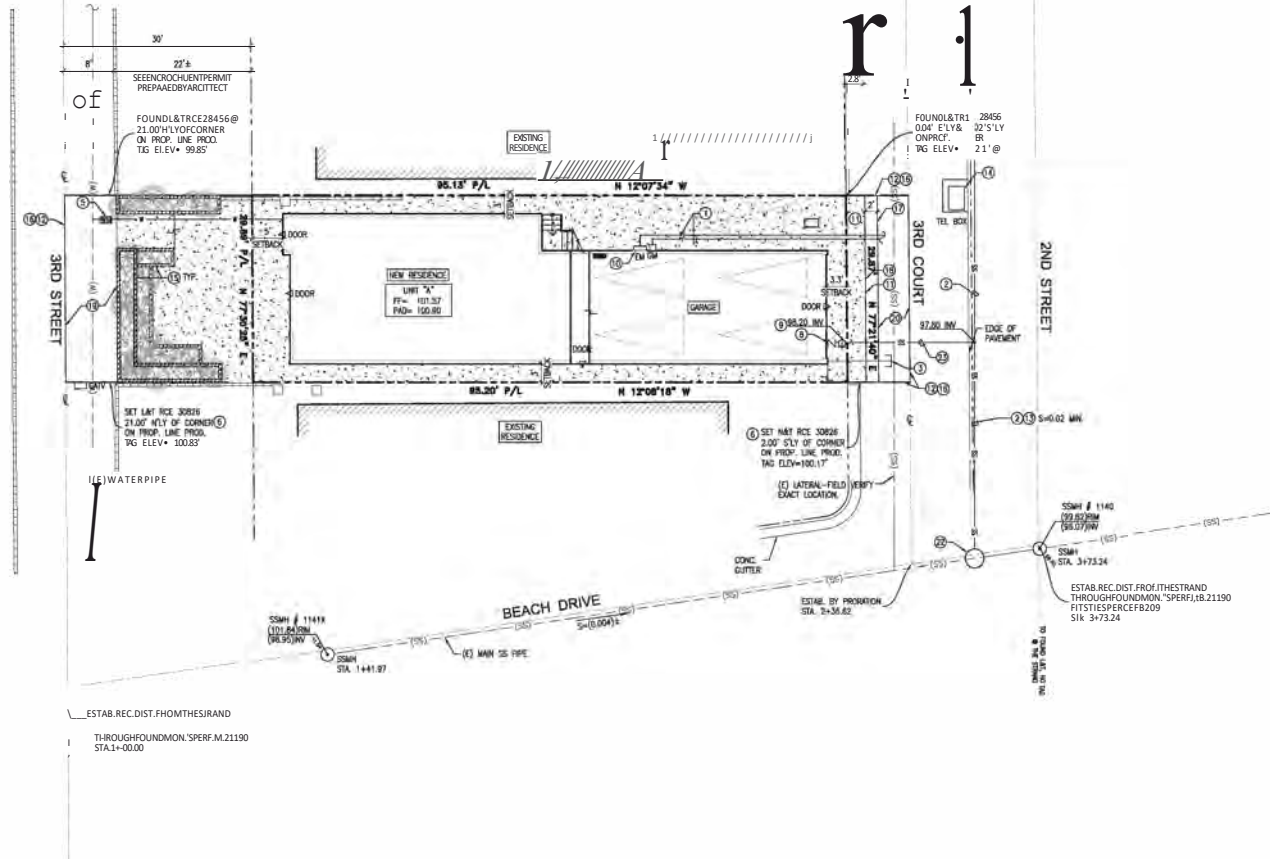
PRIVATE	24	CITY
PUBLIC		

Exhibit 2

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BENCH MARK:

TEMPORARY BENCHMARK TO BE N8T RCE 30826 2.00' SLY OF CORNER ON PROP. LINE PROP. ELEVATION 100.17 FEET. SEE KEYNOTE @ ON C-1.



REVISIONS		
No.	DESCRIPTION	DATE
1		
2		
3		
4		
5		

PfRCCN!WM'IS.INC
CIVIL ENGINEERING & DRAFTING SERVICES
1976 W 234th Street, Torrance, CA 90501
Ph: (310) 270-1811 email: perconsult@pfwmis.com



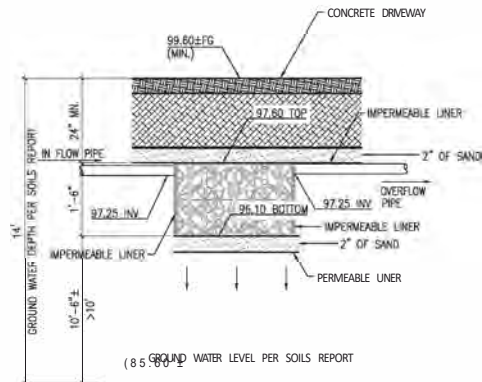
CITY OF HERMOSA BEACH
PUBLIC WORKS DEPARTMENT

RECOMMENDED FOR PERMIT ISSUANCE:

09/15/2020

DATE

DATE



PLACE COMPACTED SAND, 6" WIDE AT SIDES, 2" THICK AT TOP AND BOTTOM OF TANKS

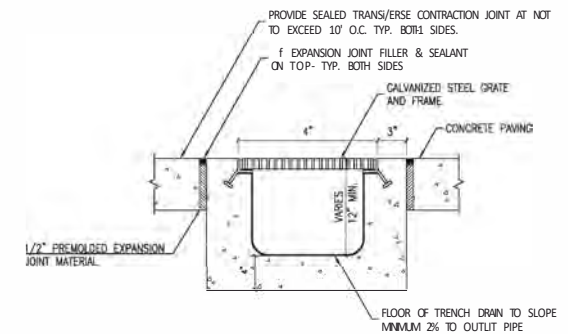
SEE PLAN FOR DIMENSIONS.

INSTALLATION REQUIREMENTS:

1. EXCAVATE TRENCH LARGER THAN SPECIFIED TANK SIZE.
2. COMPACT BASE TO 35 PSI.
3. ADD SAND TO BASE, COMPACT AND LEVEL WITH A STRAIGHT EDGE.
4. LAY GEOTEXTILE MATERIAL IN BOTTOM AND ON SIDES OF TRENCH, ENOUGH TO FULLY WRAP TANK, WITH 12" SEAM OVERLAPS.
5. INSTALL TANKS UPRIGHT FOR MAXIMUM STRENGTH.
6. COVER Ecorain TANKS WITH GEOTEXTILE MATERIAL-WRAP TIGHT, CUT AWAY EXCESS FOLDS, OVERLAP AND/OR SEAL JOINTS WITH TAPE.
7. BACKFILL SIDES WITH SANDY FILL IN MINIMUM 12" LAYER-COMPACTING EACH LAYER AT LEAST 95%.
8. INFILTRATION OCCURS AT THE BOTTOM OF THE PIT ONLY, THE WALLS SHALL BE WRAPPED WITH FABRIC.

NOTE:

CONTACT STORMWATER SOLUTIONS REGARDING INSTALLATION.

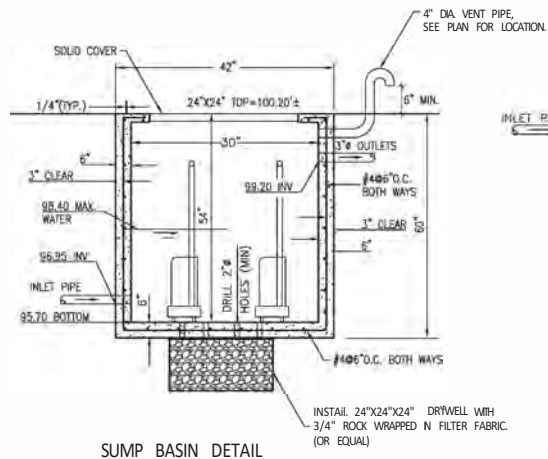


TRENCH DRAIN

NOT TO SCALE

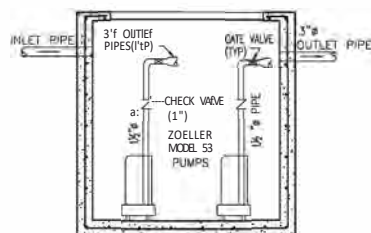
ECORAIN TANKS

NOT TO SCALE



SUMP PUMP

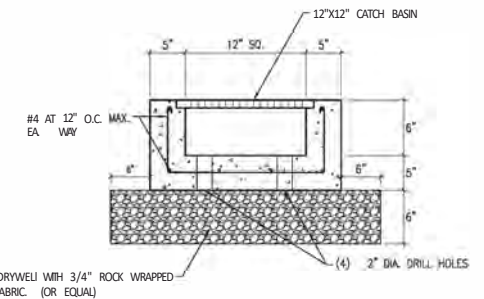
NOT TO SCALE



NOTE:

AN ALARM SYSTEM & MECHANICAL OR ELECTRICAL ALTERNATORS SHALL BE CONSIDERED FOR THE PUMP SYSTEM.

PUMP INSTALL DETAIL



BUBBLER CATCH BASIN

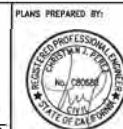
NOT TO SCALE

BENCH MARK:

TEMPORARY BENCHMARK TO BE INSTALLED 30826 2.00' SLY OF CORNER ON PROP. LINE PROP. ELEVATION, 100.17 FEET. SEE KEYNOTE@ ON C-1.



REVISIONS		
No.	DESCRIPTION	DATE
1		



PLANS PREPARED BY: 09/15/2020 DATE

CITY OF HERMOSA BEACH PUBLIC WORKS DEPARTMENT

RECOMMENDED FOR PERMIT ISSUANCE:

SUBMITTALS					
No.	DESCRIPTION	DATE	No.	DESCRIPTION	DATE
1	1ST SUBMITTAL	04/30/2020	4	4TH SUBMITTAL	09/15/2020
2	2ND SUBMITTAL	07/16/2020			
3	3RD SUBMITTAL	08/06/2020			

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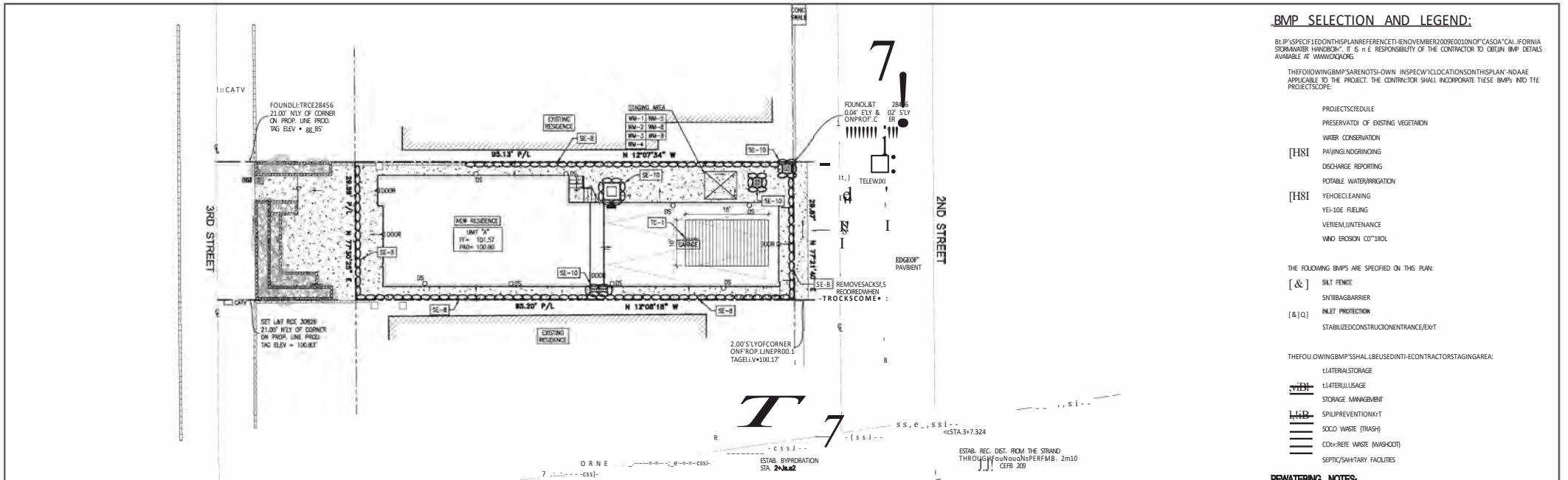
24
C1

Exhibit 2

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BMP SELECTION AND LEGEND:

BLP/SPECIFIED ON THIS PLAN REFERENCE TO THE NUMBER 200903010N0P/CASO/CALIFORNIA STORMWATER HANDBOOK. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN BMP DETAILS AVAILABLE AT WWW.CA2CAG.

THE FOLLOWING BMP'S ARE NOT SITE-OWN INSPECTION LOCATIONS ON THIS PLAN. NDAE APPLICABLE TO THE PROJECT. THE CONTRACTOR SHALL INCORPORATE THESE BMP'S INTO THE PROJECT SCOPE.

- PROJECTSCHEDULE
- PRESERVATION OF EXISTING VEGETATION
- WATER CONSERVATION
- [H&I] PAVING/NOGRINDING
- DISCHARGE REPORTING
- [H&I] POTABLE WATER/IRRIGATION
- VEHICLE CLEANING
- VEHICLE FUELING
- VEHICLE MAINTENANCE
- WAD EROSION CONTROL

THE FOLLOWING BMP'S ARE SPECIFIED ON THIS PLAN:

- [&] SILT FENCE
- [&] SAND BAG BARRIER
- [&] INLET PROTECTION
- STABILIZED CONSTRUCTION ENTRANCE/EXIT

THE FOLLOWING BMP'S SHALL BE USED BY THE CONTRACTOR AT STAGING AREA:

- LATERAL STORAGE
- LATERAL USAGE
- STORAGE MANAGEMENT
- SPILL PREVENTION KIT
- SOLID WASTE (TRASH)
- CONCRETE WASTE (WASHOUT)
- SEPTIC/SANITARY FACILITIES

PERMITS AND NOTES:

- UTILIZE APPROPRIATE Dewatering SYSTEMS AND TECHNIQUES TO MAINTAIN THE EXCAVATED AREA SUFFICIENTLY DRY FROM GROUNDWATER AND/OR SURFACE RUNOFF SO AS NOT TO ADVERSELY AFFECT CONSTRUCTION PROCEDURES OR CAUSE EXCESSIVE DISTURBANCE OF UNDERLYING NATURAL GROUND.
- PROVIDE AND STORE AUXILIARY Dewatering EQUIPMENT ON THE SITE IN THE EVENT OF BREAKDOWN. PROVIDE NONWOVEN FILTER FABRIC WHERE REQUIRED FOR UNDERDRAIN SYSTEMS. THE NONWOVEN FILTER FABRIC SHALL BE SPECIALLY DESIGNED FOR SUBSURFACE DRAINAGE APPLICATIONS.
- WATER FROM THE TRENCHES AND EXCAVATIONS SHALL BE DISPOSED OF IN SUCH A MANNER AS TO AVOID PUBLIC NUISANCE, INJURY TO PUBLIC HEALTH OR THE ENVIRONMENT, DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR DAMAGE TO THE WORK COMPLETED OR IN PROGRESS. DO NOT DISCHARGE WATER INTO THE SANITARY SEWER SYSTEM. SITUATION BARRIERS SHALL BE UTILIZED WHERE NECESSARY.
- WATER FROM TRENCHES AND EXCAVATIONS SHALL BE DISCHARGED DIRECTLY TO STORM DRAIN SYSTEMS. PROPER TREATMENT TO A SEDIMENTATION AREA IS NOT TO BE PLACED PRIOR TO DISCHARGE TO THE DRAINAGE SYSTEMS.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGE TO THE EXISTING UTILITY LINES OR OTHER EXISTING OPERATIONS OR FROM FAILURE TO MAINTAIN THE AREAS OF WORK IN A SAFE AND WORKMANLIKE MANNER.
- PRECAUTIONS SHALL BE TAKEN TO PROTECT NEW WORK FROM FLOODING DURING STORMS OR FROM OTHER CAUSES. GRADING IN THE AREAS SURROUNDING THE EXCAVATIONS SHALL BE PROPERLY SLOPED TO PREVENT WATER FROM RUNNING INTO THE EXCAVATIONS. BARRIERS AND PROTECTIVE MEASURES SHALL BE REQUIRED TO PREVENT DITCHES SHALL BE PROVIDED FOR DRAINAGE. UPON COMPLETION OF THE WORK, THE WORK DIRECTED, THE AREAS SHALL BE RESTORED IN A SATISFACTORY MANNER AND IS DIRECTED.
- THE CONTRACTOR SHALL NOT ALLOW ANY MATERIALS TO BE PLACED ON THE EXCAVATION OR TO COMPLETION OF THE EXCAVATION. THE CONTRACTOR SHALL PROTECT THE EXCAVATION FROM THE EXCAVATION.
- DO NOT EXCAVATE UNTIL THE Dewatering SYSTEM IS OPERATIONAL. THE EXCAVATION SHALL BE PROTECTED FROM THE EXCAVATION.
- UNLESS OTHERWISE SPECIFIED, CONTINUE Dewatering UNINTERRUPTED UNTIL THE STRUCTURES, PIPES, AND APPURTENANCES TO BE BUILT HAVE BEEN PROPERLY INSTALLED. WHERE SUBGRADE MATERIALS ARE UNABLE TO MEET THE SUBGRADE DENSITY REQUIREMENTS (ILL) TO IMPROVE Dewatering TECHNIQUES, REMOVE AND REPLACE THE MATERIALS AS DIRECTED BY THE INSPECTOR.

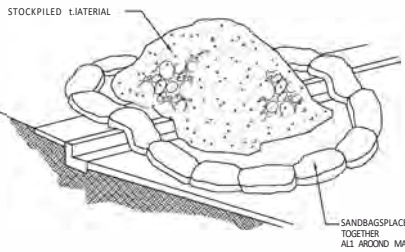
OCEAN LAKE AND BAY POLLUTION PREVENTION

IT IS THE POLICY OF THE CITY OF HERMOSA BEACH TO PREVENT POLLUTION OF THE OCEAN AND BAY. THE FOLLOWING BEST MANAGEMENT PRACTICES (BMP'S) SHALL BE USED TO PREVENT POLLUTION OF THE OCEAN AND BAY.

- GENERAL BUSINESS PRACTICES
 - KEEP MATERIALS OUT OF THE RAIN. STORE THEM UNDER COVER, WITH TEMPORARY ROOFS OR PLASTIC SHEETS, PROTECTED FROM RAIN, J.L. RUNOFF AND DIRT.
 - SCHEDULE EXCAVATION AND GRADING WORK FOR DRY WEATHER.
 - DEVELOP AND IMPLEMENT EROSION AND SEDIMENT CONTROL PLANS FOR EMBANKMENTS.
- EQUIPMENT MAINTENANCE
 - MAINTAIN ALL VEHICLES AND HEAVY EQUIPMENT. INSPECT FREQUENTLY FOR LEAKS.
 - CONDUCT ALL VEHICLE/EQUIPMENT MAINTENANCE AND REFUELING AT ONE LOCATION - AWAY FROM STORM DRAINS.
 - PERFORM MAJOR EQUIPMENT/VEHICLE REPAIRS AND WASHING WHERE IT IS PERMITTED.
 - DO NOT USE DIESEL OIL TO LUBRICATE OR CLEAN EQUIPMENT OR PARTS.
- ASPHALT AND CONCRETE REMOVAL
 - AFTER BREAKING UP PAVING, BE SURE TO REMOVE ALL CHUNKS AND PIECES. RECYCLE THEM AT A CRUSHING COMPANY. USE THE REFERRAL NUMBERS LISTED BELOW.
 - DISPOSE OF SMALL AMOUNTS OF DRY CONCRETE IN THE TRASH.
 - MAKE SURE BROKEN PAVEMENT DOES NOT COME IN CONTACT WITH RAINFALL OR RUNOFF.
 - SHOVEL OR VACUUM SAW-CUT SLURRY AND REMOVE FROM THE SITE. FOR DISPOSAL INFORMATION CONTACT THE L.A. COUNTY DEPARTMENT OF PUBLIC WORKS AT 800-552-2118.
 - COVER OR BARRICADE STORM DRAIN OPENINGS DURING SAW-CUTTING.
- ASPHALT AND CONCRETE DISPOSAL OPTIONS
 - USE A CRUSHING COMPANY LIKE T-KASE LISTED Below TO RECYCLE CEMENT, ASPHALT AND PORCELAIN RATHER THAN TAKING THEM TO A LANDFILL.
 - BLUE DIAMOND, SOLI GATE, 800-100-6120
 - COPP CRUSHING, ANAHEIM, TEMECULA, CHINO AND SANTA FE SPRINGS, 910-802-2141
 - RI MOBILE, SANTA ANA, 714-637-1550
- ROUTING CONSTRUCTION
 - COVER CATCH BASINS AND MAINTENANCE HOLES WHEN APPLYING SEAL COAT, SLURRY SEAL, FOG SEAL, ETC.
 - USE CHECK TRENCHES, DITCHES OR BERM TO DIVERT RUNOFF AROUND EXCAVATIONS.
 - NEVER WASH MATERIALS FROM EXPOSED AGGREGATE CONCRETE, ASPHALT, OR SIMILAR TREATMENTS INTO A STREET.
 - GUTTER OR STORM DRAIN. COLLECT AND RECYCLE, OR LEGALLY DISPOSE OF.
 - COLLECT AND RECYCLE EXCESS ABRASIVE: GRAVEL OR SAND.
 - AVOID OVERAPPLICATION BY WATER TRUCKS FOR DUST CONTROL.
- SPILLS
 - NEVER HOSE DOWN "DIRTY" PAVEMENT OR SURFACES. CLEAN UP ALL SPILLS AND LEAKS USING "DRY" METHODS (WITH ABSORBENT MATERIALS AND/OR RAGS), OR DIG UP AND REMOVE CONTAMINATED SOIL. FOR DISPOSAL INFORMATION, CALL (800) 852-5218.
 - CATCH DRIPS FROM PAVER WITH DRIP PANS OR ABSORBENT MATERIAL (CLOTH, RAGS, ETC.) PLACED UNDER MACHINE WHEN NOT IN USE.



SE-8 SANDBAG BARRIER
NOT TO SCALE



WM-3 STOCKPILE MANAGEMENT
NOT TO SCALE



SE-10 INLET PROTECTION
NOT TO SCALE

- MATERIAL STORAGE:**
- DIRT AND OTHER CONSTRUCTION RELATED MATERIALS PLACED IN THE STREET OR ON OTHER IMPERVIOUS SURFACES MUST BE COVERED WITH SANDBAGS OR OTHER MEASURES TO PREVENT TRANSPORT TO THE STORM DRAIN SYSTEM.
 - ANY CONSTRUCTION MATERIAL STORED OR STOCKPILED ON-SITE SHALL BE PROTECTED FROM BEING TRANSPORTED BY THE FORCE OF WIND OR WATER.

BENCH MARK:

TEMPORARY BENCHMARK TO BE N&T RCE 30826 2.00' SLY OF CORNER ON PROP. LINE PROP. ELEVATION 100.17 FEET.

SEE KEYNOTE @ ON C-1.

REVISIONS

No.	DESCRIPTION	DATE
1		
2		
3		
4		
5		
6		
7		
8		
9		
10		

PfRCCN!WM's, INC.

CIVIL ENGINEERING & DRAFTING SERVICES

1976 W 234th Street, Torrance, CA 90501

Ph: (310) 276-8811 email: pfrccon@torrville.com

PLANS PREPARED BY:

J. R. C.

CITY OF HERMOSA BEACH

PUBLIC WORKS DEPARTMENT

RECOMMENDED FOR PERMIT ISSUANCE:

09/15/2020

DATE

PRIVATE

24

CI

EROSION

FILE NUMBER

Projected Flooding with 5.7 ft. Sea Level Rise and 100-yr Storm Scenario



Projected Flooding with 6.6 ft. Sea Level Rise and No Storm Scenario



Exhibit 3

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California Coastal
Commission

Projected Flooding with 6.6 ft. Sea Level Rise and 100-yr Storm Scenario



Exhibit 3

Page 3 of 3



California Coastal
Commission

Commission Approvals of Housing Density Reduction Projects in Hermosa Beach Since 2014

Permit Number	Date Approved	Units Before Project	Units After Project	Net Unit Loss
5-13-1348-W	2/13/2014	2	1	-1
5-13-1239-W	2/13/2014	2	1	-1
5-14-0006-W	3/12/2014	3	1	-2
5-14-0002-W	3/12/2014	2	1	-1
5-14-0528-W	4/11/2014	2	1	-1
5-14-1056-W	8/13/2014	2	1	-1
5-14-1687-W	11/18/2014	2	1	-1
5-15-0619-W	7/09/2015	2	1	-1
5-15-0612-W	8/12/2015	2	1	-1
5-15-0552-W	8/12/2015	3	2	-1
5-15-0968-W	9/15/2015	2	1	-1
5-15-1234-W	10/09/2015	2	1	-1
5-15-1969-W	2/11/2016	2	1	-1
5-15-1799	4/14/2016	2	1	-1
5-16-0153	7/14/2016	2	1	-1
5-16-0628-W	9/08/2016	2	1	-1
5-17-0016-W	2/08/2017	1	0	-1
5-17-0030-W	2/08/2017	2	1	-1
5-17-0040-W	5/12/2017	2	1	-1
5-17-0100-W	5/12/2017	5	1	-4
5-17-0285-W	6/07/2017	3	1	-2
5-17-0691-W	10/12/2017	2	1	-1
5-17-0822-W	10/27/2017	2	1	-1
5-17-0823-W	11/09/2017	2	1	-1
5-17-0802-W	11/09/2017	2	1	-1
5-17-0792	3/08/2018	2	1	-1
5-17-1005	7/11/2018	2	1	-1
5-18-0651	11/07/2018	3	1	-2
5-18-0827	2/07/2019	2	1	-1
5-18-0949	3/06/2019	2	1	-1
5-19-0137	9/12/2019	2	1	-1
5-19-0195	10/17/2019	2	1	-1
5-19-1209	11/13/2019	3	2	-1
5-19-0955	6/12/2020	2	1	-1
5-19-1244	9/10/2020	2	1	-1
5-20-0142	9/10/2020	2	1	-1
5-20-0223	9/10/2020	2	1	-1
5-19-1215	10/08/2020	3	2	-1
5-19-1220	10/08/2020	2	1	-1
5-20-0530	12/10/2020	2	1	-1
5-20-0595	2/11/2021	2	1	-1
5-20-0503	3/11/2021	2	1	-1

Exhibit 4

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