

CALIFORNIA COASTAL COMMISSION

NORTH COAST DISTRICT OFFICE
1385 EIGHTH STREET, SUITE 130
ARCATA, CA 95521
VOICE (707) 826-8950
FAX (707) 826-8960



Th10a

1-20-0261 (CITY OF EUREKA)

AUGUST 12, 2021

EXHIBITS

Exhibit 1 – Regional Map

Exhibit 2 – Vicinity Map

Exhibit 3 – Project Plans

Exhibit 4 – Excerpts from Soil and Groundwater Management Contingency Plan



Project Location

LOCAL COASTAL PROGRAM AREAS

- City of Arcata
- City of Eureka
- City of Fortuna
- City of Trinidad
- Humboldt County
- Coastal Zone Boundary
(extends 3 nautical miles offshore)

Locations approximate.
For illustrative purposes only.

0 6 12 Miles

0 6 12 Kilometers

EXHIBIT NO. 1

CDP Application No.
1-20-0261 (Eureka)

REGIONAL MAP (1 of 1)

Project Vicinity Map

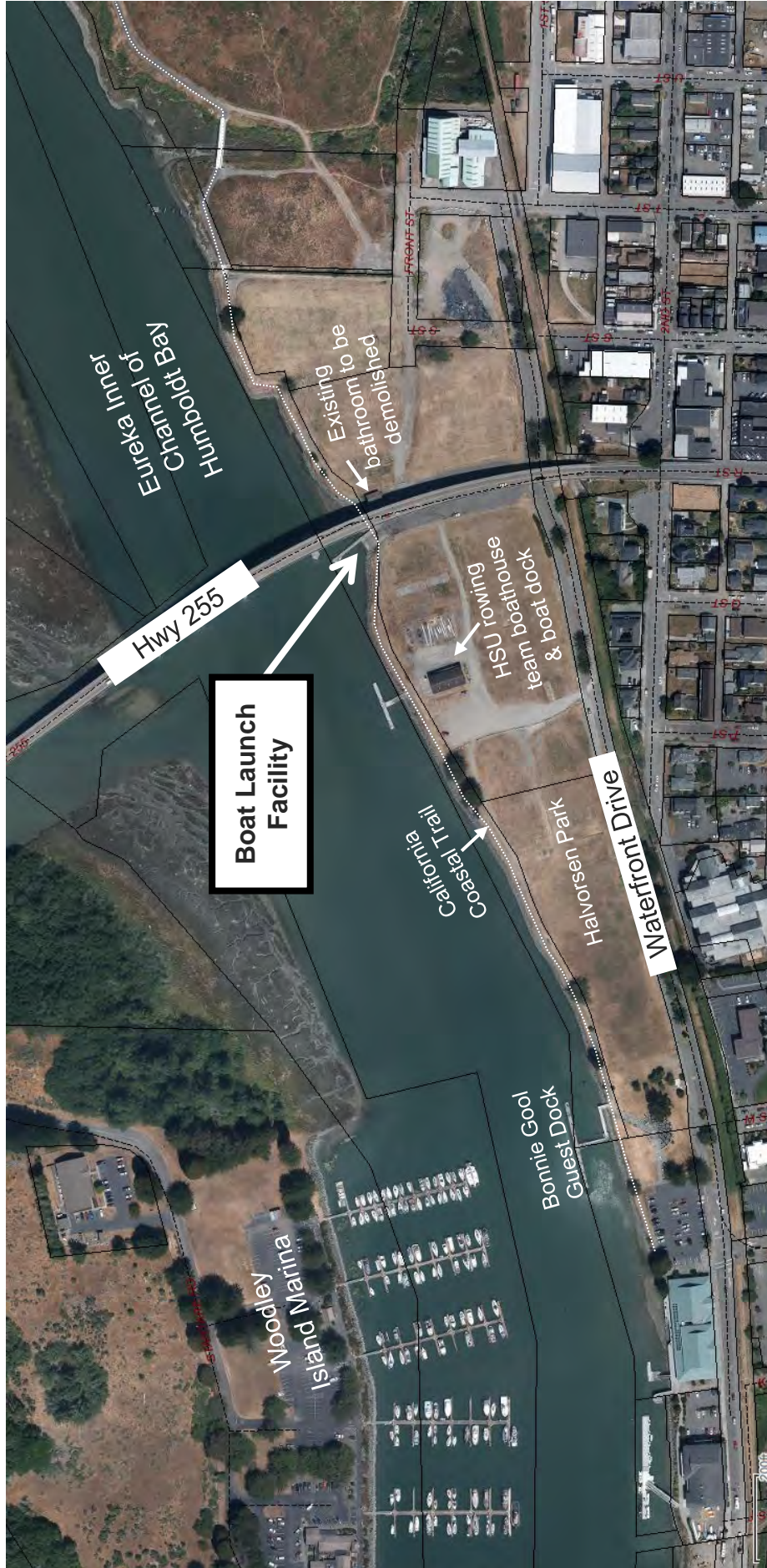


Image from the City of Eureka Community Development Web Application (<https://arcgis-svr.ci.eureka.ca.gov/portal/apps/webappviewer/index.html?id=49037ddcf4474c6ba4bdb661ee203604>)

EXHIBIT NO. 2
CDP Application No. 1-20-0261 (Eureka) VICINITY MAP (1 of 1)

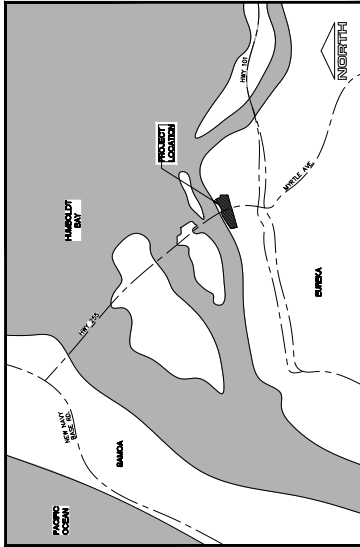
CITY OF EUREKA

NON-MOTORIZED FLOATING DOCK, PUBLIC RESTROOMS & AQUATIC RESPONSE CENTER

PROJECT INFORMATION
 OWNER: CITY OF EUREKA
 OWNER ADDRESS: EUREKA, CA 95501
 ENGINEER: PACIFIC AFFILIATES
 TRAVIS SCHNEIDER, P.E.
 PROJECT ADDRESS: EUREKA, CA 95501 DRIVE
 APN # 002-241-013, 002-241-006

PROJECT DESCRIPTION
 PROJECT INCLUDES THE CONSTRUCTION OF A NEW PUBLIC RESTROOM AND AQUATIC RESPONSE CENTER FOR THE EXISTING PUBLIC BOAT RAMP. EXISTING DOCK AND WALKWAY WILL BE REPAIRED AND A NEW WALKWAY TO PROVIDE ACCESS FROM WATERFRONT DRIVE TO WATERFRONT TRAIL.

SHEET	DESCRIPTION
G-1	TITLE SHEET
G-11	NOTES
C-1	EXISTING SITE & DEMOLITION PLAN
C-2	SITE PLANS, EROSION CONTROL PLAN & GRADING PLAN
C-3	EROSION CONTROL PLAN
C-3-1	RAMP SIDE WALK GRADING PLAN
C-3-2	RAMP SIDE WALK GRADING PLAN
C-4	SECTIONS
C-5	UTILITY PLAN
C-6.1	GANGWAY RAMP & DOCK DETAILS
C-6.2	GANGWAY RAMP & DOCK DETAILS
C-6.3	GANGWAY RAMP & DOCK DETAILS
C-6.4	GANGWAY RAMP & DOCK DETAILS
C-7.1	DETAILS
C-7.2	DETAILS
C-7.3	DETAILS
C-7.4	DETAILS
T-1	ARC TILE SHEET A, NOTES
T-1-1	ARC TILE SHEET A, ELECTRICAL PLAN
A-1	ARC ELEVATIONS
A-2	ARC ACCESSIBILITY NOTES
ADA-1	ARC FOUNDATION PLAN
S-1	ARC ROOF PLAN
S-2	ARC ROOF PLAN
GBS-1	GREEN BUILDING CODE
GBS-2	GREEN BUILDING CODE
T-24.1	TITLE 24
T-24.2	TITLE 24
T-24.3	TITLE 24
T-24.4	TITLE 24



- LEGEND**
- SUBJECT PROPERTY LINES
 - PROPERTY LINES
 - EASEMENT LINE
 - ROAD CENTER LINE
 - SAWTOOTH LINE
 - MAPPED REDGRASS HABITAT
 - EXISTING REDGRASS HABITAT
 - EXISTING STRUCTURE
 - NEW STRUCTURE
 - EXISTING FENCE
 - NEW FENCE
 - EXISTING OVERHEAD ELECTRIC
 - NEW OVERHEAD ELECTRIC
 - EXISTING SANITARY SEWER
 - NEW SANITARY SEWER
 - NEW WATER
 - EXISTING JOINT UTILITIES TRENCH
 - NEW JOINT UTILITIES TRENCH
 - EXISTING GAS LINE
 - NEW GAS LINE
 - EXISTING CONCRETE
 - NEW CONCRETE
 - EXISTING AC PAVING
 - NEW AC PAVING
 - EXISTING LANDSCAPING
 - NEW LANDSCAPING
 - ESTUARINE AND MARINE WETLAND
 - ACCESSIBLE PATH OF TRAVEL
 - WATER VALVE
 - WATER METER
 - DRAINAGE INLET
 - FIRE HYDRANT
 - UTILITY POLE
 - SANITARY SEWER MANHOLE
 - SEWER CLEANOUT
 - STORM DRAIN MANHOLE
 - EXISTING ELEVATION
 - PROPOSED GRADE
 - EXISTING CONTOURS (INTERVAL = 1')
 - EXISTING DRAINAGE DIRECTION
 - NEW DRAINAGE DIRECTION
 - STREET SIGN
 - TRAFFIC DIRECTION

- ABBREVIATIONS**
- EXISTING
 - ARC
 - AQUATIC RESPONSE
 - BACK OF WALK
 - CONCRETE
 - DRAINAGE INLET
 - EXISTING GRADE
 - LINEAR FOOT
 - EASEMENT
 - FINISHED FLOOR
 - FINISHED GRADE
 - PROPERTY CORNER
 - STANDARD FINISHING AREA
 - SANITARY SEWER
 - SEWER MANHOLE
 - SQUARE FOOT
 - TOP OF CURB
 - TOP OF SLAB
 - R/W
 - RIGHT OF WAY
 - WATER
 - WATER METER

FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION

PLANS CERTIFIED FOR CONSTRUCTION BY ENGINEER OF RECORD ON SIGNATURE

REVISIONS BY

PACIFIC AFFILIATES
 890 W WATERFRONT DRIVE, EUREKA, CA 95501
 TEL (707) 445-9001 FAX (707) 445-9003
 CONSULTING ENGINEERS

CITY OF EUREKA
 WATERFRONT DRIVE
 EUREKA, CA 95501
 APN 002-241-013

TITLE SHEET

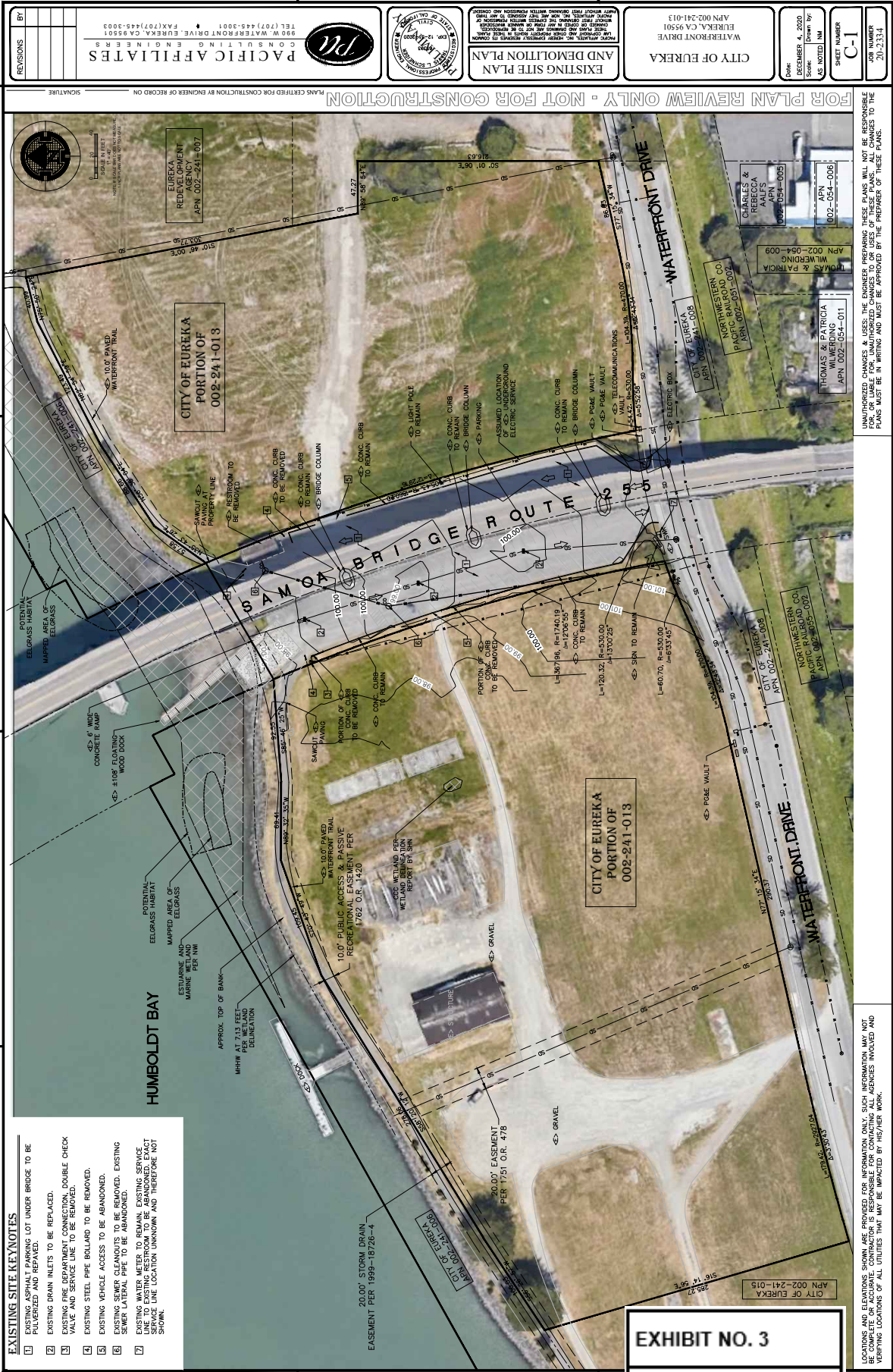
DATE: DECEMBER 4, 2020
 SCALE: DRAWN BY: AS NOTED, NM

SHEET NUMBER: G-1
 JOB NUMBER: 20-233-4

LOCATIONS AND ELEVATIONS SHOWN ARE PROVIDED FOR INFORMATION ONLY. SUCH INFORMATION MAY NOT BE USED FOR CONSTRUCTION. THE ENGINEER HAS CONDUCTED VISUAL VERIFICATION OF THE LOCATIONS AND ELEVATIONS SHOWN AND HAS DETERMINED THAT THEY ARE REASONABLY ACCURATE. THE ENGINEER HAS CONDUCTED VISUAL VERIFICATION OF THE LOCATIONS AND ELEVATIONS SHOWN AND HAS DETERMINED THAT THEY ARE REASONABLY ACCURATE. UNAUTHORIZED CHANGES & USES BY THE ENGINEER, PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THESE PLANS. PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

EXHIBIT NO. 3

CDP Application No.
 1-20-0261 (Eureka)
PROJECT PLANS (1 of 12)



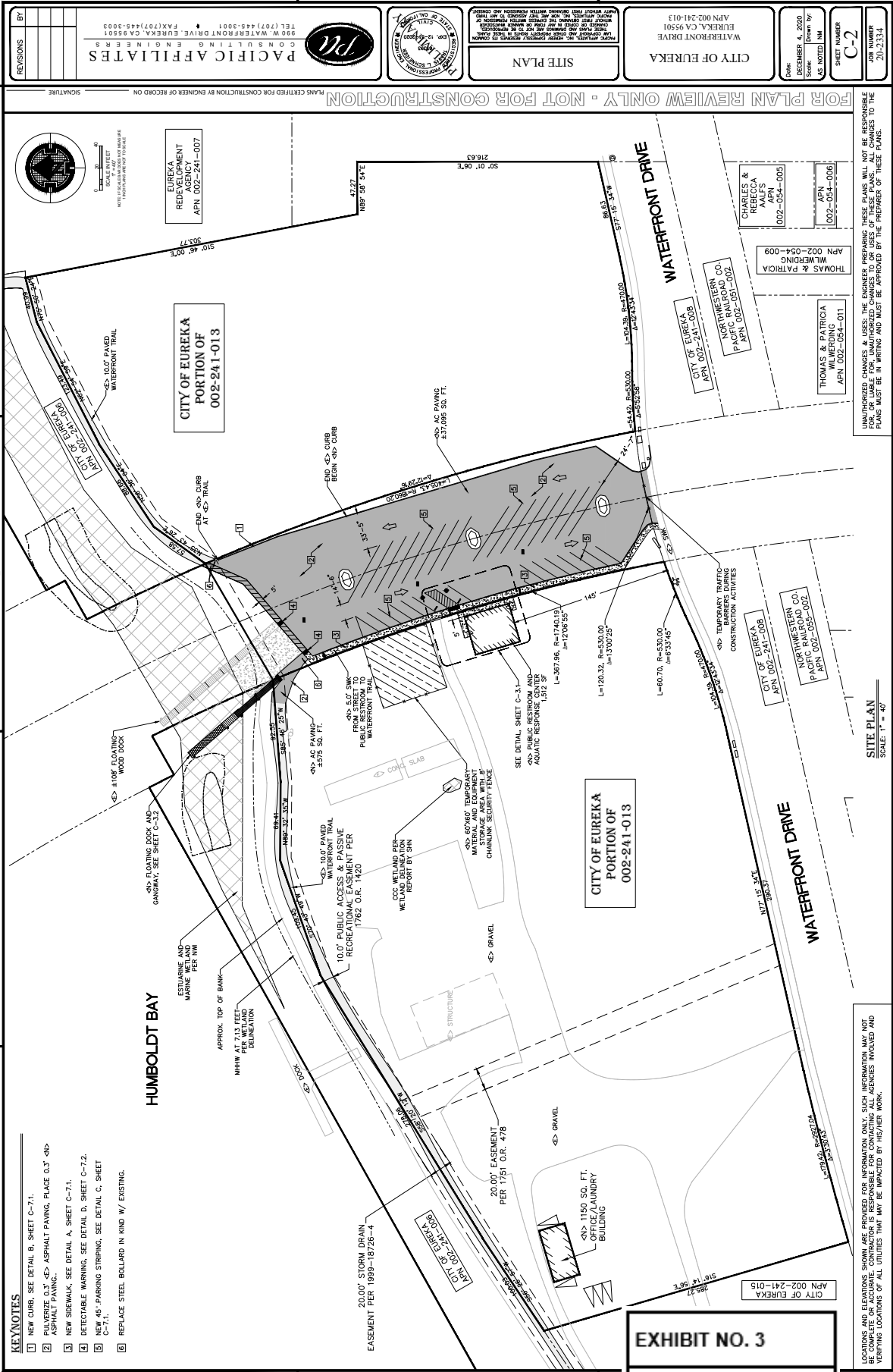
- EXISTING SITE KEYNOTES**
- 1 EXISTING ASPHALT PARKING LOT UNDER BRIDGE TO BE PAVED AND REPAIRED.
 - 2 EXISTING DRAIN INLETS TO BE REPLACED.
 - 3 EXISTING FIRE DEPARTMENT CONNECTION, DOUBLE CHECK VALVE AND SERVICE LINE TO BE REMOVED.
 - 4 EXISTING STEEL PIPE BOLLARD TO BE REMOVED.
 - 5 EXISTING VEHICLE ACCESS TO BE ABANDONED.
 - 6 EXISTING SEWER CLEANOUTS TO BE REMOVED. EXISTING SEWER LATERAL PIPE TO BE ABANDONED.
 - 7 EXISTING WATER METER TO REMAIN. EXISTING SERVICE LINE TO BE REMOVED. LOCATION UNKNOWN AND THEREFORE NOT SHOWN.

EXHIBIT NO. 3
 CDP Application No.
 1-20-0261 (Eureka)
 PROJECT PLANS (2 of 12)

<p>REVISIONS</p> <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION				<p>PACIFIC AFFILIATES CONSULTING ENGINEERS 890 W WATERFRONT DRIVE, EUREKA, CA 95501 TEL (707) 445-9001 FAX (707) 445-9003</p>	<p>PACIFIC AFFILIATES ENGINEERS 1240 12TH AVENUE, SUITE 200 EUREKA, CA 95501 TEL (707) 445-9001 FAX (707) 445-9003</p>	<p>EXISTING SITE PLAN AND DEMOLITION PLAN THIS PLAN IS THE PROPERTY OF PACIFIC AFFILIATES CONSULTING ENGINEERS AND IS NOT TO BE REPRODUCED OR COPIED IN ANY MANNER WITHOUT THE WRITTEN PERMISSION OF PACIFIC AFFILIATES CONSULTING ENGINEERS. ANY REPRODUCTION OR COPIING OF THIS PLAN WITHOUT THE WRITTEN PERMISSION OF PACIFIC AFFILIATES CONSULTING ENGINEERS IS STRICTLY PROHIBITED AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW.</p>	<p>CITY OF EUREKA WATERFRONT DRIVE EUREKA, CA 95501 APN 002-241-013</p>	<p>DATE: DECEMBER 4, 2020 SCALE: DRAWN BY: AS NOTED: NM</p>	<p>SHEET NUMBER C-1</p>	<p>JOB NUMBER 20-233-4</p>
NO.	DATE	DESCRIPTION											

FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION
 PLANS CERTIFIED FOR CONSTRUCTION BY ENGINEER OF RECORD ON SIGNATURE

UNAUTHORIZED CHANGES & USES BY THE ENGINEER, PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR THE CONSEQUENCES OF SUCH CHANGES TO THE ORIGINAL PLANS. ANY CHANGES TO THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.



- KEYNOTES**
- 1 NEW CURB. SEE DETAIL B, SHEET C-7.1.
 - 2 PULVERIZE 0.3" ASPHALT PAVING, PLACE 0.5" ASPHALT PAVING.
 - 3 NEW SIDEWALK. SEE DETAIL A, SHEET C-7.1.
 - 4 DETECTABLE WARNING. SEE DETAIL D, SHEET C-7.2.
 - 5 C-7.4 PARKING STRIPING. SEE DETAIL C, SHEET C-7.4.
 - 6 REPLACE STEEL BOLLARD IN KIND W/ EXISTING.

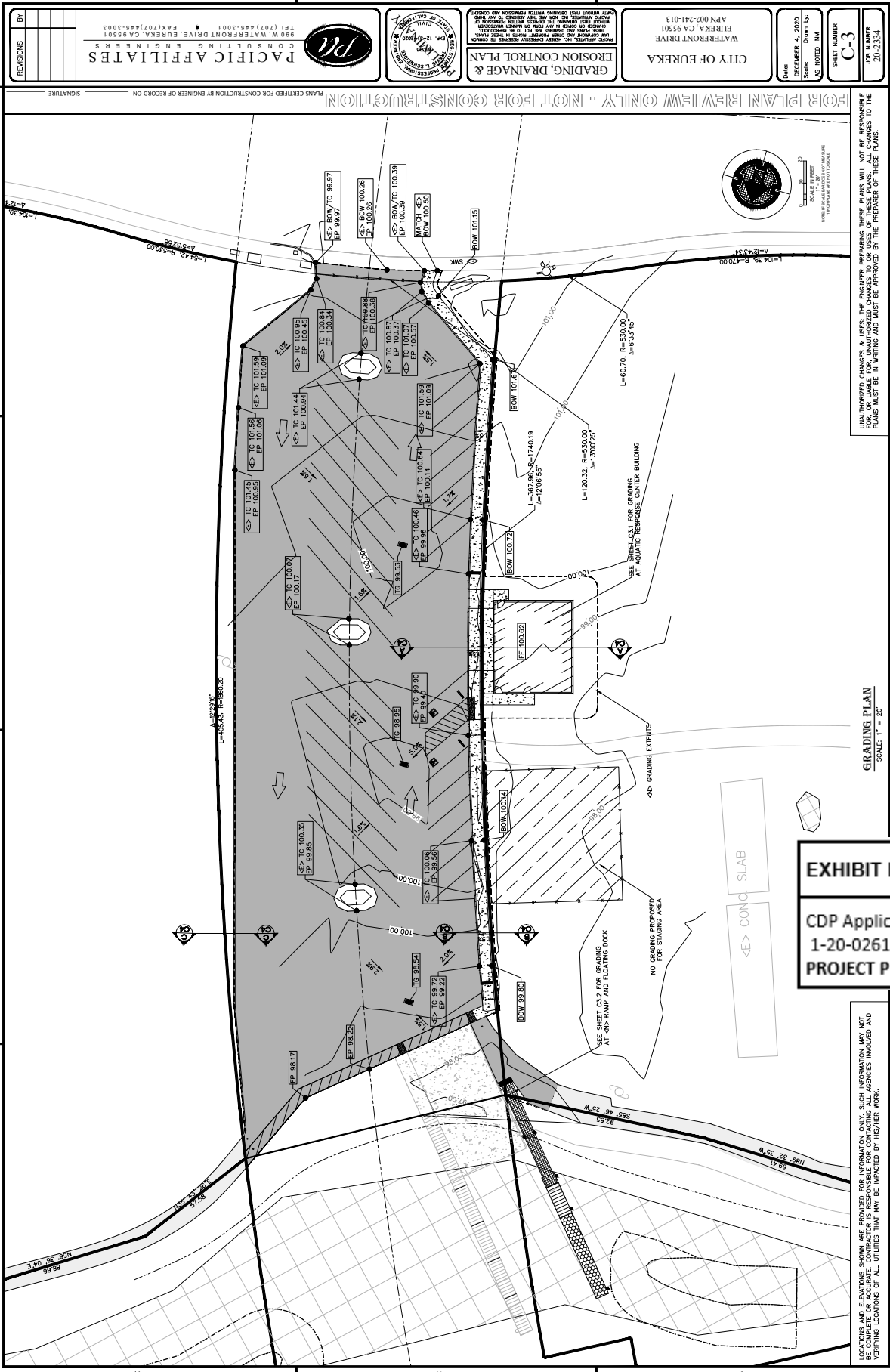
EXHIBIT NO. 3
 CDP Application No.
 1-20-0261 (Eureka)
 PROJECT PLANS (3 of 12)

LOCATIONS AND ELEVATIONS SHOWN ARE PROVIDED FOR INFORMATION ONLY. SUCH INFORMATION MAY NOT BE USED FOR ANY PURPOSES OTHER THAN THAT FOR WHICH IT WAS PROVIDED. THE ENGINEER HAS CONDUCTED VISUAL VERIFICATION OF THE LOCATIONS AND ELEVATIONS SHOWN AND HAS FOUND THEM TO BE REASONABLY ACCURATE.

UNAUTHORIZED CHANGES & USES OF THESE PLANS WILL NOT BE RESPONSIBLE FOR THE ENGINEER'S NEGLIGENCE OR FOR ANY DAMAGES TO THE USER OF THESE PLANS. PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

REVISIONS BY: _____ DATE: _____	 PACIFIC AFFILIATES CONSULTING ENGINEERS 890 W. WATERFRONT DRIVE, EUREKA, CA 95501 TEL: (707) 445-9001 FAX: (707) 445-9003	 PROFESSIONAL ENGINEER CIVIL STATE OF CALIFORNIA No. 12490 EXPIRES 12/31/2020	SITE PLAN	CITY OF EUREKA WATERFRONT DRIVE APN 002-241-013	DATE: DECEMBER 4, 2020 SCALE: DRAWN BY: AS NOTED, NM	SHEET NUMBER C-2	JOB NUMBER 20-233-4

FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION
 PLANS CERTIFIED FOR CONSTRUCTION BY ENGINEER OF RECORD ON _____ SIGNATURE

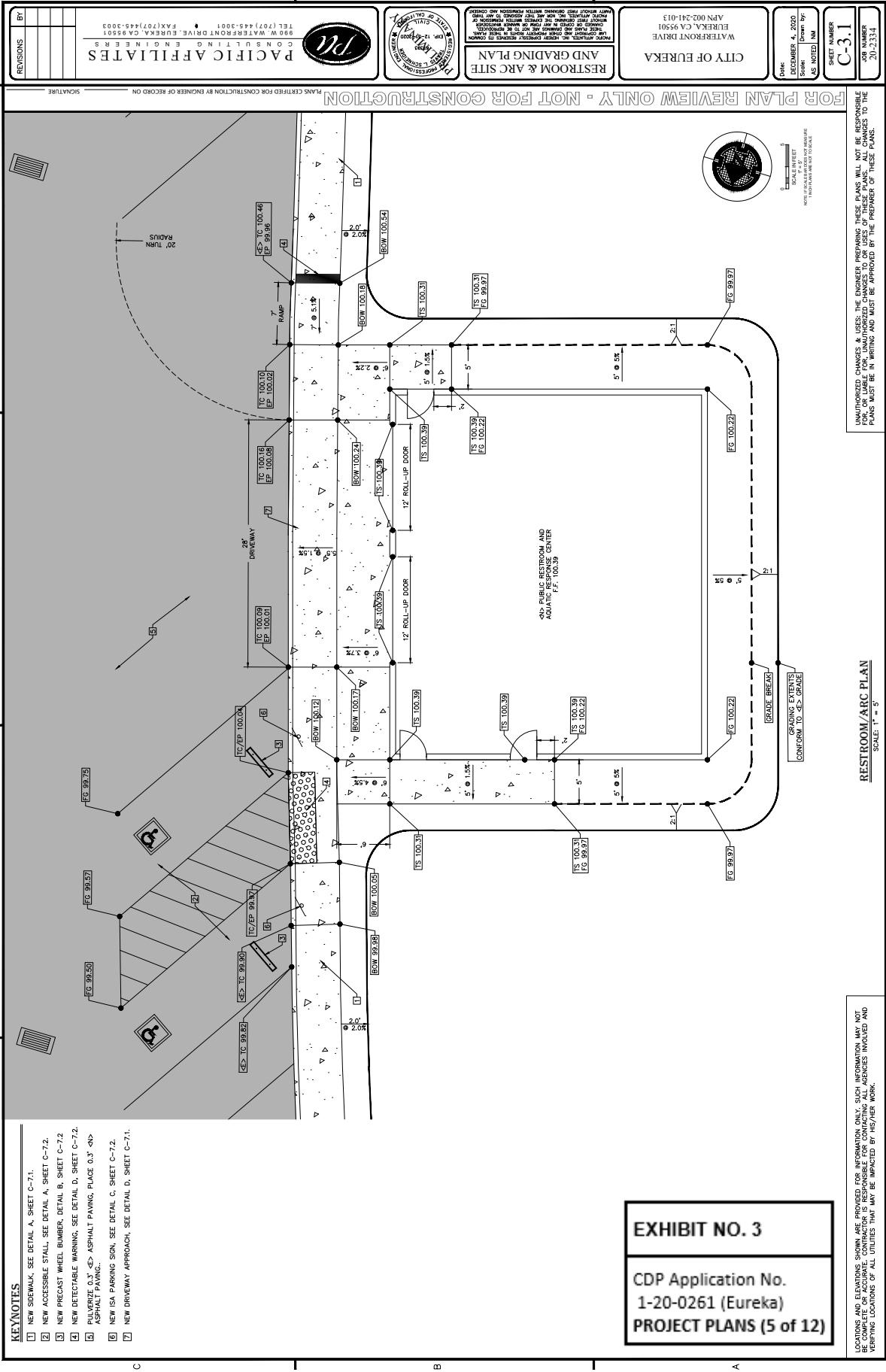


REVISIONS BY DATE	PACIFIC AFFILIATES CONSULTING ENGINEERS 890 W WATERFRONT DRIVE, EUREKA, CA 95501 TEL: (707) 445-3001 FAX: (707) 445-3003	PROFESSIONAL ENGINEER CIVIL No. 12420 State of California	GRADING, DRAINAGE & EROSION CONTROL PLAN	CITY OF EUREKA WATERFRONT DRIVE EUREKA, CA 95501 APN 002-241-013	DATE: DECEMBER 4, 2020 SCALE: DRAWN BY: AS NOTED: NM	SHEET NUMBER C-3	JOB NUMBER 20-233-4
				FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION	UNAUTHORIZED CHANGES & USES BY THE ENGINEER, PREPARING THESE PLANS WILL NOT BE RESPONSIBLE. THE ENGINEER'S LIABILITY IS LIMITED TO THE SERVICES PROVIDED IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.		

EXHIBIT NO. 3

CDP Application No.
1-20-0261 (Eureka)
PROJECT PLANS (4 of 12)

LOCATIONS AND ELEVATIONS SHOWN ARE PROVIDED FOR INFORMATION ONLY. SUCH INFORMATION MAY NOT BE USED FOR CONSTRUCTION PURPOSES UNLESS INDICATED AND VERIFYING LOCATIONS OF ALL UTILITIES THAT MAY BE IMPACTED BY HIS/HER WORK.



KEYNOTES

- 1 NEW SIDEWALK, SEE DETAIL A, SHEET C-7.1.
- 2 NEW ACCESSIBLE STALL, SEE DETAIL A, SHEET C-7.2.
- 3 NEW PRECAST MICEL BUMPER, DETAIL B, SHEET C-7.2.
- 4 NEW DETECTABLE WARNING, SEE DETAIL D, SHEET C-7.2.
- 5 PULVERIZE 0.3' <-> ASPHALT PAVING, PLACE 0.3' <-> ASPHALT PAVING.
- 6 NEW ISA PARKING SIGN, SEE DETAIL C, SHEET C-7.2.
- 7 NEW DRIVEWAY APPROACH, SEE DETAIL D, SHEET C-7.1.

EXHIBIT NO. 3
 CDP Application No.
 1-20-0261 (Eureka)
 PROJECT PLANS (5 of 12)

LOCATIONS AND ELEVATIONS SHOWN ARE PROVIDED FOR INFORMATION ONLY. SUCH INFORMATION MAY NOT BE USED FOR CONSTRUCTION. VERIFYING LOCATIONS OF ALL UTILITIES THAT MAY BE IMPACTED BY HS/HSR WORK.

RESTROOM/ARC PLAN
 SCALE: 1" = 3'

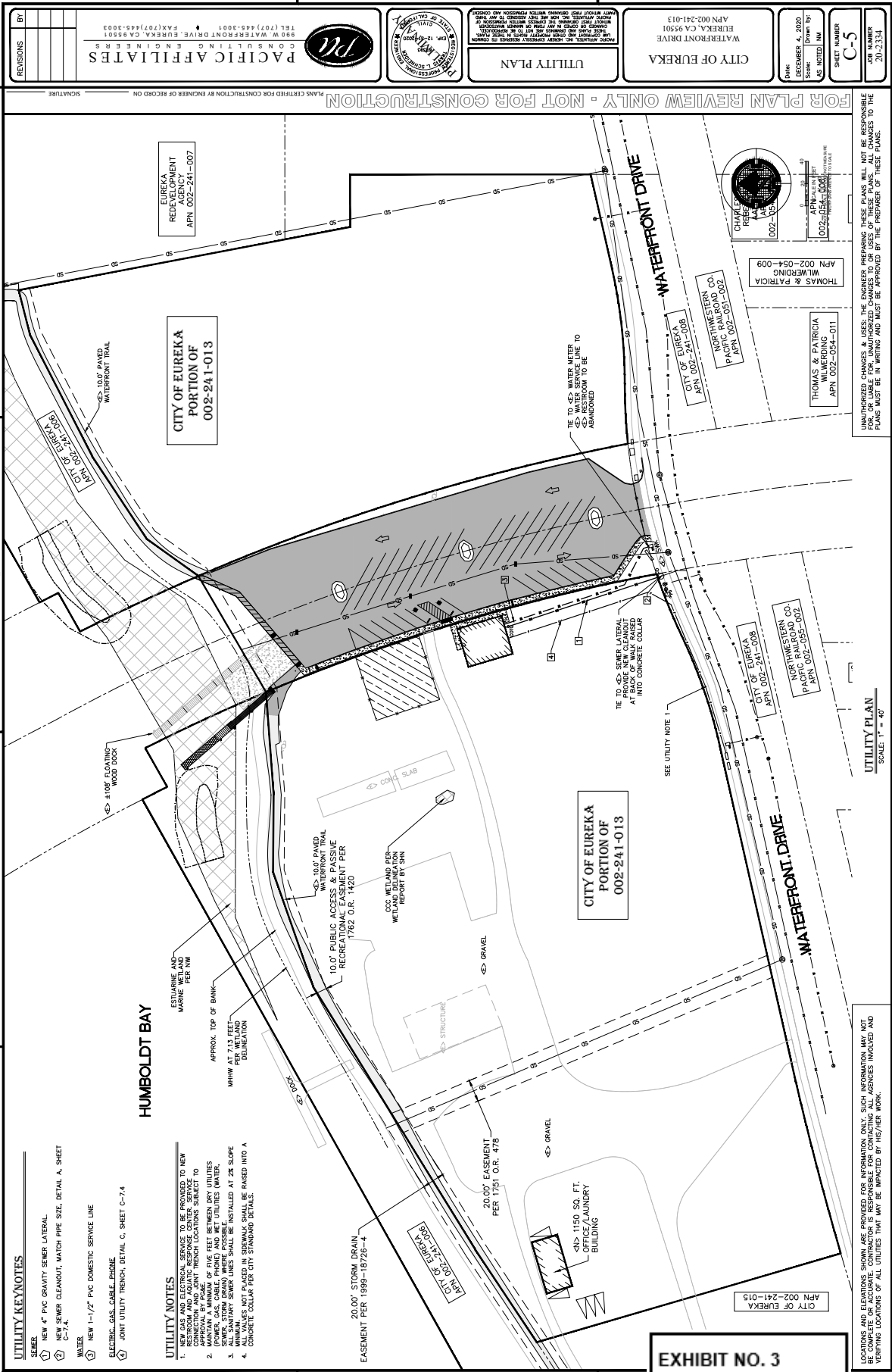
UNAUTHORIZED CHANGES & USES BY THE ENGINEER, PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR THE CONSEQUENCES OF SUCH CHANGES TO THE PLANS. PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.



SCALE: 1" = 3'
 1" = 3' (VERTICAL)
 1" = 3' (HORIZONTAL)

REVISIONS BY:	PACIFIC AFFILIATES CONSULTING ENGINEERS 890 W WATERFRONT DRIVE, EUREKA, CA 95501 TEL: (707) 445-9001 FAX: (707) 445-9003	REGISTERED PROFESSIONAL ENGINEER CIVIL STATE OF CALIFORNIA No. 12442 EXPIRES 12/31/2020	RESTROOM & ARC SITE AND GRADING PLAN	CITY OF EUREKA WATERFRONT DRIVE EUREKA, CA 95501 APN 002-241-013
				DATE: DECEMBER 4, 2020 SCALE: DOWN BY: AS NOTED (NM)
PLANS CERTIFIED FOR CONSTRUCTION BY ENGINEER OF RECORD ON:			SHEET NUMBER C-3.1	
SIGNATURE:			JOB NUMBER 20-233-4	

FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION



REVISIONS	BY

PACIFIC AFFILIATES
 CONSULTING ENGINEERS
 890 W WATERFRONT DRIVE, EUREKA, CA 95501
 TEL (707) 445-9001 FAX (707) 445-9003

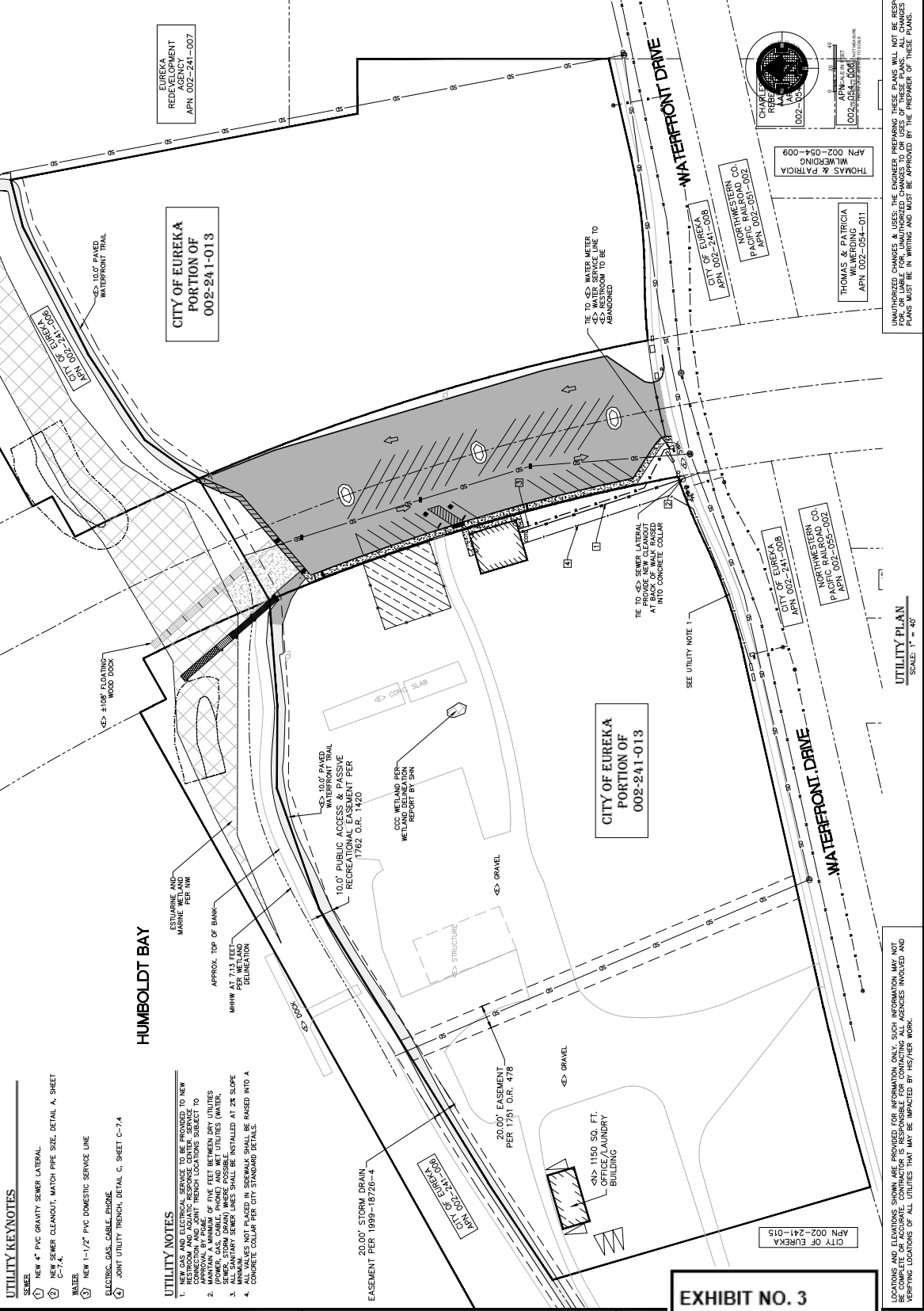


UTILITY PLAN

CITY OF EUREKA
 WATERFRONT DRIVE
 EUREKA, CA 95501
 APN 002-241-013

DATE: DECEMBER 4, 2020
 SCALE: AS NOTED DIM
 SHEET NUMBER: C-5
 JOB NUMBER: 20-2334

FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION



UTILITY KEYNOTES

SEWER

- NEW 4" PVC GRAVITY SEWER LATERAL
- NEW SEWER CLEANSOUT, MATCH PIPE SIZE, DETAIL A, SHEET C-7.4.

WATER

- NEW 1-1/2" PVC DOMESTIC SERVICE LINE

ELECTRICAL, GAS, CABLE, PHONE

- JOINT UTILITY TRENCH, DETAIL C, SHEET C-7.4.

UTILITY NOTES

- SEWER SERVICE TO BE PROVIDED TO NEW RESTROOM AND AQUATIC RESPONSE CENTER, SERVICE APPROXIMATE TO FACE.
- MAINTAIN A MINIMUM OF FIVE FEET BETWEEN DRY UTILITIES AND SEWER. STORM DRAIN WHERE POSSIBLE.
- MINIMUM CLEARANCE SHALL BE MAINTAINED AT ALL POINTS. CONCRETE CURB PER CITY STANDARD DETAIL.
- CONCRETE CURB PER CITY STANDARD DETAIL.

ESTUARINE AND MARINE PER AWW

APPROX. TOP OF BANK

MHW AT 14.5 FEET PER WETLAND DELINEATION

10.0' PUBLIC ACCESS & PASSIVE RECREATIONAL EASEMENT PER 1762 O.R. 1420

600' WETLAND PER WETLAND DELINEATION REPORT BY SHIN

20.00' STORM DRAIN EASEMENT PER 1999-18/26-4

20.00' EASEMENT PER 1751 O.R. 478

SEE UTILITY NOTE 1

CITY OF EUREKA PORTION OF 002-241-013

1150 SQ. FT. OFFICE/LAUNDRY BUILDING

ESTUARINE AND MARINE PER AWW

APPROX. TOP OF BANK

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MHW AT 14.5 FEET PER WETLAND DELINEATION

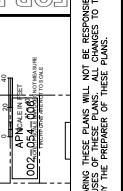
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SEE UTILITY NOTE 1



UTILITY PLAN
 SCALE: 1" = 40'

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THOMAS & PATRICIA WILMORING
 APN 002-054-009

THOMAS & PATRICIA WILMORING
 APN 002-054-011

NORTHWESTERN CO. PACIFIC RAILROAD
 APN 002-055-002

CITY OF EUREKA
 APN 002-241-008

CITY OF EUREKA
 APN 002-241-008

CITY OF EUREKA
 APN 002-241-008

CHARGE: REELECT
 002-105

EUREKA REDEVELOPMENT
 APN 002-241-007

CITY OF EUREKA PORTION OF 002-241-013

1150 SQ. FT. OFFICE/LAUNDRY BUILDING

ESTUARINE AND MARINE PER AWW

APPROX. TOP OF BANK

MHW AT 14.5 FEET PER WETLAND DELINEATION

10.0' PUBLIC ACCESS & PASSIVE RECREATIONAL EASEMENT PER 1762 O.R. 1420

600' WETLAND PER WETLAND DELINEATION REPORT BY SHIN

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SEE UTILITY NOTE 1

EUREKA REDEVELOPMENT
 APN 002-241-007

CITY OF EUREKA PORTION OF 002-241-013

1150 SQ. FT. OFFICE/LAUNDRY BUILDING

ESTUARINE AND MARINE PER AWW

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600' WETLAND PER WETLAND DELINEATION REPORT BY SHIN

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SEE UTILITY NOTE 1

EUREKA REDEVELOPMENT
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SEE UTILITY NOTE 1

EUREKA REDEVELOPMENT
 APN 002-241-007

CITY OF EUREKA PORTION OF 002-241-013

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600' WETLAND PER WETLAND DELINEATION REPORT BY SHIN

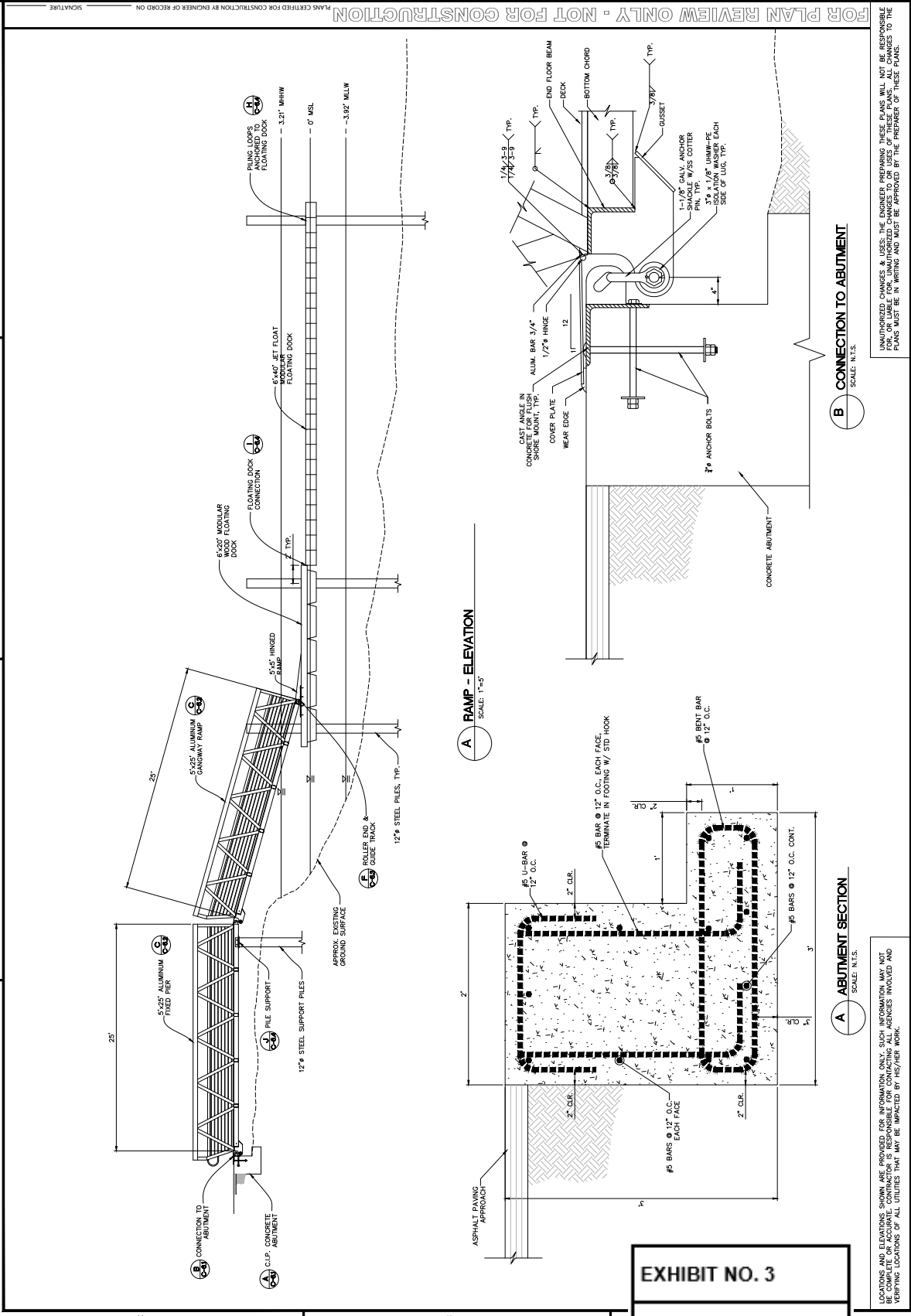
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20.00' EASEMENT PER 1751 O.R. 478

SEE UTILITY NOTE 1

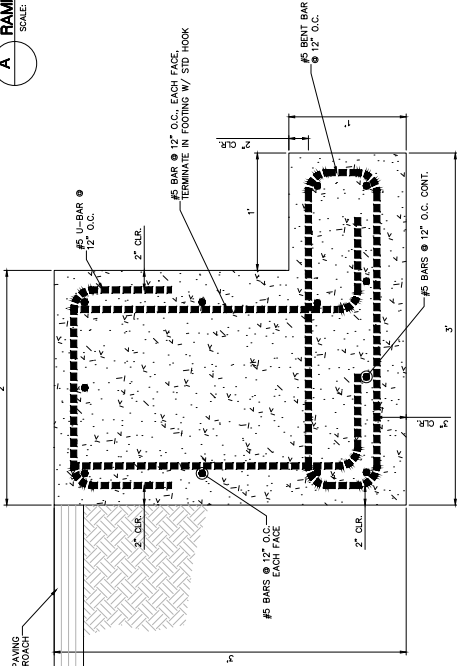
EXHIBIT NO. 3
CDP Application No. 1-20-0261 (Eureka)
PROJECT PLANS (8 of 12)

<p>REVISIONS</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="width:5%;">BY</th> <th style="width:15%;">DATE</th> <th style="width:80%;">DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	BY	DATE	DESCRIPTION							 <p>PACIFIC AFFILIATES CONSULTING ENGINEERS TEL (707) 445-9001 FAX (707) 445-9003 890 W WATERFRONT DRIVE EUREKA, CA 95501</p>	 <p>PROFESSIONAL ENGINEER CIVIL NO. 12494 STATE OF CALIFORNIA</p>	<p>RAMP ELEVATION</p> <p>FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION</p>	<p>CITY OF EUREKA WATERFRONT DRIVE EUREKA, CA 95501 APN 002-241-013</p>	<p>DATE: DECEMBER 4, 2020 SCALE: DRAWN BY: [Name] AS NOTED: NM</p>	<p>SHEET NUMBER C-6.1 OF 101 JOB NUMBER 210-233-4</p>
BY	DATE	DESCRIPTION													

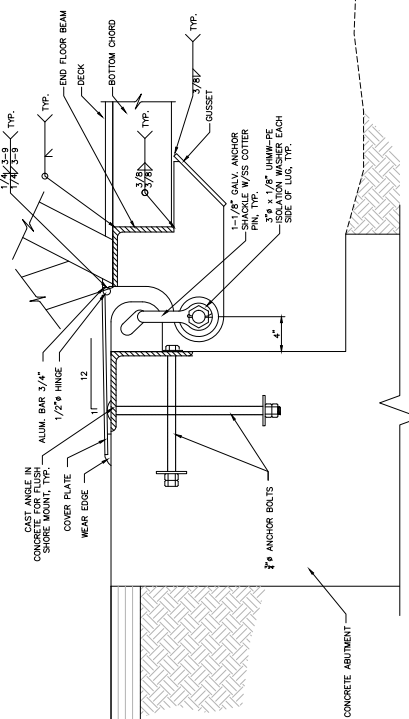


A RAMP - ELEVATION
SCALE: 1"=5'

A ABUTMENT SECTION
SCALE: N.T.S.



B CONNECTION TO ABUTMENT
SCALE: N.T.S.



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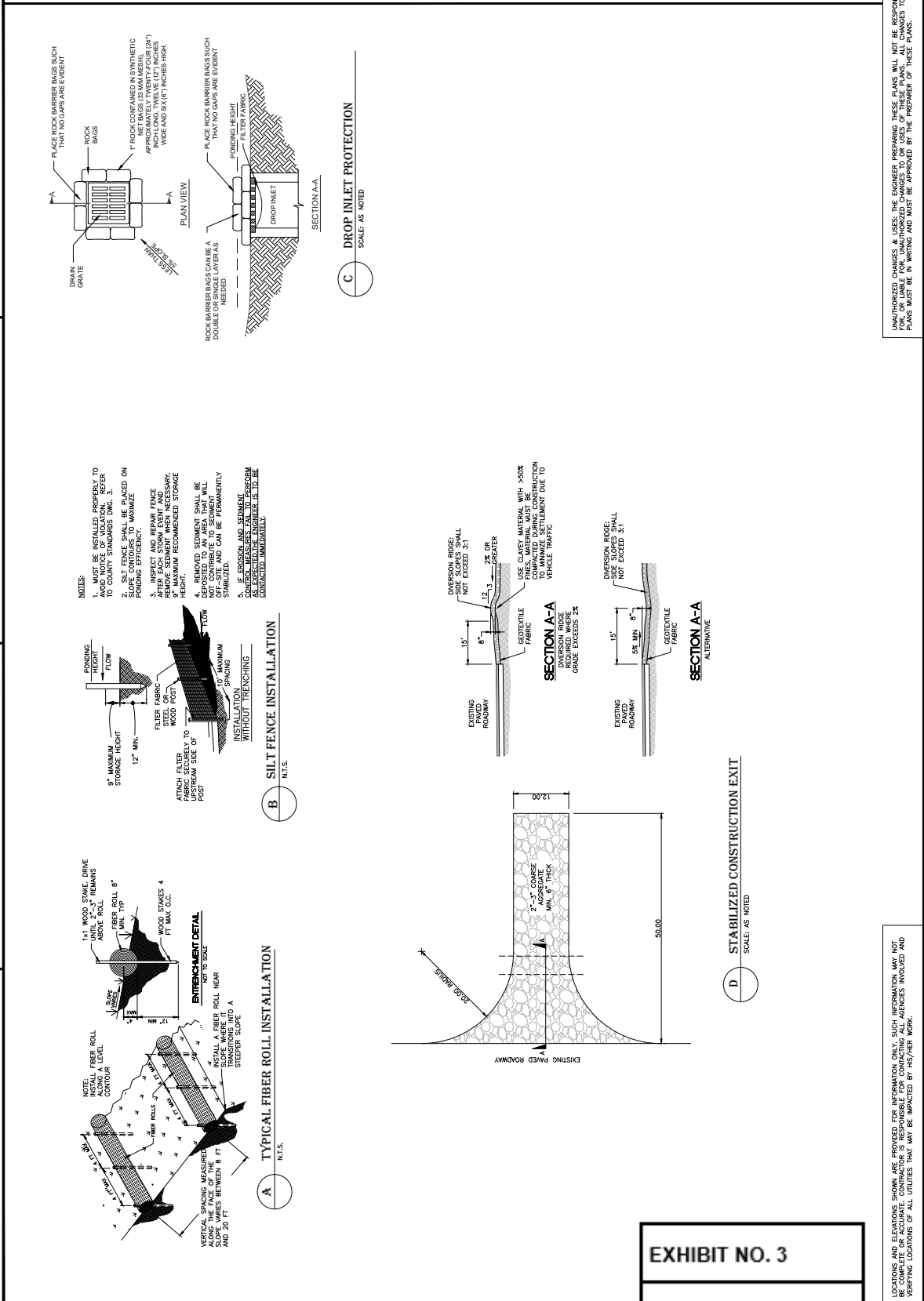
UNAUTHORIZED CHANGES & USES BY THE ENGINEER, PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR ANY DAMAGE TO PERSONS OR PROPERTY. ANY CHANGES TO THESE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

EXHIBIT NO. 3

CDP Application No.
1-20-0261 (Eureka)
PROJECT PLANS (9 of 12)

<p>REVISIONS</p> <table border="1" style="width:100%; border-collapse: collapse;"> <tr> <th style="width:5%;">BY</th> <th style="width:15%;">DATE</th> <th style="width:80%;">DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	BY	DATE	DESCRIPTION				 <p>PACIFIC AFFILIATES CONSULTING ENGINEERS TEL (707) 445-9001 950 WATERFRONT DRIVE, EUREKA, CA 95501 FAX (707) 445-9003</p>	 <p>REGISTERED PROFESSIONAL ENGINEER CIVIL NO. 12749 STATE OF CALIFORNIA EXPIRES 12/31/2020</p>	<p>DETAILS</p>	<p>CITY OF EUREKA WATERFRONT DRIVE EUREKA, CA 95501 APN 002-241-013</p>	<p>DATE: DECEMBER 4, 2020 SCALE: AS NOTED DRAWN BY: [Name] AS NOTED: [Name]</p>	<p>SHEET NUMBER C-73 JOB NUMBER 210-233-4</p>
BY	DATE	DESCRIPTION										

PLANS CERTIFIED FOR CONSTRUCTION BY ENGINEER OF RECORD ON 12/04/2020
FOR PLAN REVIEW ONLY - NOT FOR CONSTRUCTION



UNAUTHORIZED CHANGES & USES BY THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR THE CONSEQUENCES OF SUCH CHANGES TO THE PLANS. PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.
LOCATIONS AND ELEVATIONS SHOWN ARE PROVIDED FOR INFORMATION ONLY. SUCH INFORMATION MAY NOT BE USED FOR CONSTRUCTION. VERIFY LOCATIONS AND ELEVATIONS BEFORE ANY CONSTRUCTION. VERIFYING LOCATIONS OF ALL UTILITIES THAT MAY BE IMPACTED BY HS/HSR WORK.

EXHIBIT NO. 3

CDP Application No.
1-20-0261 (Eureka)
PROJECT PLANS (10 of 12)

REVISIONS	BY

950 W. WATERGENT DRIVE, BUREKA, CA 95501
 TEL: (707) 458-0001 • FAX: (707) 448-0003
PACIFIC AFFILIATES
 CONSULTING ENGINEERS



FLOOR PLAN
 ELECTRICAL PLAN

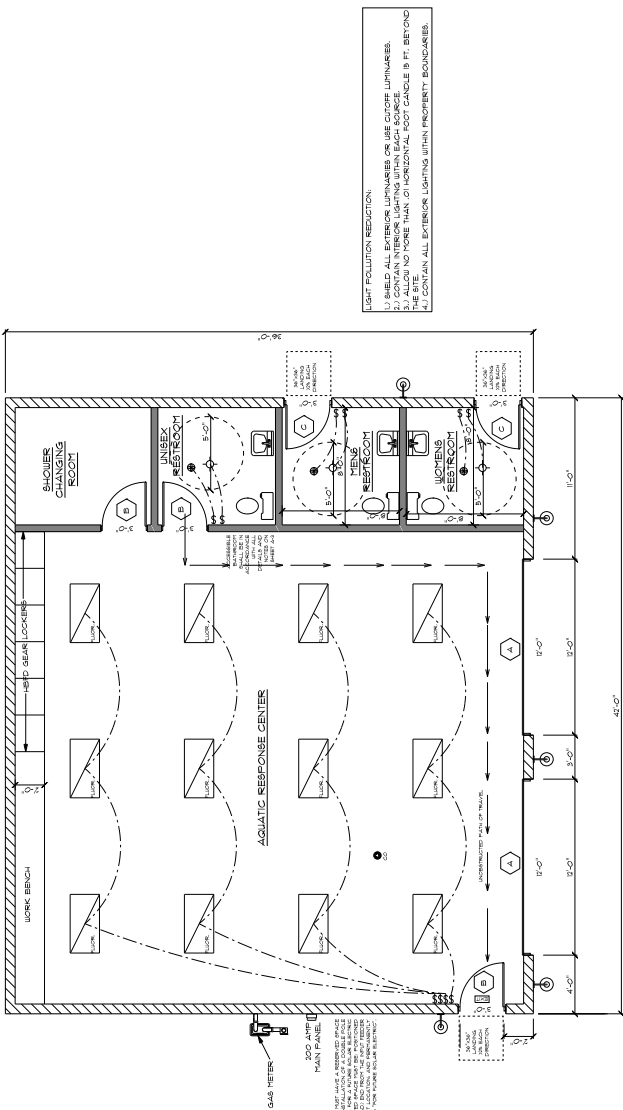
CITY OF EUREKA
 PUBLIC RESTROOMS
 NON-MOTORIZED FLOATING DOCK
 WATERFRONT DRIVE
 EUREKA, CA 95501
 APN 002-241-013

DATE: 08/27/2020
 DRAWN BY: [blank]
 CHECKED BY: [blank]

SHEET NUMBER: **A-1**
 JOB NUMBER: 21314



LET STAMPED AND SIGNED PLANS BY THE ENGINEER OF RECORD SIGNIFY THAT ALL WORK HAS BEEN REVIEWED AND APPROVED. ANY CHANGES TO THESE PLANS MUST BE TRANSMITTED TO THE ENGINEER OF RECORD.



LIGHT POLLUTION REDUCTION:
 1. ALL EXTERIOR LIGHT FIXTURES SHALL BE SHIELDED TO PREVENT LIGHT SPILLAGE.
 2. ALL EXTERIOR LIGHT FIXTURES SHALL BE LOCATED AT LEAST 10 FEET FROM ANY ADJACENT PROPERTY.
 3. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULLY SHIELDED TO PREVENT LIGHT SPILLAGE.
 4. ALL EXTERIOR LIGHT FIXTURES SHALL BE FULLY SHIELDED TO PREVENT LIGHT SPILLAGE.

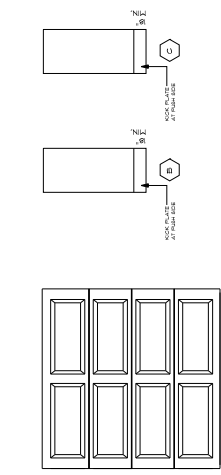
FLOOR AREA:
 RESTROOMS: 44 SF
 SHOWER: 10 SF
 LOCKERS: 150 SF
 TOTAL AREA: 204 SF

FLOOR PLAN
 SCALE: 1/4" = 1'-0"

EXHIBIT NO. 3
 CDP Application No. 1-20-0261 (Eureka)
 PROJECT PLANS (11 of 12)

- LEGEND**
- CEILING FAN
 - ⊕ THREE WAY SWITCH
 - ⊖ SWITCH
 - ⊞ RECEPTACLE
 - ⊞ GFCI RECEPTACLE
 - ⊞ 2-BULB CEILING MOUNTED LIGHT
 - ⊞ EMERGENCY EXIT LIGHT (SEE 4010 (A))
 - ⊞ EXTENSION WIRE LOCATION RATED PHOTO CELL
 - ⊞ 4 TUBE - 4 FOOT FLOURESCENT LIGHT FIXTURE
 - ⊞ SPACER MASON MORTAR JOINTS SHALL BE INTERCONNECTED LOCATED 3 FT. 4 IN. ABOVE FINISH OF THE ANTICIPATED HEIGHT OF THE CEILING FINISH.
 - ▨ (NO 2) 8" CONCRETE MASONRY UNIT FACED WITH WHOLE BRICK
 - ▨ (NO 2) 2" PARTITION WALL

MARK	SIZE	TYPE	REMARKS	LOCK SETS
⊞	15'-0" x 15'-0"	NON-INSULATED GLASS DOOR	INTERIOR DOOR LOCK ONLY	
⊞	3'-0" x 6'-8"	GLASS DOOR	GLASS DOOR WITH LEVER W/ DEAD BOLT	
⊞	3'-0" x 6'-8"	GLASS DOOR	GLASS DOOR WITH LEVER W/ DEAD BOLT	
⊞	3'-0" x 6'-8"	GLASS DOOR	GLASS DOOR WITH LEVER W/ DEAD BOLT	



DOOR TYPES
 SCALE: 1/4" = 1'-0"

- NOTE:**
- INTERIOR LANDINGS TO BE LEVEL.
 - ALL RATED CORRIDORS WITH DOORS SWINGING INTO CORRIDOR TO BE 8'-0" WIDE CORRIDOR MIN.
 - ALL RATED CORRIDORS WITH DOORS SWINGING INTO CORRIDOR TO BE 8'-0" WIDE CORRIDOR MIN.
 - ALL RATED CORRIDORS WITH DOORS SWINGING INTO CORRIDOR TO BE 8'-0" WIDE CORRIDOR MIN.

- DOOR NOTES:**
- ALL DOORS TO HAVE 3" CLEAR ACCESS MIN. AND DOORS SHALL OPEN TO EGRESS MIN.
 - ALL DOORS SHALL BE 3" CLEAR ACCESS MIN. AND DOORS SHALL OPEN TO EGRESS MIN.
 - ALL DOORS SHALL BE 3" CLEAR ACCESS MIN. AND DOORS SHALL OPEN TO EGRESS MIN.
 - ALL DOORS SHALL BE 3" CLEAR ACCESS MIN. AND DOORS SHALL OPEN TO EGRESS MIN.

- HARDWARE NOTES:**
- OPERABLE FROM A SINGLE EFFORT REQUIRING NO TIGHT GRASPING, PINCHING OR UNUSUAL POSTURING (LEVYORS, PUSH-PULL OR PANIC DEVICES).
 - OPERABLE FROM A SINGLE EFFORT REQUIRING NO TIGHT GRASPING, PINCHING OR UNUSUAL POSTURING (LEVYORS, PUSH-PULL OR PANIC DEVICES).
 - OPERABLE FROM A SINGLE EFFORT REQUIRING NO TIGHT GRASPING, PINCHING OR UNUSUAL POSTURING (LEVYORS, PUSH-PULL OR PANIC DEVICES).

- HARDWARE:**
- APPROVED BY BUILDING DEPARTMENT PRIOR TO INSTALLING.
 - APPROVED BY BUILDING DEPARTMENT PRIOR TO INSTALLING.
 - APPROVED BY BUILDING DEPARTMENT PRIOR TO INSTALLING.

UNAUTHORIZED CHANGES TO THESE PLANS WILL NOT BE RESPONSIBLE FOR THE ENGINEER OF RECORD. ANY CHANGES TO THESE PLANS MUST BE TRANSMITTED TO THE ENGINEER OF RECORD.

REVISIONS	BY

PACIFIC AFFILIATES
CONSULTING ENGINEERS
950 W. WATERBURY DRIVE, EUREKA, CA 95501
TEL: (707) 445-3001 • FAX: (707) 445-3003



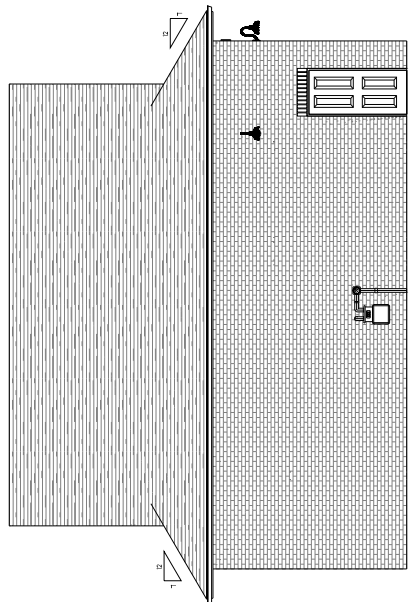
ELEVATIONS

CITY OF EUREKA
PUBLIC RESTROOMS
& AQUATIC RESPONSE CENTER
NON-MOTORIZED FLOATING DOCK
APN 002-241-013

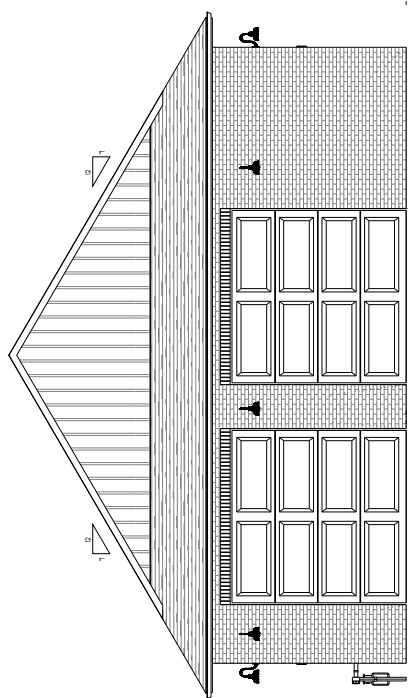
DATE: 08/20/2020
DRAWN BY: JAW
CHECKED BY: JAW
AS NOTED: 15

SHEET NUMBER: A-2
JOB NUMBER: 2334

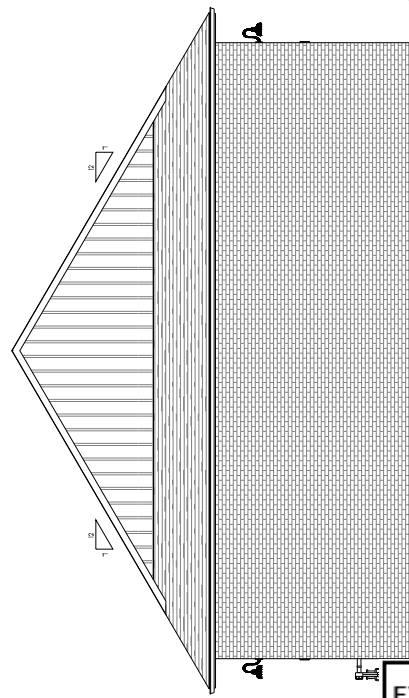
NOT AT THEED AND BASKED PLANS BY THE ENGINEER OF RECORD SIGNIFY THAT ALL INFORMATION FROM THE CALCULATIONS HAS BEEN TRANSFERRED TO THE PLANS.



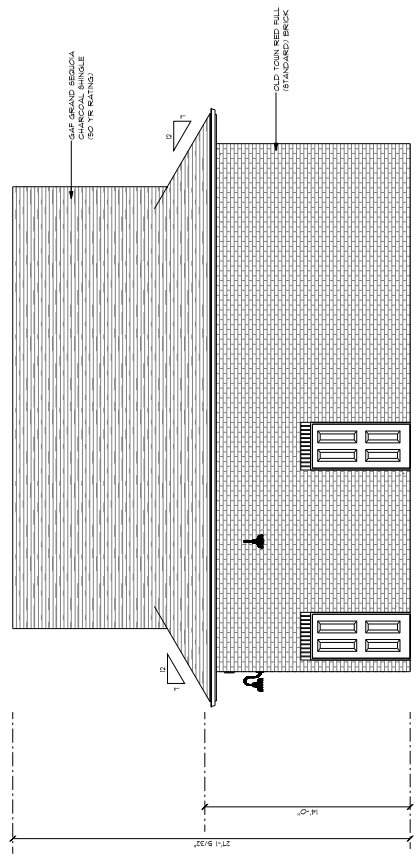
SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



EAST ELEVATION
SCALE: 1/4" = 1'-0"



WEST ELEVATION
SCALE: 1/4" = 1'-0"



NORTH ELEVATION
SCALE: 1/4" = 1'-0"

EXHIBIT NO. 3
CDP Application No.
1-20-0261 (Eureka)
PROJECT PLANS (12 of 12)

UNAUTHORIZED CHANGES, ERRORS, THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR OR LIABLE FOR UNAUTHORIZED CHANGES TO OR USE OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

Soil and Groundwater Management Contingency Plan

Old Carson Mill
1535 Waterfront Drive
Eureka, California
RWQCB Case No. 1NHU330

Prepared for:

City of Eureka



Prepared by:



Consulting Engineers & Geologists, Inc.
812 W. Wabash Ave.
Eureka, CA 95501-2138
707-441-8855

August 2013

QA/QC:MEL __

EXHIBIT NO. 4

CDP Application No. 1-20-0261 (Eureka)
**EXCERPTS FROM SOIL & GROUNDWATER
MANAGEMENT CONTINGENCY PLAN (1 of 15)**

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- B. Historical Site Data

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5. Confirmation Soil Sample Locations, July 2011.....	3
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EXHIBIT NO. 4

CDP Application No. 1-20-0261 (Eureka)
**EXCERPTS FROM SOIL & GROUNDWATER
MANAGEMENT CONTINGENCY PLAN (2 of 15)**

Abbreviations and Acronyms

--	not tested/insufficient amount of sample
<	"less than" the stated method reporting limit
mg/kg	milligrams per kilogram
mg/L	milligrams per liter
ng/L	nanograms per liter
ppb	parts per billion
ppm	parts per million
ug/kg	micrograms per kilogram
ug/L	micrograms per liter
umhos/cm	micromhos per centimeter
APN	Assessor's parcel number
BGS	below ground surface
DCO ₂	dissolved carbon dioxide
DO	dissolved oxygen
E&E	Ecology and Environment, Inc.
EPA	U.S. Environmental Protection Agency
EX#	excavation number
GW-#	groundwater sample-number
MW-#	monitoring well
NA	not applicable
ND	not detected
NM	not measured
NR	no reference
NS	not sampled
ORP	oxidation-reduction potential
PAH	polynuclear aromatic hydrocarbons
P#	test pit number
PVC	polyvinyl chloride
RWQCB	North Coast Regional Water Quality Control Board
SCP	site clean-up plan
SP#-W	soil boring-number
SGMCP	soil and groundwater management contingency plan
SHN	SHN Consulting Engineers & Geologists, Inc.
TCLP	toxicity characteristic leaching procedure
TPHD	total petroleum hydrocarbons as diesel
TPHMO	total petroleum hydrocarbons as motor oil
USGS	U.S. Geological Survey
WP-#	well point-number

EXHIBIT NO. 4

CDP Application No. 1-20-0261 (Eureka)
EXCERPTS FROM SOIL & GROUNDWATER
MANAGEMENT CONTINGENCY PLAN (3 of 15)

1.0 Introduction

This soil and groundwater management contingency plan (SGMCP) has been developed by SHN Consulting Engineers & Geologists, Inc. (SHN) for the Old Carson Mill in Eureka, California, on behalf of the City of Eureka. Following regulatory site closure, areas of residual soil and groundwater contamination will remain in place at the site. As a result, SHN has developed this SGMCP to address worker safety issues associated with future site development. This SGMCP contains information regarding the site history, location and levels of contamination present, and the appropriate actions for working in areas with contaminated soil and/or groundwater. Regulatory correspondence is included in Appendix A.

1.1 Purpose

This SGMCP provides the property owner with a usable document to protect workers and employees, with regard to the documented contamination at the site. This document serves to outline necessary actions to be taken in the event that contaminated soil and/or groundwater is encountered during future site activities. The complete set of documents regarding site investigation and remediation activities is accessible for review at the North Coast Regional Water Quality Control Board's (RWQCB) office. Some documents and an electronic file of this SGMCP are available on the State of California Water Resources Control Board's Geotracker website at the following link: http://geotracker.waterboards.ca.gov/profile_report.asp?global_id=T0602393232

This SGMCP includes appropriate actions to address waste characterization, handling, and proper disposal of contaminated soil and/or groundwater encountered during future site development activities.

Subsurface investigations have been performed at the site and have identified areas with residual soil and groundwater contamination. However, additional remaining contamination may exist in soil and groundwater found elsewhere on the site. SHN recommends a presumption that any shallow soil and groundwater at the site may contain residual levels of contamination. This SGMCP is based on the conditions last encountered at the subject site. Petroleum hydrocarbon contaminants will degrade over time resulting in the variability of such contamination. Adjacent-site or onsite releases may create contamination at this site during future operations. It is the responsibility of the property owner to retain this document and provide it to contractors or employees prior to conducting subsurface work at the subject site.

1.2 Site Description

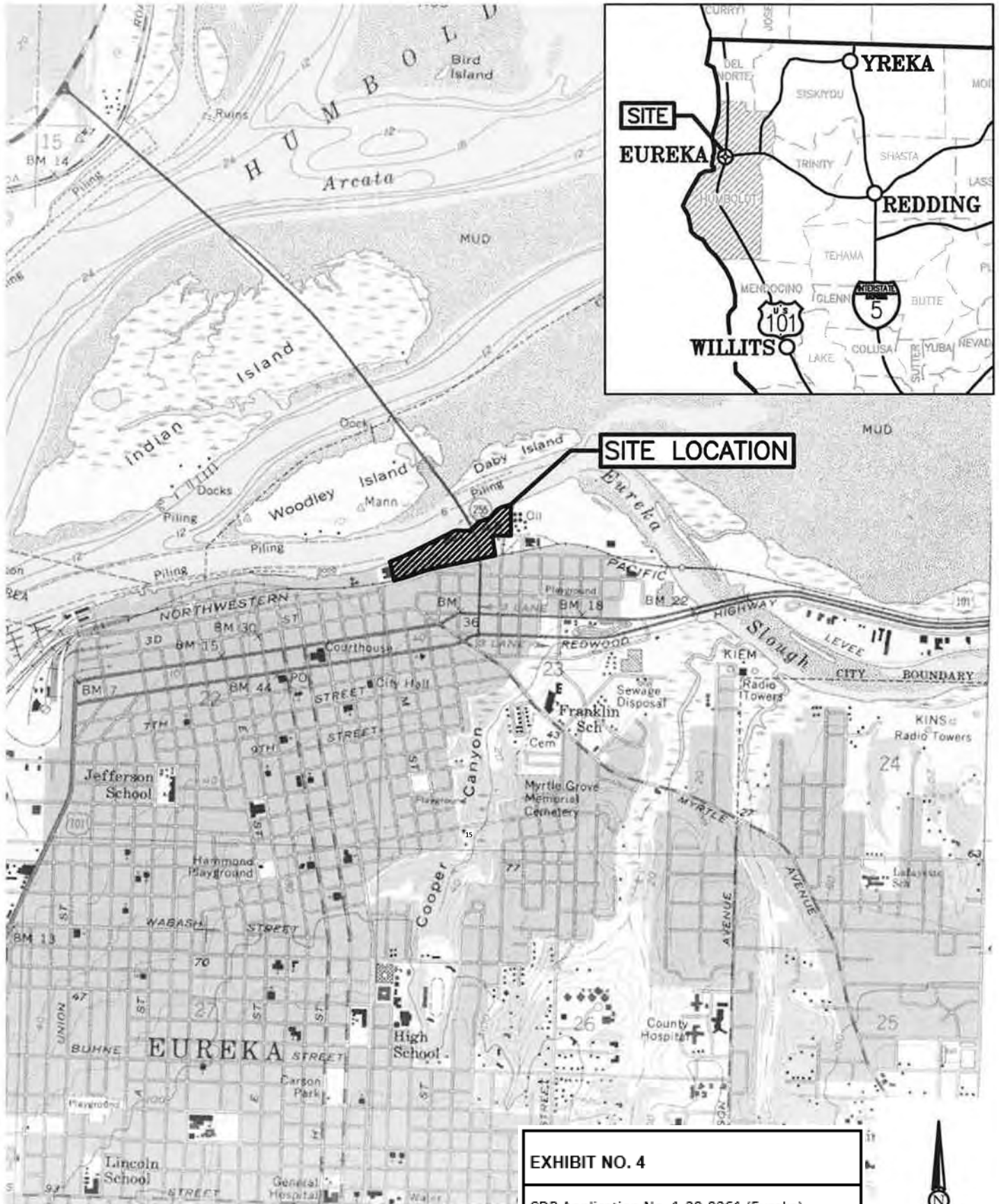
The site is located within Township 5 North, Range 1 West, Section 23, Humboldt Base and Meridian (Figure 1). The site is adjacent to the Humboldt Bay at 1535 Waterfront Drive in Eureka, California, and consists of the former mill site (Areas 1, 2, and 3), the Samoa Bridge easement (Area 4), and the former foundry area (Area 5) (Figure 2).

The site is located at an elevation of approximately 10 feet above mean sea level, and there is very little topographic variation within the site parcel. South of the property, surface topography increases in elevation up to approximately 15 feet where a marine terrace bluff extends along Waterfront Drive. During intense rainfall, standing water accumulates in isolated locations across the site, and local surface drainage from nearby areas enters into multiple storm drains.

EXHIBIT NO. 4

CDP Application No. 1-20-0261 (Eureka)
**EXCERPTS FROM SOIL & GROUNDWATER
MANAGEMENT CONTINGENCY PLAN (4 of 15)**

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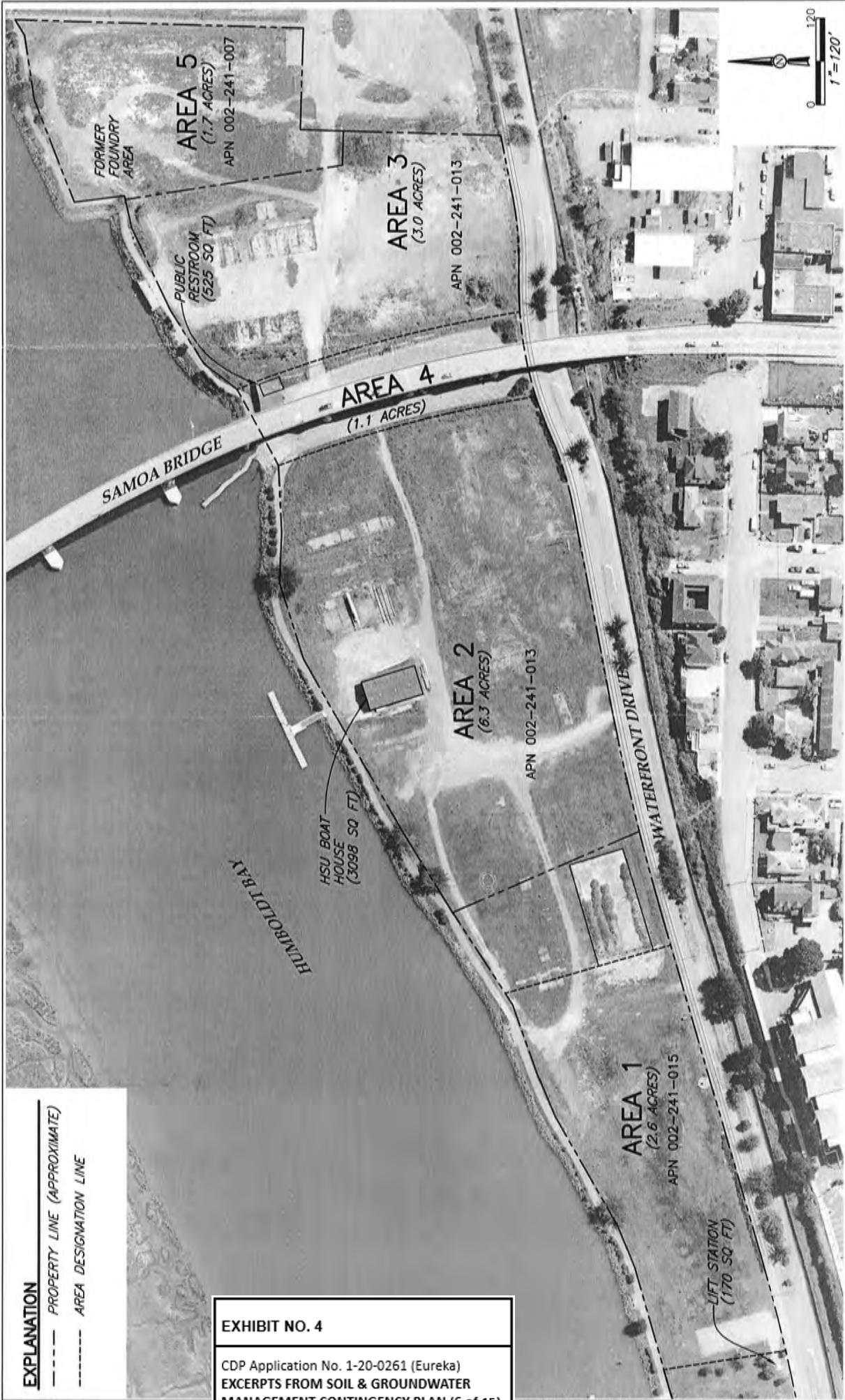


**SOURCE: EUREKA
USGS 7.5 MINUTE
QUADRANGLE**

EXHIBIT NO. 4
CDP Application No. 1-20-0261 (Eureka)
EXCERPTS FROM SOIL & GROUNDWATER
MANAGEMENT CONTINGENCY PLAN (5 of 15)



	Old Carson Mill Site Eureka, California	Site Location Map
	July 2013	SHN 008212.102
008212-102-SITE-LCTN		Figure 1



EXPLANATION
 - - - - - PROPERTY LINE (APPROXIMATE)
 - - - - - AREA DESIGNATION LINE

EXHIBIT NO. 4
 CDP Application No. 1-20-0261 (Eureka)
 EXCERPTS FROM SOIL & GROUNDWATER
 MANAGEMENT CONTINGENCY PLAN (6 of 15)

NOTES:
 1. THIS MAPPING IS NOT A PRODUCT OF A SURVEY.
 2. ALL LOCATIONS ARE APPROXIMATE.

Old Carson Mill Site
 1535 Waterfront Drive
 Eureka, California
 June 2012
 008212-100-SITE-FEATURE-2012
 SHN 008212-102
 Site Features



1.3 Site History

The former mill site was the location of a Wiyot Tribe village, although the exact location of the village on the parcel is not known (SHN, February 1994). The bay margin area was historically filled for construction of the various commercial activities conducted on the site.

Historically, the former mill site was operated as a redwood lumber mill under a number of different owners and operators, including Dolbeer and Carson, the Pacific Lumber Company, Eureka Redwood Lumber Company, and Simpson Redwood Company. The property was also used by Fuji & Company, Long and Richard, Park Loading Company, Mecca Lumber Company, Bliss and Sons Livestock Company, Halvorsen Industries, Eureka Oyster Farms, and an unnamed truck repair and machine shop.

During the early 1980s, construction of a hotel began and demolition of the remaining mill buildings was completed. Fill material was brought onto the site for grading purposes and a foundation for the hotel was constructed before the project was abandoned (E&E, 2001).

The eastern portion of the site (Figure 2, Area 5) was the location of a foundry operated by the ACME Foundry Company during the late 1800s or early 1900s until it was sold in January 1948 to the Eureka Boiler Works. The property was acquired by Coastwise Industrial Company in July 1952, and their use of the property is unknown. The site buildings and foundations were demolished and an underground storage tank was excavated during the 1970s (E&E, 2001).

In 1994, a Phase I environmental site assessment was performed in accordance with the American Society for Testing and Materials-International guidelines for property transactions (SHN, February 1994). The assessment identified 20 conditions of apparent environmental concern associated with the historical mill and foundry operations at the site (SHN, February 1994). In June 1994, a Phase II soil and groundwater investigation characterized soil and groundwater at the former foundry and former mill sites (SHN, June 1994). Laboratory analytical results of soil and groundwater indicated that metals (cadmium, chromium, nickel, lead, and zinc), and total petroleum hydrocarbons as motor oil (TPHMO) and as diesel (TPHD) were present in samples collected at the site. Analytical results were compared to cleanup levels proposed in the report to identify areas-of-concern and "hot spot" areas-of-concern (SHN, June 1994).

In 2001, a Phase II Brownfields targeted site assessment was conducted on the former foundry and former mill sites by Ecology and Environment, Inc., to address the RWQCB's concerns regarding TPHMO, TPHD, lead, and zinc contamination identified in the 1994 Phase II investigation. This investigation focused sampling efforts on areas-of-concern previously identified in the 1994 Phase II investigation to characterize the depth and magnitude of TPHMO, TPHD, lead, and zinc contamination for site cleanup. Laboratory analytical results confirmed the presence of elevated levels of lead, zinc, TPHMO, TPHD, and polynuclear aromatic hydrocarbons (PAH) in the soil (E&E, 2001).

Remediation of the former foundry area was performed in 2005, and subsequent groundwater monitoring was conducted from October 2005 to April 2007. The 2005 remediation included removing construction debris and excavation and disposal of contaminated soil (SHN, January 2006), followed by four consecutive quarterly groundwater-monitoring events to assess the presence of dissolved lead in groundwater. Dissolved lead was not detected in any of the groundwater samples above the method detection limit during the four quarters of groundwater monitoring (SHN, June 2007). In June 2007, SHN requested no further action for the former foundry area. In a letter dated September 13, 2007, the RWQCB concurred that no further action for the former foundry area would be necessary, but indicated that the entire site (former foundry area

and former mill) would not be closed until all areas identified in the June 1994 Phase II report had been investigated and discharges abated (Appendix A). The monitoring wells at the foundry area were properly destroyed in 2007.

In 2009, at the request of the RWQCB, SHN collected groundwater samples from select locations on the former mill area to determine impacts to groundwater. The results of the work, submitted to the RWQCB in a report dated April 14, 2009, confirmed the presence of elevated levels of TPHMO, TPHD, chromium, lead, and zinc in groundwater at select locations across the site (SHN, April 2009).

In November 2009, SHN submitted a site cleanup plan to the RWQCB (SHN, November 2009). The cleanup plan was approved by the RWQCB in a letter dated April 5, 2010.

In July 2011, SHN supervised Northcoast Environmental Construction, Inc., in the excavation of impacted soils from four areas of the former mill area (SHN, November 2011). On November 15 and 16, 2011, seven groundwater monitoring wells (MW-5 through MW-11) were installed at the mill area (SHN, February 2012). Quarterly monitoring was conducted for one year following well installation.

In the third quarter 2012 groundwater monitoring report (SHN, November 2012), SHN requested regulatory closure of Case No.1NHU330, which was approved in a letter dated March 29, 2013 (Appendix A).

Historical soil and groundwater analytical data for the former mill and former foundry area are presented in Appendix B.

2.0 Contingency Plan

This SGMCP is required to minimize the potential threat of exposure to workers, with regard to the documented contamination left in place and potential contamination outside of the investigation areas. This SGMCP will also outline the necessary actions to be taken in the event that contaminated soil and/or groundwater is encountered during site development activities.

2.1 Locations of Known Contamination

For the purpose of this SGMCP, it should be presumed that contaminated soil and groundwater may be encountered throughout the site.

2.2 Type and Magnitude of Known Contamination

Identified contaminants of concern in soil and groundwater at the site consist primarily of TPHMO, TPHD, metals, and PAH.

2.2.1 Soil

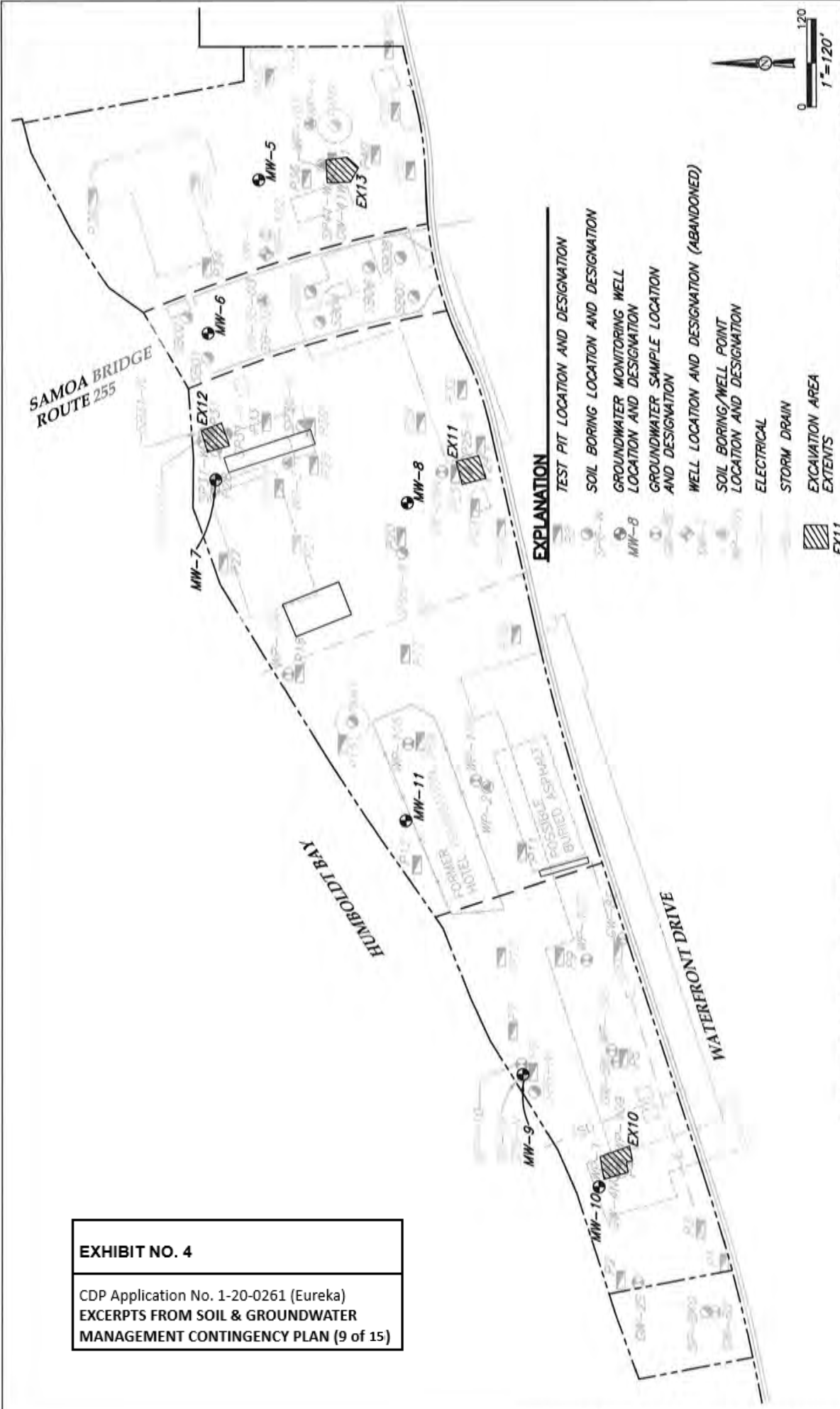
Soil sampling performed during investigation activities indicates residual soil contamination is present at the site. Historical soil analytical data is included in Appendix B. Soil sampling locations are shown on Figures 3 through 6.

EXHIBIT NO. 4

CDP Application No. 1-20-0261 (Eureka)
**EXCERPTS FROM SOIL & GROUNDWATER
MANAGEMENT CONTINGENCY PLAN (8 of 15)**

EXHIBIT NO. 4

CDP Application No. 1-20-0261 (Eureka)
 EXCERPTS FROM SOIL & GROUNDWATER
 MANAGEMENT CONTINGENCY PLAN (9 of 15)



NOTE: ALL LOCATIONS ARE APPROXIMATE

Old Carson Mill Site
 Eureka, California

Site Plan- Former Mill Area
 SHN 08212.102

July 2013
 08212-102-SITE-2012

SHN
 Consulting Engineers
 & Geologists, Inc.

Figure - 3

BASE MAP FROM SHN, 1994 AND EBE, 2001

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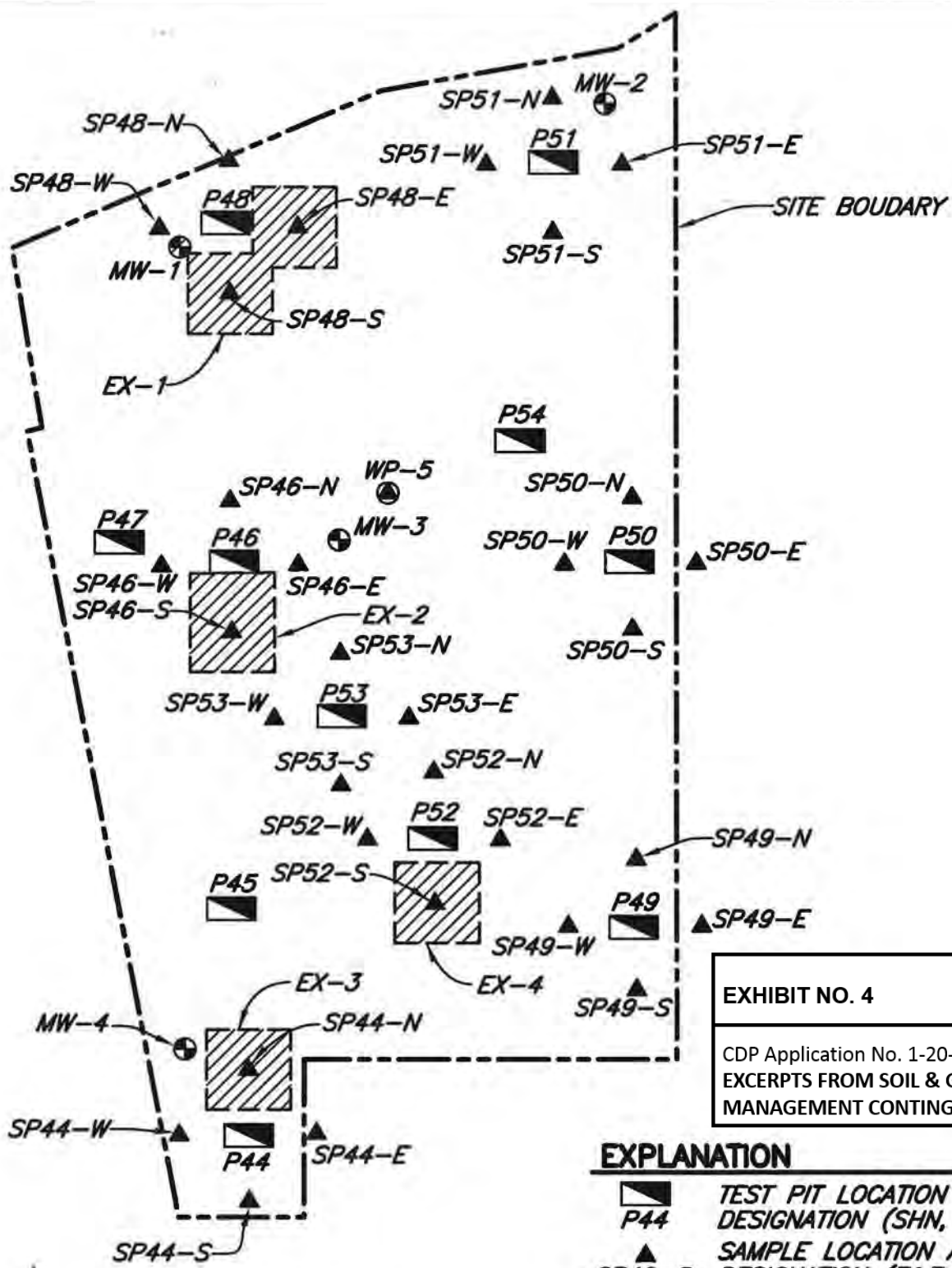


EXHIBIT NO. 4

CDP Application No. 1-20-0261 (Eureka)
 EXCERPTS FROM SOIL & GROUNDWATER
 MANAGEMENT CONTINGENCY PLAN (10 of 15)

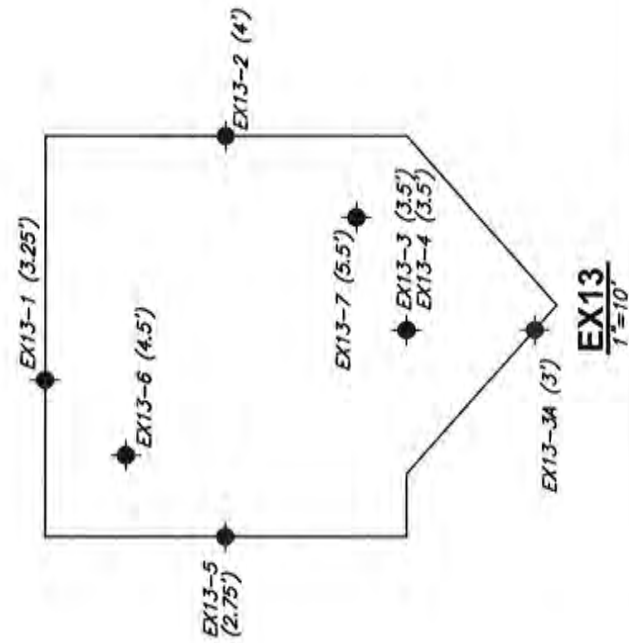
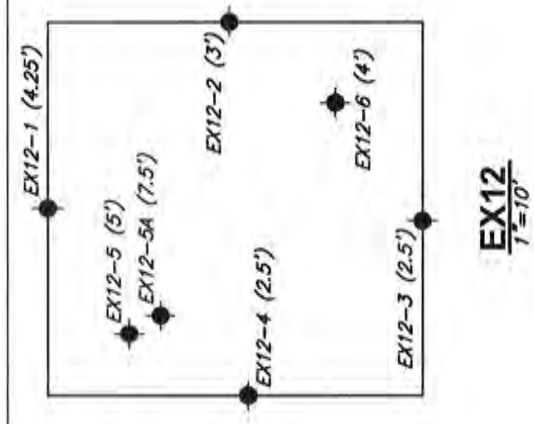
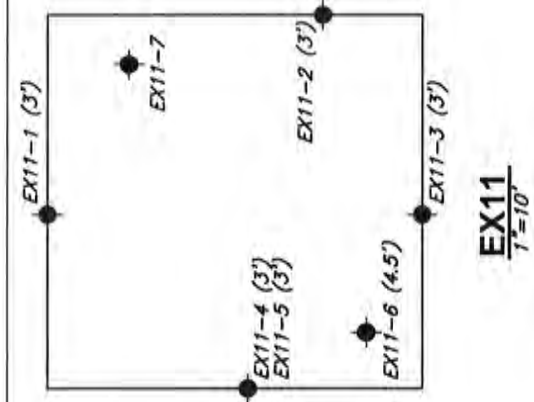
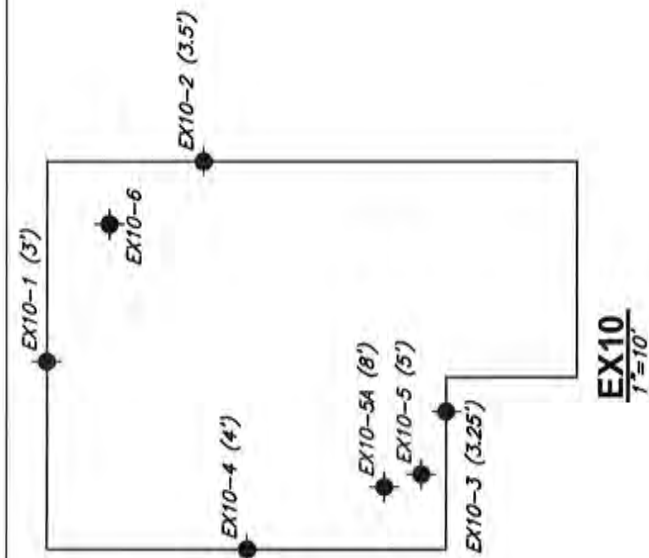
EXPLANATION

- P44** TEST PIT LOCATION AND DESIGNATION (SHN, 1994)
- SP49-S** SAMPLE LOCATION AND DESIGNATION (E&E, 2001)
- MW-4** MONITORING WELL LOCATION AND DESIGNATION
- MW-4** FORMER TEMPORARY WELLPOINT LOCATION AND DESIGNATION
- EX-3** EXCAVATION AREA



NOTE: ALL LOCATIONS ARE APPROXIMATE

 SHN Consulting Engineers & Geologists, Inc.	Old Carson Mill Site Eureka, California	Site Plan- Former Foundry Area SHN 008212.102
	July 2013	008212-102-SITE-FOUNDRY



EXPLANATION
 ● SOIL SAMPLE LOCATION AND DESIGNATION AND SAMPLE DEPTH (FEET BGS)

EXHIBIT NO. 4
 CDP Application No. 1-20-0261 (Eureka)
 EXCERPTS FROM SOIL & GROUNDWATER
 MANAGEMENT CONTINGENCY PLAN (11 of 15)

NOTE: ALL LOCATIONS ARE APPROXIMATE
 Confirmation Soil Sample Locations,
 July 2011
 SHN 008212-100

Old Carson Mill Site
 Eureka, California



August 2011

008212-100-SOIL-SAMP

Figure 5

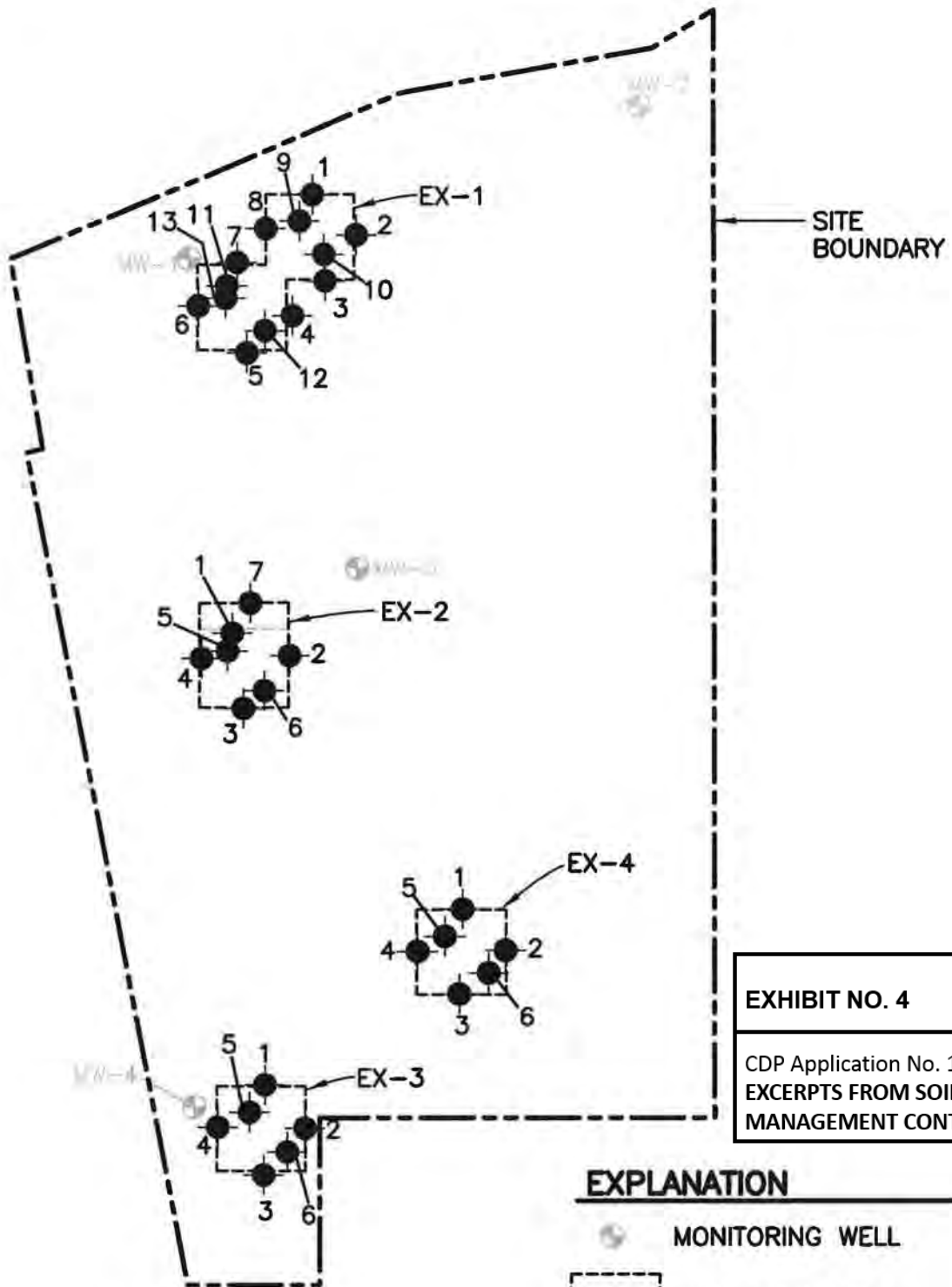





EXHIBIT NO. 4

CDP Application No. 1-20-0261 (Eureka)
 EXCERPTS FROM SOIL & GROUNDWATER
 MANAGEMENT CONTINGENCY PLAN (12 of 15)

- EXPLANATION**
-  MONITORING WELL
 -  EXCAVATION AREA
 -  SOIL SAMPLE LOCATION

NOTE: ALL LOCATIONS APPROXIMATE

2.2.2 Groundwater

Contaminants of concern in groundwater include primarily TPHMO, TPHD, chromium, lead, zinc, and PAH. Historical groundwater analytical results are summarized in Appendix B. Groundwater sampling locations are shown on Figures 3 and 4.

2.3 Notifications to be Performed Before Working in Suspected Contaminated Areas

Prior to conducting any subsurface work in the site area, the owner of the property (where work is to be performed) will provide this document to the contractor or employees. The contractor's or employees' site supervisor will read this document and become familiar with the potential hazards associated with working in potentially contaminated areas of the site. The contractor will prepare a site-specific health and safety plan. The site supervisor will conduct a site meeting with all personnel who have the potential of coming in contact with contaminated soil and/or groundwater, at which time he/she will instruct the personnel on the appropriate actions to be taken in the event that subsurface contamination is encountered. Each project worker will receive and read a copy of this document, and will sign a statement as to such before entering the work site. A copy of this document will be kept with the owner and contractor at the site during construction activities that involve excavation and/or trenching.

2.4 Actions to be Taken Before Working in Contaminated Areas

Prior to any subsurface work at the site, workers will review this document and familiarize themselves with the necessary actions to be taken in the event that contamination is encountered. If there is any uncertainty regarding the actions to be taken, the worker will consult the site supervisor prior to project commencement.

2.5 Actions to be Taken Upon Encountering Contaminated Material

If contaminated material is encountered, the site supervisor will be notified as soon as possible. The site supervisor will immediately notify the owner or owner's environmental representative. The owner will notify the appropriate regulatory agency (depending on the environmental issue encountered). The site supervisor will then determine if the workers possess adequate training and proper protective equipment to continue working in the area. Work will not resume until properly trained and equipped workers are present. A hazard analysis must be performed in accordance with a site safety plan to determine the appropriate level of personnel protection.

2.6 Construction Practices to Minimize the Disruption and Potential for Transport of Contaminated Material

Prior to beginning construction in areas where trenching or other earthwork is to be performed, the historical data (Appendix B) and the site maps that detail previous infrastructure and investigation locations (Figure 3 and 4) will be reviewed. If possible, work scheduled for identified contaminated areas will be relocated to minimize the disturbance or removal of contaminated material. If work in identified contaminated zones cannot be avoided, work will be conducted in such a manner that it minimizes the disturbance and removal of contaminated material. If a trench extends into the shallow groundwater, appropriate engineering controls will be placed in the trench backfill to minimize the potential for utility trenches to act as a preferential pathway. All contaminated material will be handled in accordance with the guidelines presented in Section 2.7.

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2.7 How to Properly Handle and Dispose of Contaminated Material

Each worker that may come into contact with contaminated material will use the level of protection specified in the health and safety plan and have all the necessary training required. This may include, but is not limited to, chemical resistant gloves, eye protection, a hardhat, and steel-toed chemical resistant boots.

Any suspect or contaminated soil that is encountered and requires removal (such as soil removed during trenching activities) will be moved for temporary stockpiling to a secure area of the site that is away from routine traffic and/or storm drains and is high enough that water will not pond on or around the soil. The soil will be placed and covered with six-millimeter or thicker plastic (Visqueen®), in such a way that the soil pile is protected from water run-on and run-off.

Soil samples will be collected for laboratory analysis from the stockpile using laboratory-supplied containers. The samples will be analyzed for contaminants as required by the appropriate disposal facility. The analytical results of the soil stockpile sample will be used to determine the proper handling and disposal method for the soil. In the event that the soil requires offsite disposal, a contractor licensed to transport such material will be used. The contractor will transport the contaminated soil to a facility that is licensed to accept such soil. All contaminated soil shall be removed from the site according to regulatory requirements for the specific contaminant type and concentrations. Waste manifest documents will be retained as required for the specific contaminant type.

Any suspect or contaminated groundwater that is encountered and requires removal will be pumped into appropriate containers, depending on the volume of water removed. If only a small volume of water is removed, Department of Transportation-approved 55-gallon steel drums may be appropriate. If a large volume of water needs to be removed, a Baker tank or equivalent may be necessary.

The removed water will be sampled for contaminants as required by an appropriate disposal facility to determine the appropriate disposal method. The analytical results of the groundwater sample will be used to determine the proper handling and disposal method for the water. In the event that the water requires treatment and offsite disposal, a contractor licensed to handle such material will transport the material to a facility that is licensed to accept such material for treatment and disposal. Waste manifest documents will be retained as required for the specific contaminant type.

3.0 Limitations

Information regarding environmental contamination in this SGMCP is based on data acquired during subsurface investigations described in Section 1.2. Not all areas of the site have been evaluated for the presence of environmental contamination. This SGMCP does not address issues related to other chemicals or media that may be encountered during subsurface or construction work (such as, but not limited to, unknown contamination from past industrial activity, demolition and construction debris, asbestos-containing materials, or lead-based paint). If such materials are encountered, employees, contractors, and workers are responsible for complying with all applicable laws pertaining to the characterization, handling, and disposal of these materials.

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