

## **CALIFORNIA COASTAL COMMISSION**

South Coast District Office  
301 E Ocean Blvd., Suite 300  
Long Beach, CA 90802-4302  
(562) 590-5071



# **Th14d**

**5-20-0248 (City of Santa Monica)**

**MAY 13, 2021**

### **EXHIBITS**

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**Project Location**



1318 4th St, Santa Monica, CA 90401







# Project Site

1318 4th St, Santa Monica, CA 90401

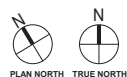
## Exhibit 1

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California Coastal Commission





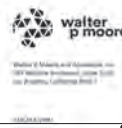
## SITE PLAN

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S0.2	GENERAL NOTES
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E1.3	ELECTRICAL LEVEL 3 DEMO PLAN
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P1.1	PLUMBING LEVEL 1 DEMO PLAN
P1.2	PLUMBING LEVEL 2 DEMO PLAN
P1.3	PLUMBING LEVEL 3 DEMO PLAN
P1.4	PLUMBING LEVEL 4 DEMO PLAN
P1.5	PLUMBING LEVEL 5 DEMO PLAN
<b><u>CIVIL</u></b>	
C0.1	SURVEY
C1.0	CIVIL SITE LAYOUT PLAN
C2.0	CIVIL SITE DEMOLITION AND PAVING PLAN
C3.0	CIVIL SITE GRADING AND DRAINAGE PLAN
C4.0	EROSION CONTROL PLAN
C5.0	DRAINAGE AREA MAP AND CALCULATIONS
C6.5	LID
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C7.2	CIVIL SITE DETAILS
<b><u>ARCHITECTURAL</u></b>	
A1.0	SITE FENCE PLAN AND DETAILS

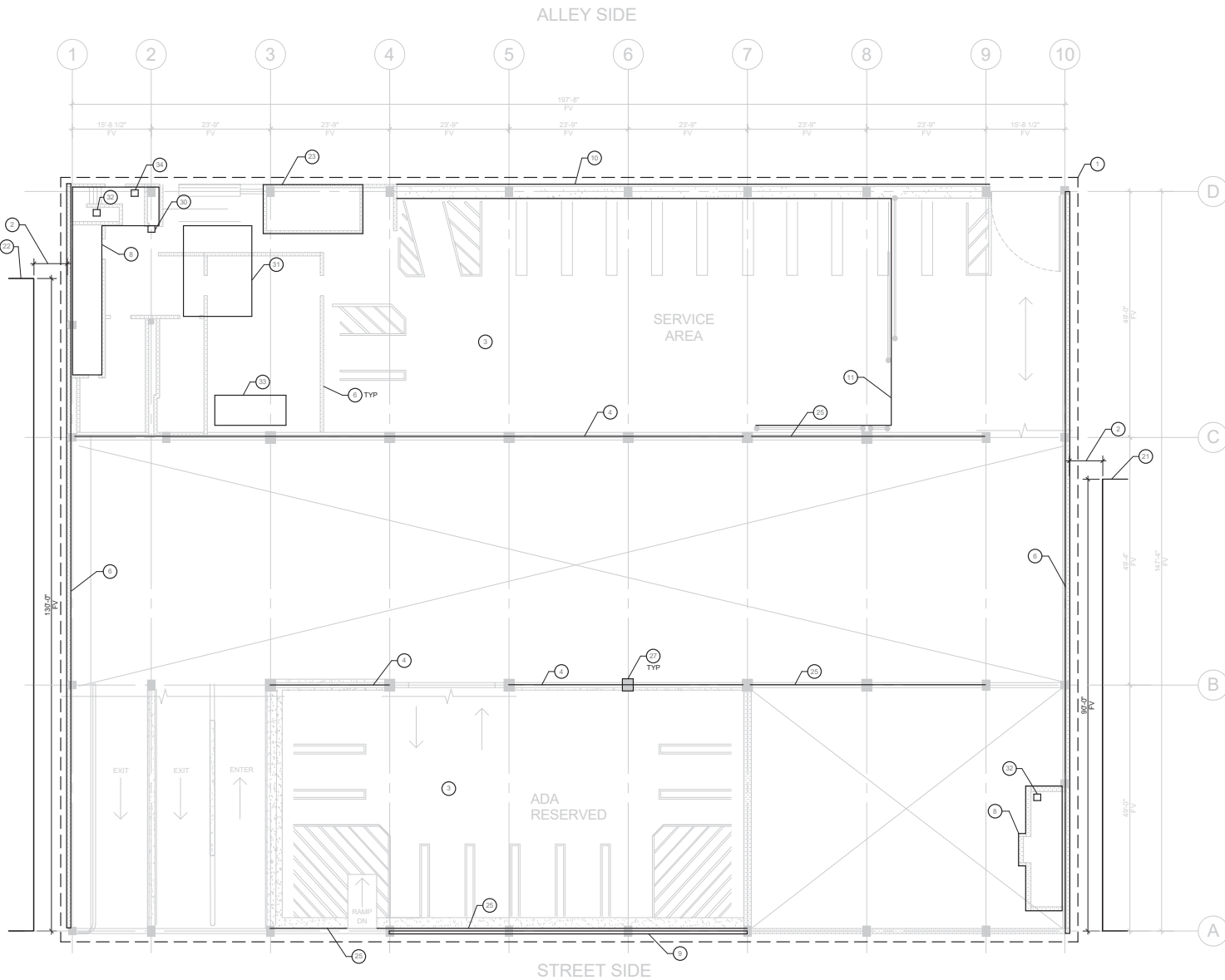
PROJECT DESCRIPTION:

DEMOLISH THE PARKING STRUCTURE, PAVE THE LOT  
AND INSTALL FENCING ALL AROUND THE LOT.

				Project Status	
NOL.	DATE	BY		DESCRIPTION	APPROVED



<b>REVIEWED BY :</b> _____ <b>DATE :</b> _____ Tom Shahbazi, P.E., Civil Engineer		<b>REFERENCE :</b> _____	
<b>REVIEWED BY :</b> _____ <b>DATE :</b> _____		<b>DATE :</b> _____	<b>COMPUTER FILE NAME :</b> _____
<b>REVIEWED BY :</b> _____ <b>DATE :</b> _____		<b>SUBMITTED BY :</b> _____ Curtis Castle, P.E., Principal Engineer	<b>SP-FILE NO. :</b> _____ 2610
<b>REVIEWED BY :</b> _____ <b>DATE :</b> _____		<b>APPROVED BY :</b> _____ Alex Mazorovich, P.E. City Engineer	<b>DATE :</b> _____



### KEY NOTES:

1. LIMITS OF DEMOLITION
2. 8 INCHES FIELD VERTIFY BETWEEN PARKING STRUCTURE TO BE DEMOLISHED AND EXISTING WELLS FARGO & WASTELAND BUILDINGS. CONTRACTOR SHALL DISPOSE MISCELLANEOUS ITEMS TO BE DEMOLISHED.
3. DEMOLISH 1 1/4 INCH NORMAL-WEIGHT CONCRETE SLAB-ON-GRADE.
4. DEMOLISH 12 INCH NORMAL-WEIGHT CONCRETE WALL.
5. EXISTING FULLY GROUTED CONCRETE MASONRY UNIT WALL TO BE ITEMS BELONGING TO THE CITY.
6. EXISTING ELEVATOR, ELEVATOR PIT & STAIRS TO BE DEMOLISHED. SEE MECHANICAL DRAWINGS FOR ELEVATOR COMPONENTS TO BE SALVAGED.
7. EXISTING VEHICLE BARRIERS TO BE DEMOLISHED.
10. EXISTING VEHICLE GARD TO BE DEMOLISHED.
11. DEMOLISH EXISTING FENCING
21. EXISTING WELLS FARGO BUILDING
22. EXISTING WASTELAND BUILDING. CONTRACTOR SHALL REMOVE EXISTING WASTELAND BUILDINGS' ROOFING TERMINATION ONTO THE PARKING STRUCTURE 3 AND RETAIN NEW ROOFING TERMINATION.
23. EXISTING SOUTHERN CALIFORNIA EDISON ELECTRICAL WALL TO BE DEMOLISHED.
24. DEMOLISH 8 INCH NORMAL-WEIGHT CONCRETE BUMPER WALL.
25. DEMOLISH 14 INCH NORMAL-WEIGHT CONCRETE COLUMNS. DISMANS VARY.
30. FIRE DOOR TO THE ELEVATOR ROOM WAS ASSUMED TO CONTAIN ASBESTOS. SEE THE ASBESTOS AND LEAD-BASED PAINT SURVEY BY CONVERSE CONSULTANTS DATED DECEMBER 20, 2016 AND SPECIFICATION SECTION 02 83 13 ASBESTOS ABATEMENT.
31. MASTIC LOCATED BEHIND THE MIRRORS IN THE PUBLIC RESTROOM WAS ASSUMED TO CONTAIN ASBESTOS. SEE THE ASBESTOS AND LEAD-BASED PAINT SURVEY BY CONVERSE CONSULTANTS DATED DECEMBER 20, 2016 AND SPECIFICATION SECTION 02 83 13 ASBESTOS ABATEMENT.
32. BLACK METAL ELEVATOR MOTORS WERE IDENTIFIED TO HAVE LEAD PAINT IN GOOD CONDITION. SEE THE ASBESTOS AND LEAD-BASED PAINT SURVEY BY CONVERSE CONSULTANTS DATED DECEMBER 20, 2016 AND SPECIFICATION SECTION 02 83 13 REMOVAL OF MATERIALS.
33. WHITE CERAMIC WALL TILES IN THE EMPLOYEE RESTROOM WERE IDENTIFIED TO HAVE LEAD PAINT IN GOOD CONDITION. SEE THE ASBESTOS AND LEAD-BASED PAINT SURVEY BY CONVERSE CONSULTANTS DATED DECEMBER 20, 2016 AND SPECIFICATION SECTION 02 83 33 REMOVAL AND DISPOSAL OF MATERIAL CONTAINING LEAD.
34. FIRE RESIS NER THE STAIRS WERE IDENTIFIED TO HAVE LEAD PAINT IN GOOD CONDITION. SEE THE ASBESTOS AND LEAD-BASED PAINT SURVEY BY CONVERSE CONSULTANTS DATED DECEMBER 20, 2016 AND SPECIFICATION SECTION 02 83 13 REMOVAL AND DISPOSAL OF MATERIAL CONTAINING LEAD.

TYPICAL NOTES:

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO, DIMENSIONS OF SLABS, WALLS, COLUMNS, BEAMS, CURBS, BUMPER WALLS, QUANTITIES, AND EXISTING CONSTRUCTION.
- B. CONTRACTOR SHALL SALVAGE ALL TRAFFIC WAY FINDING SIGNS.
- C. DEMOLISH ALL FOUNDATION AND RETAINING WALL ELEMENTS. SEE AS-BUILT DRAWINGS DATED 1965.
- D. CONTRACTOR SHALL NOT DAMAGE EXISTING SIDEWALKS AND ASPHALT PAVEMENT SURROUNDING THE PARKING STRUCTURE TO BE DEMOLISHED. SEE CIVIL DRAWINGS



1 LEVEL 1  
NO SCALE



City  
of **Santa Monica**  
Department of Public Works

1437 4TH STREET, SUITE 300, SANTA MONICA, CA. 90401  
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				Project Status	
NOL.	DATE	BY		DESCRIPTION	APPROVED



William E. Shafer, with permission  
 1000 University Boulevard, Suite  
 100, Berkeley, California 94702-1

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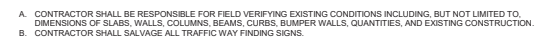
REVIEWED BY : _____ DATE : _____ _____ Tom Shanbhag, P.E., Civil Engineer _____ REVIEWED BY : _____ DATE : _____ _____ _____ REVIEWED BY : _____ DATE : _____ _____ _____	REFERENCE : _____ _____ DATE : _____ _____ SUBMITTED BY : _____ _____ Curtis Castle, P.E., Principal Engineer _____ _____ APPROVED BY : _____ DATE : _____ _____ Alex Mazoruch, P.E., City Engineer _____ FOR ENGINEERING DESIGN	COMPUTER FILE NAME : _____ _____ SP-FILE NO. : 2610 _____ _____
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## Exhibit 2

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California Coastal  
Commission

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1. LIMITS OF DEMOLITION.
2. 8" CHIEFS (FIELD VERIFY) BETWEEN PARKING STRUCTURE TO BE DEMOLISHED AND EXISTING WELLS FARGO & WASTELAND BUILDINGS TO REMAIN. CONTRACTOR SHALL DISPOSE MISCELLANEOUS ITEMS BETWEEN BUILDINGS.
3. DEMOLISH 12 INCH NORMAL-WEIGHT CONCRETE WALL.
4. DEMOLISH 8 INCH THICK NORMAL-WEIGHT CONCRETE CURB.
5. EXISTING FULLY GROUTED CONCRETE MASONRY UNIT WALL TO BE DEMOLISHED.
6. EXISTING FULLY GROUTED CONCRETE MASONRY UNIT BUMPER WALL TO BE DEMOLISHED.
7. EXISTING CONCRETE WALLS, G.P. PLATE/PIR AT STAIRS TO BE DEMOLISHED. SEE MECHANICAL DRAWINGS FOR ELEVATOR COMPONENTS TO BE SALVAGED.
8. EXISTING METAL BARRIERS TO BE DEMOLISHED.
9. DEMOLISH 6 IN 12 INCH LIGHTWEIGHT CONCRETE POST-TENSIONED SLAB.
10. DEMOLISH EXISTING LIGHTWEIGHT POST-TENSIONED BEAMS. TYPICAL DIMENSIONS ARE 12X30 INCHES, HOWEVER THERE ARE OTHER BEAM DIMENSIONS. CONTRACTOR IS SOLELY RESPONSIBLE TO FIELD VERIFY BEAM DIMENSIONS.
11. DEMOLISH EXISTING PEDESTRIAN RAILING.
12. DEMOLISH EXISTING PLANTER.
13. EXISTING WELLS FARGO BUILDING.
14. EXISTING WASTELAND BUILDING. CONTRACTOR SHALL REMOVE EXISTING WASTELAND BUILDING'S ROOFING TERMINATION UNTIL THE PARKING STRUCTURE IS AND INSTALL NEW ROOFING TERMINATION.
15. DEMOLISH 8 INCH NORMAL-WEIGHT CONCRETE BUMPER WALL.
16. EXISTING ALL NORMAL-WEIGHT CONCRETE COLUMNS. DIMENSIONS VARY.
17. FIRE RISERS NEAR THE STAIRS WERE IDENTIFIED TO HAVE LEAD PAINT IN GOOD CONDITION. SEE THE ASBESTOS AND LEAD-BASED PAINT SURVEY BY CONVERSE CONSULTANTS DATED DECEMBER 20, 2016 AND SPECIFICATION SECTION 02 83 39 REMEDIATION OF MAINTENANCE AREAS.

TYPICAL NOTES:

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO, DIMENSIONS OF SLABS, WALLS, COLUMNS, BEAMS, CURBS, BUMPER WALLS, QUANTITIES, AND EXISTING CONSTRUCTION.
- B. CONTRACTOR SHALL SALVAGE ALL TRAFFIC WAY FINDING SIGNS.

LEVEL 3  
NO SCALE



City  
of **Santa Monica**  
Department of Public Works

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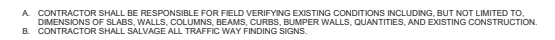
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REVIEWED BY :	DATE :	REFERENCE :	
Tom Shanbazz, P.E., Civil Engineer		DATE :	COMPUTER FILE NAME :
REVIEWED BY :	DATE :	SUBMITTED BY :	SP-FILE NO. : 261
		Curtis Casale, P.E., Principal Engineer	
REVIEWED BY :	DATE :	APPROVED BY :	DATE :
		Alex Nazarovskiy, P.E. City Engineer	

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California Coastal  
Commission

California Coastal  
Commission





1. LIMITS OF DEMOLITION
2. 6 INCHES (FIELD VERIFY) BETWEEN PARKING STRUCTURE TO BE DEMOLISHED AND EXISTING WELLS FARGO & WASTELAND BUILDINGS TO REMAIN. CONTRACTOR SHALL DISPOSE MISCELLANEOUS ITEMS BETWEEN
3. DEMOLISH 12 INCH NORMAL-WEIGHT CONCRETE WALL
4. DEMOLISH 12 INCH CORNICAL-WEIGHT CONCRETE CURB
5. EXISTING FULLY GROUTED CONCRETE MASONRY UNIT WALL TO BE DEMOLISHED.
6. EXISTING FULLY GROUTED CONCRETE MASONRY UNIT BUMPER WALL TO BE DEMOLISHED.
7. EXISTING ELEVATOR, ELEVATOR #1 & STAIRS #8, DEMOLISHED. SEE MECHANICAL DRAWINGS FOR ELEVATOR COMPONENTS TO BE SALVAGED.
8. EXISTING VEHICLE BARRIERS TO BE DEMOLISHED.
9. DEMOLISH 6 INCH LIGHT WEIGHT CONCRETE POST-TENSIONED SLAB.
10. DEMOLISH EXISTING TRENCH DRAIN AND POST-TENSIONED DIMENSIONS ARE 12X30 INCHES. HOWEVER THERE ARE OTHER BAY DIMENSIONS. CONTRACTOR IS SOLELY RESPONSIBLE FOR FIELD VERIFY DIMENSIONS.
11. DEMOLISH EXISTING FREDSTROM RAILING.
12. DEMOLISH EXISTING TRENCH DRAIN. SEE MECHANICAL DRAWINGS.
13. DEMOLISH STEEL BEAM AND POST.
14. EXISTING WELLS FARGO BUILDING AND INSTALL NEW ROOFING TERMINATION.
15. EXISTING WASTELAND BUILDING. CONTRACTOR SHALL REMOVE EXISTING WASTELAND BUILDING'S ROOFING TERMINATION AND INSTALL NEW ROOFING TERMINATION.
16. DEMOLISH 6 INCH NORMAL-WEIGHT CONCRETE BUMPER WALL
17. DEMOLISH 6 INCH NORMAL-WEIGHT CONCRETE COLUMNS. DIMENSIONS VARY.
18. FIRE RISERS NEAR THE STAIRS WERE IDENTIFIED TO HAVE LEAD PAINT IN GOOD CONDITION. SEE THE ASBESTOS AND LEAD-BASED PAINT SURVEY BY CONVERSE CONSULTANTS DATED DECEMBER 20, 2016 AND SPECIFICATION SECTION 02 83 31 REMOVAL OF MATERIALS.

TYPICAL NOTES:

- A. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO, DIMENSIONS OF SLABS, WALLS, COLUMNS, BEAMS, CURBS, BUMPER WALLS, QUANTITIES, AND EXISTING CONSTRUCTION.
- B. CONTRACTOR SHALL SALVAGE ALL TRAFFIC WAY FINDING SIGNS.



1 LEVEL 5  
NO SCALE



City  
of **Santa Monica**  
Department of Public Works

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REVIEWED BY :	DATE :	REFERENCE :	
Tom Shahbaaz, P.E., Civil Engineer		DATE :	COMPUTER FILE NAME :
REVIEWED BY :	DATE :	SUBMITTED BY :	SP-FILE NO. : 261
		Curis Castle, P.E., Principal Engineer	
REVIEWED BY :	DATE :	APPROVED BY :	DATE :
		Aliya Nazoruchuk, P.E. City Engineer	
CITY CLERK		CITY ENGINEERING DIVISION	

## Exhibit 2

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California Coastal  
Commission

\\nas-server\projects\M092019\19010-00 CoSM PSS Demolition\Diagnostocs\3-Documentation\Drawings\Revit Structure\M09-19010-00 CoSM PSS Demolition.rvt

SHEET

DATE

TITLE OF PROJECT :

1 LEVEL 6  
NO SCALE



City  
of  
**Santa Monica**  
Department of Public Works

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Project Status				
NO.	DATE	BY	DESCRIPTION	APPROVED
REVISIONS				



walter  
p moore

Walter P. Moore, P.E. is a licensed Professional Engineer in the State of California, License No. 44877. He is a member of the California Professional Engineers - Civil Division and the American Society of Civil Engineers.

CONSULTANT

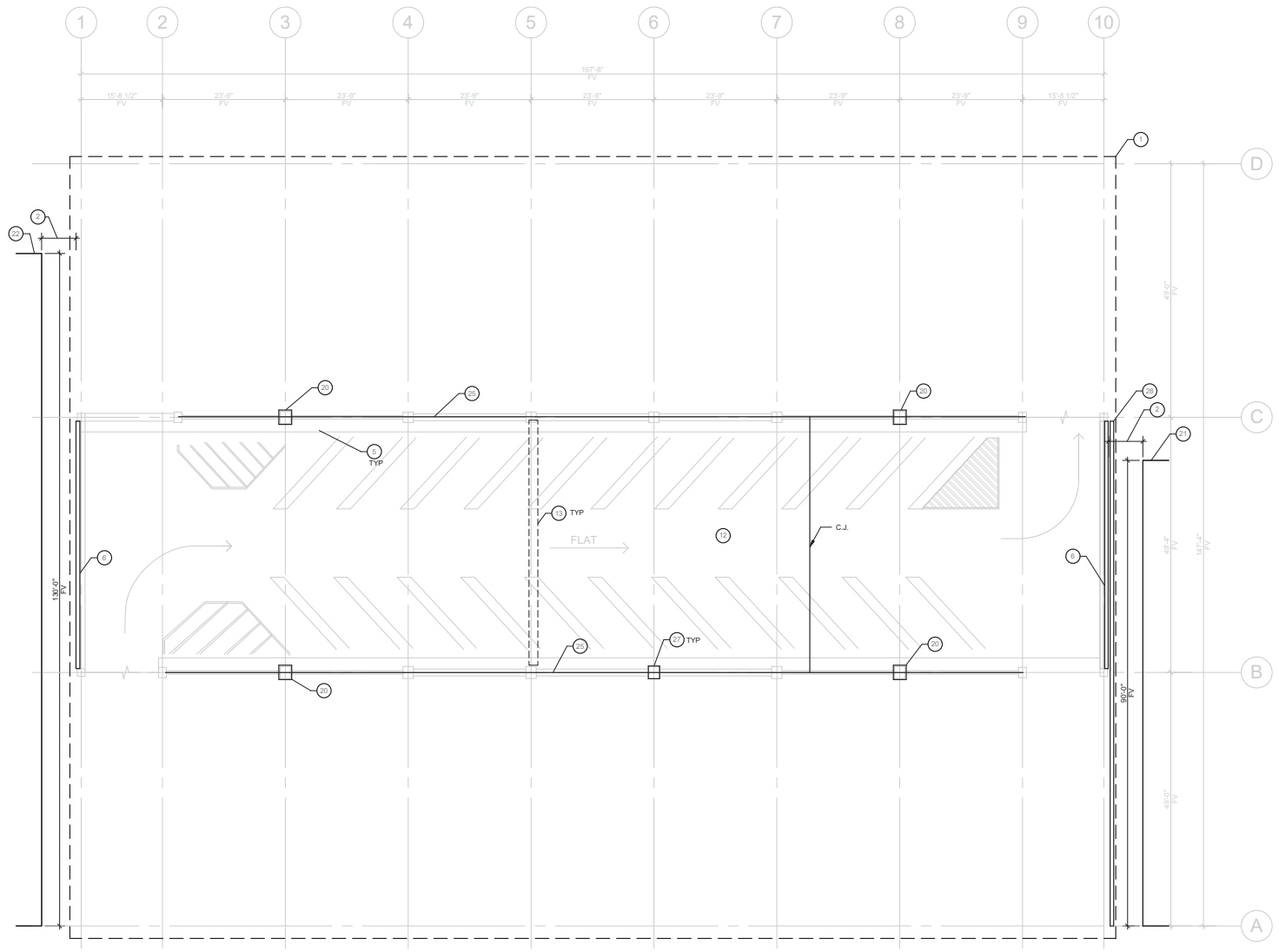
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Tom Shabazz, P.E., Civil Engineer	
REVIEWED BY :	DATE :
REVIEWED BY :	DATE :

REFERENCE :	DATE :	COMPUTER FILE NAME :
SUBMITTED BY :	DATE :	SP-FILE NO. :
Curtis Castle, P.E., Principal Engineer		2610
APPROVED BY :	DATE :	
Alan Nagorchnuk, P.E., City Engineer		
CIVIL ENGINEERING DIVISION		

CITY CLIENTS

ALLEY SIDE

STREET SIDE



- KEY NOTES:
1. LIMITS OF DEMOLITION.
  2. 6 INCHES (FIELD VERIFY) BETWEEN PARKING STRUCTURE TO BE DEMOLISHED AND EXISTING WELLS FARGO & WASTELAND BUILDINGS TO REMAIN. CONTRACTOR SHALL DISPOSE MISCELLANEOUS ITEMS BETWEEN BUILDINGS.
  3. EXISTING FULLY GROUTED CONCRETE MASONRY UNIT WALL TO BE DEMOLISHED.
  4. DEMOLISH 6 1/2 INCH LIGHTWEIGHT CONCRETE POST-TENSIONED SLAB.
  5. DEMOLISH EXISTING LIGHTWEIGHT POST-TENSIONED BEAMS. TYPICAL DIMENSIONS ARE 12X30 INCHES. HOWEVER THERE ARE OTHER BEAM DIMENSIONS. CONTRACTOR IS SOLELY RESPONSIBLE TO FIELD VERIFY BEAM DIMENSIONS.
  6. EXISTING LIGHT POST TO BE DEMOLISHED. SEE MECHANICAL DRAWINGS.
  7. EXISTING WELLS FARGO BUILDING.
  8. EXISTING WASTELAND BUILDING. CONTRACTOR SHALL REMOVE EXISTING WASTELAND BUILDING'S ROOFING TERMINATION ONTO THE PARKING STRUCTURE 3 AND INSTALL NEW ROOFING TERMINATION.
  9. DEMOLISH 6 INCH NORMAL-WEIGHT CONCRETE BUMPER WALL.
  10. DEMOLISH ALL NORMAL-WEIGHT CONCRETE COLUMNS. DIMENSIONS VARY.
  11. DEMOLISH EXISTING RAILING AND COAT EXPOSED SURFACES OF EMBEDDED ANCHORS.
- TYPICAL NOTES:
- A. CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFYING EXISTING CONDITIONS INCLUDING, BUT NOT LIMITED TO, DIMENSIONS OF SLABS, WALLS, COLUMNS, BEAMS, CURBS, BUMPER WALLS, QUANTITIES, AND EXISTING CONSTRUCTION.
  - B. CONTRACTOR SHALL SALVAGE ALL TRAFFIC WAY FINDING SIGNS.

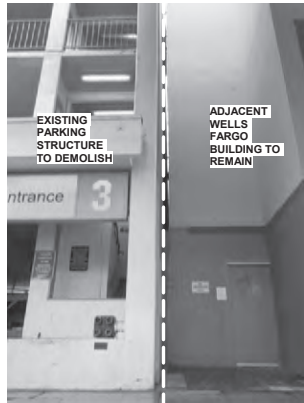
# Exhibit 2

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California Coastal  
Commission





4 PHOTOGRAPH:  
NORTHWEST CORNER, STREET SIDE  
NO SCALE



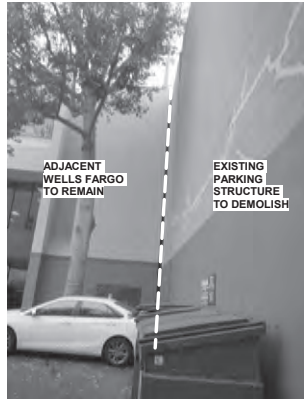
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NORTHEAST CORNER, STREET SIDE  
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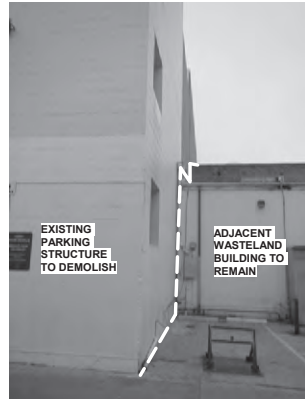
2 PHOTOGRAPH: OVERALL VIEW, ALLEY SIDE  
NO SCALE



1 PHOTOGRAPH: OVERALL VIEW, STREET SIDE  
NO SCALE



8 PHOTOGRAPH:  
SOUTHWEST CORNER, ALLEY SIDE  
NO SCALE



7 PHOTOGRAPH:  
SOUTHEAST CORNER, ALLEY SIDE  
NO SCALE



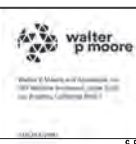
6 PHOTOGRAPH: WEST EDGE, LEVEL 5  
NO SCALE



5 PHOTOGRAPH: EAST EDGE, LEVEL 5  
NO SCALE

NOTES:  
1. DEMOLISH EXISTING GRILL BETWEEN THE EXISTING PARKING STRUCTURE BEING DEMOLISHED AND THE EXISTING WELLS FARGO BUILDING TO REMAIN.  
2. CUT THE EXISTING POST-INSTALLED ANCHORS FLUSH WITH THE WELLS FARGO'S EXISTING MASONRY WALL.  
3. EXISTING MASONRY WALL TO RECEIVE NEW HIGH PERFORMANCE COATING AT ANCHOR LOCATIONS SHALL BE ABRASIVELY CLEANED TO ICR CSP-4. EXISTING COATING/MASONRY WITHIN 4" OF THE ABRASIVELY CLEANED AREA SHALL BE SOLVENT CLEANED. APPLY NEW HIGH PERFORMANCE COAT AT EXPOSED ANCHORS. SEE SPECIFICATION SECTION 09 96 00 "HIGH PERFORMANCE COATING."

Project Status				
NO.	DATE	BY	DESCRIPTION	APPROVED
REVISIONS				



CONSULTANT

REVIEWED BY : DATE :  
Tom Shabazz, P.E., Civil Engineer  
REVIEWED BY : DATE :  
Curtis Castle, P.E., Principal Engineer  
REVIEWED BY : DATE :

REFERENCE :  
DATE :  
COMPUTER FILE NAME :  
SUBMITTED BY :  
SP-FILE NO. : 2610  
APPROVED BY : DATE :  
Amy Nagorchnuk, P.E.  
CITY ENGINEER  
CIVIL ENGINEERING DIVISION

CITY CLIENTS





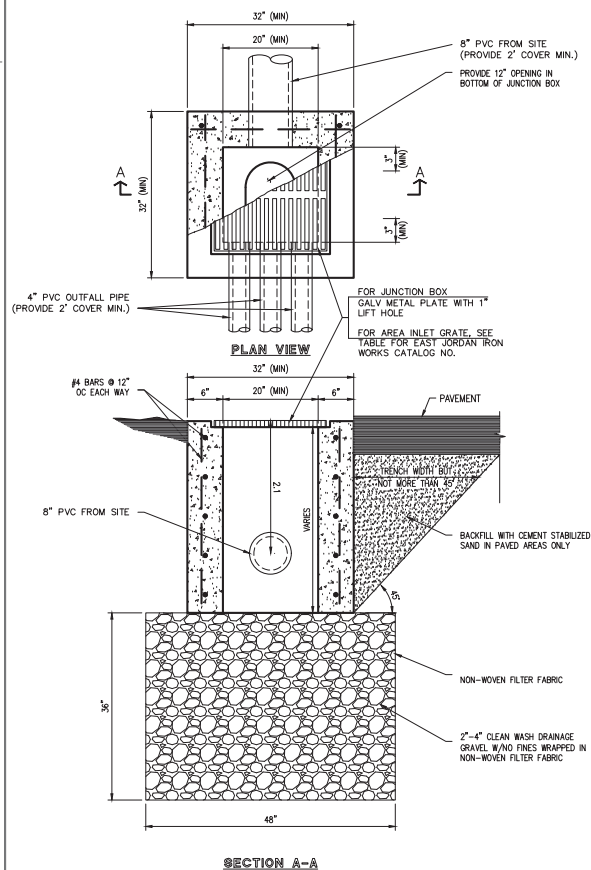




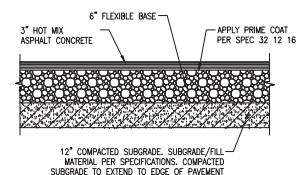
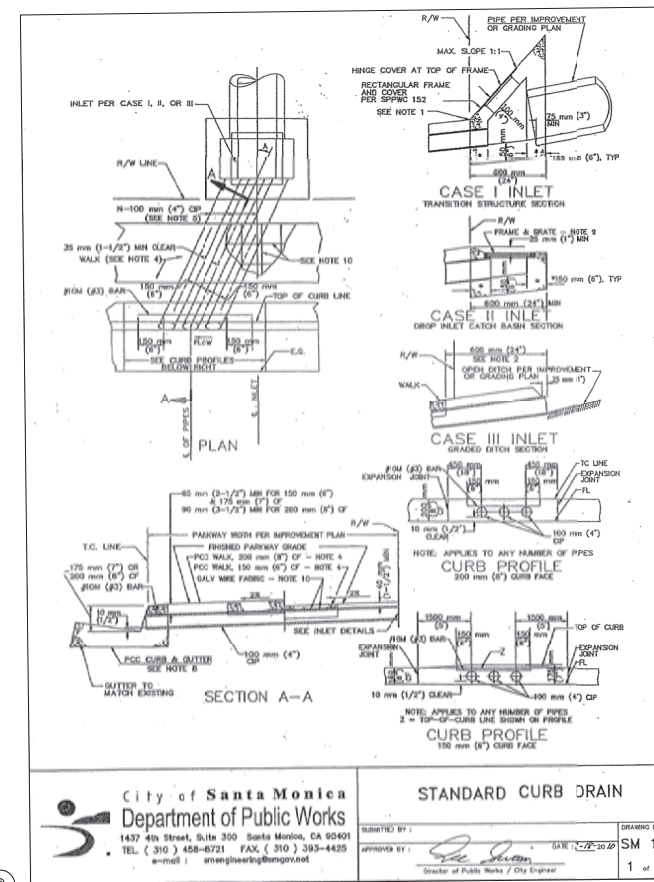
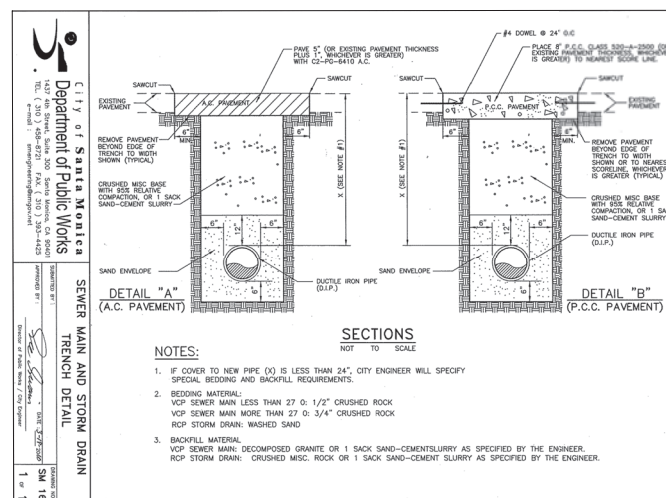








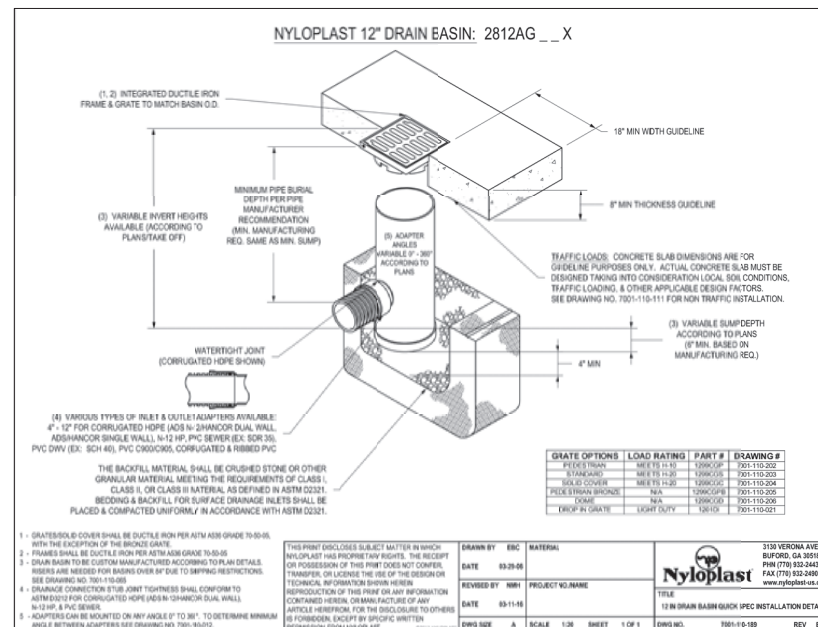
1 OPEN-BOTTOM CATCH BASIN  
NOT TO SCALE

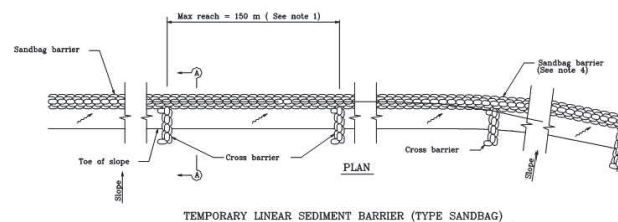
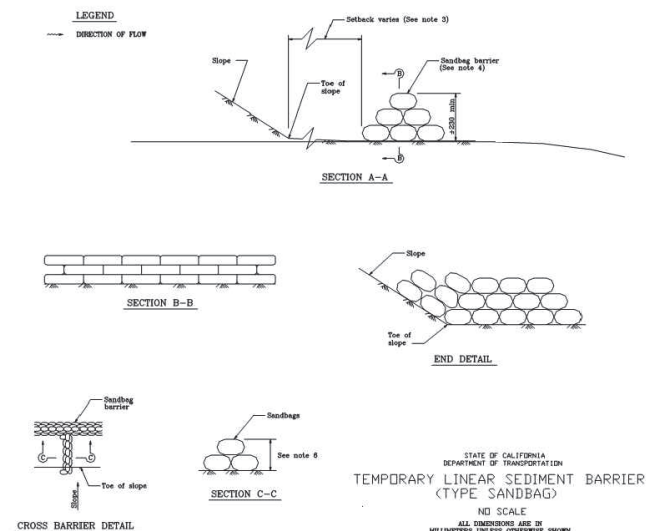
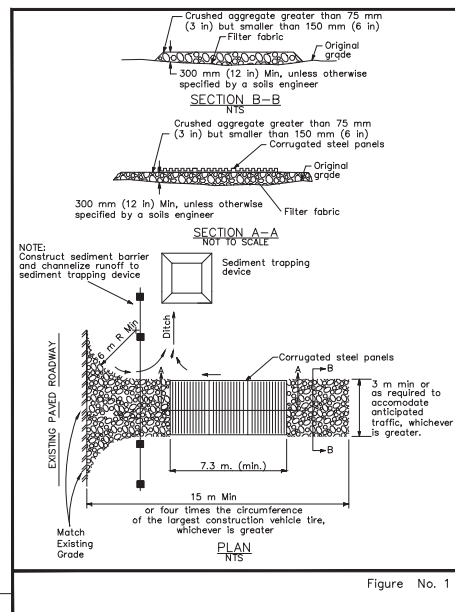
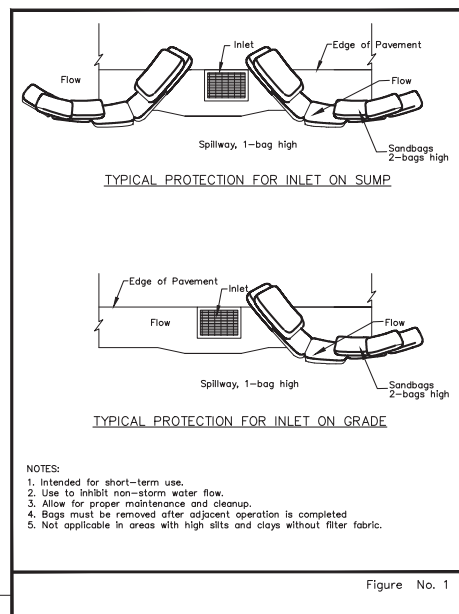
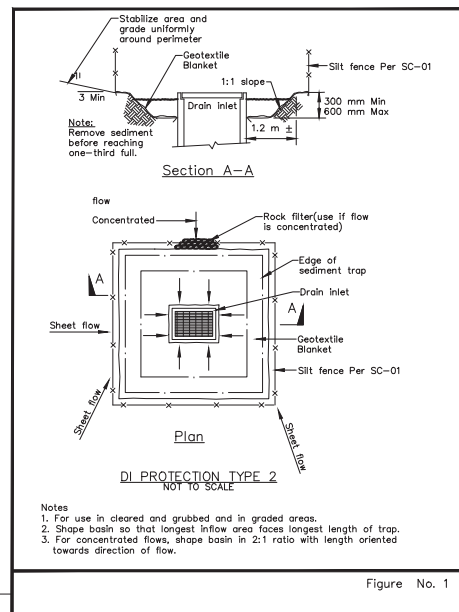


4 3" H.M.A.C. PAVEMENT  
NOT TO SCALE

[illegible]







STATE OF CALIFORNIA  
DEPARTMENT OF TRANSPORTATION  
TEMPORARY LINEAR SEDIMENT BARRIER  
(TYPE SANDBAG)  
NO SCALE  
ALL DIMENSIONS ARE IN  
MILLIMETERS UNLESS OTHERWISE SHOWN

## NOTES

1. Construct the length of each reach so that the change in base elevation along the reach does not exceed 1/2 the height of the linear barrier. In no case shall the reach length exceed 150 m.
2. Place sandbags tightly.
3. Dimension may vary to fit field condition.
4. Sandbag barrier shall be a minimum of 3 bags high.
5. The end of the barrier shall be turned up slope.
6. Cross barriers shall be a min of 1/2 and a max of 2/3 the height of the linear barrier.
7. Sandbag rows and layers shall be staggered.





Table 2. Hourly Parking Demand by Facility, Weekend August

Facility	Capacity	9AM	10AM	11AM	12PM	1PM	2PM	3PM	4PM	5PM	6PM	7PM	8 PM	9PM
PS1	337	90	122	178	213	220	271	275	271	282	275	264	259	224
PS2	645	128	149	150	178	177	201	228	249	248	271	275	266	234
PS3	337	88	140	214	259	307	323	331	327	322	333	310	316	267
PS4	650	142	183	244	307	370	412	442	462	471	447	429	431	381
PS5	679	80	127	202	272	339	400	440	450	457	449	425	399	351
PS6	757	267	295	340	411	458	506	552	635	630	603	583	551	473
PS7	827	144	221	377	512	589	630	700	684	661	616	648	649	617
PS8	1,052	178	288	437	627	737	869	903	931	938	913	895	887	764
PS9	300	48	60	82	96	119	122	128	135	130	128	131	126	102
PS10	81	6	13	23	42	44	56	58	63	55	59	58	58	55
Library	529	106	157	212	229	228	240	240	231	206	156	133	110	80
KEC	98	7	16	16	18	21	25	27	31	27	27	27	26	20
Civic Lot	85	32	49	45	50	62	34	40	19	32	49	21	14	19
Civic Structure	735	71	119	77	145	91	143	137	76	116	109	70	86	65
Lot 9	169	18	50	91	134	167	179	180	174	170	166	150	125	88
Lot 10	39	14	25	30	33	36	39	39	39	37	38	36	31	22
Lot 11	131	16	36	66	93	105	112	111	105	100	93	92	89	73
Lot 26	15	9	12	12	10	12	14	14	14	11	10	8	7	5
Lot 29	28	0	0	1	1	1	1	1	1	1	1	1	1	1
Lot 30	10	6	7	9	11	11	12	11	12	11	10	10	10	10
Lot 5S	854	3	0	0	118	164	226	256	291	329	360	368	370	311
Lot 4S	1,346	245	471	327	602	516	784	652	779	504	491	217	-	-
Lot 3S	120	72	100	107	117	117	114	107	107	72	74	57	-	-
Lot 2S	54	24	52	54	54	54	54	41	46	26	28	15	-	-
Lot 1S	65	22	56	65	62	57	61	52	59	56	45	31	-	-
Lot 1N	1,155	1,029	959	803	171	267	385	569	744	863	860	861	853	839
Lot 3N	468	295	280	273	24	36	71	116	171	233	268	289	298	286
Lot 4N	87	3	9	2	23	22	58	49	63	33	54	12	-	-
Lot 5N	57	7	4	8	5	10	21	10	22	6	23	1	-	-
Lot 5AN	41	3	2	5	5	6	13	8	16	6	13	3	-	-
Lot 6N	75	8	10	12	17	20	24	17	28	10	21	2	-	-
Lot 7N	85	3	3	7	10	11	21	13	23	7	12	2	-	-
Lot 8N	214	30	17	5	30	49	74	101	114	119	121	127	128	115
Lot 9N	79	14	24	18	32	26	38	32	28	15	15	7	-	-
Annenberg	276	1	1	1	29	95	145	188	195	191	178	170	164	146
Zone II Demand	6,188	1,925	2,286	2,018	1,776	1,935	2,623	2,745	3,126	2,948	3,039	2,549	2,176	1,980
Zone II Available	-	4,263	3,902	4,170	4,412	4,253	3,565	3,443	3,062	3,240	3,149	3,639	4,012	4,208
Zone I Demand*	5,955	1,196	1,631	2,261	2,905	3,302	3,732	3,993	4,142	4,105	3,944	3,868	3,762	3,301
Zone I Available*		4,759	4,324	3,694	3,050	2,653	2,223	1,962	1,813	1,850	2,011	2,087	2,193	2,654
PS3 Demand		88	140	214	259	307	323	331	327	322	333	310	316	267
PS3 Available	337	249	197	123	78	30	14	6	10	15	4	27	21	70
Total Demand	12,480	3,209	4,057	4,493	4,940	5,544	6,678	7,069	7,595	7,375	7,316	6,727	6,254	5,548
Total Available		9,271	8,423	7,987	7,540	6,936	5,802	6,411	4,885	5,105	5,164	5,753	6,226	6,932

\*Zone I parking demand and available supply are not inclusive of Parking Structure 3.

## Exhibit 3

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WALKER



California Coastal  
Commission

## CALIFORNIA COASTAL COMMISSION

FREMONT, SUITE 2000  
SAN FRANCISCO, CA 94105-2219  
TELEPHONE AND TDD (415) 904-5200



TO: Local Governments and Interested Persons

FROM: Coastal Commission Staff

SUBJECT: Guidelines For the Exclusion of Temporary Events from  
Coastal Commission Permit Requirements - Adopted 5/12/93

I. Purpose and Authority.

The purpose of these guidelines is to identify the standards the Coastal Commission staff, under the direction of the Executive Director, will use in determining whether a temporary event is excluded from coastal development permit requirements pursuant to Public Resources Code Section 30610 (i) (as amended by SB 1578, Ch. 1088, Stats. 1992). The guidelines are for use in areas where the Coastal Commission retains coastal development permit authority. These guidelines may be utilized by local governments for reference in developing Local Coastal Programs or in processing LCP amendments, if required, to address coastal development permit jurisdiction over temporary events.

II. Criteria for Exclusion from Permit Requirements.

Except as provided in Section III. below, the Executive Director shall exclude from coastal development permit requirements all temporary events except those which meet all of the following criteria:

- a) Are held between Memorial Day weekend and Labor Day; and,
- b) Occupy all or a portion of a sandy beach area; and,
- c) Involve a charge for general public admission or seating where no fee is currently charged for use of the same area (not including booth or entry fees).

Only temporary events meeting all of the above criteria shall require coastal development permit review, however,

The Executive Director may also exclude from permit requirements temporary events meeting all of the above criteria when:

- d) The fee is for preferred seating only and more than 75% of the provided seating capacity is available free of charge for general public use; or,





e) The event is held on sandy beach area in a remote location with minimal demand for public use, and there is no potential for adverse effect on sensitive coastal resources; or,

f) The event is less than one day in duration; or,

g) The event has previously received a coastal development permit and will be held in the same location, at a similar season, and for the same duration, with operating and environmental conditions substantially the same as those associated with the previously-approved event.

### III. Executive Director or Commission Discretion to Require a Permit.

The Executive Director, or the Commission through direction to the Executive Director, may determine that a temporary event shall be subject to Commission coastal development permit review, even if the criteria in Section II. are not met, if the Executive Director or the Commission determines that unique or changing circumstances exist relative to a particular temporary event that have the potential for significant adverse impacts on coastal resources. Such circumstances may include the following:

a) The event, either individually or together with other temporary events scheduled before or after the particular event, precludes the general public from use of a public recreational area for a significant period of time;

b) The event and its associated activities or access requirements will either directly or indirectly impact environmentally sensitive habitat areas, rare or endangered species, significant scenic resources, or other coastal resources as defined in Section V. of these guidelines;

c) The event is scheduled between Memorial Day weekend and Labor Day and would restrict public use of roadways or parking areas or otherwise significantly impact public use or access to coastal waters;

d) The event has historically required a coastal development permit to address and monitor associated impacts to coastal resources.

### IV. Modifications to Guidelines by the Commission.

The Commission may amend these guidelines at any time if it is determined such modification is necessary to more effectively implement Section 30610(i) of the Coastal Act, and provide Coastal Commission coastal development permit review of any category of temporary events having the potential for significant impacts to coastal resources; or, eliminate such review of any category of temporary events having no such potential.



V. Definitions.

For purposes of these guidelines, the following definitions shall apply:

a) "Temporary event(s)" means an activity or use that constitutes development as defined in Section 30106 of the Coastal Act; and is an activity or function of limited duration; and involves the placement of non-permanent structures; and/or involves exclusive use of a sandy beach, parkland, filled tidelands, water, streets or parking area which is otherwise open and available for general public use;

b) "Limited duration" means a period of time which does not exceed a two week period on a continual basis, or does not exceed a consecutive four month period on an intermittent basis;

c) "Non-permanent structures" include, but are not limited to, bleachers, perimeter fencing, vendor tents/canopies, judging stands, trailers, portable toilets, sound/video equipment, stages, platforms, movie/film sets, etc., which do not involve grading or landform alteration for installation.

d) "Exclusive use" means a use that precludes use in the area of the event for public recreation, beach access or access to coastal waters other than for or through the event itself.

e) "Coastal resources" include, but are not limited to, public access opportunities, visitor and recreational facilities, water-oriented activities, marine resources, biological resources, environmentally sensitive habitat areas, agricultural lands, and archaeological or paleontological resources.

f) "Sandy beach area" includes publicly owned and privately owned sandy areas fronting on coastal waters, regardless of the existence of potential prescriptive rights or a public trust interest.

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