

CALIFORNIA COASTAL COMMISSION

South Coast District Office
301 E Ocean Blvd., Suite 300
Long Beach, CA 90802-4302
(562) 590-5071



W19c

5-20-0505 (Lindahl)

JUNE 9, 2021

EXHIBITS

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Project Location



1312 Calle De Los Alamos

Project Site




1812 Calle De Los Alamos

Calle De Los Alamos

San Clemente Pedestrian Beach Trail

MINIMUM CONSTRUCTION STANDARDS



**Special Requirements
and Minimum
Construction
Standards**

BA-5

CONSTRUCTION HOURS ARE ALLOWED BETWEEN 7:00 AM AND 6:00 PM ON WEEKDAYS, SATURDAYS 8:00 AM AND 6:00 PM. NO CONSTRUCTION ON SUNDAYS AND HOLIDAYS IS PERMITTED. (CHAPTER 16.8, SCMC)
APPROVED PLANS SHALL BE AVAILABLE AT THE APPLICABLE PERMITS DIVISION (CIVIL/ENGINEERING DIVISION), DIVISION 10. SANITARY FACILITY FOR CONSTRUCTION SITE TEST IS PROVIDED. (CHAPTER 16.8, SCMC)
FINAL INSPECTIONS SHALL BE COMPLETED AND APPROVED FOR ANY REMEDIATION, ADDITION OR TENANT IMPROVEMENT PROJECT. (CHAPTER 16.8, SCMC)
SPECIAL INSPECTION REQUIREMENTS FOR MULTIFAMILY AND COMMERCIAL BUILDINGS WITH 2 STORIES OR MORE, FINISHING AND BUILDING INSPECTIONS ARE REQUIRED FOR EACH FLOOR LEVEL. PER TO SPECIAL AND VISUAL TOPOGRAPHICAL CONDITIONS AT THE SITE, SURVEYORS CERTIFICATION FOR THE COMPLIANCE OF THE FIRST FLOORS SURFACE FINISH FLOOR SHALL BE REQUIRED. (SPECIAL PROJECT)
RETAINING WALLS WHICH ARE NOT A PART OF THE STRUCTURE, INCLUDING MASONRY GARDEN WALLS, SHALL REQUIRE A SEPARATE PERMIT UNLESS NOTED OTHERWISE. (CHAPTER 16.8, SCMC)
CURBS, GUTTERS AND SIDEWALKS ARE REQUIRED. (CHAPTER 12.6, SCMC)
ALL ROOF WATER SHALL BE DRAINED BY ROOF GUTTERS AND DRAIN PIPES TO THE STREET OR OTHER APPROVED LOCATION BY GUTTERS AND PIPING OR BY USE OF AN APPROVED NON-ROOFING SURFACE DRAIN. WATER SHALL NOT DRAIN OVER OR UNDER SIDEWALKS. (CHAPTER 15.6, SCMC)
NO RESIDENT WATER PIPING, UNDERGROUND COPPER WATER PIPING UNDER SLAB FLOORS SHALL BE TYPE "K" PLACED IN 2" SAND BED & PROPERLY PROTECTED WHEN PENETRATING SLAB. (CHAPTER 15.6, SCMC)
3" HOLES ARE REQUIRED FOR FRONT AND BACK BUILDING. (CHAPTER 12.6, SCMC)
A 1/2" CONDUIT SHALL BE RUN FROM THE WATER METER BOX TO THE TELEPHONE SYSTEM BOX, ONE PAIR OF NO. 18 CONDUIT WIRES SHALL BE INSTALLED FOR USE OF THE WATER DIVISION. (SCMC)
APPROVED BACKFLOW DEVICES SHALL BE INSTALLED ON COMMERCIAL IRRIGATION SYSTEMS, NON-RESIDENTIAL BUILDINGS OR ANY OTHER ACTIVITY AS REQUIRED BY CHAPTER 16.8, SCMC. QUESTIONS AND INSPECTION REQUESTS MAY BE ADDRESSED TO THE UTILITY MANAGER AT (949) 361-2555.
NO ALUMINUM WIRE WILL BE USED WITHOUT PRIOR APPROVAL FROM BUILDING OFFICIAL. (CHAPTER 14.2, SCMC)
WATER-CONSERVING FIXTURES, [1] LG CAL TOILETS, [2] LG CAL URINALS, [3] GPM SHOWER HEADS, [4] GPM GRIFFETS FAUCETS, [5] GPM LAVATORY FAUCETS, [6] CALIFORNIA PLUMBING CODE.
TRASH AND CONSTRUCTION DEBRIS CONTAINERS, PORTABLE TOILETS, AND CONSTRUCTION EQUIPMENT SHALL NOT BE LOCATED ON PUBLIC SIDEWALKS AND STREETS. (CHAPTER 12.6, SCMC)
ALL BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION ON THE BUILDING PLACED IN A POSITION THAT IS PLAIN, LEGIBLE AND VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL CORRELATE WITH THEIR BACKGROUNDS. ADDRESS NUMBERS SHALL BE ARABIC NUMBERS OR ALPHABETIC LETTERS. NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/8" FOR 4" OR FOR 3" PLACEMENT. FOR ALL OTHER OCCUPANCIES THE NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH OF 1/8". WHERE ACCESS IS BY A PRIVATE ROAD AND THE BUILDING CANNOT BE VIEWED FROM THE PUBLIC WAY, A MINIMUM OF 10" HIGH LETTERS OR NUMBERS SHALL BE USED TO IDENTIFY THE STRUCTURE. (CHAPTER 12.6, SCMC)
SUBDIVISION SHALL HAVE ANY STREET UNDER WHICH CABLE TV CONDUIT IS TO BE PLACED WITHOUT Aerial NOTICE TO CABLE COMMUNICATIONS FOR THE INSTALLATION OF CABLE CONDUIT. NOTICE SHALL BE SENT TO THE FOLLOWING ADDRESS: GENERAL MANAGER COMMUNICATIONS, 2902 AVENUE B, MANHATTAN, KANASAS 66503, MANHATTAN, KANASAS (949) 546-2800.
ELECTRIC AND GAS METERS SHALL BE SEPARATE. ALL PHASES OF WORK ARE COMPLETED PER POLICY.
 NOTE: SCMC San Clemente Municipal Code SCMC, San Clemente Building Division, San Clemente Water Division
 (949) 361-6100 Fax (949) 361-8281 - www.san-clemente.org Rev 02/2019

RESIDENTIAL SECURITY

CITY OF SAN CLEMENTE SCMC 15.28 - RESIDENTIAL BUILDING SECURITY 15.28.090 FRAMES/JAMBS/STROKES/SHIMS AND installation and construction of frames, jamba, strokes, and hinges shall be as follows:

- (a) Door jamba shall be installed with solid backing in such manner that no voids exist between the strike side of the jamb and the frame opening for a vertical distance of six (6) inches on each side of the strike.
- (b) In wood framing, horizontal backing shall be placed between studs at door height for three (3) stud spaces each side of the door opening. Trimmers shall full length from the header to the door with solid backing against sole plates.
- (c) Door stops on wooden jamba for in-swinging doors shall be of one piece construction with the jamb. Jamba for all doors shall be constructed or protected so as to prevent violation of the strike.
- (d) The strike plate for deadbolts on all wood framed doors shall be constructed of minimum thickness (1) 1/2" gauge steel, bronze, or brass, and secured to the jamb by a minimum of two (2) screws which must penetrate at least two (2) inches into solid backing beyond the surface to which the strike is attached.
- (e) Hinges for out-swinging doors shall be equipped with nonremovable hinge pins or mechanical interlock to preclude removal of the door from the exterior by removing the hinge pins.

Sec 15.28.110 WINDOWS / SLIDING GLASS DOORS The following requirements must be for windows and sliding glass doors:

- (a) Except as otherwise specified in Sec. 15.28.120 (Special Residential Building Provisions), and Sec. 15.28.130 (Special Commercial Building Provisions), all operable exterior windows and sliding glass doors shall comply with the tests set forth in Sec. 15.28.140 (Tests).

Sec. 15.28.110 ROLLING OVERHEAD, SOLID OVERHEAD, SWING, SLIDING, OR ACCORDION GARAGE TYPE DOORS Rolling overhead, solid overhead, swing sliding, or accordion garage type doors shall conform to the following standards:


- (a) Wood doors shall have panels a minimum of five-sixteenths (5/16) inch in thickness with the locking hardware being attached to the support framing.
- (b) Aluminum doors shall be a minimum thickness of 0.215 inches and riveted together eighteen (18) inches on center along the outside season. There shall be a full width horizontal beam attached to the main door structure which shall meet the pilot, or pedestrian access door framing within three (3) inches of the strike area of the pilot or pedestrian access door.
- (c) Fiberglass doors shall have panels a minimum density of six (6) ounces per square foot from the bottom of the door to a height of seven (7) feet. Panels above seven (7) feet and panels in residential structures shall have a density not less than five (5) ounces per square foot.
- (d) Doors utilizing a cylinder lock shall have a minimum five (5) pin tumbler operation, with the locking bar or bolt extending into the receiving guide a minimum of one (1) inch.
- (e) Doors that exceed sixteen (16) feet in width shall have two (2) lock extending points, or, if the door does not exceed nineteen (19) feet, a single bolt may be used if placed in the center of the door, with the locking point, with located either at the floor or door frame header or torsion spring type hardware may be used.
- (f) Except in a residential building doors secured by electrical operation shall have a key switch to open the door when in a closed position, or by a signal locking device.
- (g) Doors with slide bolt assemblies shall have a minimum of 120 inches and one half, with a minimum bolt diameter of one-half (1/2) inch and protrude at least one and one half (1-1/2) inches into the receiving guide. A bolt diameter of three-eighths (3/8) inch may be used in a residential building.
- (h) The slide bolt shall be attached to the doors with nonremovable bolts from the outside. Screws shall not be used to attach slide bolt assemblies.
- (i) Except in a residential building, padlock(s) used with exterior mounted slide bolt(s) shall have a hardened steel shackle, locking both in the closed and a minimum five (5) pin tumbler operation with non-removable key when in an unlocked position. Padlock(s) used with the interior mounted slide bolt(s) shall have a hardened steel shackle with minimum (4) pin tumbler operation.

Sec. 15.28.120 SPECIAL RESIDENTIAL BUILDING PROVISIONS

- (a) All Exterior swinging doors and doors leading from garage areas into private family dwelling shall be secured as follows:
 - (1) All wood doors shall be of solid core construction with a minimum thickness of one and three-fourths (1 3/4) inches and with panel if not less than one-sixteenth (1/16) inch thick.
 - (2) A single or double door shall be equipped with single cylinder deadbolt lock. The bolt shall have a minimum projection of one (1) inch and be constructed so as to resist cutting tool attack. The deadbolt shall have an embedment of at least three-fourths (3/4) inch into the strike receiving the projected bolt. The cylinder shall have a cylinder guard, a minimum of five (5) pin tumblers, and shall be connected to the inner portion of the lock by connecting pins of at least one-fourth (1/4) inch diameter. All installation shall be done so that the performance of the locking device shall meet the intended anti-burglary requirement. A dual locking mechanism constructed so that both deadbolt and latch on be retracted by a single action of the inside door knob, or lever, may be substituted provided it meets all other specifications for locking devices. Double deadbolt locks are not authorized for use in residences unless they possess a key-retaining device which makes it impossible to remove the key when locked from the interior of a dwelling.
 - (3) The inactive leaf of wood frame double door shall be equipped with metal flush bolts with a bolt projection of a minimum of one (1) inch at the top and bottom of the leaf.
 - (4) The inactive leaf of a metal frame double door shall be equipped with metal flush bolts with a bolt projection of a minimum of five-eighths (5/8) inch at the top and bottom of the leaf.
 - (5) Glazing in exterior doors or within forty (40) inches of any locking mechanism shall be of fully tempered glass, or safety burglar resistant glass.
 - (6) All front exterior doors shall be equipped with a wide angle (180 degree) door viewer, except where clear vision panels are installed.
 - (b) Street numbers and other identifying data shall be displayed as follows: (1) Every private dwelling shall display a street number in appropriate location on the street side of the residence in such a position that the number is easily visible to approaching emergency vehicles. The numerals shall be no less than Four (4) inches in height and shall be of a contrasting color to the background to which they are attached for greater visibility.
 - (2) There shall be Positioned at each entrance of a Multiple Dwelling complex an illuminated diagrammatic representation of the complex which shows the location of the viewer and the unit designations within the complex. In addition, each individual units within the complex shall display a prominent identification number which is easily visible to approaching vehicular and/or pedestrian traffic.
 - (c) Lighting in multiple family dwellings shall be as follows: (1) Aides, passageways, and entrances related to and within the building complex shall be illuminated with an intensity of at least .25 foot candles at the ground level during the hours of dark ness. Lighting devices shall be protected by weather and vandalism-resistant covers.



SPECIAL INSPECTIONS



City of San Clemente
Phone: (949) 361-6100 Fax: (949) 361-8281
Building Division, San Clemente

**SPECIAL INSPECTION FORM
PERMIT NO:**

Project Address: _____ Phone Review Project No: _____
 Property Owner: _____ Architect: _____
 Engineer: _____ Plans Examiner: _____

These inspections of building permit, the review or the architect or engineer or the building official, shall require an approval report prepared by the City of San Clemente and shall sign and return this area in the Building Division. Selection of the special inspection agency cannot be changed once the building permit is issued, except with the specific permission of the Building Official.

Special Inspector: _____ Phone No: _____
 Inspection Agency (If Item): _____ Phone No: _____
 Owner/ Architect or Engineer (Special): _____ Phone No: _____

The above signed hereby certifies that the special inspectors identified above, has been engaged to perform the special inspections outlined below as required by Chapter 17 of the California Building Code.

GEOCHEMICAL / SOILS

- ☐ Prior to foundation inspection submit a field memo stamped and signed by licensed geotechnical engineer in certainty foundation excavations are located in pre-approved soils bearing capacity and to confirm required soils bearing capacity.
- ☐ Soil Bearing Confirmation: _____

FOUNDATION CONCRETE

- ☐ Fc = 4500 psi concrete strength required (maximum water/cement ratio = 0.45) exposed to sulfates
- ☐ Type V cement required exposed to sulfates
- ☐ Special inspection and concrete lab testing IS REQUIRED
- ☐ Special inspection NOT required. Submit concrete batch mix trip ticket to building inspector.

PILE INSTALLATION

- ☐ Drilled Cast-in-Place Caissons / Piles _____ ☐ Precast Concrete Piles _____
- ☐ Foundation Underpinning/Installation _____ ☐ Steel Piles _____

REINFORCED CONCRETE

- ☐ High-Strength Concrete (>2,500 psi) Fc: _____ ☐ Cast-in-Place Concrete
- ☐ Grade Beams _____ ☐ Cast-in-Place Caissons / Piles _____ ☐ Reinforcing Placement
- ☐ Concrete Finishes: _____ ☐ Post-Tensioned (tendon placement / stressing and concrete placement)
- ☐ Shotcrete / Grout _____

STRUCTURAL STEEL

- ☐ Field Welding _____ ☐ High Strength Bolting _____ ☐ Spray Applied Fire Proofing
- ☐ Steel Erection _____

STRUCTURAL MASONRY

- ☐ Retaining Walls _____ ☐ Walls & Pilasters _____

MISCELLANEOUS

- ☐ **STRUCTURAL OBSERVATION IS REQUIRED** (See attached structural observation form)
- ☐ Epoxy Anchors / Bolts _____
- ☐ Shot Wall / Diaphragm Nailing _____
- ☐ Other _____
- ☐ Other _____

Building Division, 910 Calle Negocio, Suite 100 San Clemente CA 92070

CODE DATA

CALIFORNIA RESIDENTIAL CODE, 2019 EDITION
 CALIFORNIA BUILDING CODE, 2019 EDITION
 CALIFORNIA PLUMBING CODE, 2019 EDITION
 CALIFORNIA ELECTRICAL CODE, 2019 EDITION
 CALIFORNIA MECHANICAL CODE, 2019 EDITION
 CALIFORNIA ENERGY CODE, 2019 EDITION
 CALIFORNIA FIRE CODE, 2019 EDITION
 CITY OF SAN CLEMENTE'S 2019 CALIFORNIA CODE AMENDMENTS
 CITY OF SAN CLEMENTE'S 2019 CALIFORNIA GREEN CODE
 TITLE 24, STATE OF CALIFORNIA ADMINISTRATIVE CODE
 ALL OTHER APPLICABLE LOCAL, STATE AND / OR NATIONAL CODES
 OCCUPANCY: R-3, U
 CONSTRUCTION: VB, FIRE SPRINKLERED

CALGREEN COMPLIANT PLUMBING FIXTURES:
 TOILET - MANUFACTURED TO USE LESS THAN 1.28 GALLON OF WATER PER FLUSH
 SINGLE SHOWERHEAD - MANUFACTURED TO HAVE A FLOW CAPACITY OF LESS THAN 2.0 GALLONS OF WATER PER MINUTE AT 80 PSI
 INTERIOR FAUCETS - MANUFACTURED TO EMIT LESS THAN 1.2 GALLONS OF WATER PER MINUTE AT 60 PSI

SHEET INDEX

01	TITLE SHEET
02	GENERAL NOTES
03	SITE PLAN
04	ADDITION AREA PLAN
05	LANDSCAPE AREA
06	FIRST FLOOR DEMO PLAN
07	SECOND FLOOR DEMO PLAN
08	ROOF DEMO PLAN
09	EXISTING ELEVATIONS
D10	EXISTING ELEVATIONS
G11	FIRST FLOOR PLAN
A1	SECOND FLOOR PLAN
A2	ROOF PLAN
A3	ELEVATIONS
A4	ELEVATIONS
A5	ELEVATIONS
A6	SECTIONS
T1	TOPOGRAPHICAL SURVEY
C1	PRELIMINARY GRADING PLAN

PROJECT DIRECTORY

OWNER
 DAVID AND RENEE LINDAHL
 1612 CALLE DE LOS ALAMOS
 SAN CLEMENTE, CA 92072

LOT DESCRIPTION
 APTN: 80-181-04
 ZONE: R-1C
 LOT: 30
 TRACT: 897

DESIGNER
 DUSTIN MORRIS
 ETOH DESIGN
 1000 CALLE CONDILLERA
 SAN CLEMENTE, CA 92072
 PH: 949.218.4110
 EMAIL: dustin@etohdesign.com

SOILS ENGINEER:
 LOG: GEOTECHNICAL, INC.
 KEVIN COLSON
 131 CALLE BELLESEA, SITE 200
 SAN CLEMENTE, CA 92673
 (949)858-8141
 kcolson@geotechnical.com

SURVEYOR:
 RDM SURVEYING, INC.
 RDM BRESERNA
 23016 LAKE FOREST DR 409
 LAJUNAS VALLEY, CA 92053
 (949) 858-2524
 rdm@rdsurveying.com

SITE ANALYSIS

LOT AREA	15,096 SQFT
(E) LOT COVERAGE S.F.	3,254 SQFT (21.67%)
(N) LOT COVERAGE S.F.	3,969 SQFT (26.30%)
BUILDING AREA:	
SINGLE FAMILY RESIDENCE	6,324 SQFT
1 CAR GARAGE SOFT	529 SQFT
2 CAR GARAGE SOFT	669 SQFT
BUILDING SET BACKS:	
FRONT YARD	20'-1"
LEFT SIDE YARD	6'-0"
RIGHT SIDE YARD	6'-0"
REAR YARD (FROM BLUE EDGE)	54'-8 1/2"
MAX BUILDING HEIGHT PERMITTED	25.00'
PROPOSED BLDG. HT.	24.82'

SEPARATE PERMIT

DEFERRED SUBMITTAL - RESIDENTIAL AUTOMATIC FIRE-SPRINKLER SYSTEM TO BE CONSTRUCTED UNDER SEPARATE PERMIT. PERMITTED BY ANY SUBMITTAL ITEMS SHALL HAVE THE PRIOR APPROVAL OF THE BUILDING OFFICIAL. THE RESTRICTED DESIGN PROFESSIONAL (RDP) IN RESPONSIBLE CHARGE SHALL BE THE CERTIFIED PROFESSIONAL ENGINEER OR ARCHITECT. ALL DOCUMENTS FOR REVIEW BY THE BUILDING OFFICIAL, DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE RDP WHO SHALL REVIEW THEM PRIOR TO PREPARING THEM TO BE PROVIDED TO THE BUILDING OFFICIAL. THESE SHALL NOT BE THE DOCUMENTS REVIEWED AND BEING FOUND TO BE IN GENERAL COMPLIANCE TO THE CODES OF THE BUILDING, THE SUPERSEDES SUBMITTAL, THESE SHALL NOT DIVISION H, SECTION 107.4.2 (2019 CBC).

BUILDING AREA MATRIX

	EXISTING	AREA OF REMODEL	ADDITION	DEMO	TOTAL SQFT
LIVING SPACE:					
FIRST FLOOR	2,530				2,530
SECOND FLOOR	3,172				3,172
TOTAL SOFT	5,702				5,702
1- CAR GARAGE	284				284
2- CAR GARAGE	445				445
DECKS	319				319

SCOPE OF WORK

1,754 SQFT REMODEL AND 778 SQFT ADDITION TO AN EXISTING 6,707 SQFT 2 STORY SINGLE FAMILY RESIDENCE. 499 SQFT ADDITION TO EXISTING GARAGE(S).
 INTERIOR IMPROVEMENTS INCLUDE RECONFIGURING LIVING SPACE, UPDATING KITCHEN AND BATHROOM, ADDITION TO GARAGE(S), A NEW OFFICE AND NEW BEDROOM, NEW DOORS AND WINDOWS THROUGHOUT.
 EXTERIOR IMPROVEMENTS INCLUDE MODERNIZING ARCHITECTURE, AND NEW STANDING SEAM METAL ROOF.
 SITE IMPROVEMENTS INCLUDE NEW DRIVEWAY AND NEW COURTYARD, EXPAND EXISTING REAR CONCRETE PATIO, NO CHANGE TO POOL/SPA.

VICINITY MAP

REVISIONS:

PLANS PREPARED BY: 08/01/20

D/MORRIS DATE

1050 CALLE CONDILLERA
 SAN CLEMENTE
 CALIFORNIA 92672
 (949) 218-4110

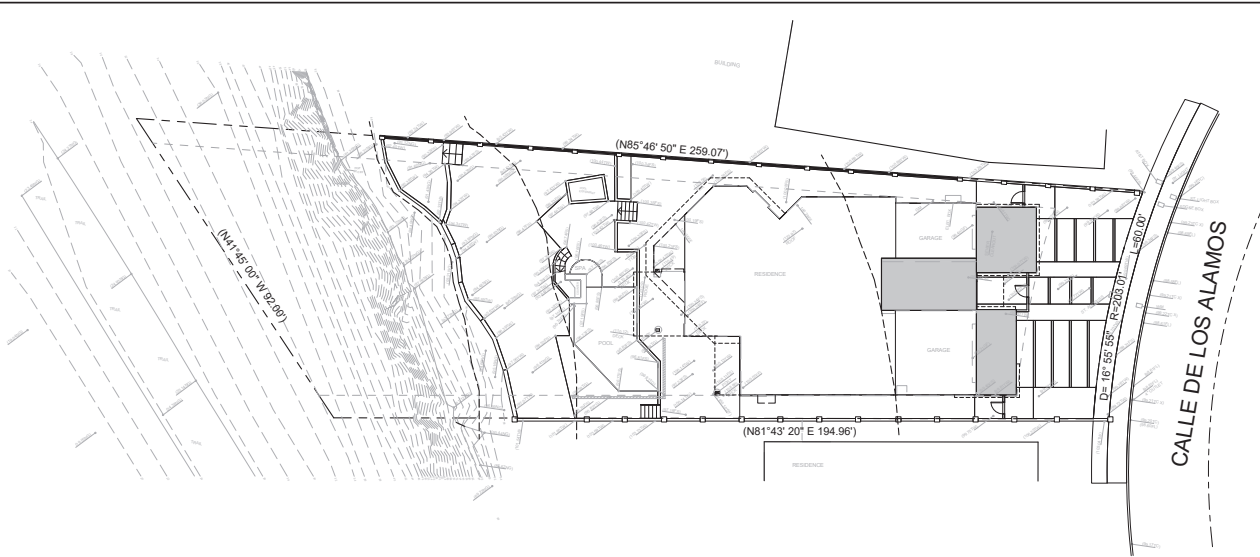
LINDAHL RESIDENCE
 1812 CALLE DE LOS ALAMOS, SAN CLEMENTE

Lindaahl Residence
 1812 CALLE DE LOS ALAMOS, SAN CLEMENTE

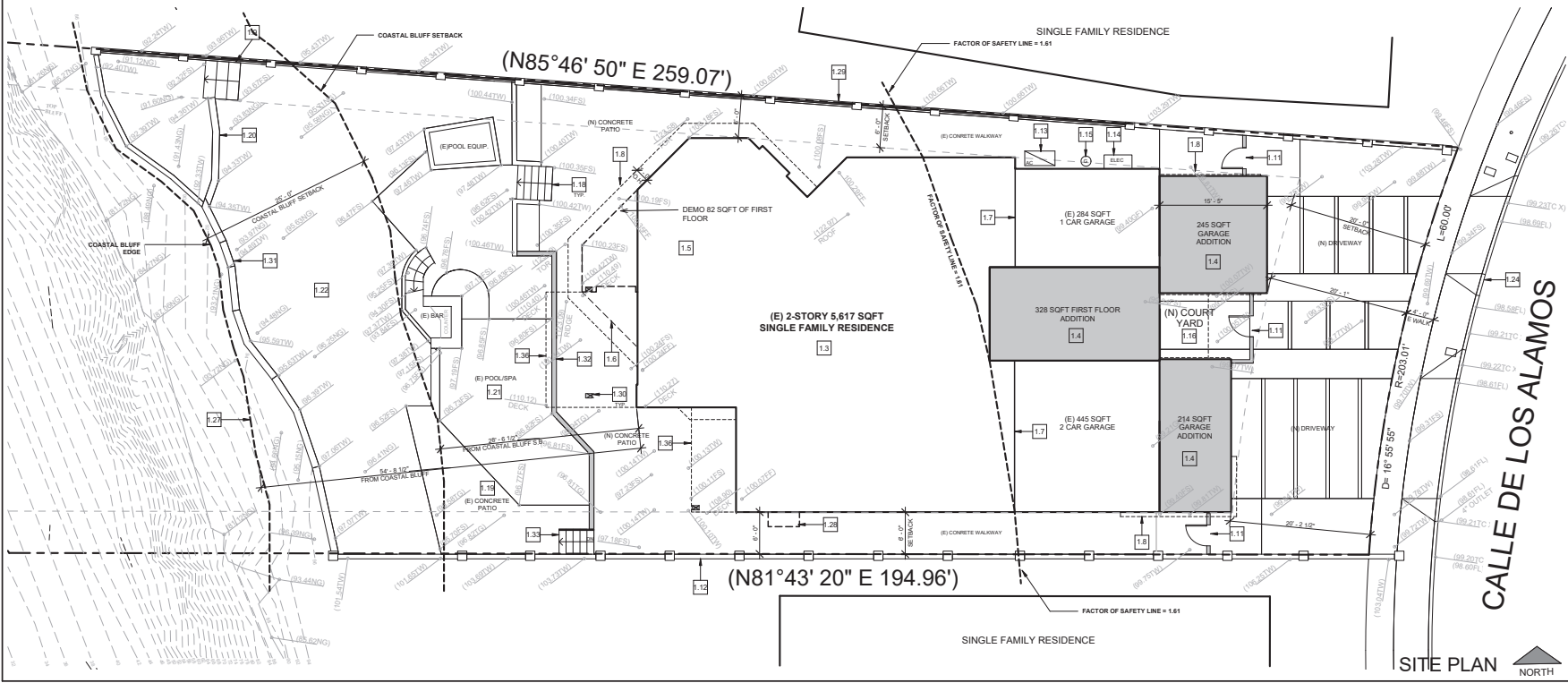
Exhibit 2

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OVERALL SITE PLAN NORTH



SITE PLAN NORTH

SITE NOTES

- 1.3 EXISTING BUILDING FOOTPRINT
- 1.4 AREA OF NEW BUILDING ADDITION
- 1.5 AREA OF EXISTING RESIDENCE TO BE DEMOLISHED
- 1.6 LINE OF SECOND FLOOR
- 1.7 LINE OF GARAGE
- 1.8 LINE OF ROOF OVERHANG
- 1.9 EXISTING CONCRETE STAIRS TO REMAIN
- 1.11 NEW SITE WALL @ 6" MAX A.F.S. w/ NEW LAHABRA STUCCO FINISH COLOR: CRYSTAL WHITE AND NEW WOOD GATE. REFER TO CIVIL PLANS
- 1.12 EXISTING SITE WALL TO REMAIN w/ NEW LAHABRA STUCCO FINISH COLOR: CRYSTAL WHITE
- 1.13 NEW AC CONDENSER LOCATION
- 1.14 EXISTING ELECTRICAL BOX
- 1.15 EXISTING GAS METER LOCATION
- 1.16 NEW CONCRETE HARDSHIP
- 1.18 EXISTING CONCRETE STAIRS
- 1.19 EXISTING CONCRETE PATIO
- 1.20 EXISTING RETAINING WALL
- 1.21 EXISTING POOL SPA
- 1.22 REPLACE EXISTING SOG WITH ARTIFICIAL TURF
- 1.24 EXISTING CURB AND GUTTER
- 1.27 DETERMINATION OF SLOPE
- 1.28 EXISTING CHIMNEY TO BE DEMOLISHED
- 1.29 EXISTING SITE WALL W/ FENCE TO REMAIN w/ NEW LAHABRA STUCCO FINISH COLOR: CRYSTAL WHITE
- 1.30 EXISTING POST TO REMAIN
- 1.31 EXISTING LANDSCAPE WALL W/ FENCE
- 1.32 NEW SITE WALL w/ NEW LAHABRA STUCCO FINISH COLOR: CRYSTAL WHITE
- 1.33 NEW CONCRETE STAIRS w/ METAL HANDRAIL 34-38" ABOVE TREAD NOSING
- 1.36 LINE OF EXISTING DECK ABOVE

REVISIONS:

PLANS PREPARED BY:

LINDAHL RESIDENCE
 1812 CALLE DE LOS ALAMOS,
 SAN CLEMENTE,
 CALIFORNIA 92673
 (949) 218-4170

LINDAHL RESIDENCE
 1812 CALLE DE LOS ALAMOS, SAN CLEMENTE



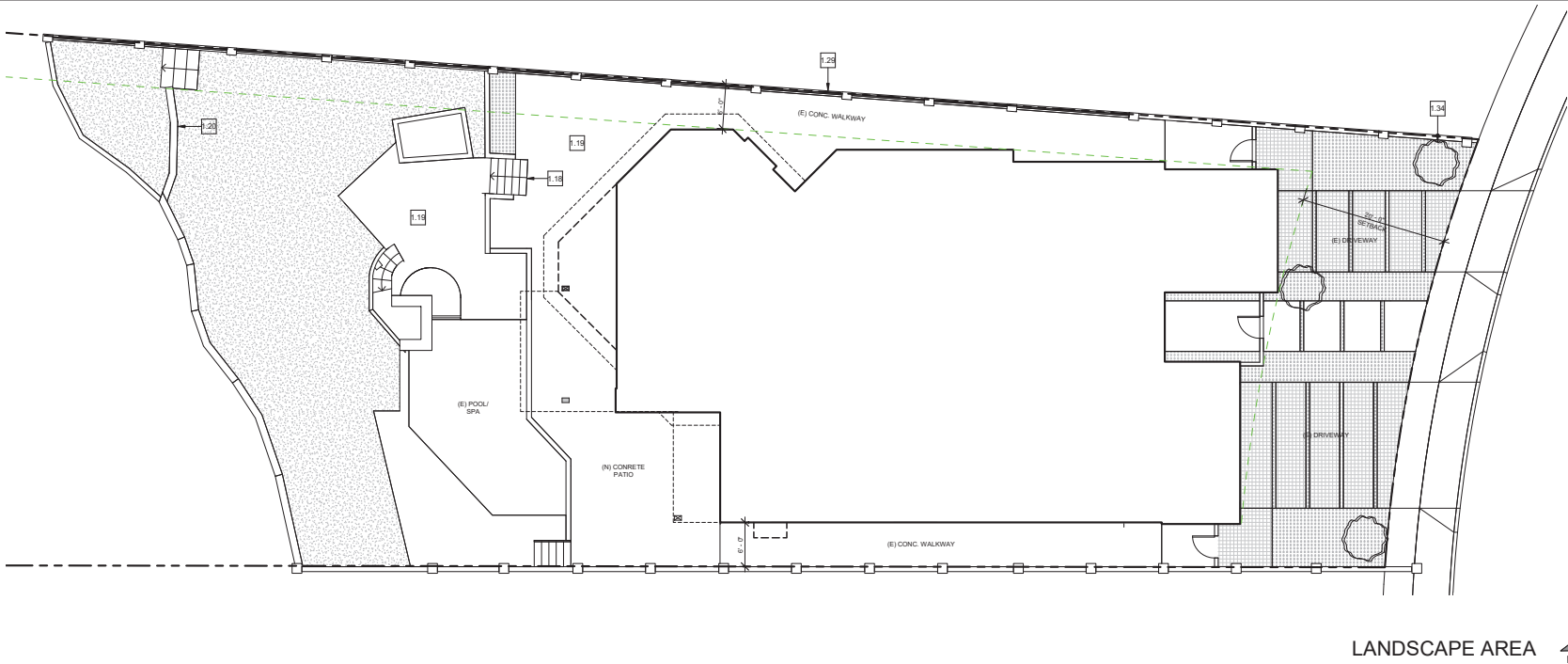
LINDAHL RESIDENCE
 1812 CALLE DE LOS ALAMOS,
 SAN CLEMENTE

SITE LEGEND

- EXISTING BUILDING FOOTPRINT
- AREA OF NEW FIRST FLOOR BUILDING ADDITION
- AREA OF DEMOLITION
- LINE OF ROOF OVERHANG

Exhibit 2





SITE NOTES	
1.18	EXISTING CONCRETE STAIRS
1.19	EXISTING CONCRETE PATIO
1.20	EXISTING RETAINING WALL
1.20	EXISTING SITE WALL W/FENCE TO REMAIN, W/ NEW LAMINAR GLASS FINISH, COLOR: CRYSTAL WHITE
1.34	NEW 15 GALLON TREE PER CITY STD.

REVISIONS:

LANDSCAPE CALC

TOTAL FRONT SET BACK AREA: 1212 SQFT

TOTAL NON PERMEABLE AREA: 138 SQFT

TOTAL PERMEABLE AREA: 515 SQFT

TOTAL TURF BLOCK PERMEABLE PAVEMENT AREA: 559 SQFT % 2 = 279.5 SQFT (50%)

TOTAL PERMEABLE AREA = 794.5 SQ FT / 1212 SQ FT (65.55%)

PERMEABLE AREA

TURFBLOCK PERMEABLE PAVERS (COUNT 50% OF AREA)

NON PERMEABLE AREA

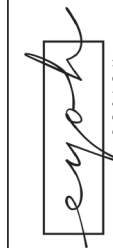
AREA OF TURF

NOTE:
PER COASTAL LUP POLICY -HAC-46:
ALL LANDSCAPING FOR NEW BLUFF, CANYON OR SHORELINE DEVELOPMENT OR REDEVELOPMENT SHALL CONSIST OF NATIVE, NON-INVASIVE, BRIGHT TOLERANT, AND FIRE-RESISTANT SPECIES. ANY PERMANENT IRRIGATION SYSTEM SHALL BE LOW VOLUME (DRIP, MICRO, JET, ETC.) AND SHALL ONLY BE PERMITTED ON THE STREET FACING PORTION OF THE LOT. IRRIGATION SYSTEMS ALONG THE BLUFF, CANYON OR SHORELINE PORTION OF A LOT SHALL ONLY BE ALLOWED ON A TEMPORARY BASIS FOR INITIAL PLANT ESTABLISHMENT AND SHALL BE REMOVED AFTER VEGETATION HAS ESTABLISHED. EXCESSIVE IRRIGATION ON BLUFF AND CANYON LOTS IS PROHIBITED.

PLANS PREPARED BY:
05/05/21

1050 CALLE CORDILLERA
SAN CLEMENTE
CALIFORNIA 92673
(949) 218-4110

LINDAHL RESIDENCE
1812 CALLE DE LOS ALAMOS, SAN CLEMENTE

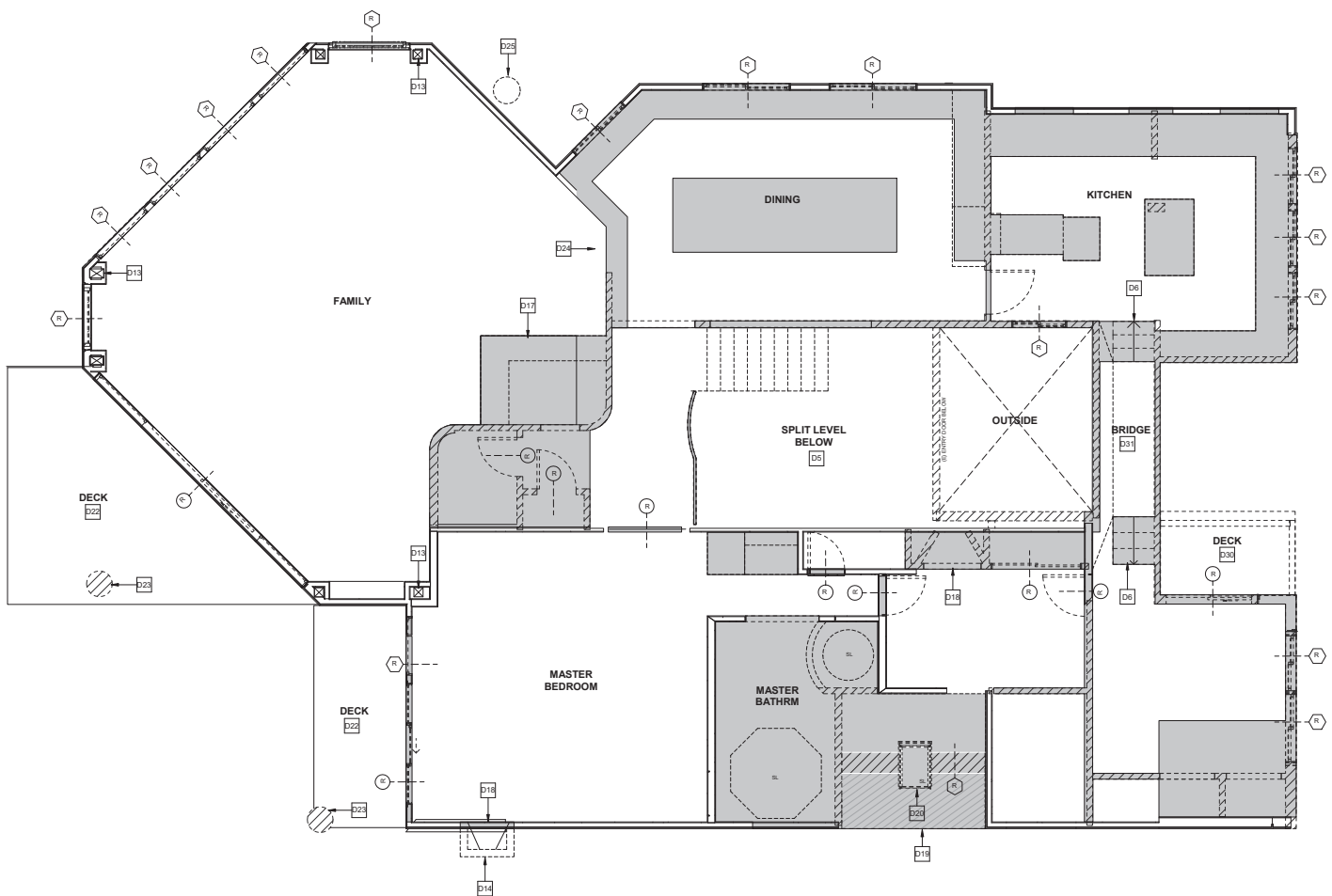


LINDAHL RESIDENCE
1812 CALLE DE LOS ALAMOS,
SAN CLEMENTE

Exhibit 2

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California Coastal Commission



DEMO NOTES		REVISIONS:
D6	EXISTING SPLIT LEVEL ENTRY TO BE REMOVED	
D6	REMOVE STAIRS	
D13	EXISTING POST TO REMAIN	
D14	EXISTING CHIMNEY TO BE REMOVED	
D17	REMOVE BAR	
D18	REMOVE FIREPLACE	
D19	REMOVE ROOF	
C00	REMOVE SKYLIGHT	
D22	EXISTING DECK TO REMAIN- REMOVE RAILING AND TIE	
C23	REMOVE COLUMN	
D24	LINE OF EXISTING RAISED FLOOR	
D25	REMOVE EXISTING CHIMNEY FLUE	
C30	EXISTING DECK TO BE REMOVED	
D31	EXISTING BRIDGE TO REMAIN	
DEMO CALCS		
TOTAL LINEAR FEET OF SECOND FLOOR EXTERIOR WALLS:		PLANS PREPARED BY:
306'-6" FEET		05/05/21
LINEAR FEET OF SECOND FLOOR EXTERIOR WALLS TO BE REMOVED:		
89'-10" FEET		
LINEAR FEET OF SECOND FLOOR EXTERIOR WALLS TO REMAIN:		
216'-8" FEET		
70.89% OF SECOND FLOOR EXTERIOR WALLS TO REMAIN		
TOTAL LINEAR FEET OF EXTERIOR WALLS:		1050 CALLE CORDILLERA SAN CLEMENTE CALIFORNIA 92673 (949) 218-4170
635'-4" FEET		
TOTAL LINEAR FEET OF EXTERIOR WALLS TO REMAIN		
472'-3" FEET		
74.33% OF EXTERIOR WALLS TO REMAIN		
FLOOR STRUCTURE REMODEL AREA		
TOTAL EXISTING SECOND FLOOR STRUCTURE AREA: 3,401 SQ FT		
PROPOSED REMODEL OF EXISTING SECOND FLOOR STRUCTURE AREA:		
ESTIMATE 0% (0 SQ FT / 0 SQ FT) OF EXISTING SECOND FLOOR STRUCTURE TO BE REMODELED		
SECOND FLOOR REMODEL AREA		
EXISTING SECOND FLOOR LIVING AREA		
3,082 SQFT		
TOTAL EXISTING SECOND FLOOR DECKS:		
319 SQFT		
TOTAL EXISTING SECOND FLOOR LIVING AREA:		
3,082 SQFT		
SECOND FLOOR LIVING AREA TO BE REMODELED:		
921 SQFT / 3,082 SQFT = (29.89%)		
SECOND FLOOR DECKS TO BE REMODELED:		
13 SQFT / 319 SQFT = (4.07%)		
TOTAL REMODEL AREA		
TOTAL FIRST FLOOR AREA:		
3,182 SQ FT		
TOTAL SECOND FLOOR AREA:		
3,082 SQFT		
TOTAL LIVING SPACE:		
6,264 SQFT		
TOTAL FIRST FLOOR TO BE REMODELED:		
803 SQ FT / 3,182 SQ FT = (25.23%)		
TOTAL SECOND FLOOR TO BE REMODELED:		
921 SQFT / 3,082 SQFT = (29.89%)		
TOTAL TO BE REMODELED:		
1,724 SQFT / 6,264 SQFT = (27.52%)		
DEMO LEGEND		
	EXISTING WALL TO DEMOLISHED	
	EXISTING WALL TO REMAIN	
	EXISTING DOOR TO BE REMOVED	
	EXISTING WINDOW TO BE REMOVED	
	EXISTING AREA TO REMAIN	

LINDAHL RESIDENCE
 1812 CALLE DE LOS ALAMOS, SAN CLEMENTE



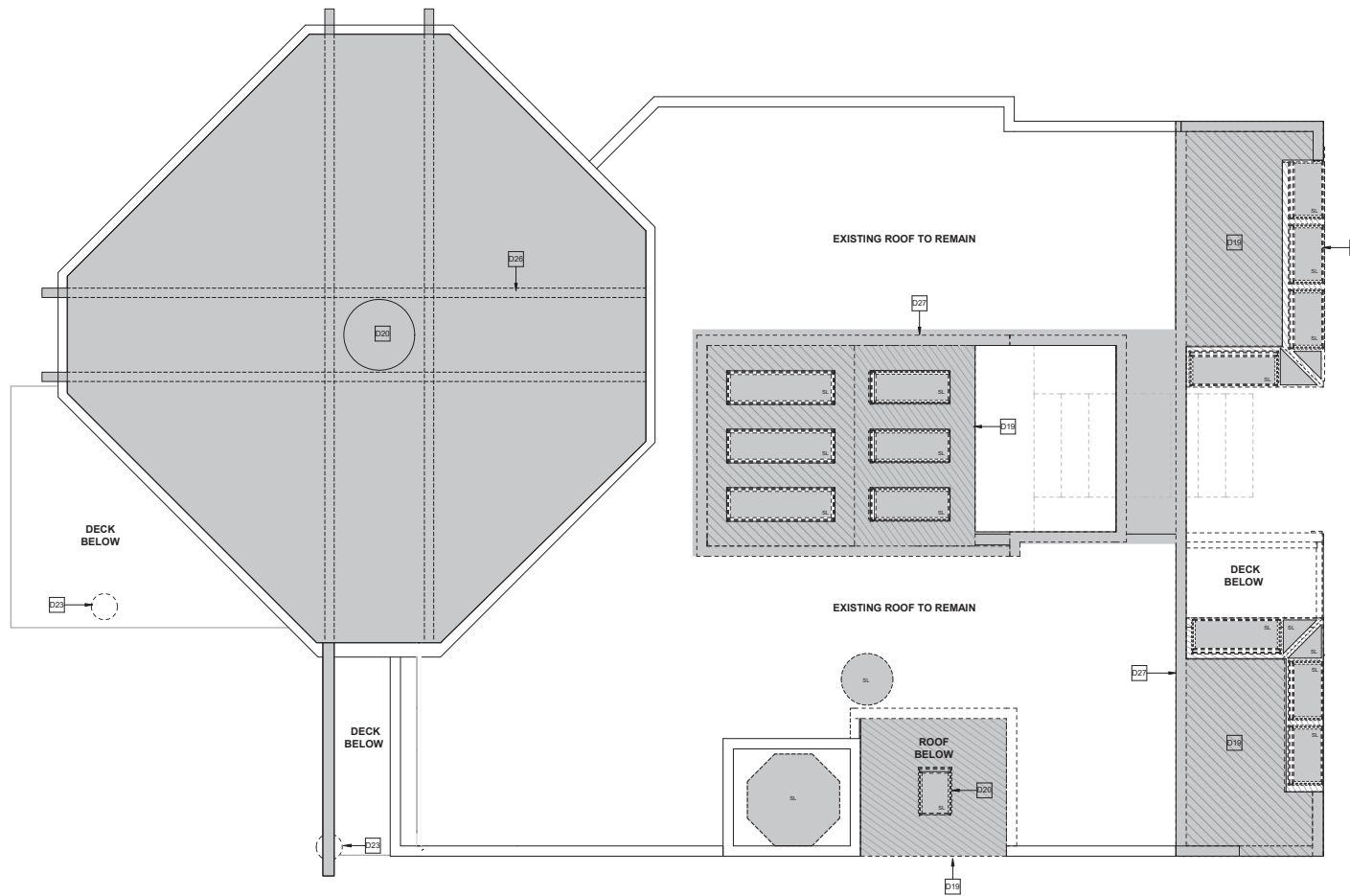
LINDAHL RESIDENCE
 1812 CALLE DE LOS ALAMOS,
 SAN CLEMENTE

SECOND FLOOR DEMO PLAN

Exhibit 2

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California Coastal
Commission



DEMO NOTES

- D19 REMOVE ROOF
- D20 REMOVE SKYLIGHT
- D23 REMOVE COLUMN
- D26 REMOVE BEAMS
- D27 REMOVE PORTION OF PARAPET

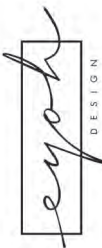
REVISIONS:

PLANS PREPARED BY:

05/05/21

1050 CALLE CORDILLERA
SAN CLEMENTE
CALIFORNIA 92673
(949) 218-4110

LINDAHL RESIDENCE
1812 CALLE DE LOS ALAMOS, SAN CLEMENTE



ROOF STRUCTURE REMODEL AREA

EXISTING ROOF STRUCTURE/ AREA 3,602 SQFT
TOTAL EXISTING ROOF STRUCTURE/ AREA TO BE REMODELED:
ESTIMATE 1,755 SQFT (48.72% OF EXISTING ROOF STRUCTURE/ AREA TO BE REMODELED)

DEMO LEGEND

- EXISTING WALL TO DEMOLISHED
- EXISTING WALL TO REMAIN
- EXISTING DOOR TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED

LINDAHL RESIDENCE
1812 CALLE DE LOS ALAMOS,
SAN CLEMENTE

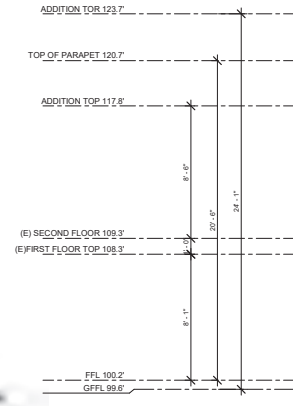
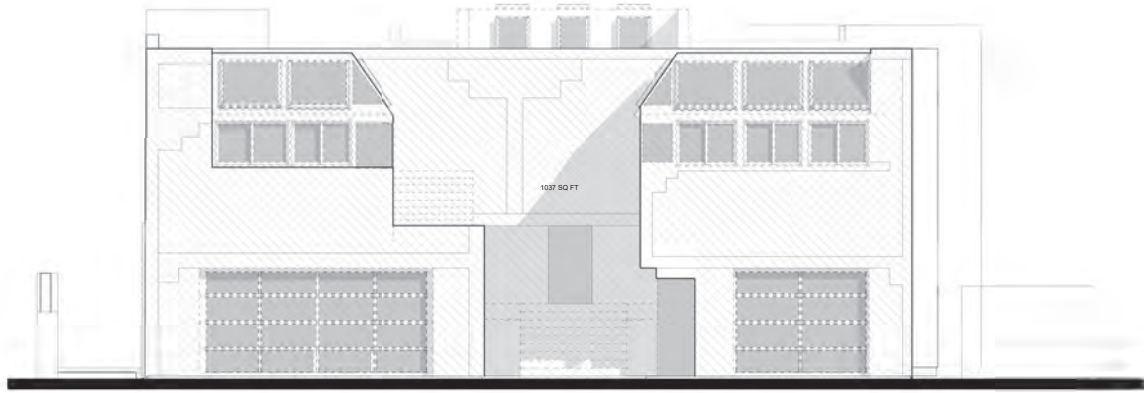
Exhibit 2

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ROOF DEMO PLAN



California Coastal
Commission



EAST ELEVATION

DEMO NOTES

REVISIONS:





REMODEL AREA

EXISTING EAST (FRONT) ELEVATION AREA:
1,037 SQ FT
EXISTING EAST (FRONT) ELEVATION AREA TO BE REMODELED:
1,037 SQFT (100%)
EXISTING SOUTH (LEFT) ELEVATION AREA:
1,843 SQ FT
EXISTING SOUTH (LEFT) ELEVATION AREA TO BE REMODELED:
992 SQFT / 1,843 SQ FT = 53.12%

PLANS PREPARED BY:

1050 CALLE CORDILLERA
SAN CLEMENTE
CALIFORNIA 92673
(949) 218-4110

DEMO LEGEND

-  EXISTING AREA TO REMAIN
-  AREA OF REMODEL
-  EXISTING AREA TO BE DEMOLISHED
-  EXISTING WINDOW / DOOR

NOTE: ALL EXISTING DOORS AND WINDOWS TO BE REPLACED

LINDAHL RESIDENCE
1812 CALLE DE LOS ALAMOS, SAN CLEMENTE



LINDAHL RESIDENCE
1812 CALLE DE LOS ALAMOS,
SAN CLEMENTE

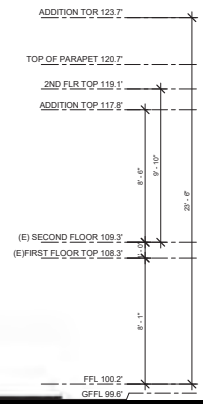
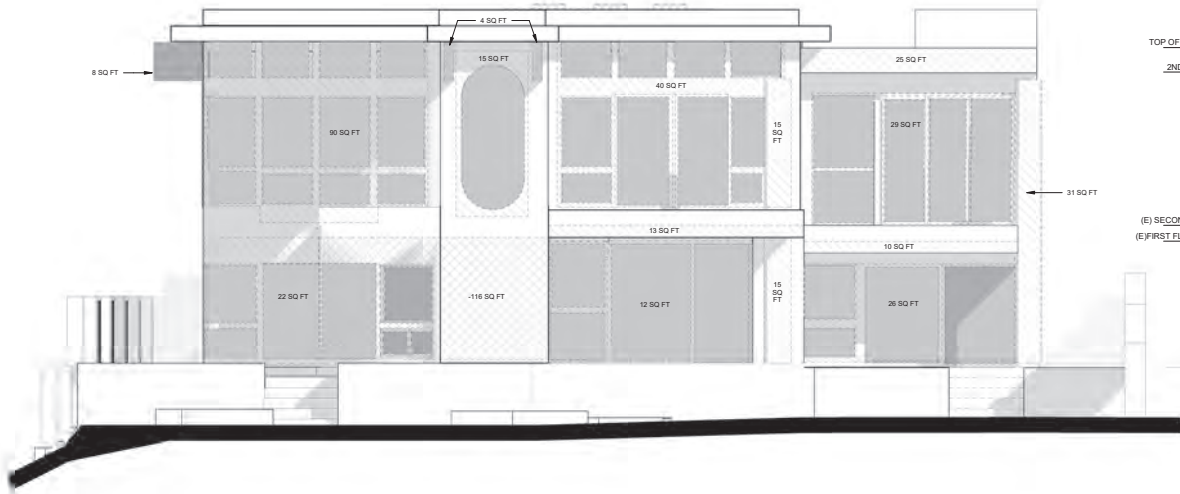


Exhibit 2

(E) UPPER TOR 123.4'
 UPPER 2ND FLR TOP 122.1'
 11'-8"
 29'-2.10"
 (E) SECOND UPPER FLR 110.5'
 (E) UPPER FIRST FLR TOP 108.4'
 9'-3"
 FFL 100.2'



TOP OF PARAPET 120.7'
 2ND FLR TOP 119.1'
 9'-10"
 20'-0"
 (E) SECOND FLOOR 109.3'
 (E) FIRST FLOOR TOP 108.3'
 8'-11"
 FFL 100.2'

WEST ELEVATION

REMODEL AREA

EXISTING WEST (REAR) ELEVATION AREA:
 1,186 SQ FT
 EXISTING WEST (REAR) ELEVATION AREA TO BE REMODELED:
 355 SQ FT / 1,186 SQ FT = (29.93%)





EXISTING NORTH (RIGHT) ELEVATION AREA:
 1,804 SQ FT
 EXISTING NORTH (RIGHT) ELEVATION AREA TO BE REMODELED:
 322 SQ FT / 1,804 SQ FT = (17.84%)

TOTAL ELEVATION REMODEL AREA

EAST (FRONT) 1,037 SQ FT / 1,037 SQ FT = (100%)
 SOUTH (LEFT) 592 SQ FT / 1,843 SQ FT = (32.12%)
 WEST (REAR) 355 SQ FT / 1,186 SQ FT = (29.93%)
 NORTH (RIGHT) 322 SQ FT / 1,804 SQ FT = (17.84%)

TOTAL ELEVATION AREA: 5,870 SQ FT
 TOTAL ELEVATION AREA TO BE REMODELED:
 2,269 SQ FT / 5,870 SQ FT = (38.65%)

DEMO LEGEND

-  EXISTING AREA TO REMAIN
-  AREA OF REMODEL
-  EXISTING AREA TO BE DEMOLISHED
-  EXISTING WINDOW / DOOR

REVISIONS:

PLANS PREPARED BY:
 1050 CALLE CORDILLERA
 SAN CLEMENTE
 CALIFORNIA 92673
 (949) 218-4110

LINDAHL RESIDENCE
 1812 CALLE DE LOS ALAMOS, SAN CLEMENTE



LINDAHL RESIDENCE
 1812 CALLE DE LOS ALAMOS,
 SAN CLEMENTE

ADDITION TOR 123.7
 11'-8"
 29'-2.10"
 ADDITION TOP 117.8'
 (E) SECOND FLOOR 109.3'
 (E) FIRST FLOOR TOP 108.3'
 8'-2"
 GFEL 99.6'



(E) UPPER TOR 123.4'
 UPPER 2ND FLR TOP 122.1'
 11'-8"
 29'-2.10"
 (E) SECOND UPPER FLR 110.5'
 (E) UPPER FIRST FLR TOP 109.4'
 8'-3"
 FFL 100.2'

Exhibit 2

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California Coastal
 Commission



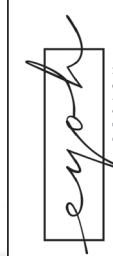
REVISIONS:

△	
△	
△	
△	
△	

PLANS PREPARED BY:
DATE


1050 CALLE COORDILLERA
 SAN CLEMENTE
 CALIFORNIA 92673
 (949) 218-4110

LINDAHL RESIDENCE
 1812 CALLE DE LOS ALAMOS, SAN CLEMENTE

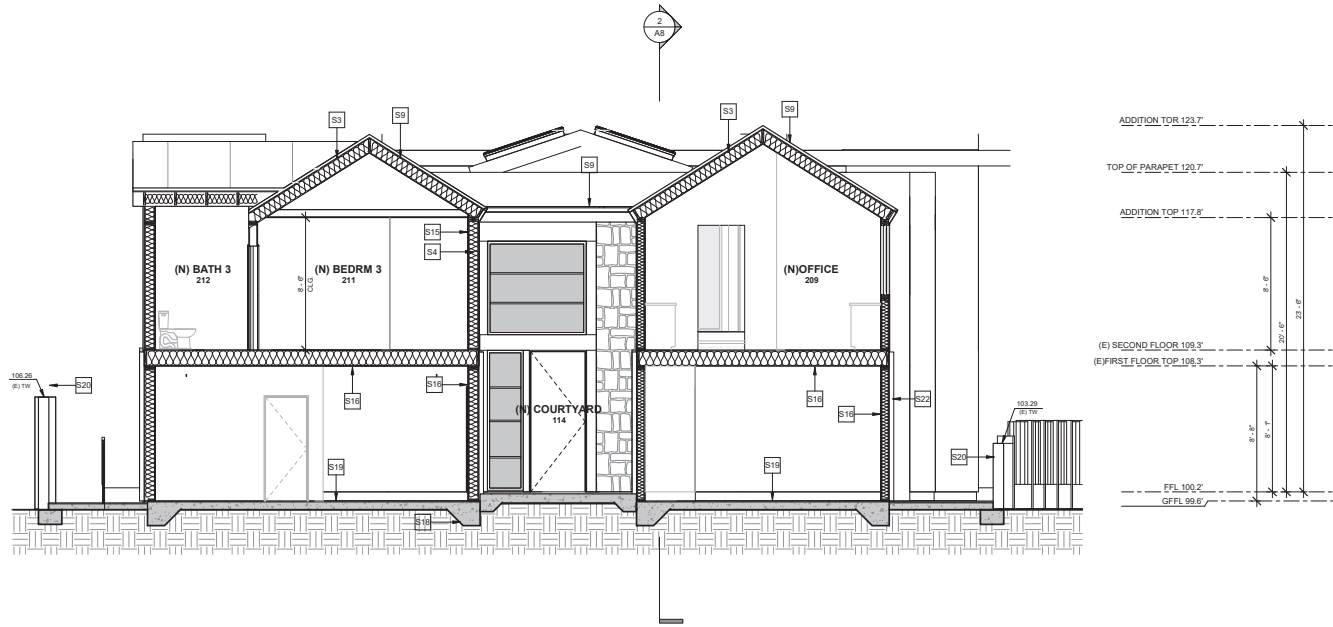


LINDAHL RESIDENCE
 1812 CALLE DE LOS ALAMOS,
 SAN CLEMENTE

Exhibit 2
 Page 10 of 13



California Coastal Commission

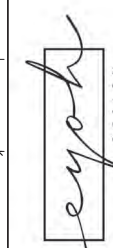


SECTION 1

SECTION NOTES		REVISIONS:
S3	ROOF INSULATION PER TITLE 24	
S4	WALL INSULATION PER TITLE 24	
S5	NEW FIXED SKYLIGHT - VELUX F504 - (TEMPERED LOW-E GLAZING) USES PER 109 MOUNTING CURB SHALL EXTEND A MINIMUM OF 4" ABOVE THE SURROUNDING FINISH ROOF PLANE. ALL SKYLIGHTS TO HAVE BUILT IN BLIND THAT IS SET TO AN AUTOMATIC TIMER PER AN AGREEMENT WITH NEIGHBORS. INSTALL PER MANUFACTURERS SPECIFICATIONS	
S6	EXISTING POST TO BE EXPOSED	
S8	NEW BEAM PER STRUCTURAL PLANS	
S9	ROOF FRAMING PER STRUCTURAL PLANS	
S14	NEW METAL HANDRAIL 42" A.F.S.	
S15	5/8" GYP BOARD	
S16	68" TYPE 'X' GYP BOARD	
S18	CONCRETE FOOTING PER STRUCTURAL	
S19	CONCRETE SLAB PER STRUCTURAL	
S20	EXISTING SITE WALL TO REMAIN	
S22	WALL ASSEMBLY W/ NEW STONE VENEER @ REINFORCED BACKING	

PLANS PREPARED BY:
1050 CALLE CORDILLERA
SAN CLEMENTE
CALIFORNIA 92673
(949) 218-4110

LINDAHL RESIDENCE
1812 CALLE DE LOS ALAMOS, SAN CLEMENTE



LINDAHL RESIDENCE
1812 CALLE DE LOS ALAMOS,
SAN CLEMENTE

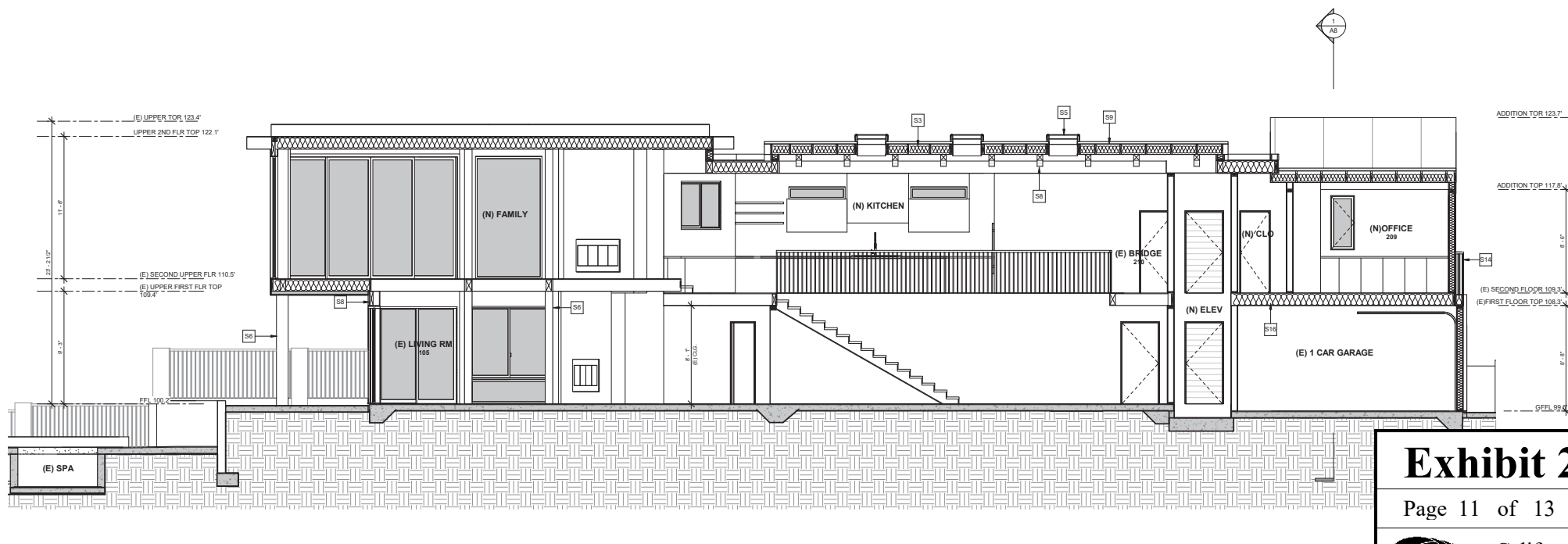

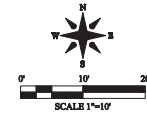


Exhibit 2
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California Coastal Commission

LEGEND	
(123.45)	DESCRIPTION
()	MEAS. ELEVATIONS
()	REC. BRG. & DIST.
#	BRICK
≡	DECK
—	WALL
—	BUILDING LINE
—	PROPERTY LINE
—	FENCE
⊕	BENCH MARK
⊕	N.G. NATURAL GRADE
⊕	P.P. POWER POLE
⊕	WM WATER METER
⊕	F.F. FINISH FLOOR
⊕	G.F. GARAGE FLOOR
⊕	C.C. CONCRETE
⊕	F.S. FINISH SURFACE
⊕	M.H. MAN-HOLE
⊕	P. PLANTER
⊕	A.C. ASPHALT
⊕	T.G. TDP-GRATE



NOTE: RECORD EASEMENTS ARE NOT PLOTTED IF ANY.

LOT 16

BUILDING

RESIDENCE

LOT 17

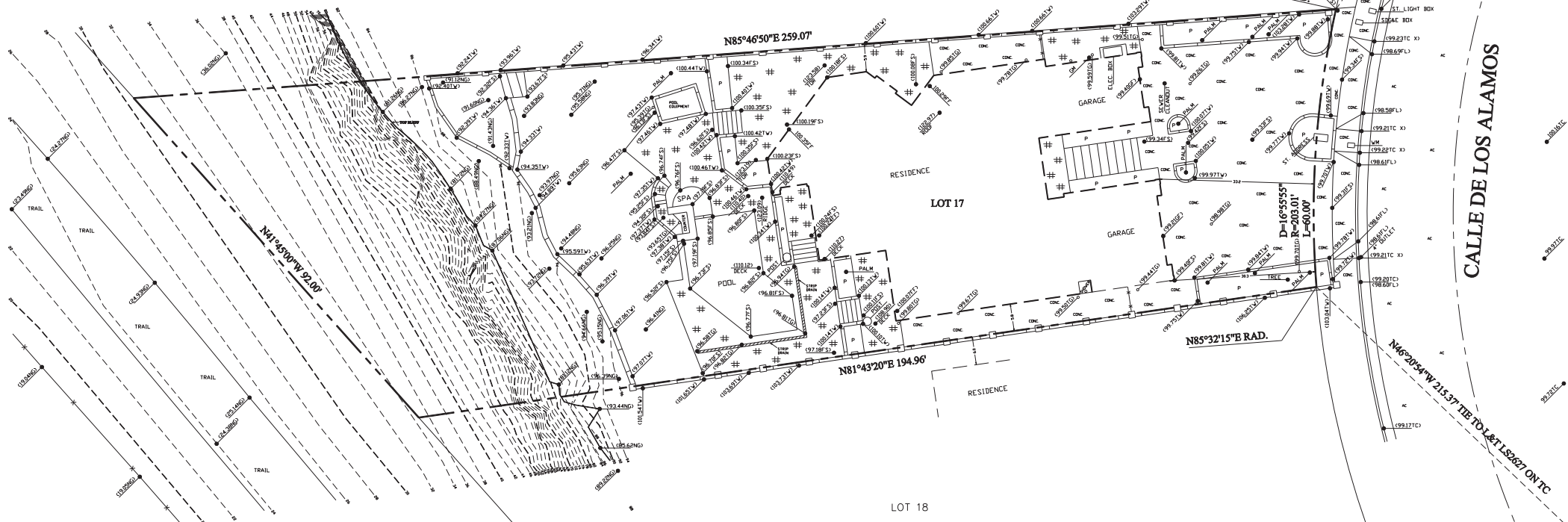
RESIDENCE

LOT 18

N44°31'46"E 236.66' TO L&T 19 2627 ON TC

CALLE DE LOS ALAMOS

N46°20'54"W 215.37' TO L&T 19 2627 ON TC



RdM SURVEYING INC.

RdM MIEDEMA L.S. 4653
 23016 LAKE FOREST DR. #409
 LAGUNA HILLS, CA 92653
 (949) 858-2924 OFFICE
 (949) 858-3438 FAX
 RDMSURVEYING@COX.NET

TOPOGRAPHIC SURVEY

JOB: 176-57 DATE: 2/12/2020; UPDATED 1/27/21

OWNER:
 DAVID AND RENE LINDAHL

LEGAL DESCRIPTION:

LOT 17
 TRACT NO. 897
 M.M. 27/25-26

BENCH MARK:

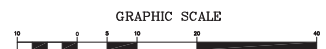
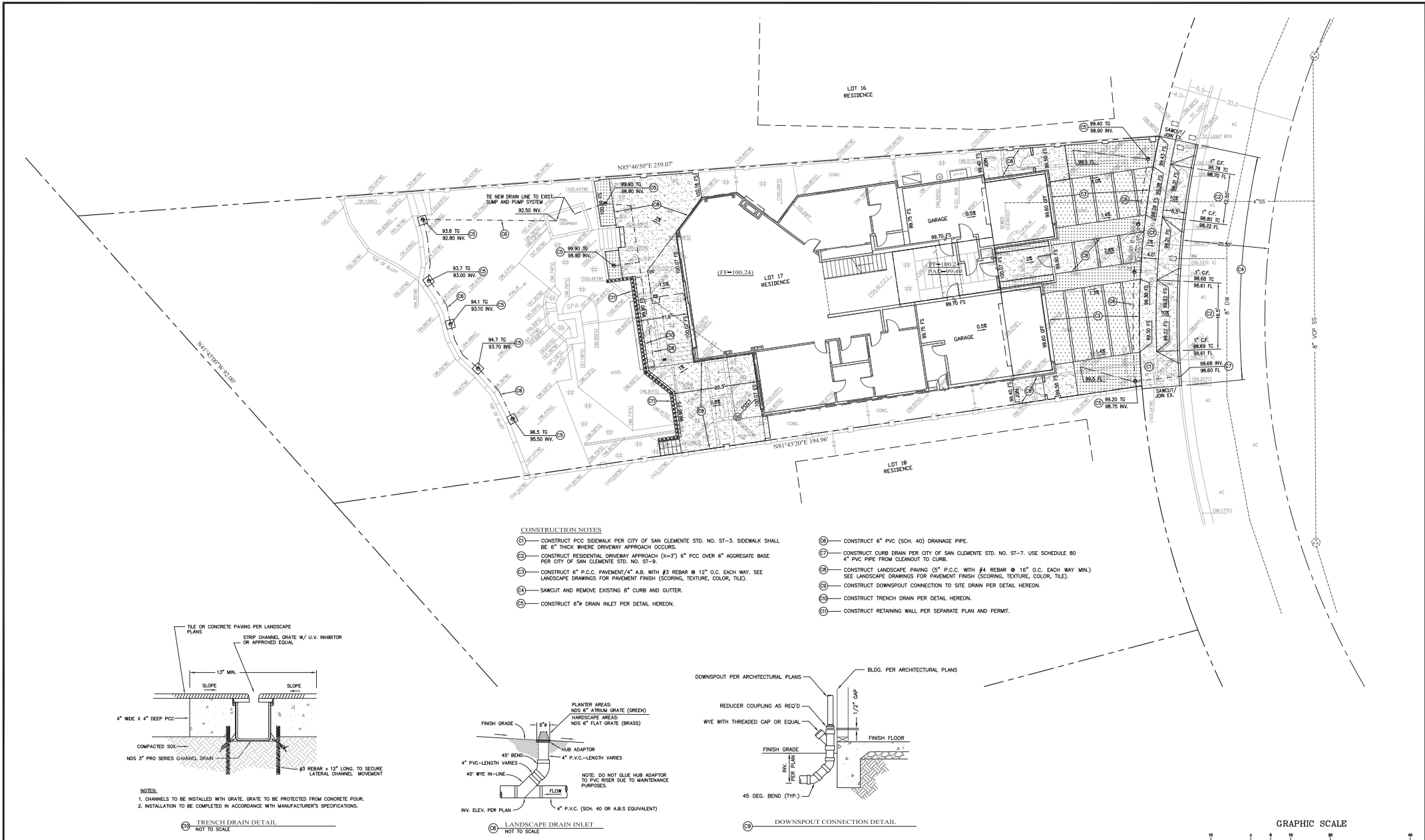
BENCH MARK #: 3B-56-68
 DATUM: NAVD88
 ELEVATION: 18.878

Exhibit 2

Page 12 of 13



California Coastal
 Commission



DIGAUBERT
DIAL TOLL FREE
1-800-227-2600
AT LEAST TWO DAYS
BEFORE YOU DIG
UNDERGROUND SERVICE ALERT OF SOUTHERN CALIFORNIA

REV.	BY	INITIAL	DESCRIPTION	APP'D	DATE

REVISIONS

PLANS PREPARED BY:

MILANI & CO.
CONSULTING ENGINEERS
25872 WHITE ALDER LANE
LAGUNA HILLS, CA 92653
714-655-3463 PH.

REGISTERED PROFESSIONAL ENGINEER
No. 65349
CIVIL
STATE OF CALIFORNIA

SCALE:	DESIGNED:	DRAWN:	CHECKED:
AS NOTED	BM	BM	BM
ACAD FILE NO.	PROJECT NO.		DATE
	BABAK S. MILANI ENGINEER OF WORK		R.C.E. 65349 EXP. 9-30-21

CITY OF SAN CLEMENTE
PRELIMINARY
LINDAH
1812 CALLE DE LOS ALAMOS
LOT NO. 17, TRACT 10
(APN 063-010-010)

Exhibit 2

Page 13 of 13

California Coastal Commission

Figure 3-3 Coastal Access Points



Figure 3-3

Coastal Access Points Existing

Local Coastal Program - Land Use Plan
March 2018

0 0.1 0.2 0.4 0.6 0.8 Miles



Exhibit 3

Page 1 of 1



California Coastal Commission

LEGEND

- QSW Quaternary Slope Wash
- Qt Quaternary Terrace Deposits
- Tc Tertiary Capistrano Formation - Circled Where Buried

Approximate Location of Geologic Contact; Dotted Where Buried, Queried Where Uncertain

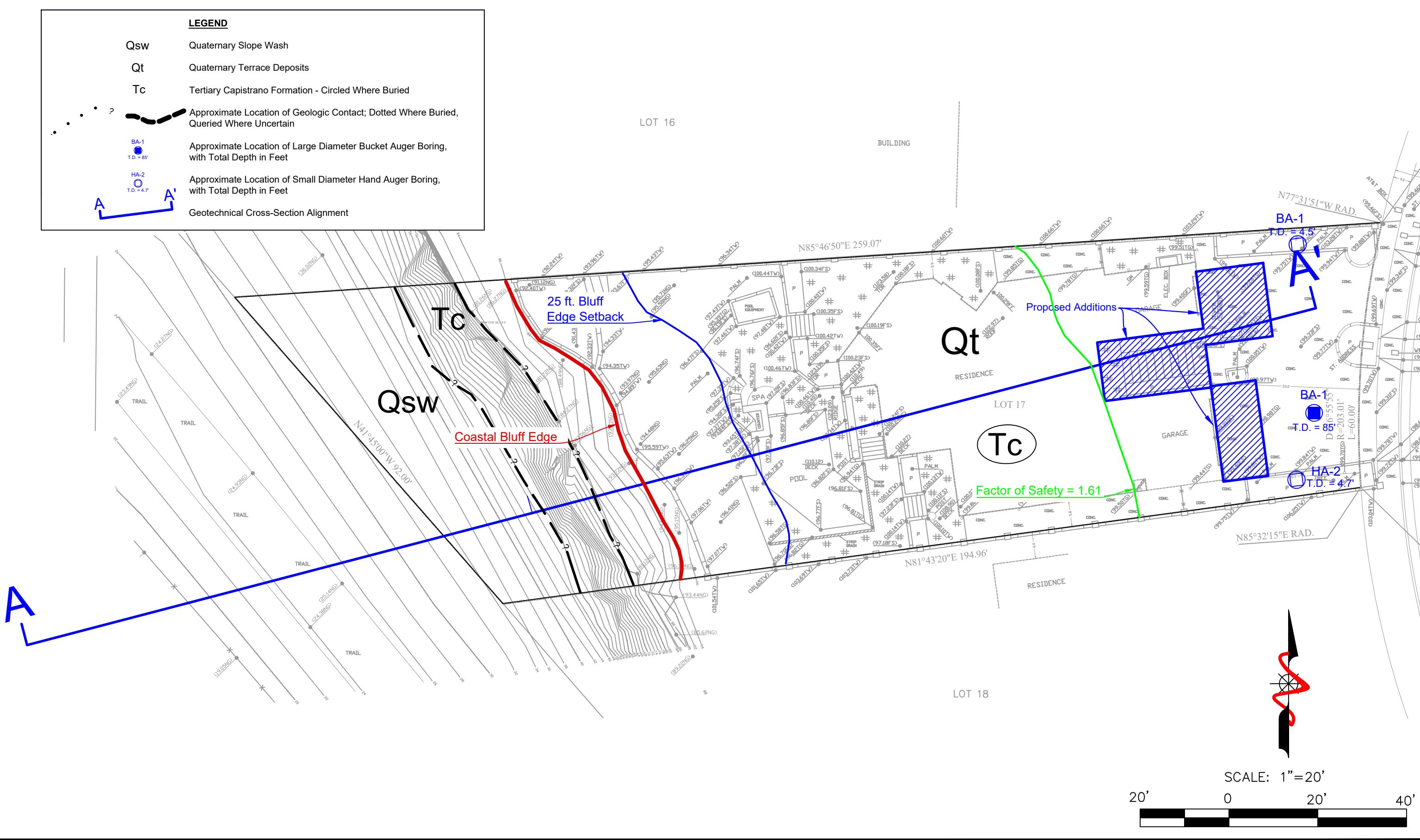
BA-1
T.D. = 85'

Approximate Location of Large Diameter Bucket Auger Boring, with Total Depth in Feet

HA-2
T.D. = 4.7'

Approximate Location of Small Diameter Hand Auger Boring, with Total Depth in Feet

Geotechnical Cross-Section Alignment



**Figure 2
Geotechnical Map**

PROJECT NAME	1812 Calle De Los
PROJECT NO.	20091-01
ENG. / GEOL.	KMS/KBC
SCALE	1" = 20'
DATE	February 2021

Exhibit 4

Page 1 of 2

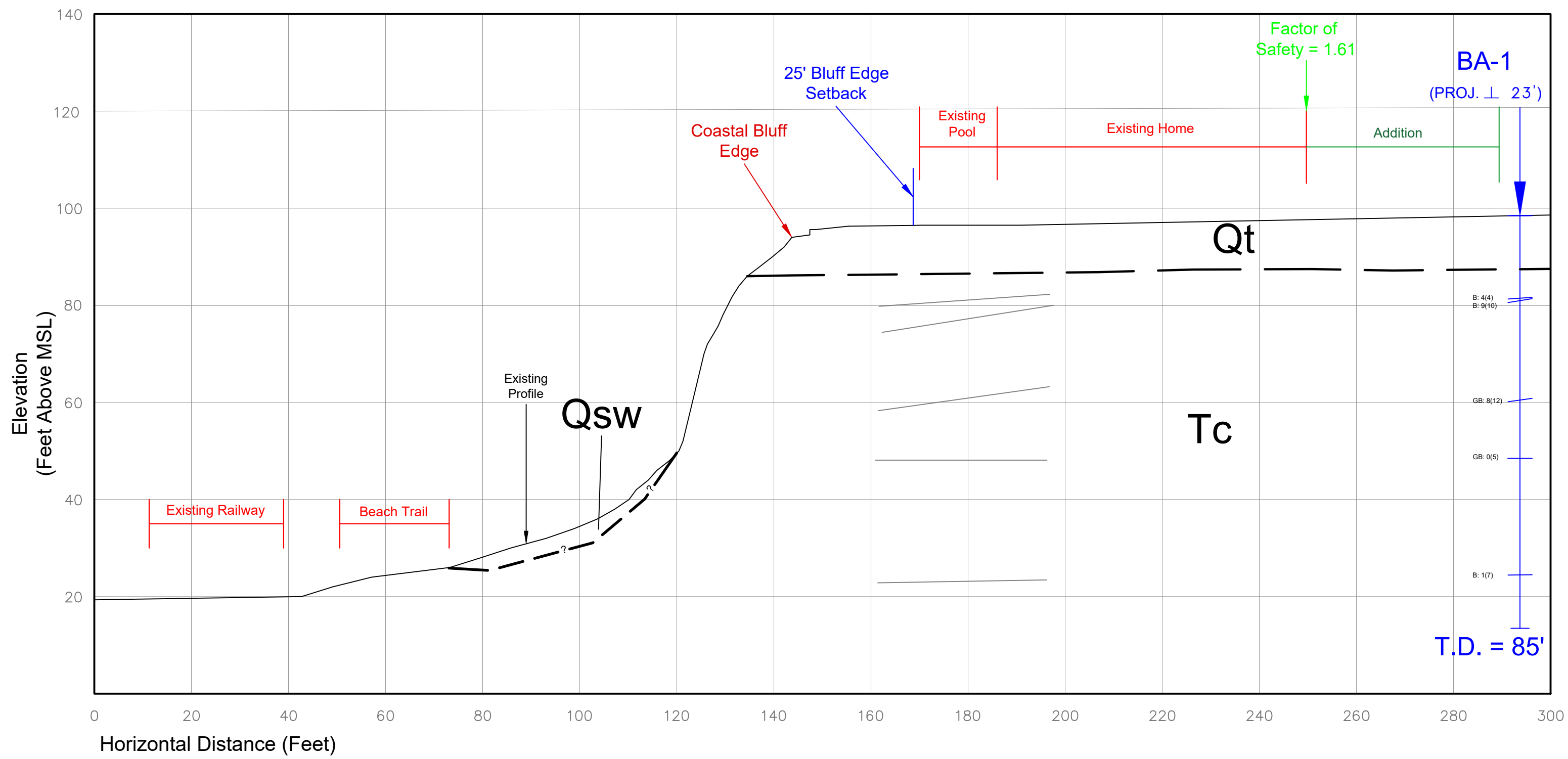


LGC Geotechnical, Inc.
131 Calle Iglesia, Ste. 200
San Clemente, CA 92672
TEL (949) 369-6141 FAX (949) 369-6142

A

A'

N 75 E
Section Orientation



LGC Geotechnical, Inc.
 131 Calle Iglesia, Ste. 200
 San Clemente, CA 92672
 TEL (949) 369-6141 FAX (949) 369-6142

Figure 3
Geotechnical Cross Section A-A'

PROJECT NAME	1812 Calle De Los
PROJECT NO.	20091-01
ENG. / GEOL.	KMS/KBC
SCALE	1" = 20'
DATE	February 2021

Exhibit 4
 Page 2 of 2

California Coastal Commission



Exhibit 5

Page 1 of 2



California Coastal
Commission



CALIFORNIA COASTAL COMMISSION
SOUTH COAST REGIONAL COMMISSION

666 E. OCEAN BOULEVARD, SUITE 3107
P.O. BOX 1450
LONG BEACH, CALIFORNIA 90801
(213) 590-5071 (714) 846-0648

FILE COPY



COASTAL DEVELOPMENT PERMIT

Application Number: P-8-8-78-3860

Name of Applicant: Mr. and Mrs. Warren D. Holt

223 Calle Roca Vista, San Clemente, CA 92672

Permit Type: Emergency
 Standard
 Administrative

Development Location: 1812 Calle De Los Alamos, San Clemente, CA

Development Description: Construction of a two-story, five-bedroom single-
family dwelling with game room, sewing room, detached pool, jacuzzi,
bar and two attached garages (one one-car and one two-car) 26 feet
above centerline of frontage road with conditions.

I. The proposed development is subject to the following conditions imposed pursuant to the California Coastal Act of 1976:

Prior to issuance of permit, applicant shall submit:

1. revised plans showing:
 - a. that no development is located within 25 feet of the bluff;
 - b. drainage system that conducts runoff to the street, not permitting it to flow over the edge of the bluff; and
2. a deed restriction for recording prohibiting the construction of private stairways, structures, or alterations on or down the bluff or within 25 ft. of the bluff face.

Condition/s Met On Nov. 21, 1978 By ab

Exhibit 6	
Page 1 of 2	
	California Coastal Commission

II. The South Coast Commission finds that:

A. The proposed development, or as conditioned;

1. The developments are in conformity with the provisions of Chapter 3 of the California Coastal Act of 1976 and will not prejudice the ability of the local government to prepare a local coastal program that is in conformity with the provisions of Chapter 3 of the California Coastal Act of 1976.
2. If located between the nearest public road and the sea or shoreline of any body of water located within the coastal zone, the development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act of 1976.
3. There are no feasible alternatives, or feasible mitigation measures, as provided in the California Environmental Quality Act, available for imposition by this Commission under the power granted to it which would substantially lessen any significant adverse impact that the development, as finally proposed may have on the environment.

III. Whereas, at a public hearing, held on September 18, 1978 at Huntington Beach by a unanimous ~~to~~ vote permit application number P-8-8-78-3860 is approved.

IV. This permit may not be assigned to another person except as provided in Section 13170, Coastal Commission Rules and Regulations.

V. This permit shall not become effective until a COPY of this permit has been returned to the Regional Commission, upon which copy all permittees or agent(s) authorized in the permit application have acknowledged that they have received a copy of the permit and have accepted its contents.

VI. Work authorized by this permit must commence within two years from the date of the Regional Commission vote upon the application. Any extension of time of said commencement date must be applied for prior to expiration of the permit.

VII. Issued on behalf of the South Coast Regional Commission on November 21, 1978.

M. J. Carpenter
M. J. Carpenter
Executive Director

I, _____, permittee/agent, hereby acknowledge receipt of Permit Number P-8-8-78-3860 and have accepted its contents.

(date)

(signature)

Exhibit 6
Page 2 of 2
 California Coastal Commission

31249

RECORDED IN OFFICIAL RECORDS OF ORANGE COUNTY, CALIFORNIA

5 Min. 3 P MOCT 23 1978

LEE A. BRANCH, County Recorder

RECORDING REQUESTED BY AND MAIL TO
NAME CCC/SCR
STREET PO Box 1450
CITY Long Beach, CA 90801

\$5.00
C2



CALIFORNIA COASTAL COMMISSION
SOUTH COAST REGION
DEED RESTRICTION

This instrument, made this 4th day of October, 1978, by Warren D. Holt and S. G. Holt, of the City or Cities of Mission Viejo, Susan Holt, State of California, hereinafter collectively referred to as "the Permittee;"

WHEREAS, pursuant to the California Coastal Act of 1976, Sections 30000 through 30900 of the California Public Resources Code, the Permittee has made Application No. 78-3860 to the California Coastal Commission, South Coast Region, for the issuance of a permit for the construction of Two Story, Single Family Residence

(Describe Proposed Project)

on certain real property owned/leased/ (Owned) (Other - state Permittee's interest in subject property)

by the Permittee and more particularly described below; and

WHEREAS, said Commission has determined to grant said application and issue a permit for the construction of Two Story, Single Family Residence

(Describe Approved Project)

on said real property, subject to the following conditions, imposed for the benefit of the Public, and without agreement to which by Permittee, said Commission could not grant the permit:

- FILL IN CONDITIONS) Prohibiting the construction of private stairways,
-) structures, or alterations on or down the bluff or
-) within 25 ft. of the bluff face.
-) _____
-) _____

Exhibit 7

Page 1 of 3



California Coastal Commission

NOW, THEREFORE, in consideration of the issuance of said development permit, and of the benefit conferred thereby on the subject property, Permittee agrees that there shall be, and hereby is, created the following restriction on the use and enjoyment of said property, to be attached to and become a part of the deed to the property: Prohibiting the construction of private stairways, structures, or alterations on or down the bluff or within 25 ft. of the bluff face.

Permittee acknowledges that any violation of this deed restriction shall be constitute a violation of the permit and shall subject Permittee or any other violator thereof to civil action for violation of the terms of said permit and of the Coastal Act of 1976. Said deed restriction shall apply to the Two Story, Single Family Residence (Project)

to be constructed/remodeled/ (Constructed)
(other)

on that certain real property in the City of San Clemente,
County of Orange, State of California, described as:
1812 Calle de Los Alamos

(Legal Description/Address of the Property)

Unless specifically modified or terminated by affirmative vote of the issuing Commission, said deed restriction shall remain in full force and effect during the period that said permit, or any modification or amendment thereof, remains effective, and during the period that the development authorized by said permit, or any modification of said development, remains in existence in or upon any part of, and thereby confers benefit upon, the real property described herein, and to that extent, said deed restriction is hereby deemed and agreed by Permittee to be a covenant running with the land, and shall bind Permittee and all his successors and assigns.

Nothing shall become payable to Permittee successors or assigns of Permittee, for the agreement he Ex the date above written.

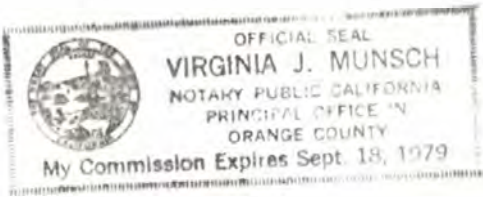
Exhibit 7	
Page 2 of 3	
	California Coastal Commission

Warren D. Holt
Warren D. Holt; Mary C. Holt
Susan Holt
S. G. Holt; Permittee Susan Holt

STATE OF CALIFORNIA)
COUNTY OF Orange) ss.

On October 4, 1978, before me, the undersigned Notary Public, personally appeared Warren D. Holt; Mary C. Holt and S. G. Holt; Susan Holt, known to me to be the persons whose names are subscribed to the foregoing instrument and acknowledged to me that they executed the same.

Witness my hand and official seal the day and year in this certificate first above written.



Virginia J. Munsch
Notary Public, in and for the
County of Orange,
State of California.

TO BE FILLED IN BY COMMISSION

This is to certify that the deed restriction set forth above, dated October 4, 1978, and signed by Warren D. Holt, Mary C. Holt and S.G. Holt; Susan Holt Permittee, is hereby accepted by order of the California Coastal Commission, South Coast Region, on October 10, 1978 and said Commission consents to recordation thereof by its Executive Director, its duly authorized officer.

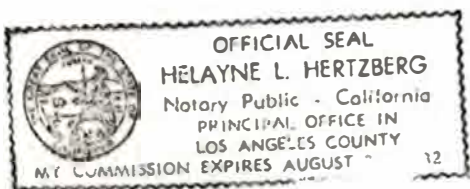
Date October 11, 1978

By *Melvin L. Nutter*
Chairman, California Coastal
Commission, South Coast Region

STATE OF CALIFORNIA)
COUNTY OF Los Angeles) ss.

On this 17th day of October, 1978, before me, the undersigned Notary Public, personally appeared Melvin L. Nutter, known to me to be the Chairman of the California Coastal Commission, South Coast Region, and known to me to be the person who executed the foregoing instrument on behalf of said Commission, and acknowledged to me that such Commission executed the same.

Witness my hand and official seal the day and year in the certificate first above written.



Helayne L. Hertzberg
Notary Public in and for
County of Los Angeles
State of California.

Exhibit 7
Page 3 of 3
California Coastal Commission