

CALIFORNIA COASTAL COMMISSION

South Coast District Office
301 E Ocean Blvd., Suite 300
Long Beach, CA 90802-4302
(562) 590-5071



F10a

A-5-LGB-20-0050 (DIG COAST INN, LLC)

JULY 28, 2021

EXHIBITS

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Exhibit 1—Vicinity Map

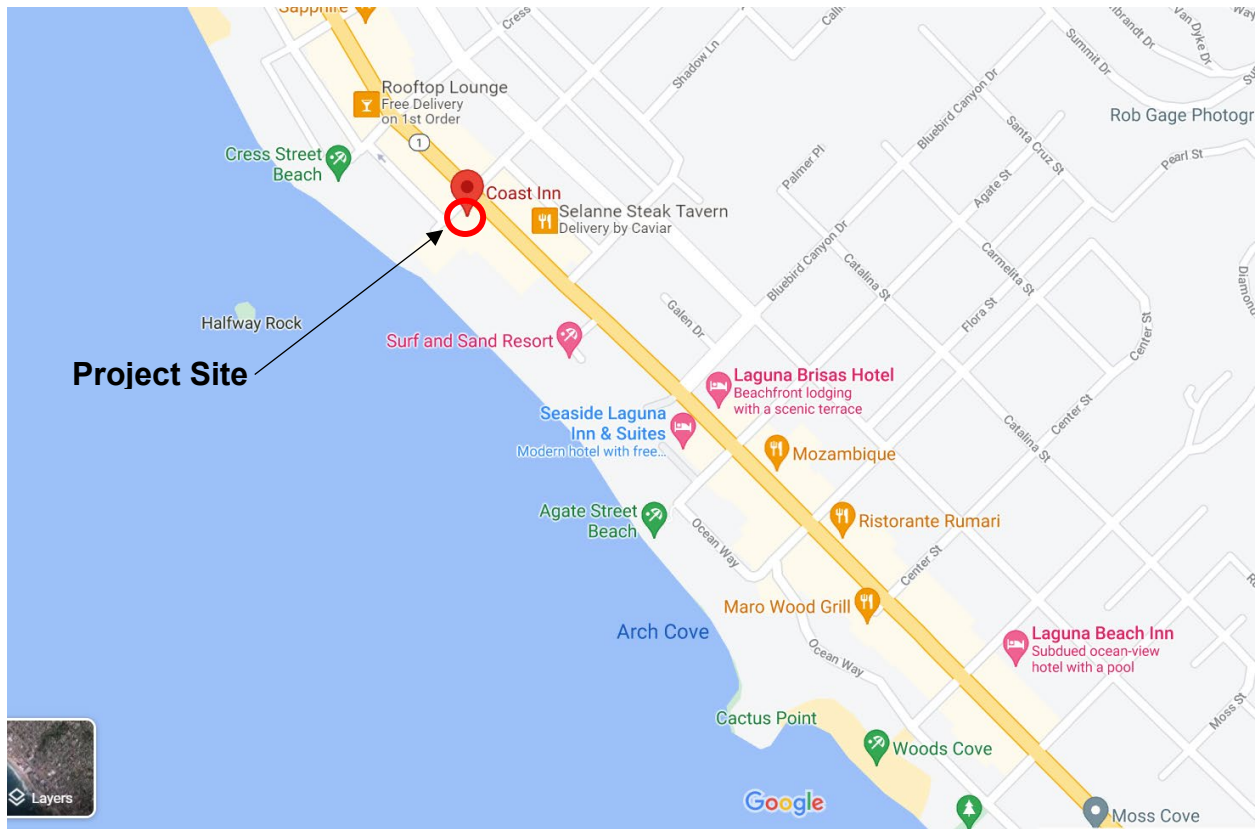


Exhibit 2 - Project Plans



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PROJECT SUMMARY:

CONDITIONED AREA INCREASE

| | LEVEL 1 | LEVEL 2 | LEVEL 3 | LEVEL 4 | TOTAL |
|-------------------------------------|----------|----------|----------|----------|-----------|
| Existing Interior Floor Area | 1,143 SF | 1,211 SF | 7,900 SF | 4,554 SF | 14,808 SF |
| Total Interior Floor Area | 1,157 SF | 2,313 SF | 7,958 SF | 4,802 SF | 16,230 SF |
| % Increase (Utility SF) | 0.0% | 90.97% | 0.0% | 0.0% | 7.44% |
| % Increase (Guest Amenity SF) | 1.22% | 0.0% | 0.73% | 5.45% | 2.16% |
| Total Interior Area % Increase (SF) | 1.22% | 90.97% | 0.73% | 5.45% | 9.60% |

INTERIOR + EXTERIOR AREA INCREASE

| | LEVEL 1 | LEVEL 2 | LEVEL 3 | LEVEL 4 | TOTAL |
|--------------------------------------|----------|----------|----------|----------|-----------|
| Total Int Floor Area | 1,157 SF | 2,313 SF | 7,958 SF | 4,802 SF | 16,230 SF |
| Total Ext Floor Area | 1,004 SF | 648 SF | 718 SF | 3,560 SF | 5,930 SF |
| Total Floor Area | 2,161 SF | 2,961 SF | 8,676 SF | 8,362 SF | 22,160 SF |
| % Increase (Utility SF) | 0.0% | 59.26% | 0.0% | 0.0% | 5.91% |
| % Increase (Guest Amenity SF) | 0.65% | 0.0% | 0.67% | 39.34% | 13.06% |
| Total Int + Ext Area % Increase (SF) | 0.65% | 59.26% | 0.67% | 39.34% | 18.98% |

EXTERIOR WALL RENOVATION CALCULATIONS (sf)

| | |
|--|--------|
| % of existing elevation to remain: | 62.75% |
| % of existing elevation to be removed/alter: | 37.25% |

ROOF RENOVATION CALCULATIONS (sf)

| | LEVEL 1 | LEVEL 2 | LEVEL 3 | LEVEL 4 | ROOF | TOTAL |
|---|---------|---------|---------|---------|--------|--------|
| % of Roof to Remain | - | - | 0% | 25.87% | 67.63% | 52.73% |
| % of Roof to be Removed | - | - | 100% | 72.21% | 15.98% | 35.34% |
| % of Anticipated Repair & Maintenance | - | - | 0% | 1.92% | 17.29% | 11.92% |
| Total % of roof removal/alteration/anticipated repair & maintenance | - | - | 100% | 74.13% | 32.37% | 47.27% |

FOUNDATION RENOVATION CALCULATIONS (sf)

| | LEVEL 1 | LEVEL 2 | LEVEL 3 | LEVEL 4 | TOTAL |
|---------------------------------------|---------|---------|---------|---------|-------|
| % of Foundation to be Removed | -% | -% | -% | - | % |
| % of Anticipated Repair & Maintenance | -% | -% | -% | - | % |
| % of Foundation to Remain | -% | -% | -% | - | % |

(PENDING PROJECT DEVELOPMENT -
See attached letter from Wright Engineering)

A0.1

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COAST INN

PROPOSED REDESIGN & RENOVATION CALCULATIONS
LAGUNA BEACH, CALIFORNIA

21 JULY 2021
PROJECT NO: 20021

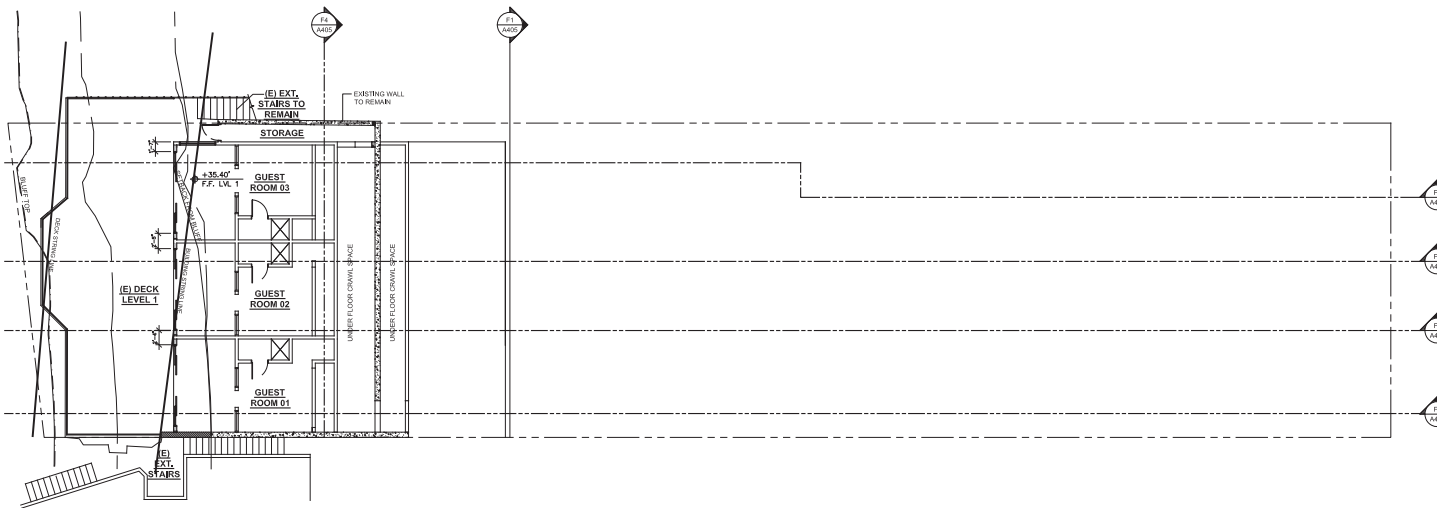
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Exhibit 2

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PREVIOUS DESIGN

LEVEL 1 PREVIOUS DESIGN:

| | |
|------------------------------------|-------------|
| PREVIOUS DESIGN (PER MDD): | |
| Existing Hotel + Crawl Space Area: | 1,622.81 SF |
| Existing Deck Area: | 951.22 SF |
| Total Existing Floor Area | 2,574.03 SF |
| Added Square Footage | 0 SF |
| Final Floor Area | 2,574.03 SF |
| % Increase | 0% |

LEVEL 1 CONDITIONED FLOOR AREA

| | |
|---------------------------|----------|
| Existing Guestroom Area | 1,143 SF |
| Added Int. Guestroom Area | 14 SF |
| Final Interior Floor Area | 1,157 SF |
| % Interior Increase | 1.22% |

LEVEL 1 INT + EXT FLOOR AREA INCREASE

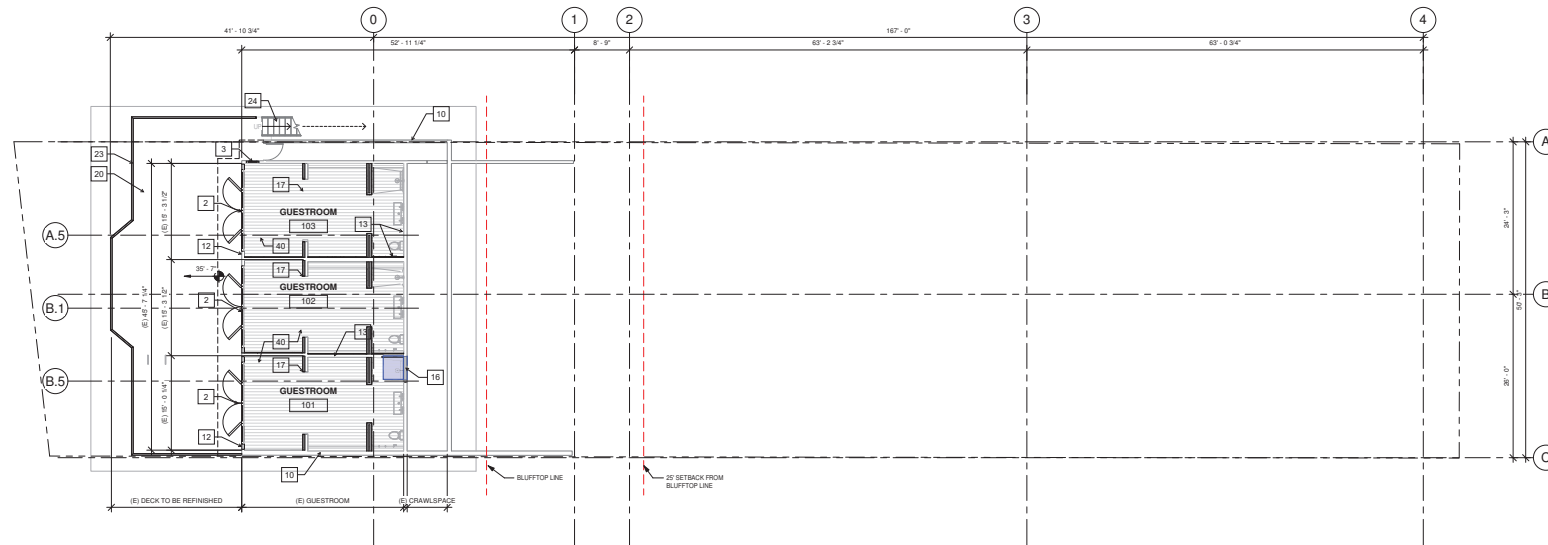
| | |
|------------------------------|----------|
| Existing Interior Floor Area | 1,143 SF |
| Existing Deck Floor Area | 1,004 SF |
| Total Existing Floor Area | 2,147 SF |
| Added Square Footage | 14 SF |
| Final Floor Area | 2,161 SF |
| % Int + Ext Increase | 0.65% |

FLOOR AREA INCREASE LEGEND

Added Usable Square Footage

KEYNOTE LEGEND

1. New door
2. New door and sidelights
3. New window
4. New door in existing opening
5. New door in existing window opening
6. New window in existing opening
7. Existing door to remain as fixed sidelight
8. New wrought iron gate to match historic design in existing gate's location
10. Existing exterior wall
11. New exterior wall
12. Patch and repair cement plaster as needed on existing wall
13. New finishes on existing partition
14. New interior partition
15. New CMU wall
16. Infill partition to match adjacent
17. New framed opening within existing structural wall
20. Refinish existing deck
21. New balcony to match existing
22. New balcony to match historical images
23. Glass guardrail at edge of existing deck
24. Refinish existing stairs
25. New elevator
26. New stairs
30. New awnings to match historical images
31. New corbels to match historical images
32. Salvage existing historical corbels
33. New raftertails to match historical images
34. New post to support raftertails above
35. New clay roof tile over existing roof structure
36. New clay tile roof
37. Signage to match historical images
38. Turnets to match historical images
40. New floor finishes over existing structure
41. New concrete over metal deck
42. Compact earth for future tenant slab
43. Excavate as needed for finish floor heights
44. New pedestal paver system over new structure



PROPOSED DESIGN

LEVEL 1 PLANS

A1.1

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PROPOSED REDESIGN & RENOVATION CALCULATIONS
LAGUNA BEACH, CALIFORNIA

21 JULY 2021
PROJECT NO: 20021

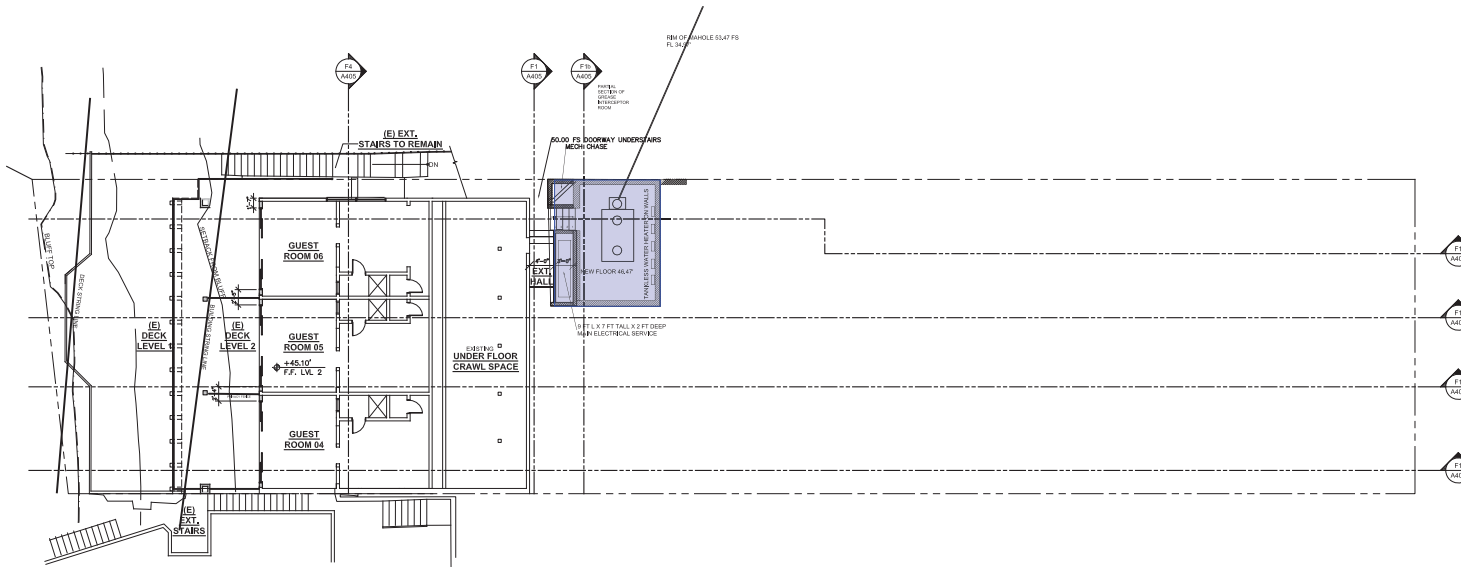
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Phone - 949.757.3240

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PREVIOUS DESIGN

LEVEL 2 PREVIOUS DESIGN:

| | |
|------------------------------------|-------------|
| PREVIOUS DESIGN (PER MIDG): | |
| Existing Hotel + Crawl Space Area: | 2,021.00 SF |
| Existing Deck Area: | 556.74 SF |
| Existing Floor Area | 2,577.74 SF |
| Added Square Footage | 550.88 SF |
| Final Floor Area | 3,128.62 SF |
| % Increase | 21.37% |

LEVEL 2 CONDITIONED FLOOR AREA

| | |
|----------------------------|----------|
| Existing Guestroom Area | 1,211 SF |
| Added Int. Utility/CH Area | 1,102 SF |
| Final Interior Floor Area | 2,313 SF |
| % Interior Increase | 90.97% |

LEVEL 2 INT + EXT FLOOR AREA INCREASE

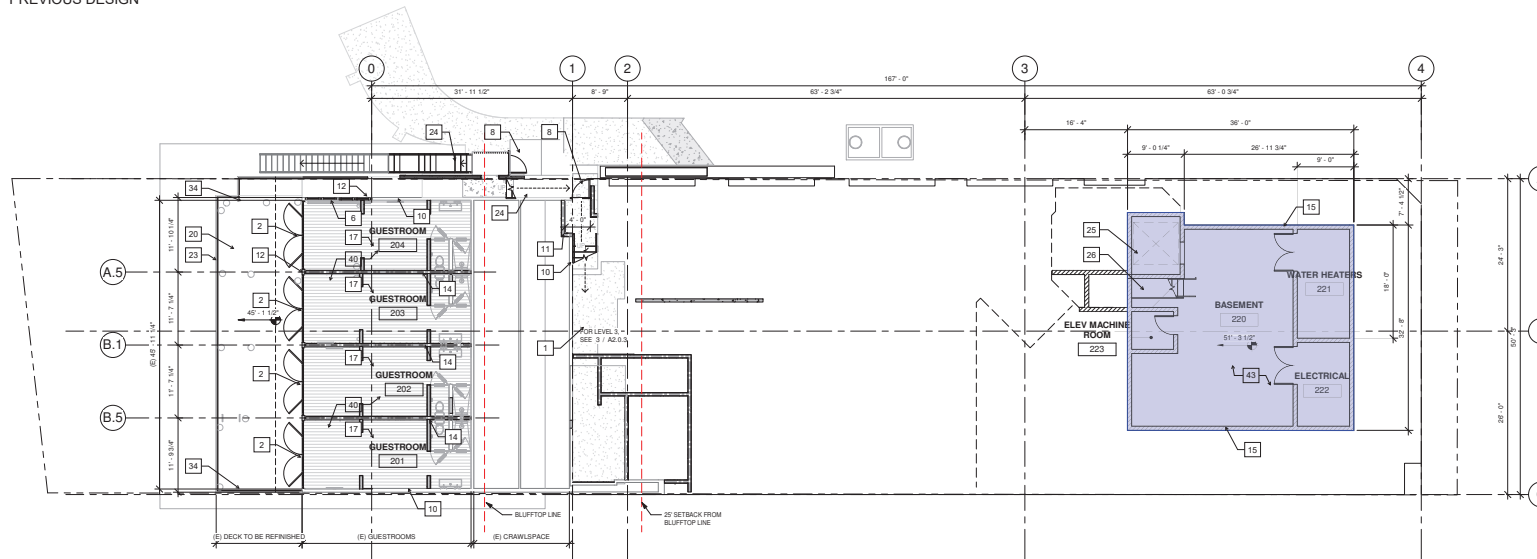
| | |
|------------------------------|----------|
| Existing Interior Floor Area | 1,211 SF |
| Existing Deck Floor Area | 548 SF |
| Total Existing Floor Area | 1,859 SF |
| Added Square Footage | 1,102 SF |
| Final Floor Area | 2,961 SF |
| % Int + Ext Increase | 59.26% |

FLOOR AREA INCREASE LEGEND

Added Usable Square Footage

KEYNOTE LEGEND

1. New door
2. New door and sidelights
3. New window
4. New door in existing opening
5. New door in existing window opening
6. New window in existing opening
7. Existing door to remain as fixed sidelight
8. New wrought iron gate to match historic design in existing gate's location
10. Existing exterior wall
11. New exterior wall
12. Patch and repair cement plaster as needed on existing wall
13. New finishes on existing partition
14. New interior partition
15. New CMU wall
16. Infill partition to match adjacent
17. New framed opening within existing structural wall
20. Refinish existing deck
21. New balcony to match existing
22. New balcony to match historical images
23. Glass guardrail at edge of existing deck
24. Refinish existing stairs
25. New elevator
26. New stairs
30. New awnings to match historical images
31. New corbels to match historical images
32. Salvage existing historical corbels
33. New rafters to match historical images
34. New post to support rafters above
35. New clay roof tile over existing roof structure
36. New clay tile roof
37. Signage to match historical images
38. Turnets to match historical images
40. New floor finishes over existing structure
41. New concrete over metal deck
42. Compact earth for future tenant slab
43. Excavate as needed for finish floor heights
44. New pedestal paver system over new structure



PROPOSED DESIGN

LEVEL 2 PLANS

A1.2

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PROPOSED REDESIGN & RENOVATION CALCULATIONS
LAGUNA BEACH, CALIFORNIA

21 JULY 2021
PROJECT NO: 20021

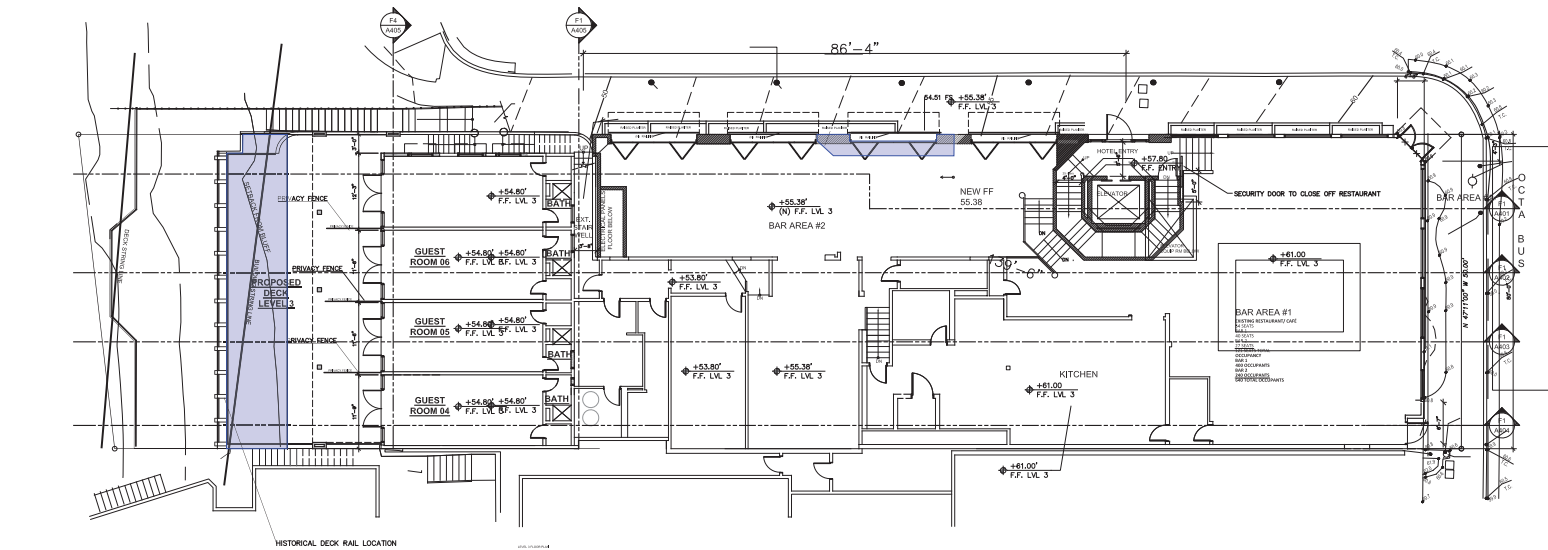
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PREVIOUS DESIGN

LEVEL 3 PREVIOUS DESIGN:

PREVIOUS DESIGN (PER MDG):

| | |
|---------------------------|-------------|
| Existing Hotel Area: | 2,085.43 SF |
| Existing Restaurant Area: | 5,755.38 SF |
| Existing Deck Area: | 749.00 SF |
| Existing Floor Area | 8,589.81 SF |
| Added Square Footage | 479.37 SF |
| Final Floor Area | 9,069.18 SF |
| % Increase | 5.58% |

LEVEL 3 CONDITIONED FLOOR AREA

| | |
|-------------------------------|----------|
| Existing Guestroom Area | 1,422 SF |
| Existing Hotel Accessory Area | 538 SF |
| Existing Restaurant Area | 5,940 SF |
| Added Restaurant Area | 58 SF |
| Final Interior Floor Area | 7,958 SF |
| % Interior Increase | 0.73% |

LEVEL 3 INT. + EXT. FLOOR AREA INCREASE

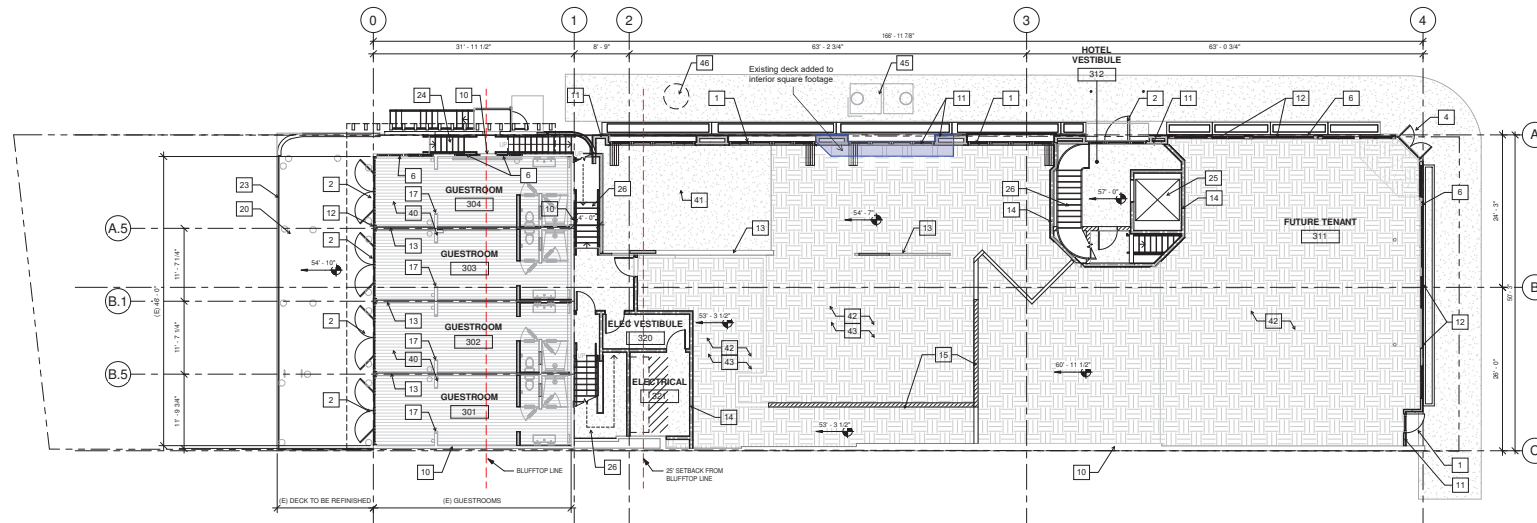
| | |
|------------------------------|----------|
| Existing Interior Floor Area | 7,900 SF |
| Existing Deck Floor Area | 718 SF |
| Total Existing Floor Area | 8,618 SF |
| Added Square Footage | 58 SF |
| Final Floor Area | 8,676 SF |
| % Int. + Ext. Increase | 0.67% |

FLOOR AREA INCREASE LEGEND

Added Usable Square Footage

KEYNOTE LEGEND

- New door
- New door and sidelights
- New window
- New door in existing opening
- New door in existing window opening
- New window in existing opening
- Existing door to remain as fixed sidelight
- New wrought iron gate to match historic design in existing gate's location
- Existing exterior wall
- New exterior wall
- Patch and repair cement plaster as needed on existing wall
- New finishes on existing partition
- New interior partition
- New CMU wall
- Infill partition to match adjacent
- New framed opening within existing structural wall
- Refinish existing deck
- New balcony to match existing
- New balcony to match historical images
- Glass guardrail at edge of existing deck
- Refinish existing stairs
- New elevator
- New stairs
- New awnings to match historical images
- New corbels to match historical images
- Salvage existing historical corbels
- New rafters to match historical images
- New post to support rafters above
- New clay roof tile over existing roof structure
- New clay tile roof
- Signage to match historical images
- Turrets to match historical images
- New floor finishes over existing structure
- New concrete over metal deck
- Compact earth for future tenant slab
- Excavate as needed for finish floor heights
- New pedestal paver system over new structure
- New Grease Interceptor below grade
- New manhole per SCE requirements



PROPOSED DESIGN

LEVEL 3 PLANS

A1.3

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PROPOSED REDESIGN & RENOVATION CALCULATIONS
LAGUNA BEACH, CALIFORNIA

21 JULY 2021
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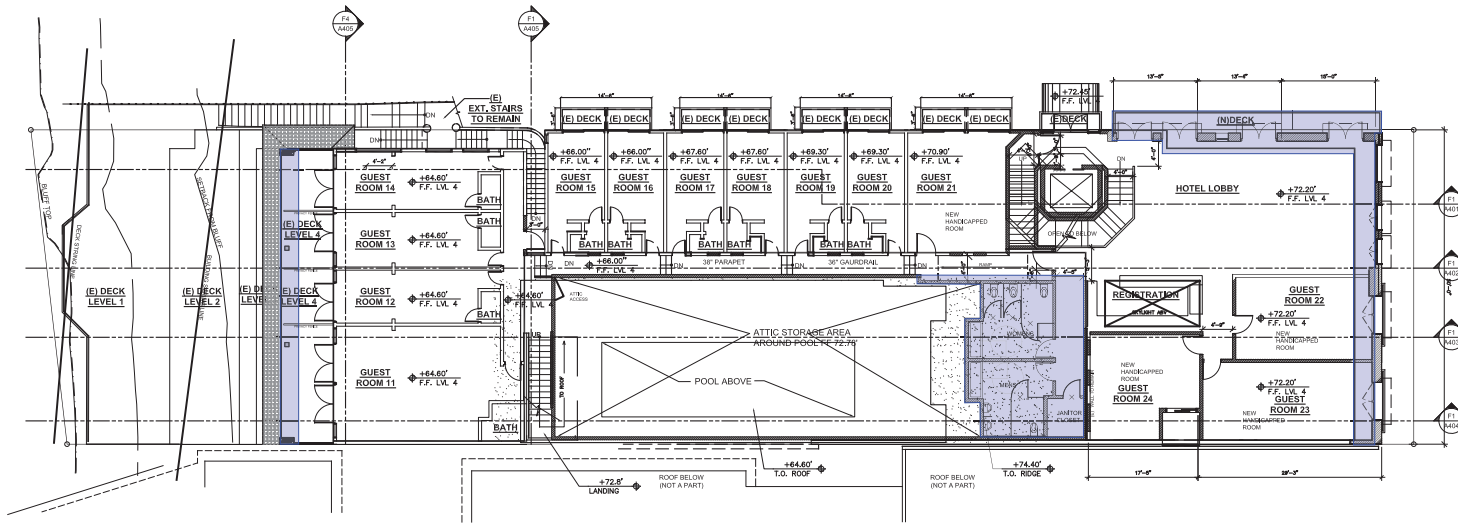
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PREVIOUS DESIGN

LEVEL 4 PREVIOUS DESIGN:

| | |
|-----------------------------|-------------|
| PREVIOUS DESIGN (PER MDG): | |
| Existing Hotel Area: | 4,671.24 SF |
| Existing Hotel Office Area: | 886.24 SF |
| Existing Deck Area: | 440.47 SF |
| Existing Floor Area: | 5,997.95 SF |
| Added Square Footage: | 1,055.20 SF |
| Final Floor Area: | 7,053.15 SF |
| % Increase: | 17.56% |

LEVEL 4 CONDITIONED FLOOR AREA

| | |
|--------------------------------|----------|
| Existing Guestroom Area: | 3,345 SF |
| Existing Hotel Accessory Area: | 1,209 SF |
| Added Hotel Accessory Area: | 248 SF |
| Final Interior Floor Area: | 4,802 SF |
| % Interior Increase: | 5.45% |

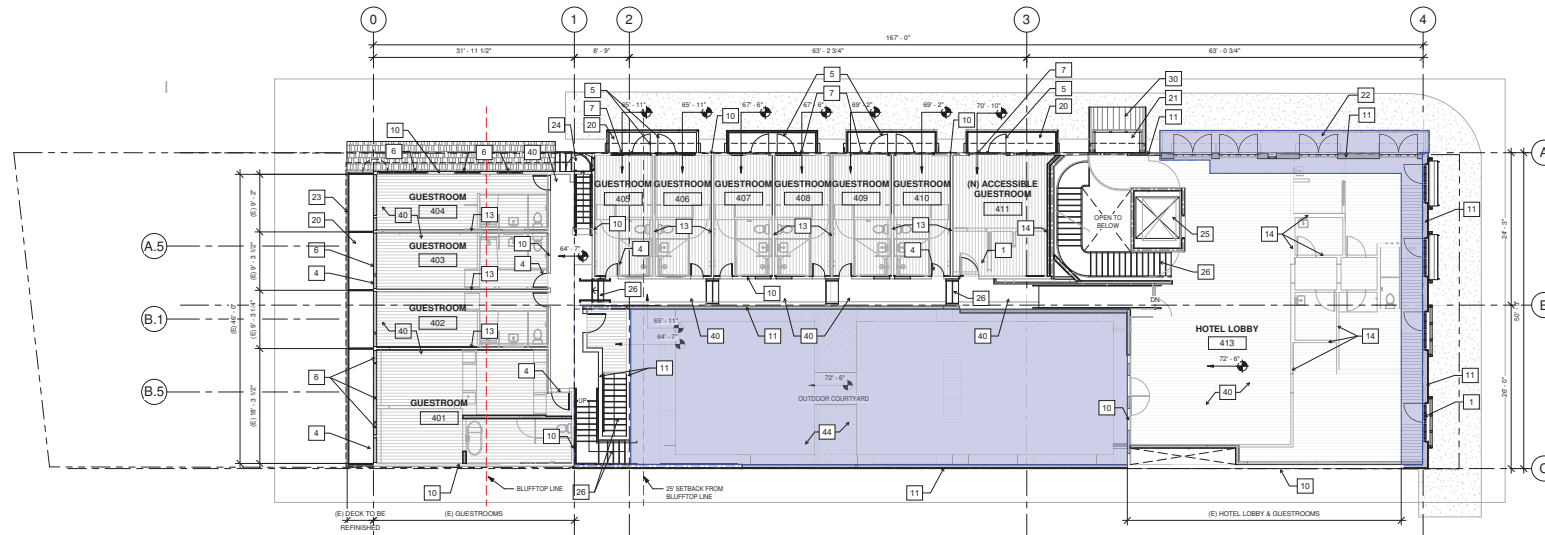
LEVEL 4 INT. + EXT. FLOOR AREA INCREASE

| | |
|-------------------------------|----------|
| Existing Interior Floor Area: | 4,554 SF |
| Existing Exterior Hotel Area: | 1,012 SF |
| Existing Deck Floor Area: | 435 SF |
| Total Existing Floor Area: | 6,001 SF |
| Added Int. Square Footage: | 248 SF |
| Added Ext. Square Footage: | 2,113 SF |
| Final Floor Area: | 8,362 SF |
| % Int. + Ext. Increase: | 39.34% |

FLOOR AREA INCREASE LEGEND

| | |
|-----------------------------|--|
| Added Usable Square Footage | |
|-----------------------------|--|

- KEYNOTE LEGEND**
- New door
 - New door and sidelights
 - New window
 - New door in existing opening
 - New door in existing window opening
 - New window in existing opening
 - Existing door to remain as fixed sidelight
 - New wrought iron gate to match historic design in existing gate's location
 - Existing exterior wall
 - New exterior wall
 - Patch and repair cement plaster as needed on existing wall
 - New finishes on existing partition
 - New interior partition
 - New CMU wall
 - Infill partition to match adjacent
 - New framed opening within existing structural wall
 - Refinish existing deck
 - New balcony to match existing
 - New balcony to match historical images
 - Glass guardrail at edge of existing deck
 - Refinish existing stairs
 - New elevator
 - New stairs
 - New awnings to match historical images
 - New corbels to match historical images
 - Salvage existing historical corbels
 - New rafters to match historical images
 - New post to support rafters above
 - New clay roof tile over existing roof structure
 - New clay tile roof
 - Signage to match historical images
 - Turnets to match historical images
 - New floor finishes over existing structure
 - New concrete over metal deck
 - Compact earth for future tenant slab
 - Excavate as needed for finish floor heights
 - New pedestal paver system over new structure



PROPOSED DESIGN

LEVEL 4 PLANS

A1.4

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PROPOSED REDESIGN & RENOVATION CALCULATIONS
LAGUNA BEACH, CALIFORNIA

21 JULY 2021
PROJECT NO: 20021

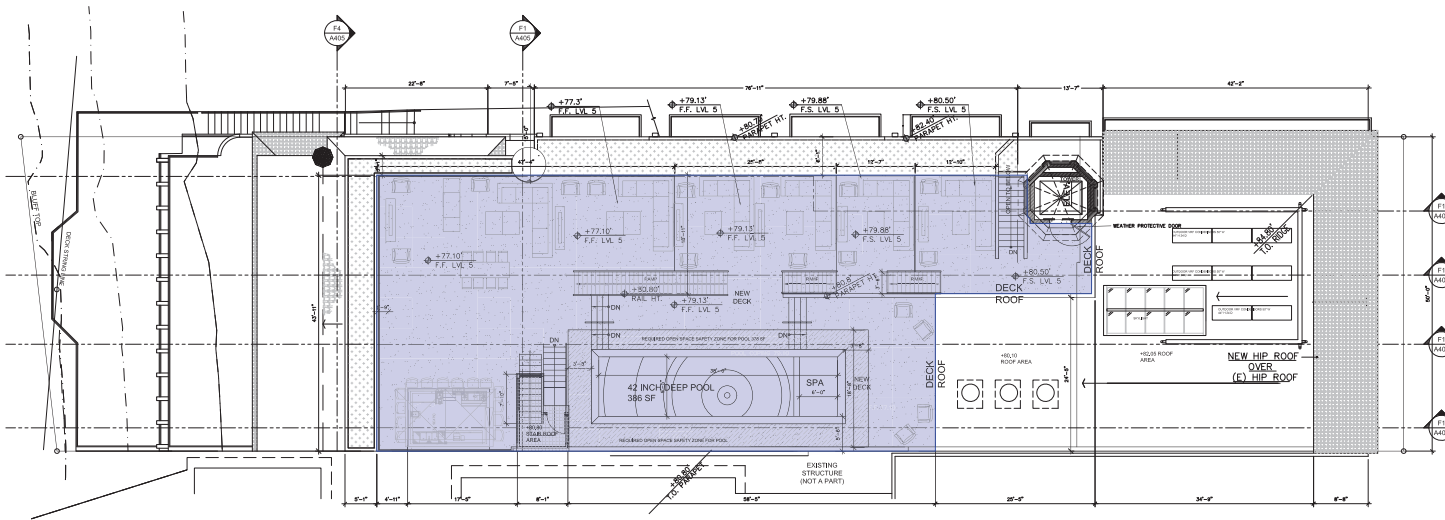
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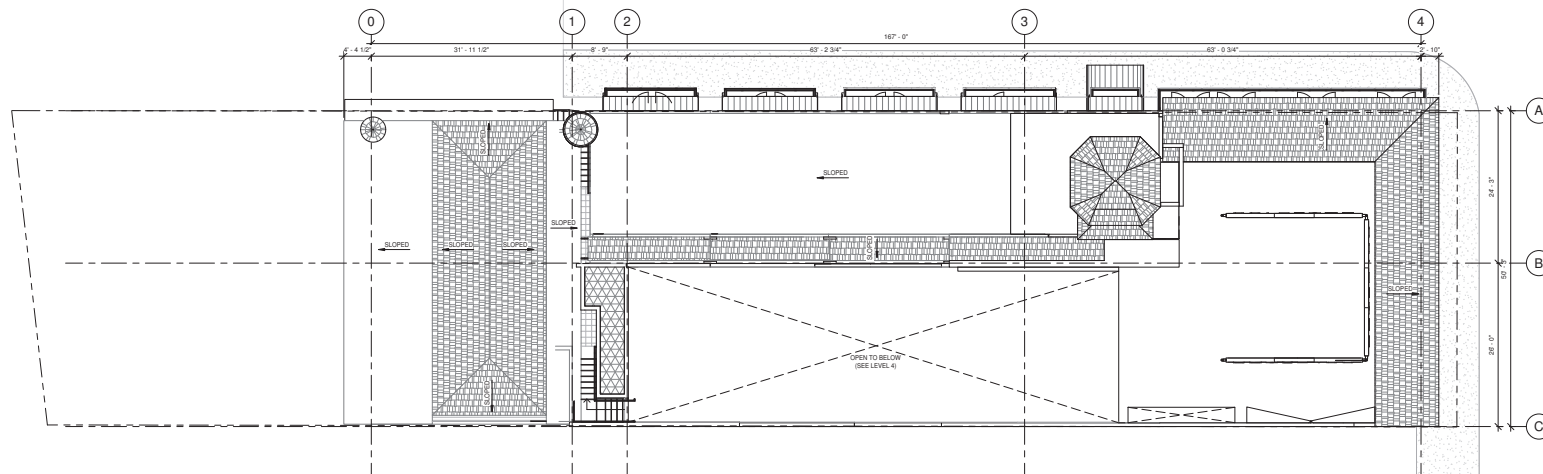
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LEVEL 5 (ROOF DECK) PREVIOUS DESIGN:

| PREVIOUS DESIGN (PER MIDG) | |
|----------------------------|-------------|
| Existing Floor Area | 0 SF |
| Added Square Footage | 4,067.53 SF |
| Final Floor Area | 4,067.53 SF |
| % Increase | 100% |

PREVIOUS DESIGN



LEVEL 5 (ROOF) USABLE FLOOR AREA INCREASE

| | |
|----------------------|-------|
| Existing Floor Area | 0 SF |
| Added Square Footage | 0 SF* |
| Final Floor Area | 0 SF* |

*All usable floor area has been removed from the roof level.

FLOOR AREA INCREASE LEGEND

Added Usable Square Footage

PROPOSED DESIGN

ROOF PLANS

A1.5

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PROPOSED REDESIGN & RENOVATION CALCULATIONS
LAGUNA BEACH, CALIFORNIA

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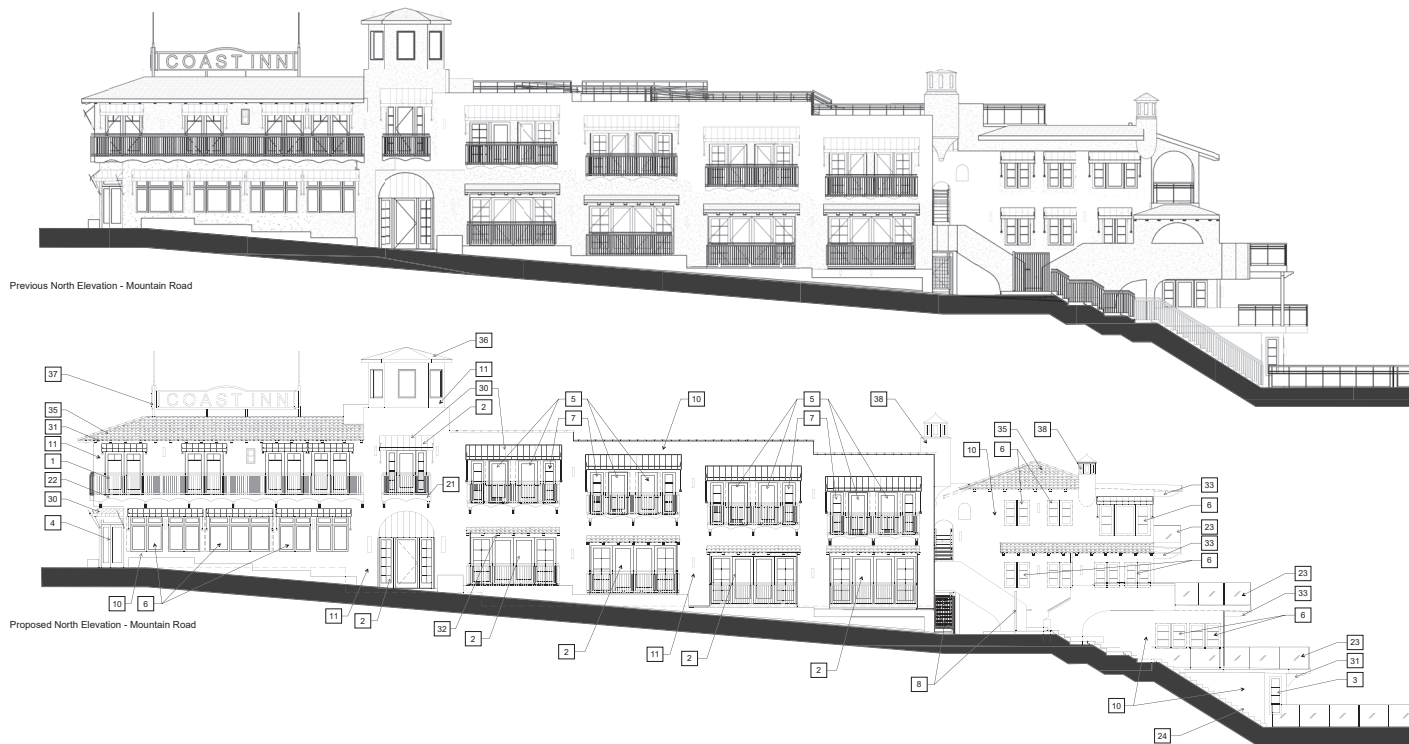
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Exhibit 2

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- KEYNOTE LEGEND**
1. New door
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 25. New elevator
 26. New stairs
 30. New awnings to match historical images
 31. New cornices to match historical images
 32. Salvage existing historical corbels
 33. New railfrets to match historical images
 34. New post to support railfrets above
 35. New clay roof tile over existing roof structure
 36. New clay tile roof
 37. Signage to match historical images
 38. Turrets to match historical images
 40. New floor finishes over existing structure
 41. New concrete over metal deck
 42. Compact earth for future tenant slab
 44. Excavate as needed for finish floor heights
 44. New pedestal paver system over new structure



PROPOSED ELEVATIONS

A2.1

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1/8" = 1'

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PROPOSED REDESIGN & RENOVATION CALCULATIONS
LAGUNA BEACH, CALIFORNIA

21 JULY 2021
PROJECT NO: 20021

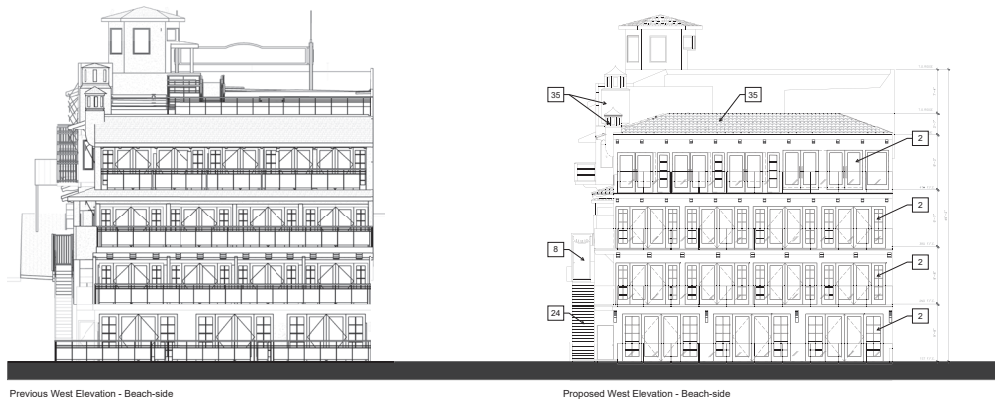
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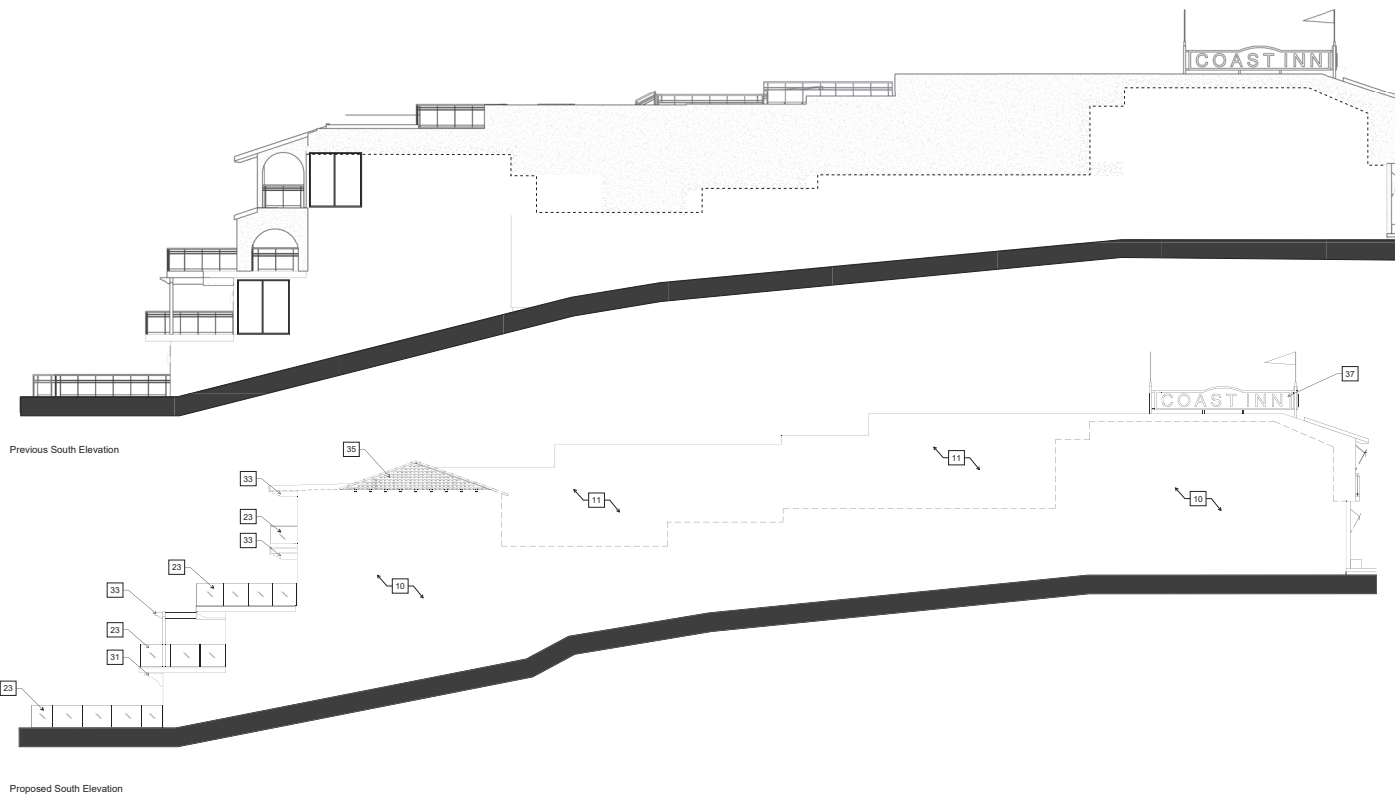
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Exhibit 2

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- KEYNOTE LEGEND**
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 35. New clay roof tile over existing roof structure
 36. New clay tile roof
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 38. Turrets to match historical images
 40. New floor finishes over existing structure
 41. New concrete over metal deck
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 43. Excavate as needed for finish floor heights
 44. New pedestal paver system over new structure



PROPOSED ELEVATIONS

A2.2

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1/8" = 1'

21 JULY 2021
PROJECT NO: 20021

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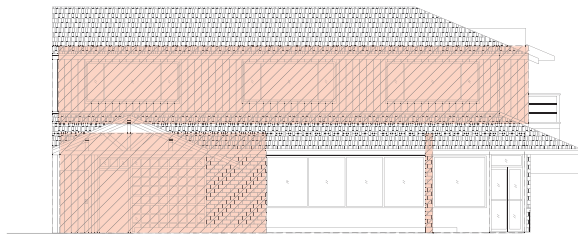
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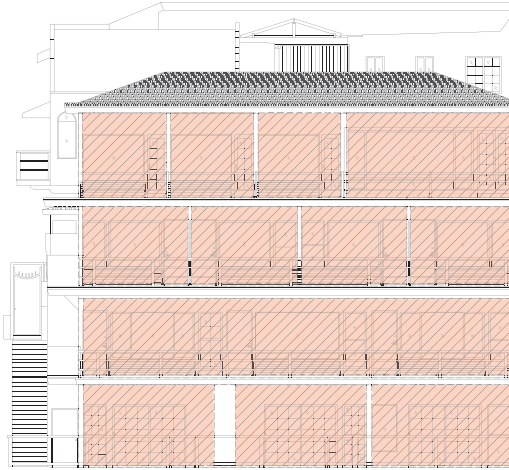
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PROPOSED REDESIGN & RENOVATION CALCULATIONS
LAGUNA BEACH, CALIFORNIA



1) East Elevation - Pacific Coast Highway

Existing Exterior Walls: 966.47 SF
 Exterior Wall Renovation: 652.41 SF
 Walls Remaining: 32.50%
 Wall Renovation: 67.50%



2) West Elevation - Pacific Coast Highway

Existing Exterior Walls: 1,635.74 SF
 Exterior Wall Renovation: 1,496.47 SF
 Walls Remaining: 8.51%
 Wall Renovation: 91.49%

| Elevations | Exterior Walls | Wall Renovation |
|------------------------------|----------------|-----------------|
| 1 | 966.47 SF | 652.41 SF |
| 2 | 1,635.74 SF | 1,496.47 SF |
| 3 | 4,439.82 SF | 1,869.03 SF |
| 4 | 3,710.10 SF | 0 SF |
| 5 | 456.61 SF | 0 SF |
| 6 | 207.95 SF | 0 SF |
| 7 | 1,067.84 SF | 334.96 SF |
| 8 | 103.78 SF | 103.78 SF |
| 9 | 195.06 SF | 195.06 SF |
| 10 | 174.46 SF | 174.46 SF |
| Total Exterior: 12,957.82 SF | | 4,826.17 SF |
| Total Ext Walls Remaining: | | 62.75% |
| Total Ext Wall Renovation: | | 37.25% |



3) North Elevation - Mountain Road

Existing Exterior Walls: 4,439.82 SF
 Exterior Wall Renovation: 1,869.03 SF
 Walls Remaining: 57.90%
 Wall Renovation: 42.10%

EXTERIOR ELEVATION RENOVATION CALCULATIONS

A3.1

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PROPOSED REDESIGN & RENOVATION CALCULATIONS
 LAGUNA BEACH, CALIFORNIA

21 JULY 2021
 PROJECT NO: 20021

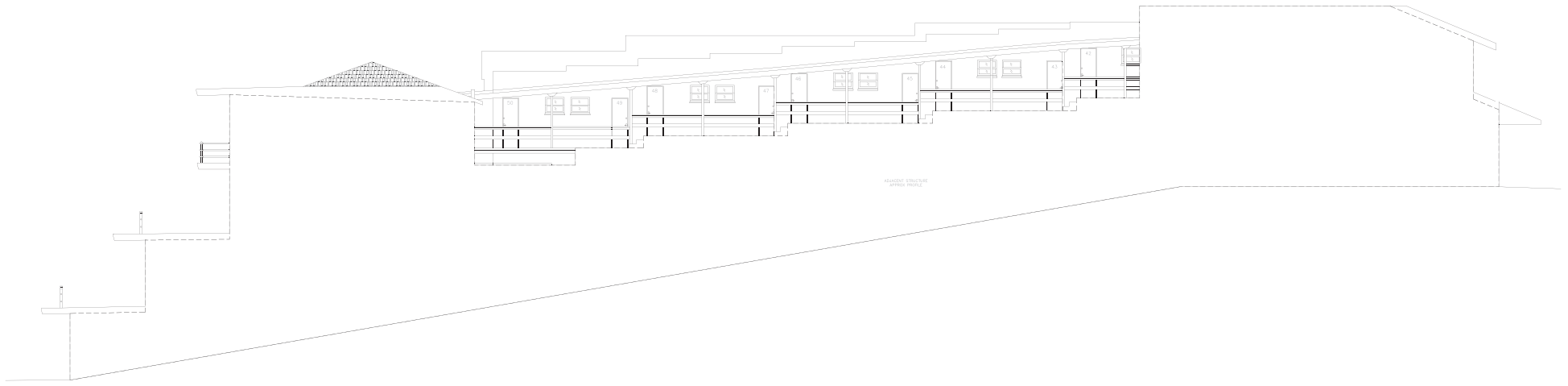
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A-5-LGB-20-0050

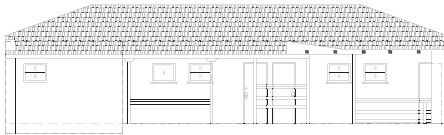
Exhibit 2

Page 9 of 12



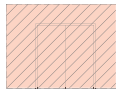
4) South Elevation

Existing Exterior Walls: 3,710.10 SF
Exterior Wall Renovation: 0 SF
Walls Remaining: 100%
Wall Renovation: 0%



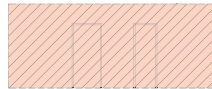
5)

Existing Exterior Walls: 456.61 SF
Exterior Wall Renovation: 0 SF
Walls Remaining: 100%
Wall Renovation: 0%



8)

Existing Exterior Walls: 103.78 SF
Exterior Wall Renovation: 103.78 SF
Walls Remaining: 0%
Wall Renovation: 100%



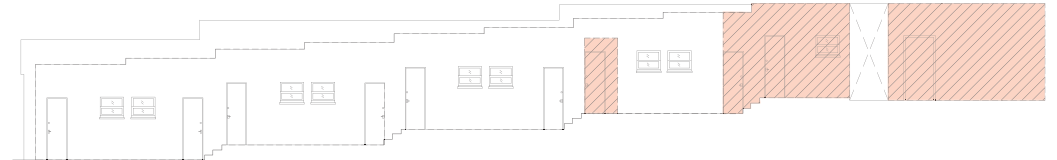
9)

Existing Exterior Walls: 195.06 SF
Exterior Wall Renovation: 195.06 SF
Walls Remaining: 0%
Wall Renovation: 100%



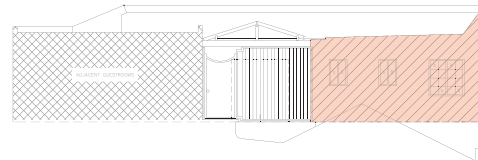
6)

Existing Exterior Walls: 207.95 SF
Exterior Wall Renovation: 0 SF
Walls Remaining: 100%
Wall Renovation: 0%



7)

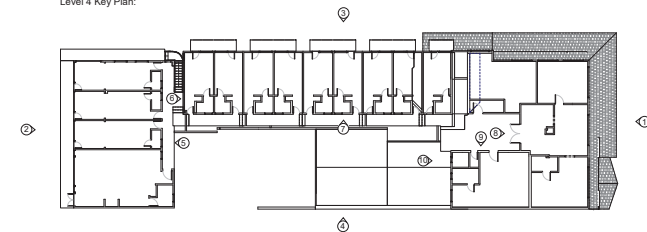
Existing Exterior Walls: 1,067.84 SF
Exterior Wall Renovation: 334.96 SF
Walls Remaining: 68.63%
Wall Renovation: 31.37%



10)

Existing Exterior Walls: 174.46 SF
Exterior Wall Renovation: 174.46 SF
Walls Remaining: 0%
Wall Renovation: 100%

Level 4 Key Plan:



EXTERIOR ELEVATION RENOVATION CALCULATIONS

A3.2

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COAST INN

PROPOSED REDESIGN & RENOVATION CALCULATIONS
LAGUNA BEACH, CALIFORNIA

21 JULY 2021
PROJECT NO: 20021

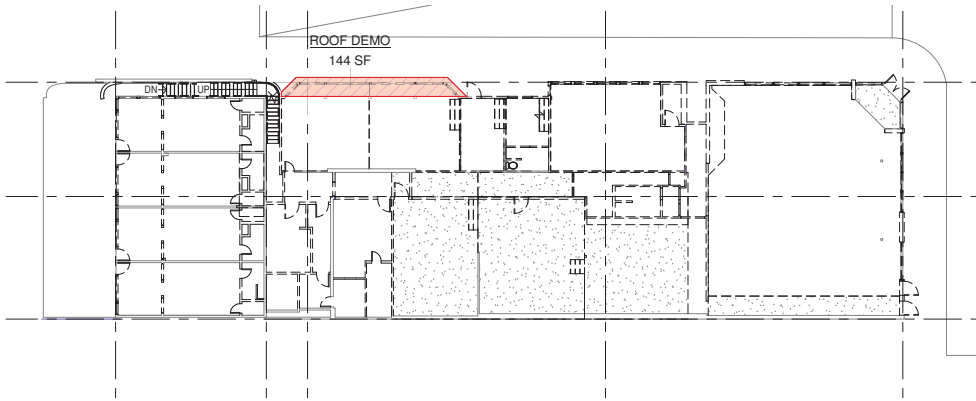
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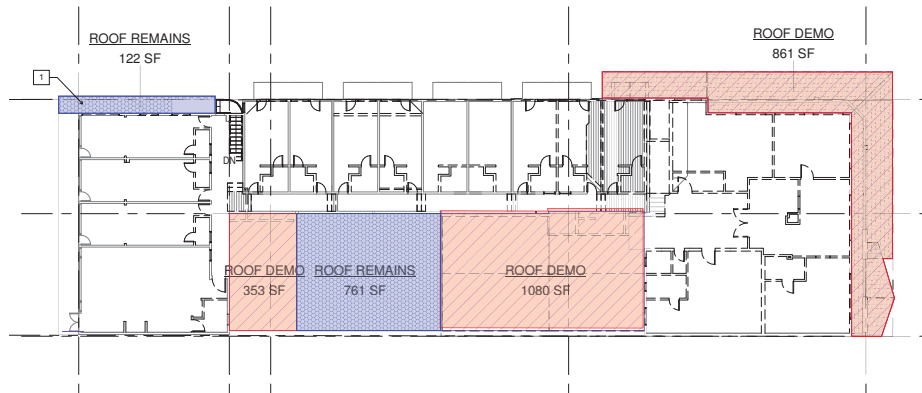
A-5-LGB-20-0050

Exhibit 2

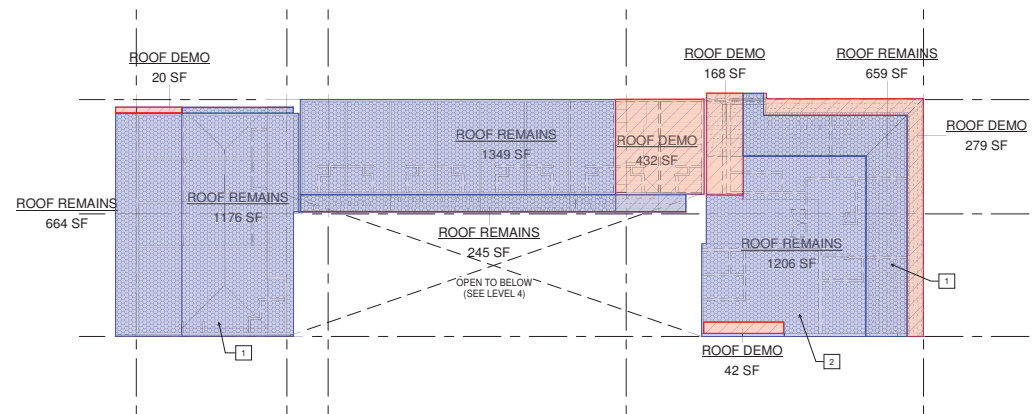
Page 10 of 12



LEVEL 3 - LOWER
ROOF PLAN



LEVEL 4 - LOWER
ROOF PLAN



UPPER ROOF

ROOF PREVIOUS DESIGN:

PREVIOUS DESIGN CALCS PER MIDG:
% of existing roof to remain:
% of existing roof to be removed/alterred:

28.38%
71.62%

ROOF PROPOSED DESIGN:

NEW PROPOSED RENOVATION CALCS BASED ON COASTAL COMMISSION'S COMMENTS:

% of existing roof to remain: 52.73%
% of existing roof to be removed/alterred: 35.34%
% of estimated repair & maintenance: 11.92%
Total % of roof removal/alterred/anticipated repair & maintenance: 47.27%

ROOF LEGEND:

ROOF DEMO (Red hatched box)
ROOF REMAINING (Blue grid box)

KEYNOTE LEGEND:

1. Estimated repair & maintenance required for new clay tile roof finish
2. New mechanical equipment will be supported independent of existing building structure

ROOF RENOVATION CALCULATIONS

A4.1

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PROPOSED REDESIGN & RENOVATION CALCULATIONS
LAGUNA BEACH, CALIFORNIA

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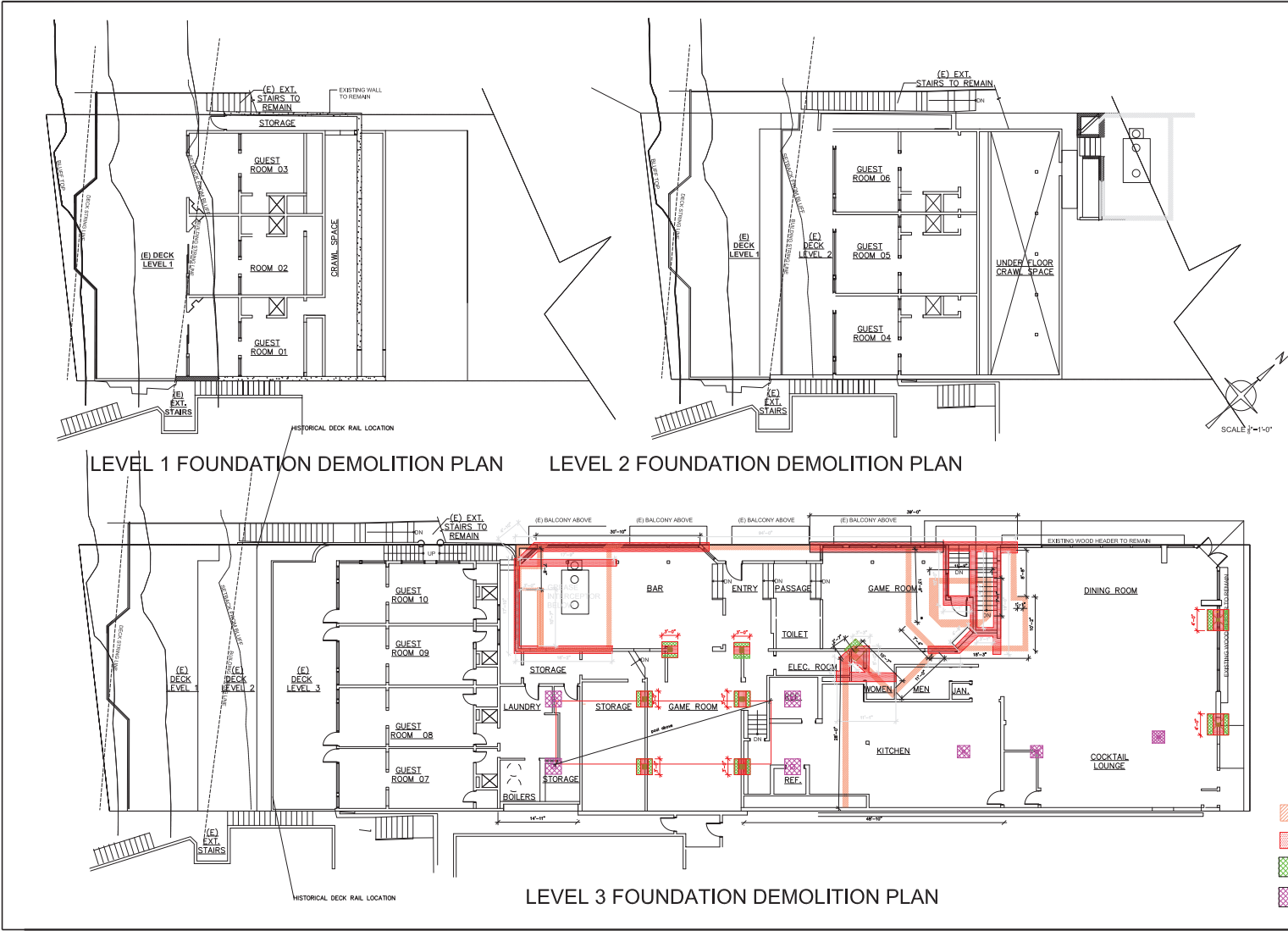
California Coastal Commission

A-5-LGB-20-0050

Exhibit 2

Page 11 of 12

NOTE: This sheet is from previous plans dated August 31, 2020. The scope of work has been reduced and new foundation plans are required by Special Condition 1 prior to permit issuance.



| FOUNDATION QUANTITIES | FOUNDATION REMODEL DEMOLITION LF | NEW FOUNDATION LF |
|------------------------------------|----------------------------------|-------------------|
| LEVEL ONE | | 5.28.2020 |
| STORAGE ROOM 03 | | |
| ROOM 02 | | |
| ROOM 01 | | |
| DECK | | |
| CRAWL SPACE | | |
| SUBTOTAL LEVEL ONE | 0.00 | 0.00 |
| LEVEL TWO | | |
| UNDER FLOOR CRAWL SPACE | | |
| SUBTOTAL LEVEL TWO | 0.00 | 0.00 |
| LEVEL THREE | | |
| DINING ROOM | 8.67 | 10.17 |
| COCKTAIL LOUNGE | 1.08 | |
| STAIRS | -39 | 4 |
| | -19 | 4 |
| | -14.25 | 18.25 |
| | -3.08 | |
| | -14.25 | 11.75 |
| | -4.67 | 11.75 |
| | -6.08 | 7.08 |
| | -10 | 7.08 |
| | -5.08 | 13.75 |
| | -39 | 7.31 |
| | -11.08 | 11 |
| | -2.58 | 10.58 |
| | -4.67 | 2.58 |
| KITCHEN | -2.58 | 28 |
| | -3.08 | |
| | -5 | |
| | -11.08 | |
| | -4.67 | |
| BAR | -30.83 | 94 |
| | -17.75 | 17.83 |
| | -18.17 | 18.17 |
| | -17.5 | 18.17 |
| GAME ROOM | -3 | 9 |
| STORAGE | -6 | 6 |
| LAUNDRY | -9 | 9 |
| SUBTOTAL LEVEL THREE | 292.40 | |
| (E) FOUNDATION LENGTH (see A201.3) | 1227.79 | |
| DEMOLITION FOUNDATION LF | -292.4 | |
| REMAINING OF THE (E) FOUNDATION | 935.39 | |
| NEW FOUNDATION LENGTH | | 378.45 |
| FOUNDATION DEMOLITION % | 23.82 | |
| FOUNDATION REMAINING % | 76.18 | |

- NEW LF FOUNDATION
- FOOTING TO BE DEMOLISHED
- NEW PAD FOOTINGS UNDER (E) FTG.
- NEW ISOLATED PAD FOOTING (NO FTG. DEMOLITION).

MARSHALL INN DESIGN GROUP
ARCHITECTS AND INTERIORS
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SUITE 210 LAGUNA BEACH
CALIFORNIA 92651
marshallinn@marshallinn.com

Coast Inn Hotel Building
Foundation Remodel/ Demo Plan
1401 Coast Highway
Laguna Beach, California 92651

Project Name
CONSULTANTS
MARSHALL H. INN
NO. C-23707
EX. 12-3-31
STATE OF CALIFORNIA

Job No.
Drawn By
Checked By
Date
Revisions
Project Data

Sheet No
A201.2
Of

Exhibit 3 – Historic Photos



Figure 1- Postcard circa 1935.



Figure 2- Photo circa 1940's.



Figure 3- Photo circa 1950's.



Figure 4- Photo of fire, circa 1956.



Figure 4- Photo of reconstruction, dated 1960's.



Figure 5- Photo of existing condition, dated 2021.



Figure 6- Proposed condition.

CALIFORNIA COASTAL COMMISSION

455 MARKET STREET, SUITE 228
SAN FRANCISCO, CA 94105-2219
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July 7, 2021

BLUFF EDGE REVIEW MEMORANDUM

To: Chloe Seifert, Coastal Program Analyst

From: Joseph Street, Ph.D., P.G., Staff Geologist *Joseph Street*

Re: 1401 S. Coast Highway, Laguna Beach (Coast Inn),
Appeal No. A-5-LGB-20-0050

In connection with the above-referenced appeal, I have reviewed the following documents directly related to the subject property:

- 1) Borella Geology, Inc., 2009, "Updated Preliminary Geotechnical Report for Hotel Remodel and New Additions, Including Subterranean Garage, Coast Inn, 1401 South Coast Highway, Laguna Beach, CA 92651", report dated June 17, 2009, signed by J. W. Borella, P. E. Borella, and D. A. Purkis.
- 2) Borella Geology, Inc., 2015, "Update and Addendum report for Preliminary Geotechnical Report for Hotel Remodel and New Additions, Including Subterranean Garage, Coast Inn, 1401 South Coast Highway, Laguna Beach, CA 92651", report dated January 31, 2015, signed by P. E. Borella and D. A. Purkis.
- 3) Borella Geology, Inc., 2018, "Site visits and Visual observations of Ocean Bluff Face, 1401 South Coast Highway, Coast Inn, Laguna Beach, California, 92651", report dated January 19, 2018, signed by P. E. Borella.
- 4) Borella Geology, Inc., 2019, "Site visits and Visual observations of Ocean Bluff Face (return visits and observations), 1401 South Coast Highway, Coast Inn, Laguna Beach, California, 92651", report dated May 1, 2019, signed by P. E. Borella.
- 5) GeoSoils, Inc., 2019, "Discussion of Coastal Hazards and Wave Runup, Coast Inn, 1401 S. Coast Highway, City of Laguna Beach, Orange County, California", report dated May 17, 2019, signed by D. W. Skelly.
- 6) Borella Geology, Inc., 2020a, "Third Response to City of Laguna Beach Geotechnical Report Review Checklist, updated report and Ocean bluff face, bluff top determination and stability, Coast Inn Hotel remodel, original report dated September 3, 2009, PN96044-687, 1401 South Coast Highway, Laguna Beach, California, 92651, dated August 25, 2020", signed by P. E. Borella.
- 7) Marshall Innins Design Group, 2020, "Coast Inn Hotel Renovation, 1401 S. Coast Highway, Laguna Beach, CA 92651", plan set dated August 31, 2020, stamped by M. H. Innins.
- 8) Borella Geology, Inc., 2020b, "Fourth Response to City of Laguna Beach, Ocean bluff face, bluff face top determination, Coast Inn Hotel remodel, original report dated September 3, 2009, PN96044-687, 1401 South Coast Highway, Laguna Beach, California, 92651, dated August 24, 2020", report dated October 29, 2020, signed by P. E. Borella.

- 9) SMSARCH, 2021, “Coast Inn Proposed Redesign & Renovation Calculations, Laguna Beach, California”, plan set dated June 14, 2021.

I have also consulted oblique aerial photographs of the site provided by the California Coastal Records Project (<https://www.californiacoastline.org>), the two-foot contour topographic maps maintained by Orange County Public Works (OCPW) (<https://www.ocgis.com/ocpw/landrecords/>), and historical photographs of the site (<http://coastinnhistory.com>, accessed July 2, 2021). The purpose of this memorandum is to evaluate the position of the bluff edge on the subject property.

Site Description

As described in the geotechnical reports provided by Borella Geology (Refs. 1 – 4, 6, 8), the coastal bluff at the site is composed of highly-competent San Onofre Breccia bedrock overlain unconformably by geologically-recent, sandy marine and non-marine terrace deposits and, in places, minor artificial fill associated with prior development of the site. Based on the topographic information contained in several of the Borella reports and site plans (Refs. 1, 3, 6, 7) and the OCPW maps, the subject site extends from an elevation of approximately 10 feet above mean sea level (MSL) at the back of the beach to about +60 feet MSL at Coast Highway (**Fig. 1**).

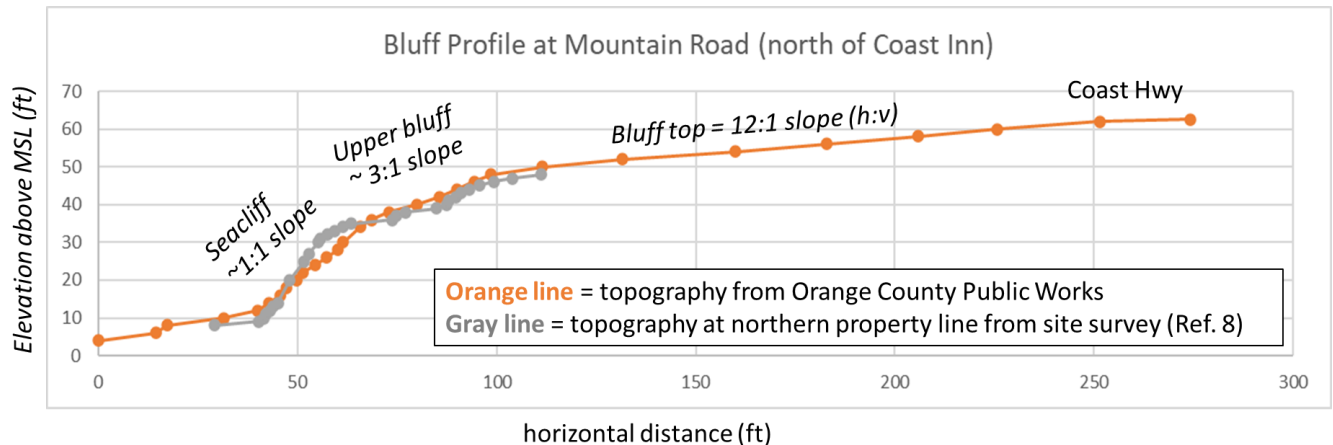


Figure 1 (above): Cross-sectional profile of coastal bluff at Mountain Rd., north of Coast Inn

Below approximately +30 feet MSL the San Onofre Breccia forms a relatively steep seacliff, with slopes of approximately 40 – 45 degrees (~1:1 horizontal: vertical, h:v). Where exposed, such as along the northern property line and below the Mountain Rd. street end, the upper bluff terrace deposits (approx. +30 – 50 feet MSL) are susceptible to subaerial erosion and are characterized by gentler slopes (20 – 22 degrees; 2.5:1 – 3:1 h:v). The natural bluff landform, consisting of the steeper seacliff and gently-sloped upper bluff (stepped/terraced in places), is apparent in historical photographs of the site (**Fig. 2**, below). The seaward portion of the existing Coast Inn building appears to descend the upper bluff slope in one or more steps; this is also evident in the site plans (Refs. 1, 7, 9; **Figs. 3, 4**). Above elevations of about +48 – 50 feet MSL, the slightly inclined bluff top has a slope of approximately 12:1 (h:v), or less than 5 degrees.

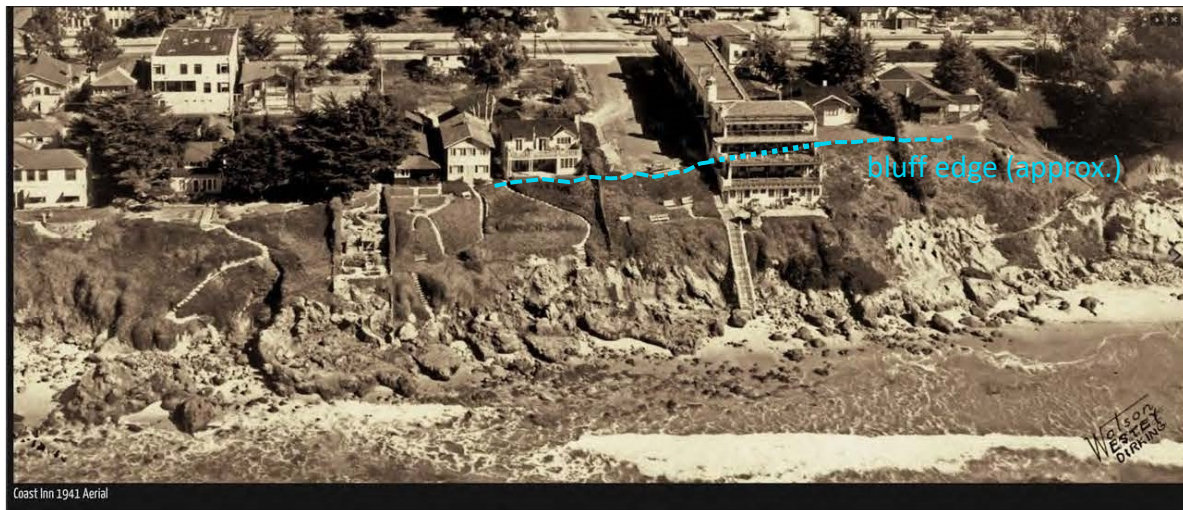


Figure 2: 1941 Aerial Photograph of Coast Inn Site (Source: <http://coastinnhistory.com>)

Bluff Edge Determination

The Land Use Element (LUE) of the City of Laguna Beach’s certified Local Coastal Program includes the following definition of “Oceanfront Bluff Edge or Coastal Bluff Edge” (Glossary Definition 101) **[emphasis added]**:

The California Coastal Act and Regulations define the oceanfront bluff edge as the upper termination of a bluff, cliff or seacliff. In cases where the top edge of the bluff is rounded away from the face of the bluff, the bluff edge shall be defined as that point nearest the bluff face beyond which a downward gradient is maintained continuously to the base of the bluff. **In a case where there is a step like feature at the top of the bluff, the landward edge of the topmost riser shall be considered the bluff edge. Bluff edges typically retreat over time because of erosional processes, landslides, development of gullies, or by grading (cut).** In areas where fill has been placed near or over the bluff edge, the original bluff edge, even if buried beneath fill, shall be taken to be the bluff edge.

This definition is similar, though not identical to the definition of “bluff edge” contained in the Coastal Commission’s regulations (Cal. Code Reg. Title 14, §13577(h)).¹ The LUE (in Definition 102) further clarifies that a coastal bluff encompasses the entire slope between the upland area and the beach, and not just the steepest portion of the slope:

Oceanfront Bluff/Coastal Bluff – A bluff overlooking a beach or shoreline or that is subject to marine erosion. Many oceanfront bluffs consist of a gently sloping upper bluff and a steeper lower bluff or sea cliff. The term “oceanfront bluff” or “coastal bluff” refers to the entire slope between a marine terrace or upland area and the sea. The term “sea cliff” refers to the lower, near vertical portion of an oceanfront bluff.

At the project site, a bluff edge determination pursuant to these definitions must account for the relatively gentle gradient of the upper bluff and modifications to the site topography

¹ Section 13577(h)(2) of the Commission’s regulations defines the “bluff edge” as follows:

Bluff line or edge shall be defined as the upper termination of a bluff, cliff or seacliff. In cases where the top edge of the cliff is rounded away from the face of the cliff as a result of erosional processes related to the presence of the steep cliff face, the bluff line or edge shall be defined as that point nearest the cliff beyond which the downward gradient of the surfaces increases more or less continuously until it reaches the general gradient of the cliff. In a case where there is a steplike feature at the top of the cliff face, the landward edge of the topmost rise shall be taken as the cliff edge.

during past development. These modifications appear to include grading cuts associated with the construction of the existing Coast Inn building (**Figs. 3, 4**).

The bluff edge determination provided by the applicant (Ref. 8) identified the bluff edge at the contact between the San Onofre Breccia bedrock and the overlying upper bluff material, at an elevation of approximately +30 feet MSL (**Figs. 3, 5**). This bluff edge line corresponds to the most distinct slope change on the bluff, where the gentle upper bluff slope transitions to the steeper sea cliff. However, as noted above, the LUE definition of “Oceanfront/Coastal Bluff” expressly includes the entire slope between the upland area and the sea, not just the steeper sea cliff, which in Laguna Beach often corresponds to the lower bluff bedrock. The applicant’s analysis does not account for the considerable elevation change that occurs between the identified bluff edge (at +30 ft MSL) and the top of the marine terrace (at 50 – 60 ft MSL), nor the gradient (~2.5:1 to 3:1 h:v) of the upper bluff, which significantly exceeds the general slope of the bluff top (~12:1 h:v) in this location.

As shown in **Figs. 1 & 2** (above), along the Mountain Rd. street end and the northern edge of the subject site, the transition from bluff top to bluff face is incremental – the bluff edge is “rounded away from the face of the bluff” – but the gradient increases noticeably at two points, the first at approximately +48 feet MSL and the second at about +30 feet MSL. Per the LUE definition, the bluff edge occurs at the higher elevation slope break at +48 feet MSL, which is “the point nearest the bluff face beyond which a downward gradient is maintained continuously” (accounting for the fact that the bluff top itself has a downward gradient of about 5 degrees).

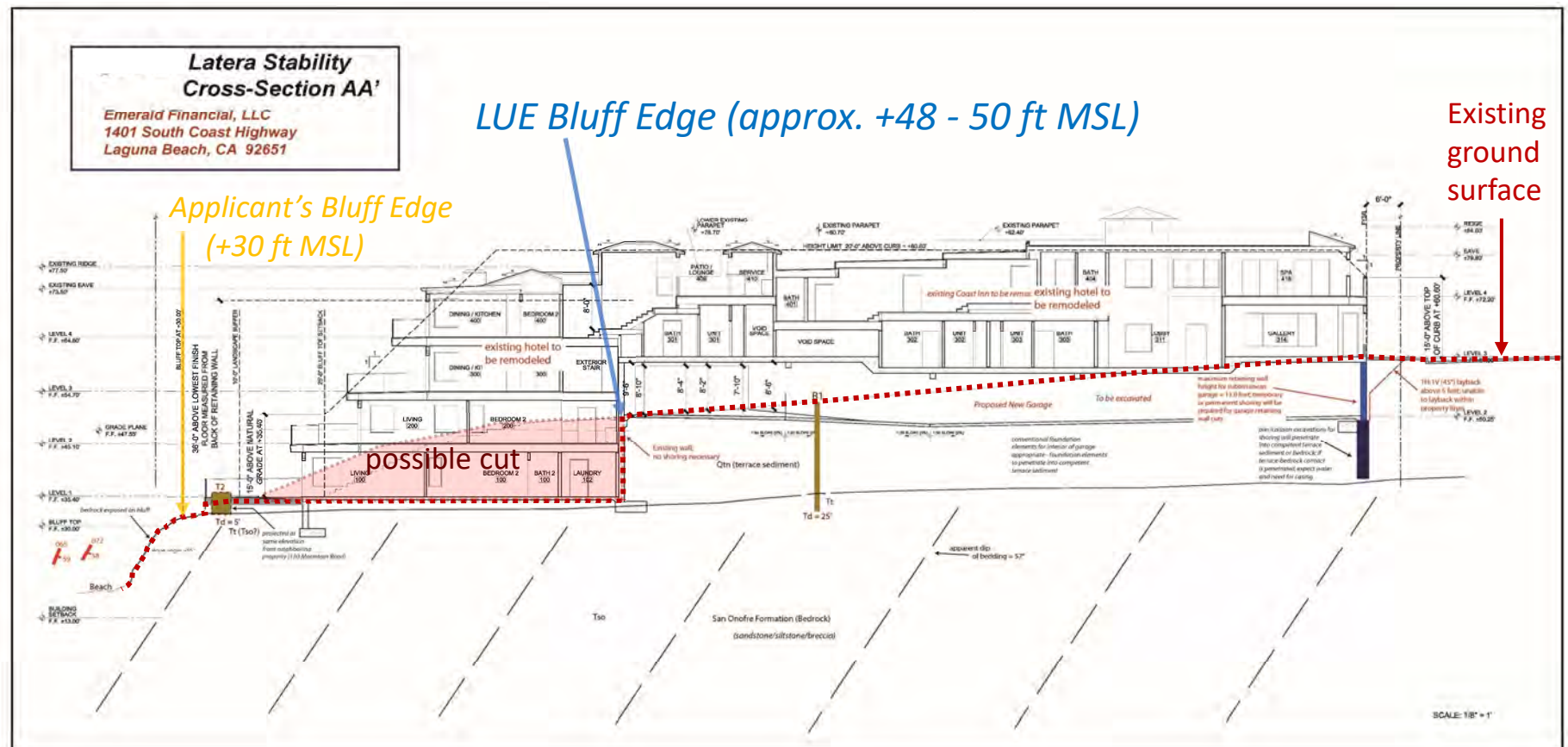
Across most of the subject site, however, the situation is complicated by the fact that the existing Coast Inn building appears to have been built on one or more graded “steps” cut into the bluff when the site was developed (**Figs. 2 - 4**). As noted above, the LUE bluff edge definition considers grading cuts to be equivalent to natural erosion as a “process” than can change the position of the bluff edge. It is likely that this prior grading of the upper bluff at the Coast Inn site removed a rounded natural bluff edge similar to that occurring along the Mountain Rd. street end. However, if even if the upper bluff “step” on which the hotel is built is of natural origin, the LUE Coastal Bluff Edge definition indicates that in cases where there is a “step like feature” at the top of the bluff, the bluff edge is the “landward edge of the topmost riser.” At the project site, the edge of the topmost riser occurs at an elevation of approximately +48 – 50 feet MSL (**Figs. 3, 4**). This elevation is consistent with the LUE bluff edge on the less altered bluff along the northern property line (**Fig. 1**). The LUE bluff edge is shown in plan view in **Fig. 5**, more or less coincident with the retaining wall at the back of Level 2 of the hotel and approximately 65 feet inland of the western property line.

Slope Stability & Coastal Hazards

The slope stability analysis provided in Ref. (1) indicates that the bluff at the subject site is grossly stable, with a minimum factor of safety of 2.4 under static conditions and 1.9 under pseudostatic conditions ($k_h = 0.15 g$). Moreover, the San Onofre Breccia bedrock comprising the lower bluff is highly resistant to marine erosion. The applicant’s coastal hazards analysis (Ref. 5) indicates that the proposed new development would be safe from wave runup and bluff erosion hazards over the next 75 years with up to 4.2 feet of SLR; higher SLR scenarios were not evaluated.

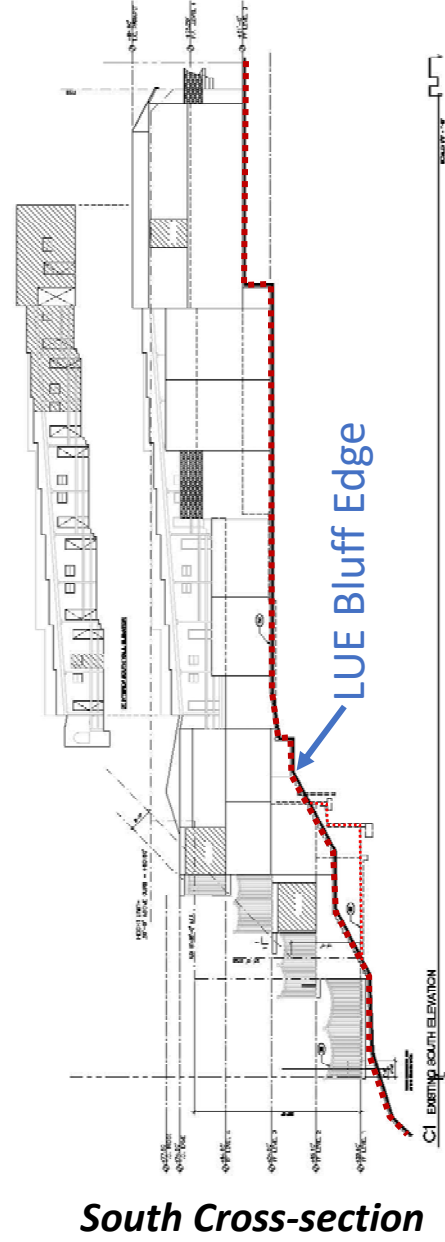
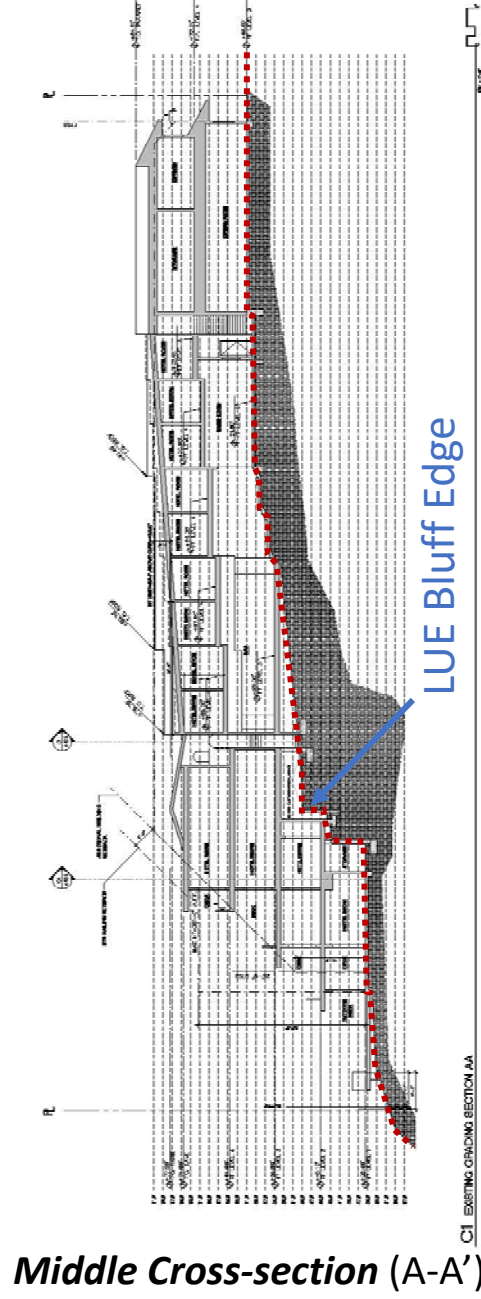
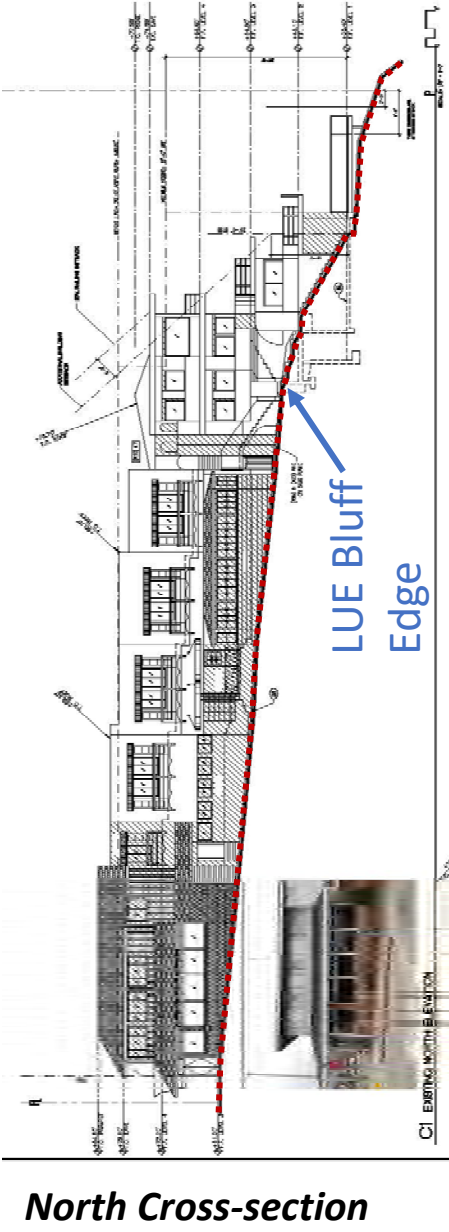
Attachments: Figures 3, 4, & 5

Figure 3: Mid-Site Geologic Cross-Section



modified from Borella 2009 (Ref. 1)

Figure 4: Architectural Cross-Sections



modified from (Ref. 7)

Figure 5: Plan Views

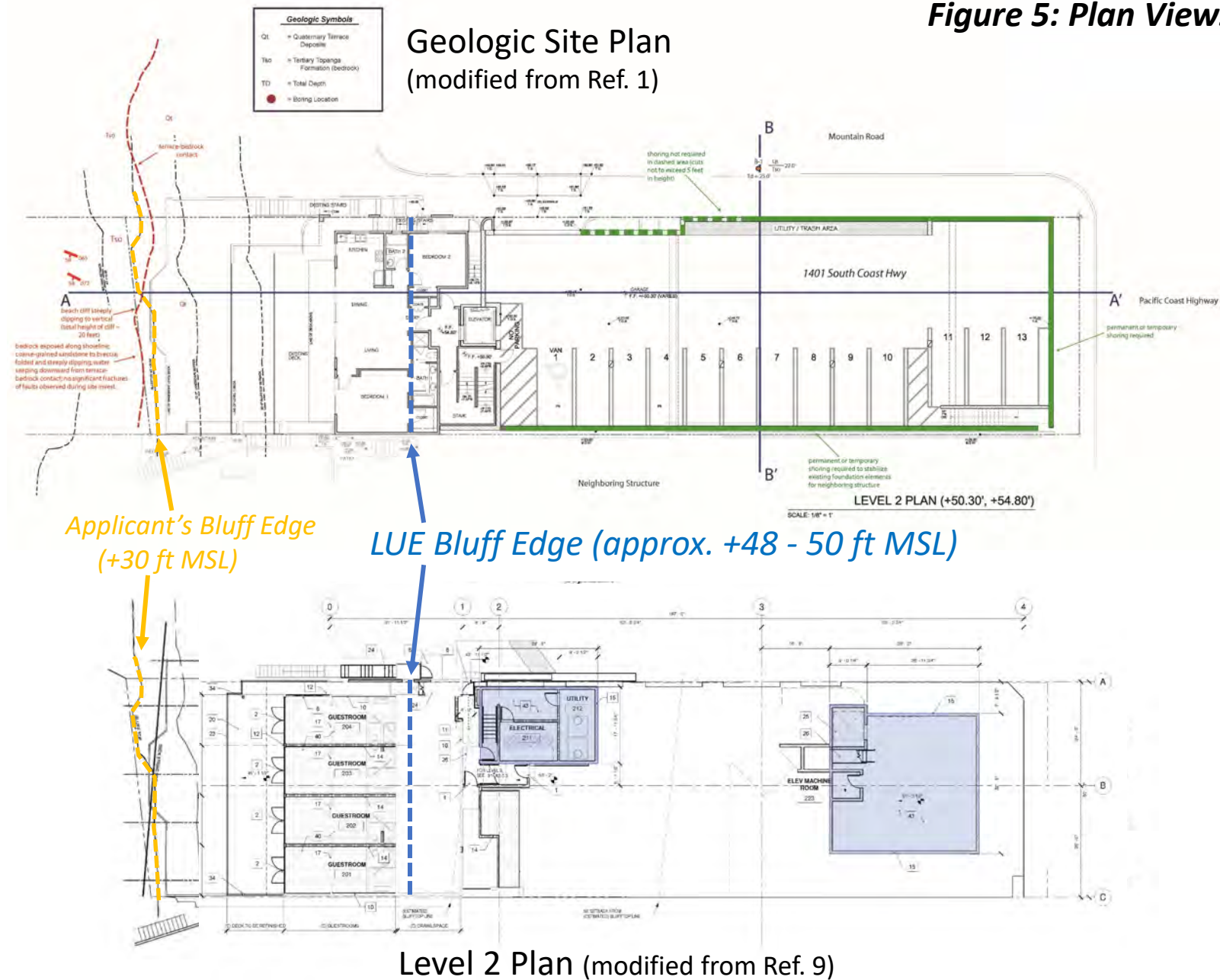
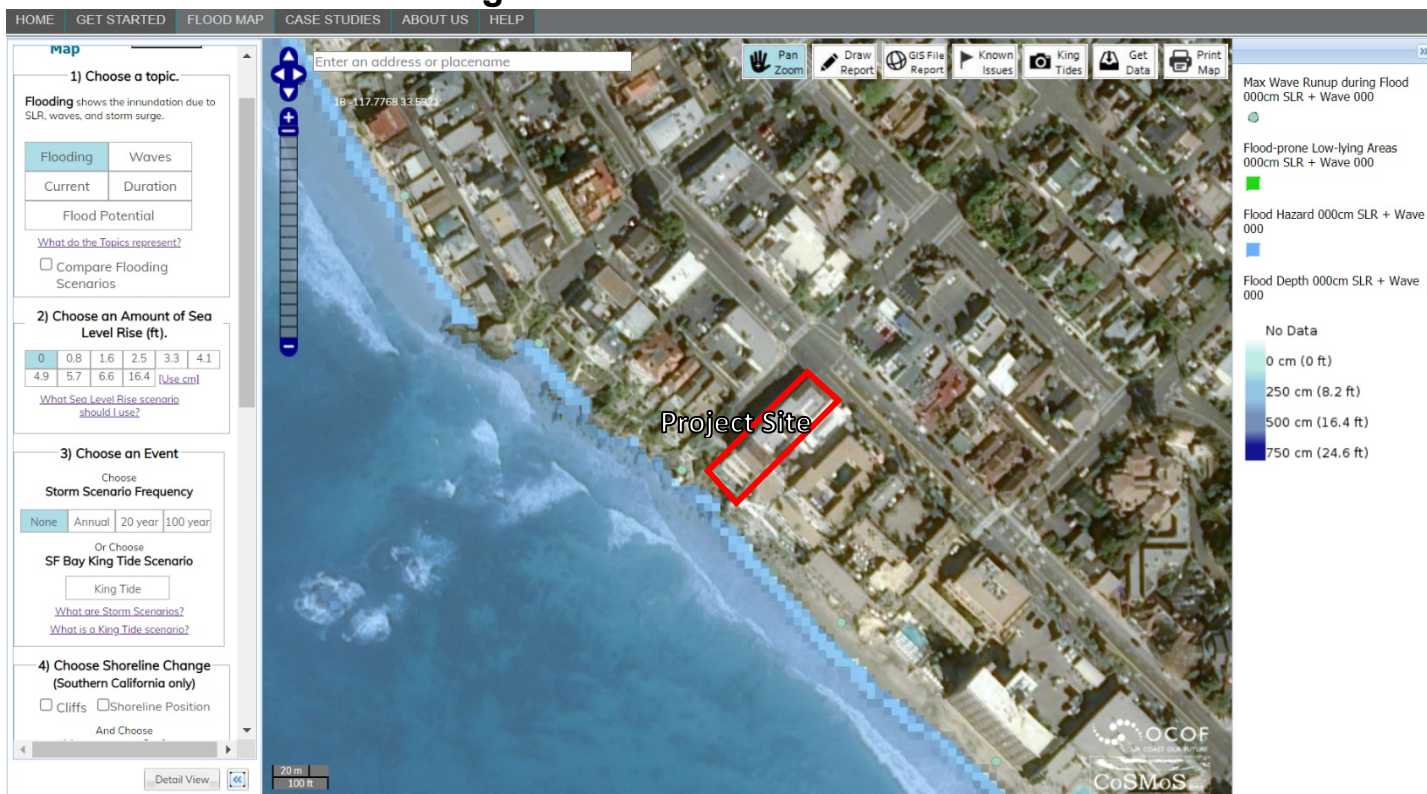
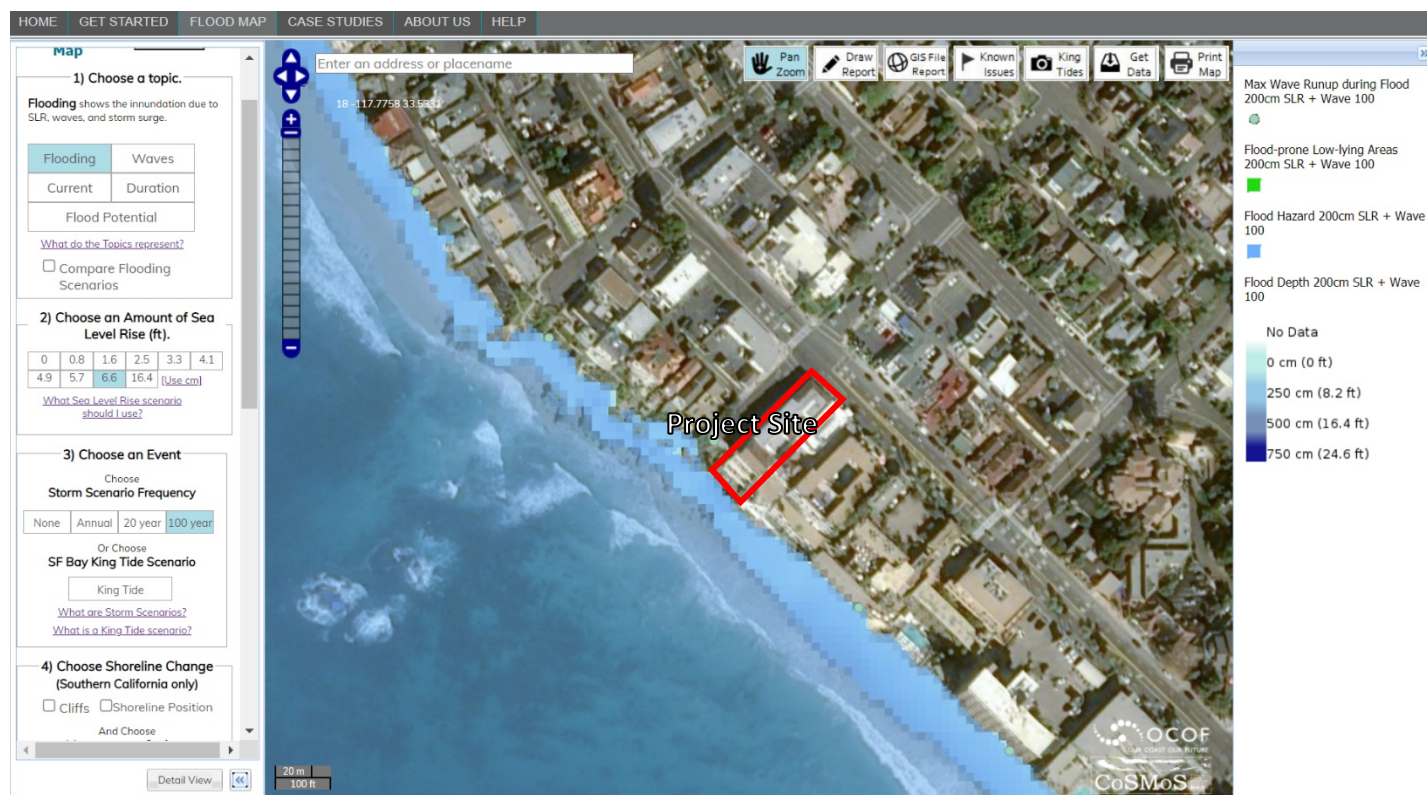


Exhibit 5 –CoSMoS Figures



Existing site condition (0 ft. of sea level rise and no coastal storms.)



Possible future site condition (6.6 ft. of sea level rise and 100-year coastal storm.)