

CALIFORNIA COASTAL COMMISSION

NORTH CENTRAL COAST DISTRICT
455 Market STREET, SUITE 3000
SAN FRANCISCO, CA 94105-2219
PHONE: (415) 904-5200
FAX: (415) 904-5400
WEB: WWW.COASTAL.CA.GOV



F15a

2-20-0319 (Mirada Bridge)

May 14, 2021

EXHIBITS

Table of Contents

EXHIBITS

Exhibit 1: Project Location

Exhibit 2: Project Area Photos

Exhibit 3: Proposed Project Plans

Exhibit 4: Proposed Public Access Improvement Areas

Exhibit 5: Armoring Alternatives

Exhibit 6: Land Valuation Calculations

Exhibit 1 – Project Location



Figure 1. Project Vicinity Map

Exhibit 2 – Project Area Photos



Figure 1. Existing site conditions (top) and project simulation (bottom) of proposed project facing east upstream.



Figure 2. Existing site conditions (top) and project simulation (bottom) of proposed project facing west downstream to the ocean.



Figure 3. Cement arch bridge supporting current pedestrian bridge.



Figure 4. Northern bluff area to be armored.



Figure 5. Southern bluff area to be armored.

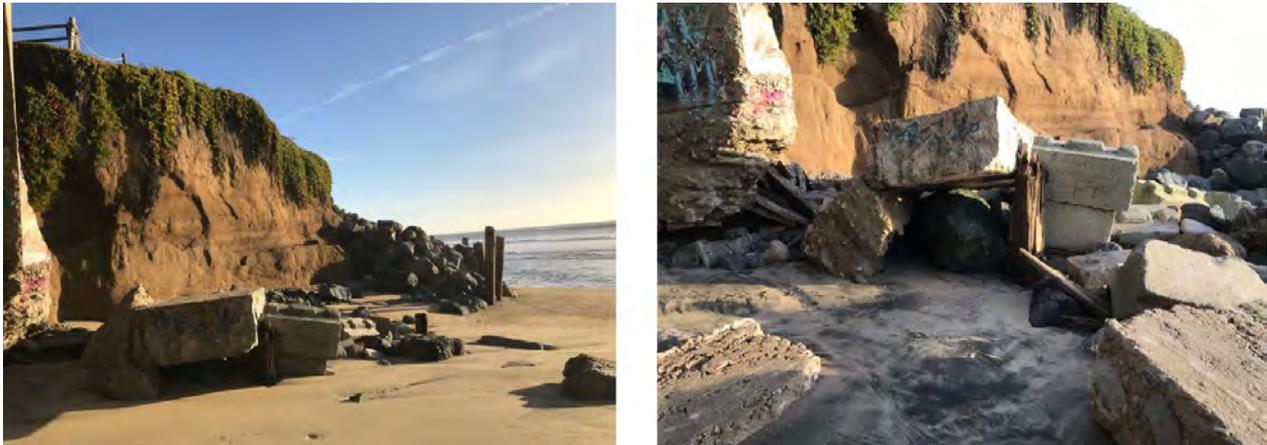


Figure 6. Large pieces of concrete debris littered on beach in project area.



Figure 7. Existing infrastructure (sewer main and PG&E electrical conduit) located on pedestrian bridge and cement arch bridge.



Figure 8. California Coastal Trail temporary reroute near Highway 1.

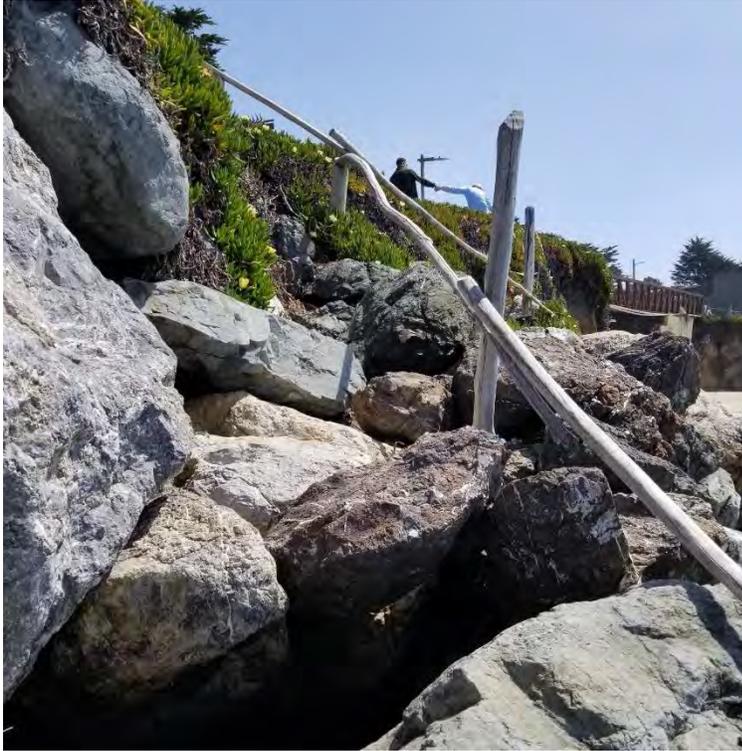


Figure 9. Informal access trail on the northern end of the pedestrian bridge on Mirada Road leading down to the beach.



Figure 10. Informal access trail directly adjacent to southern portion of the bridge on the creek side.



Figure 11. Upstream view from project area showing riparian habitat (willow stand) about 100-120 feet from project site.

Exhibit 3 – Proposed Project Plans

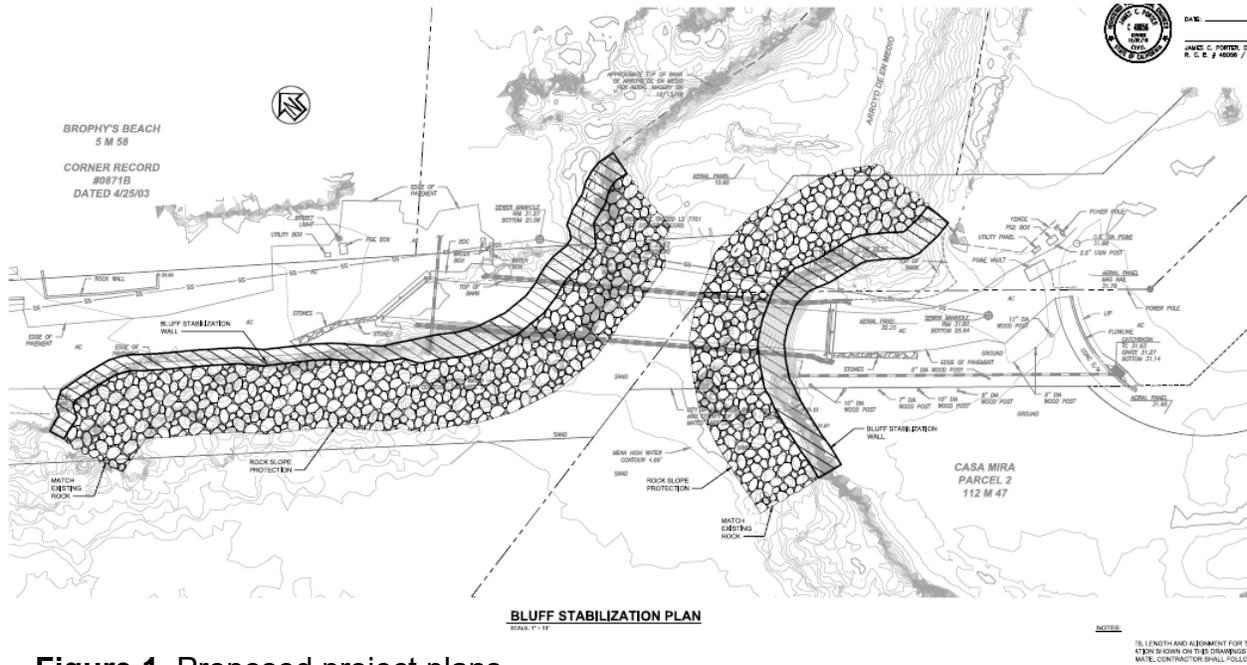


Figure 1. Proposed project plans.



Figure 2. Proposed project plans depicting construction areas (in red and blue).

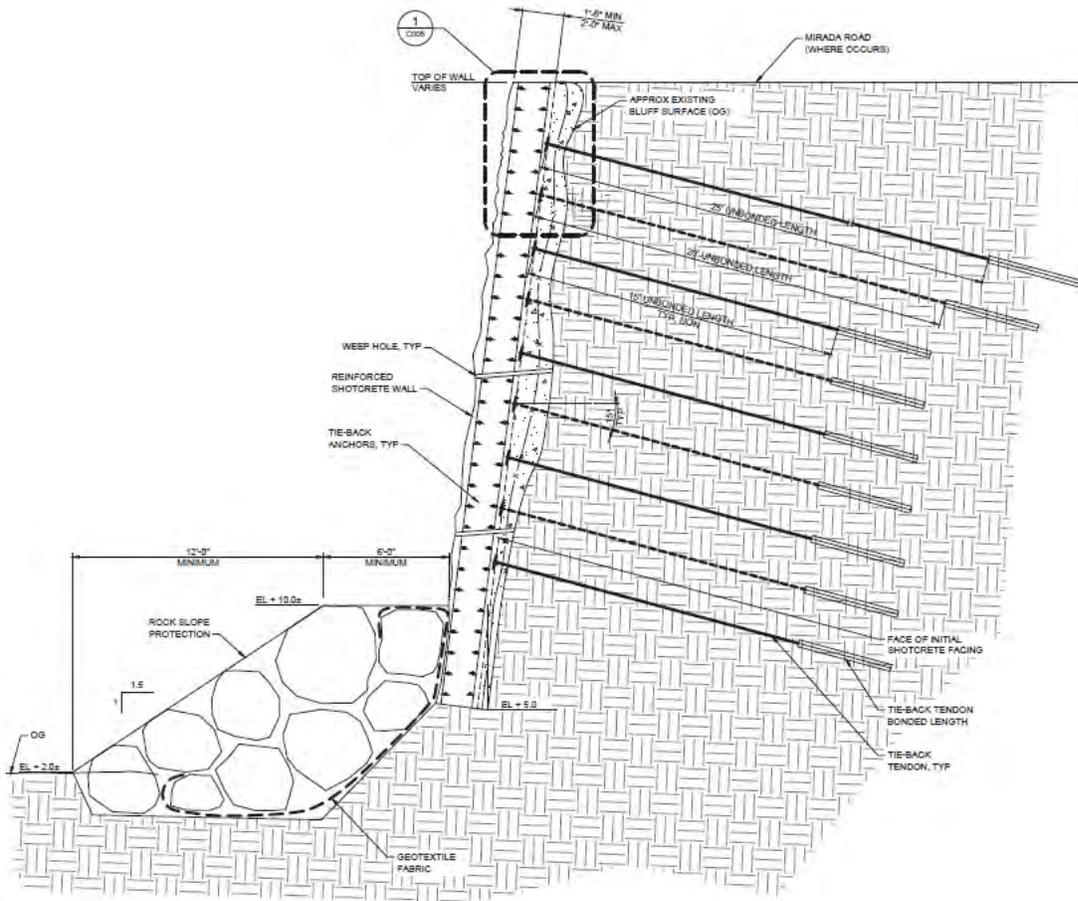


Figure 3. Cross section of proposed project work.

Exhibit 4 – Proposed Public Access Improvement Area

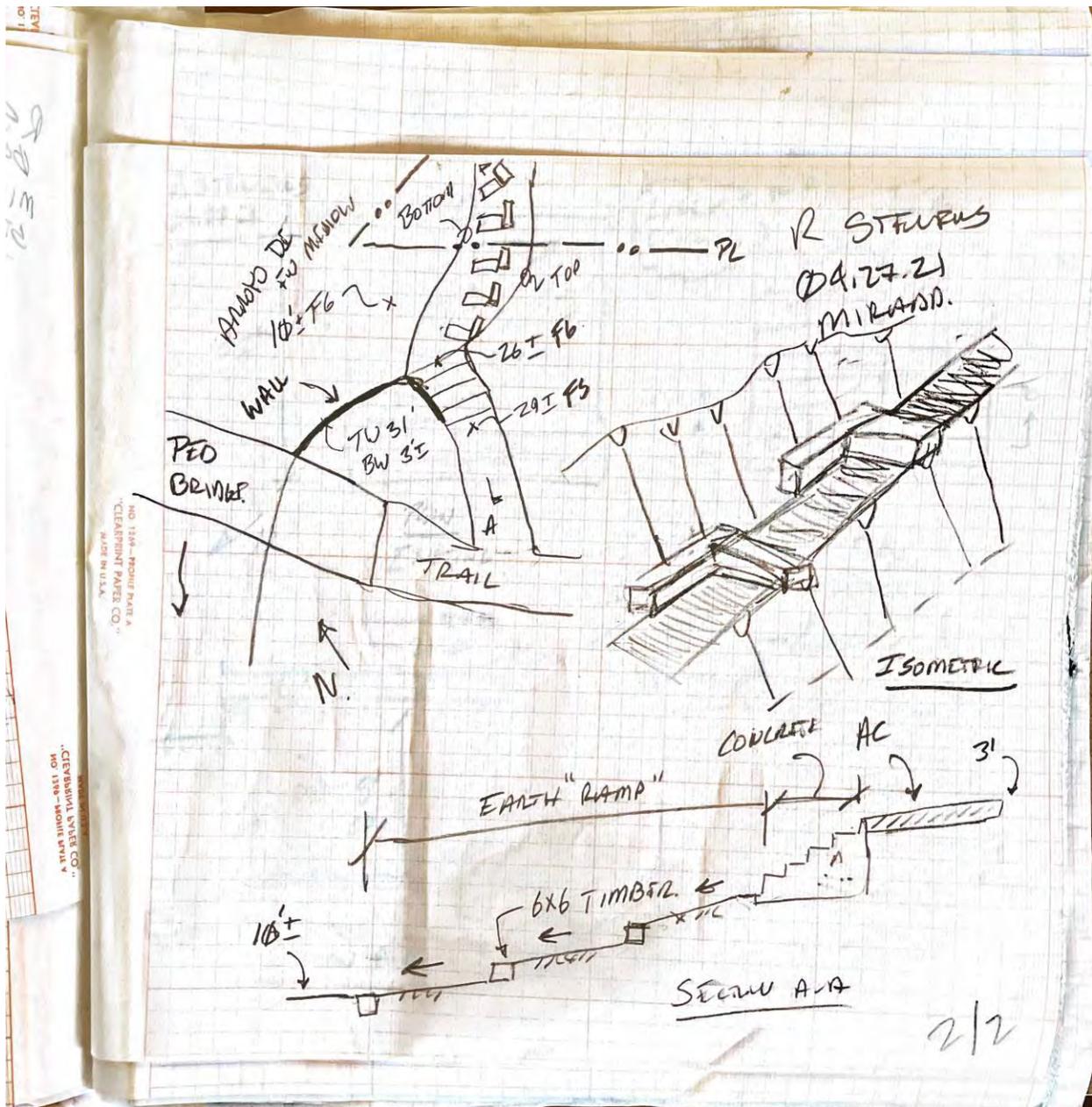


Figure 1. Proposed public access ramp to be located on the southern abutment just inland of the new pedestrian bridge and armoring.



Figure 2. Proposed public access improvement areas. The public access ramp area is outlined in blue and the additional public access improvements (benches/picnic tables) area is in outlined in red.

Exhibit 5 – Project Alternatives

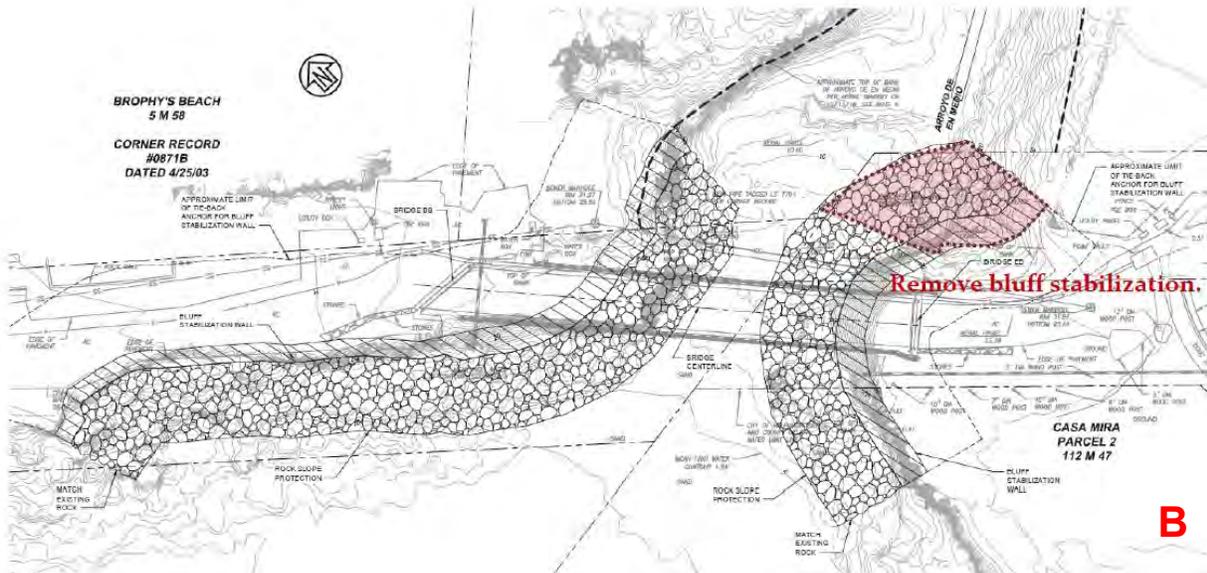
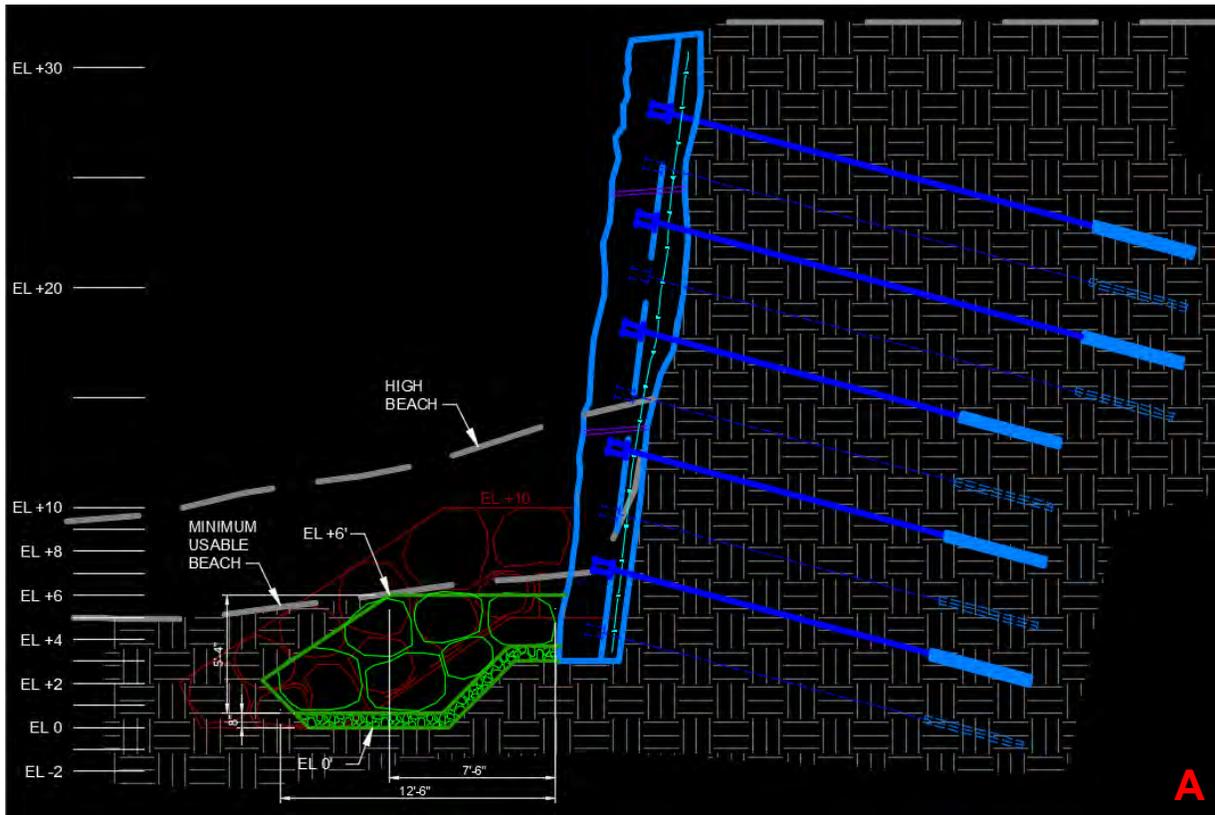


Figure 1. CCC Staff Recommended Alternative - Soil Nail Wall with reduced rock slope protection shown in green in diagram A and reduced southern abutment protection shown in red in diagram B.



Figure 2. Lengthened Bridge option.



Figure 3. Alternative Arroyo de en Medio crossing location option 1 – Medio Avenue to Mirada Road Class III pathway.

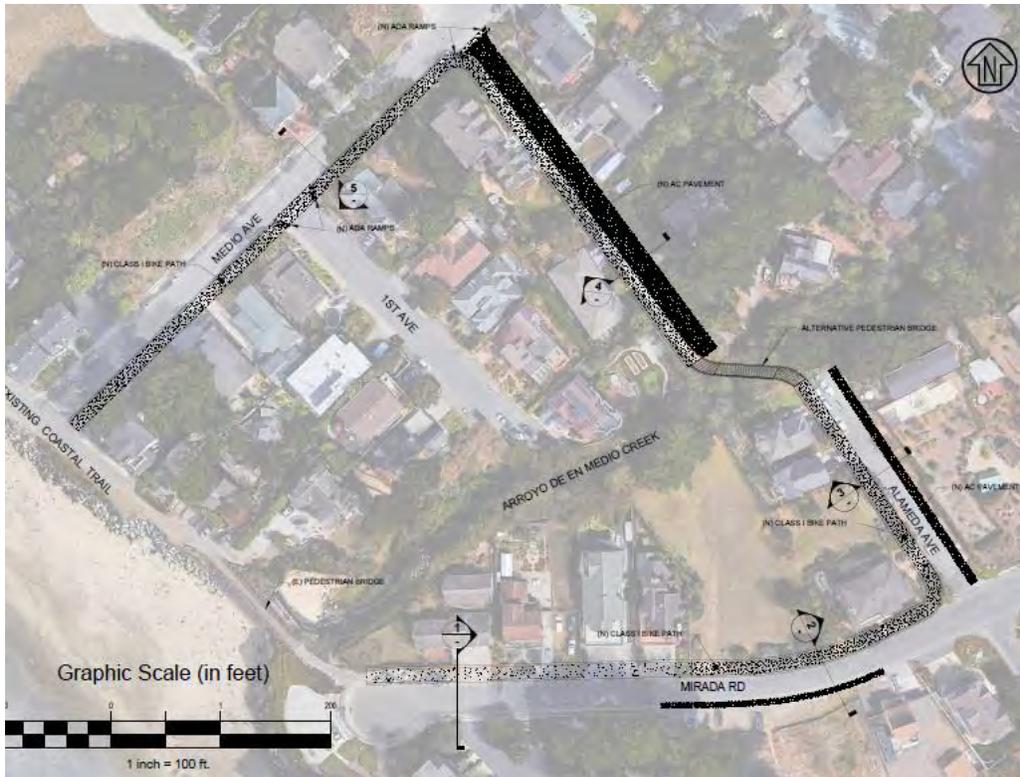


Figure 4. Alternative Arroyo de en Medio crossing location option 2 – Medio Avenue to Mirada Road Class I pathway.



Figure 5. Seasonal access alternative with staircases on northern and southern bluff walls leading into Arroyo de en Medio.



Figure 6. Deep Soil Mixed Wall alternative.

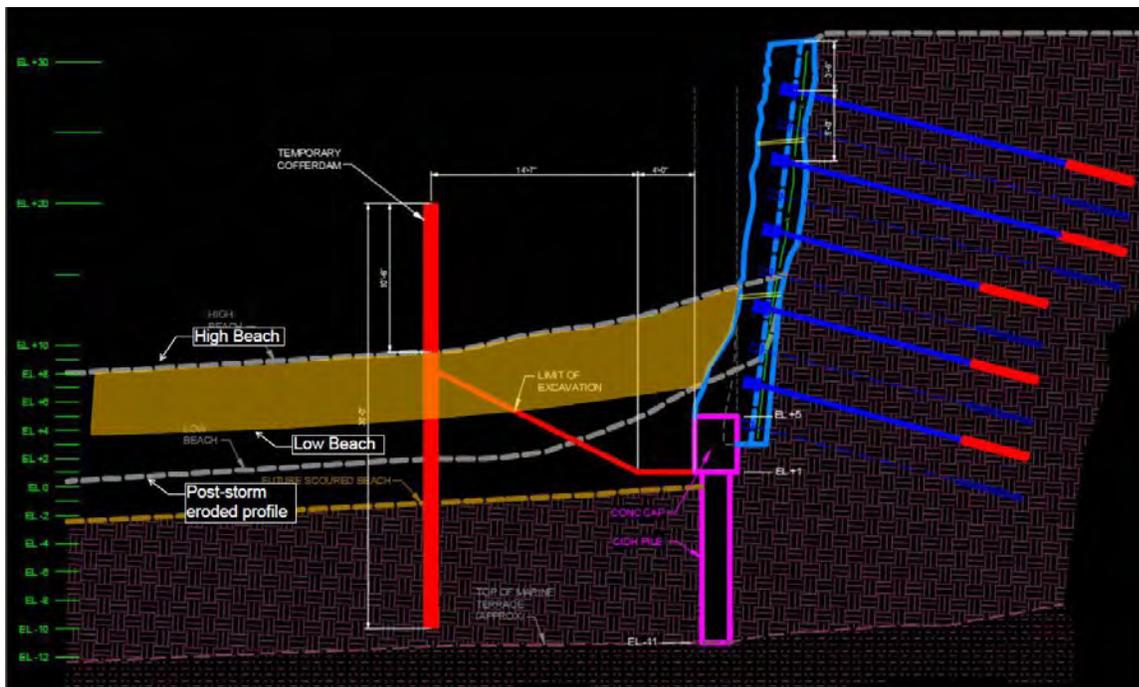


Figure 7. Shotcrete with cast-in-drilled-hole (CIDH) scour wall.

Exhibit 6 – Land Valuation Calculations

Mirada Road Bridge Land Valuation					
Address	Lot Size (sq. ft.)	Price	Date Sold	Price per sq. ft.	
420 1st Ave	5,601	\$2,226,000	4/15/2021	\$397.43	
2 Alameda Ave	6,316	\$1,900,000	8/3/2018	\$300.82	
180 Medio Ave	10,402	\$1,830,000	8/4/2020	\$175.93	
465 Alameda Ave	9,016	\$979,000	10/16/2019	\$108.58	
355 Alameda Ave	5,449	\$1,300,000	6/28/2019	\$238.58	
355 1st Ave	5,797	\$1,800,000	12/18/2018	\$310.51	
355 Miramar Dr	9,600	\$1,475,000	7/27/2020	\$153.65	
215 Mirada Road	6,185	\$2,500,000	11/15/2018	\$404.20	
301 Alameda Ave	11,761	\$1,800,000	11/12/2019	\$153.05	
420 3rd Ave	5,000	\$1,000,000	11/19/2020	\$200.00	
280 Medio Ave	4,965	\$1,150,000	5/14/2018	\$231.62	
Average Cost/Square Foot				\$243.12	