

CALIFORNIA COASTAL COMMISSION

SAN DIEGO DISTRICT OFFICE
7575 METROPOLITAN DRIVE, SUITE 103
SAN DIEGO, CA 92108-4402
VOICE (619) 767-2370
FAX (619) 767-2384



W15c

6-20-0053 (Northeast MB, LLC, San Diego)

May 2021

EXHIBITS

Table of Contents

EXHIBIT 1: Vicinity Map

EXHIBIT 2: Leasehold Boundary

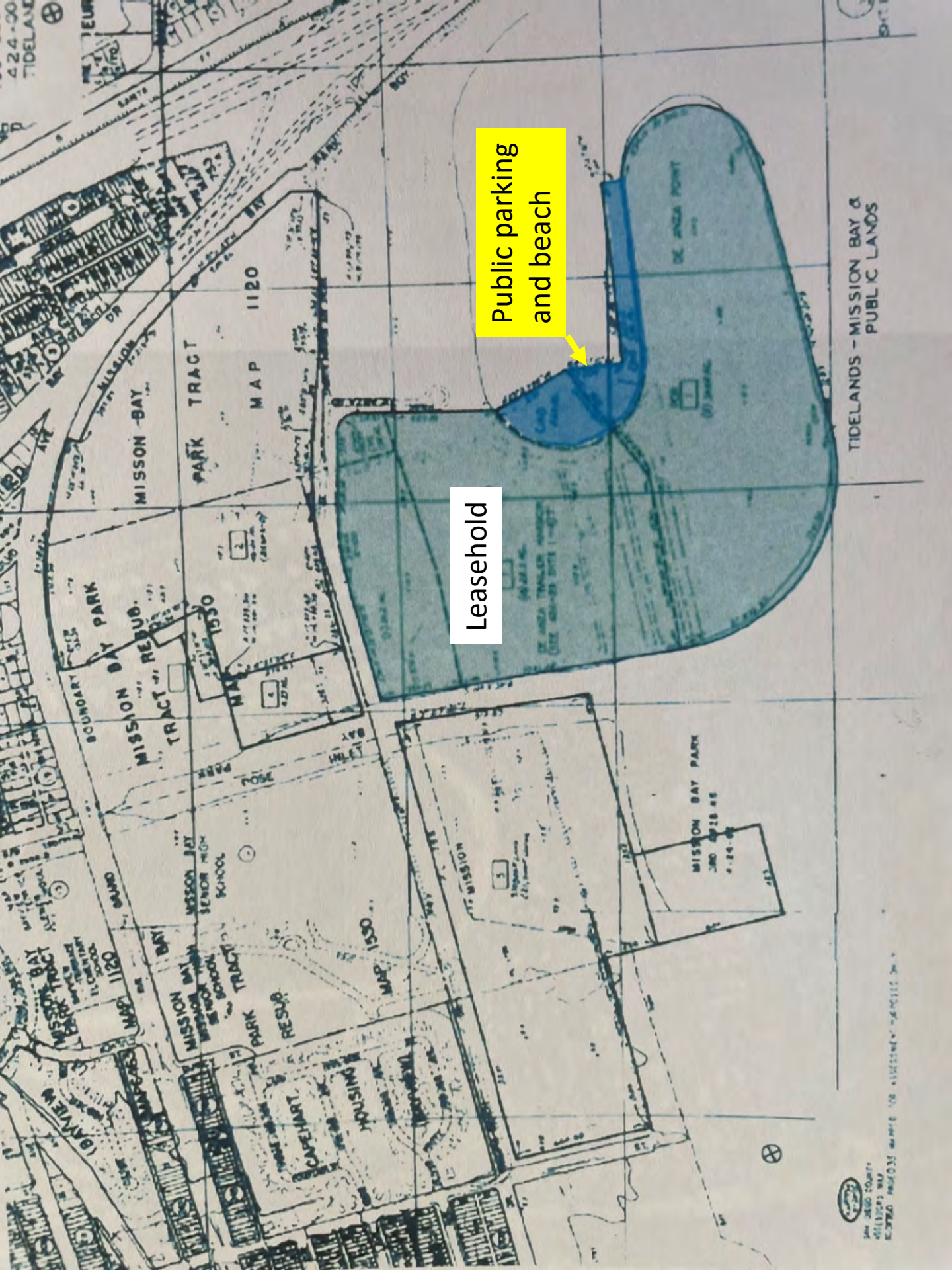
EXHIBIT 3: Aerial View

EXHIBIT 4: Location of Required Public Access Signs

EXHIBIT 5: Site Photos

EXHIBIT 6: Project Plans







Legend
• Feature 1



Mission Bay Golf Course

De Anza Mobile Home Park
(shaded area new RV use)

De Anza Cove

Public parking
and beach

De Anza Mobile Home Park
(shaded area new RV use)

Existing public path

Rose Creek

Mission Bay High School

Campland on the Bay

Mission Bay RV Resort

Mission Bay





Vacant Structures Within Mobile Home Park

EXHIBIT NO. 5

APPLICATION NO.

6-20-0053

Site Photos



California Coastal Commission



Encroaching fence and dock on public beach

Public Beach





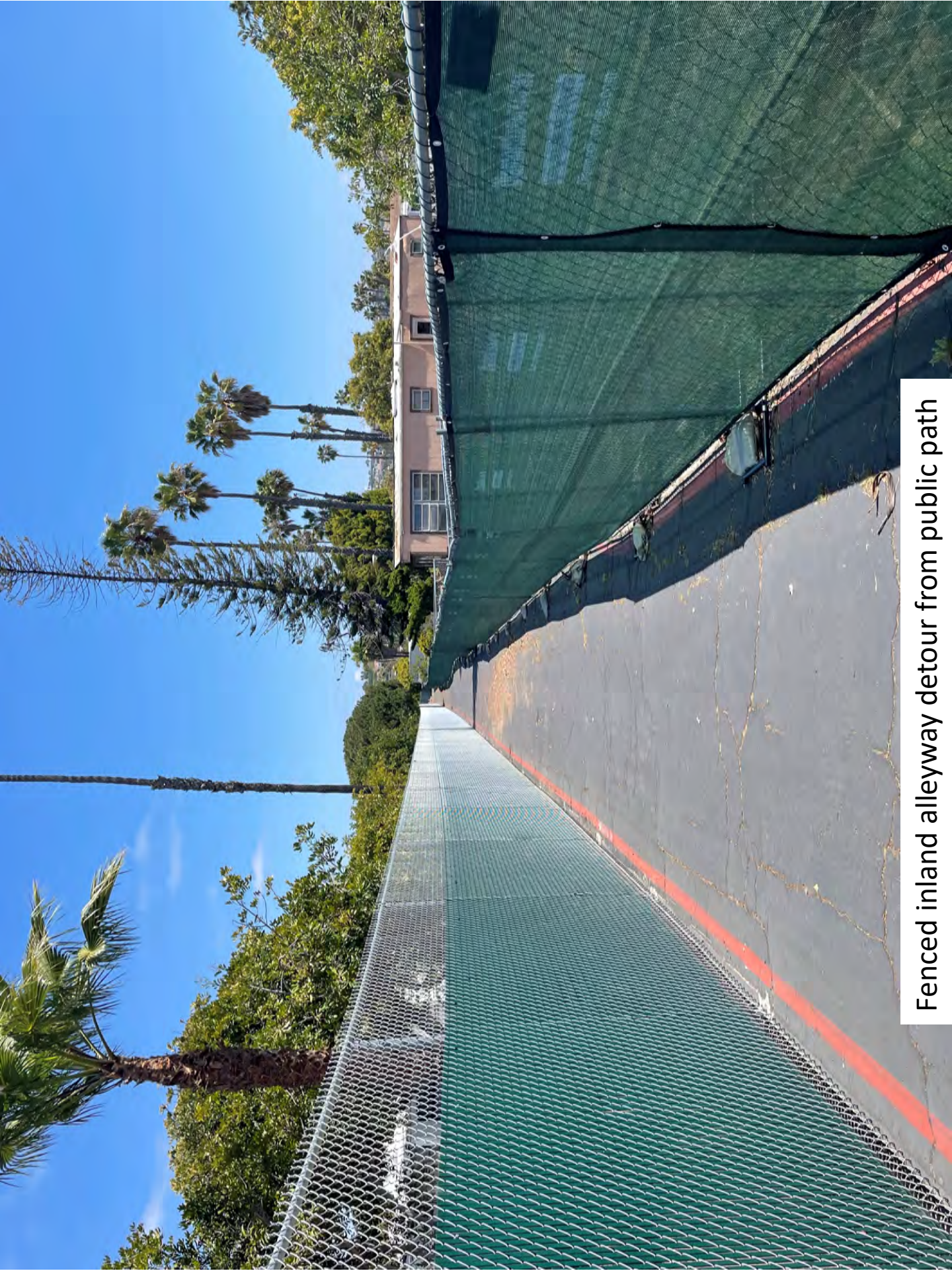
Public pedestrian path (cove side)



Public pedestrian path (bayside)



Termination of public path at RV resort and detour to east



Fenced inland alleyway detour from public path



HARDSCAPE KEY

SYMBOL	HARDSCAPE PAVING
	C.I.P. CONCRETE PAVING
	STABILIZED DECOMPOSED GRANITE
	ASPHALT, REPAIR AS NEEDED
SITE FURNISHINGS	
	1 PEDESTRIAN GATE, 6' TALL VINYL OR WOOD
	2 FENCE TYPE 1, 6' TALL VINYL OR WOOD
	3 FENCE TYPE 2, 42" TALL VINYL COATED CHAIN LINK
OTHERS	
	4 COMMON GATHERING AREAS
	5 BIKE PATH
	6 LAUNDRY ROOM
	7 RESTROOM
	8 EXISTING SEWER, WATER, ELECTRICAL CONNECTIONS. REPAIR AS NEEDED
	9 EXISTING STREET LIGHT TO REMAIN
	10 EXISTING FIRE HYDRANT TO REMAIN
	11 EXISTING FENCE TO REMAIN
	LIMIT OF WORK

LANDSCAPE ARCHITECT

SPURLOCK
LANDSCAPE ARCHITECTS

2122 Hancock Street
San Diego, California 92110
619.681.0080
spurlock-land.com

DATE ISSUED:
01/03/2020 CDP SUBMITTAL

**MISSION BAY RV RESORT PARK
COASTAL DEVELOPMENT PLAN**

2727 DE ANZA RD, SAN DIEGO, CA 92103

PROJECT NUMBER **TVM-141**



KEY MAP (NOT TO SCALE)

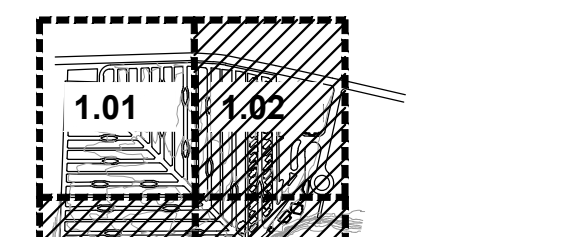
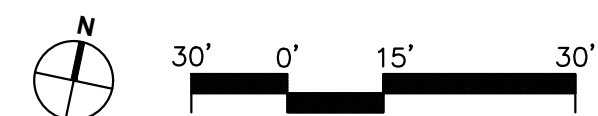


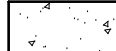
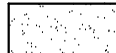
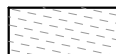
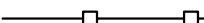
EXHIBIT NO. 6
APPLICATION NO.
6-20-0053
Project Plans





L1.02



SYMBOL		HARDSCAPE PAVING	
		C.I.P. CONCRETE PAVING	
		STABILIZED DECOMPOSED GRANITE	
		ASPHALT, REPAIR AS NEEDED	
SITE FURNISHINGS			
	(1)	PEDESTRIAN GATE, 6' TALL VINYL OR WOOD	
	(2)	FENCE TYPE 1, 6' TALL VINYL OR WOOD	
	(3)	FENCE TYPE 2, 42" TALL VINYL COATED CHAIN LINK	
OTHERS			
	(4)	COMMON GATHERING AREAS	
	(5)	BIKE PATH	
	(6)	LAUNDRY ROOM	
	(7)	RESTROOM	
	(8)	EXISTING SEWER, WATER, ELECTRICAL CONNECTIONS. REPAIR AS NEEDED	
	(9)	EXISTING STREET LIGHT TO REMAIN	
	(10)	EXISTING FIRE HYDRANT TO REMAIN	
	(11)	EXISTING FENCE TO REMAIN	
		LIMIT OF WORK	

LANDSCAPE ARCHITECT

SPURLOCK
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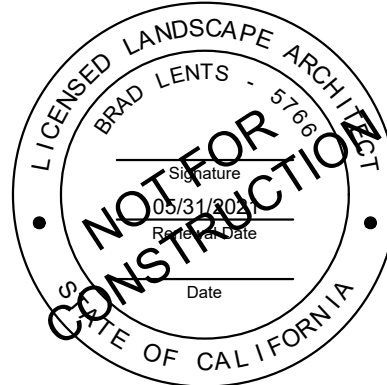
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spurlock-land.com

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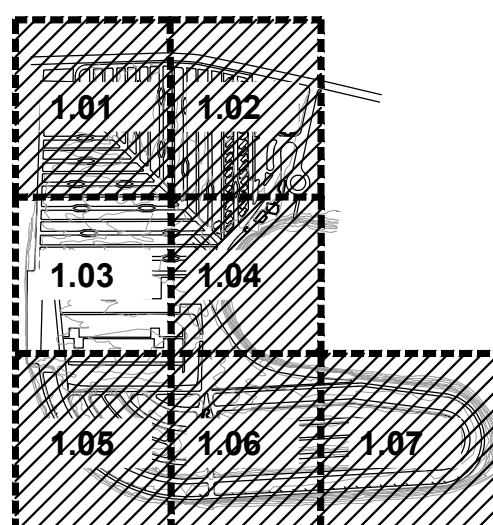
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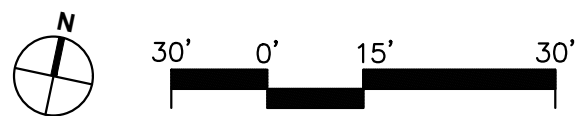
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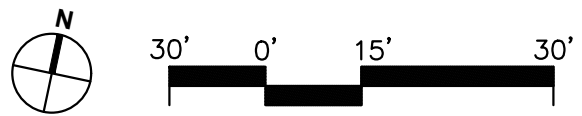


SHEET NAME **IMPROVEMENT
PLAN**

SHEET NUMBER

L1.03



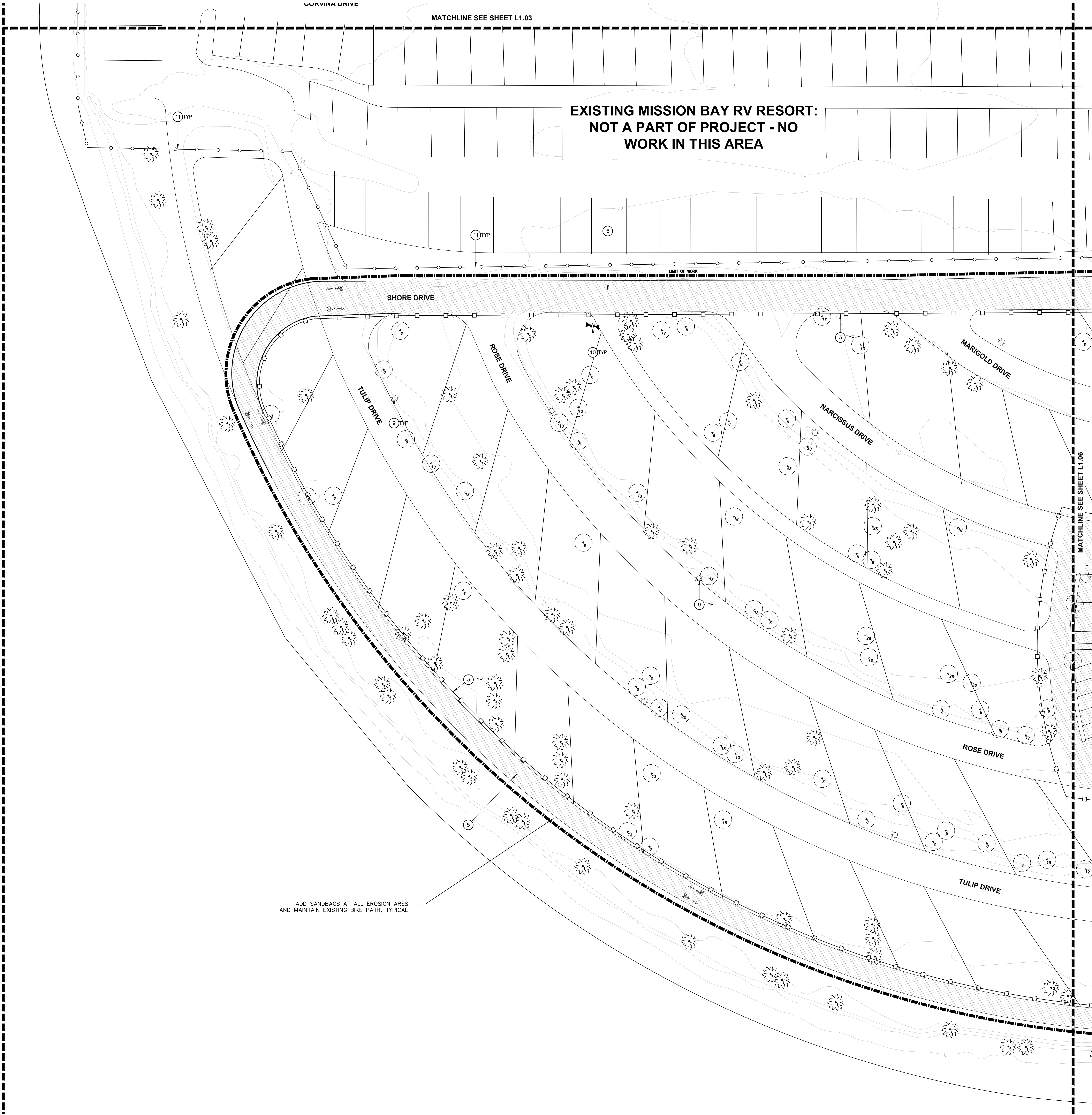


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	LIMIT OF WORK

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2727 DE ANZA RD, SAN DIEGO, CA 92109

L1.04



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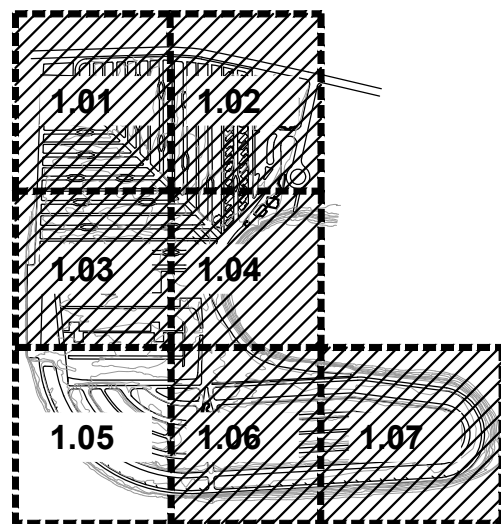
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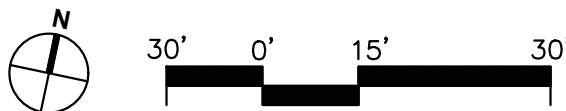


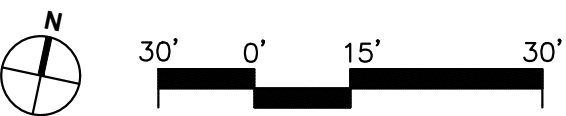
KEY MAP (NOT TO SCALE)



SHEET NAME **IMPROVEMENT
PLAN**

SHEET NUMBER
L1.05



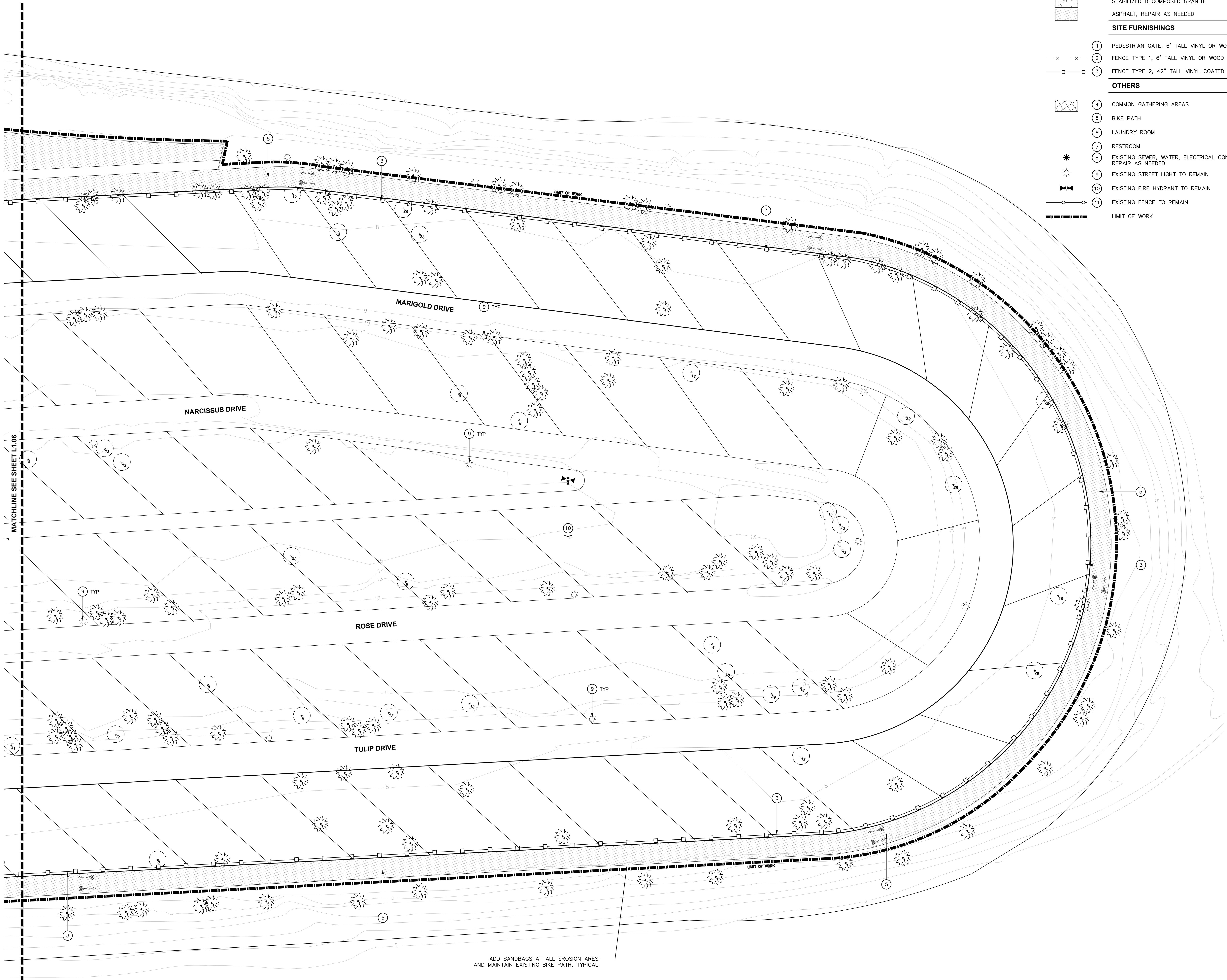


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[illegible]

2727 DE ANZA RD, SAN DIEGO, CA 92109

L1.06



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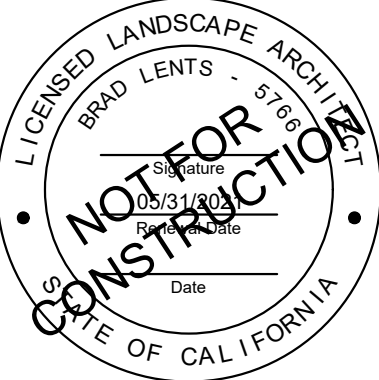
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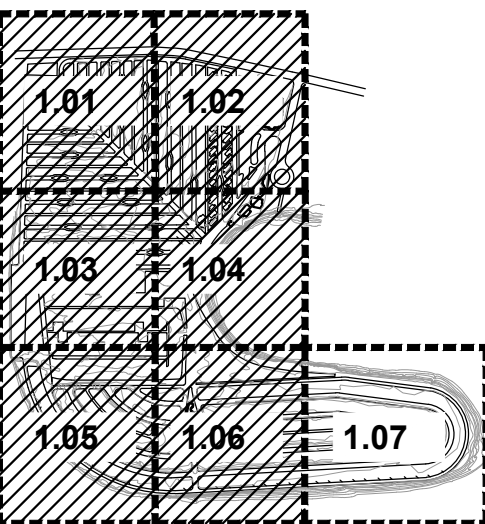
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SHEET NUMBER

L1.07