

CALIFORNIA COASTAL COMMISSION

SOUTH COAST DISTRICT OFFICE
301 E. OCEAN BLVD., SUITE 300
LONG BEACH, CA 90802-4830
(562) 590-5071



W14b

**5-20-0541 (South Bay Land Management and Development
Company, LLC)**

August 11, 2021

EXHIBITS

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Hermosa Beach since 2014



Hermosa Beach

Hermosa Beach Pier

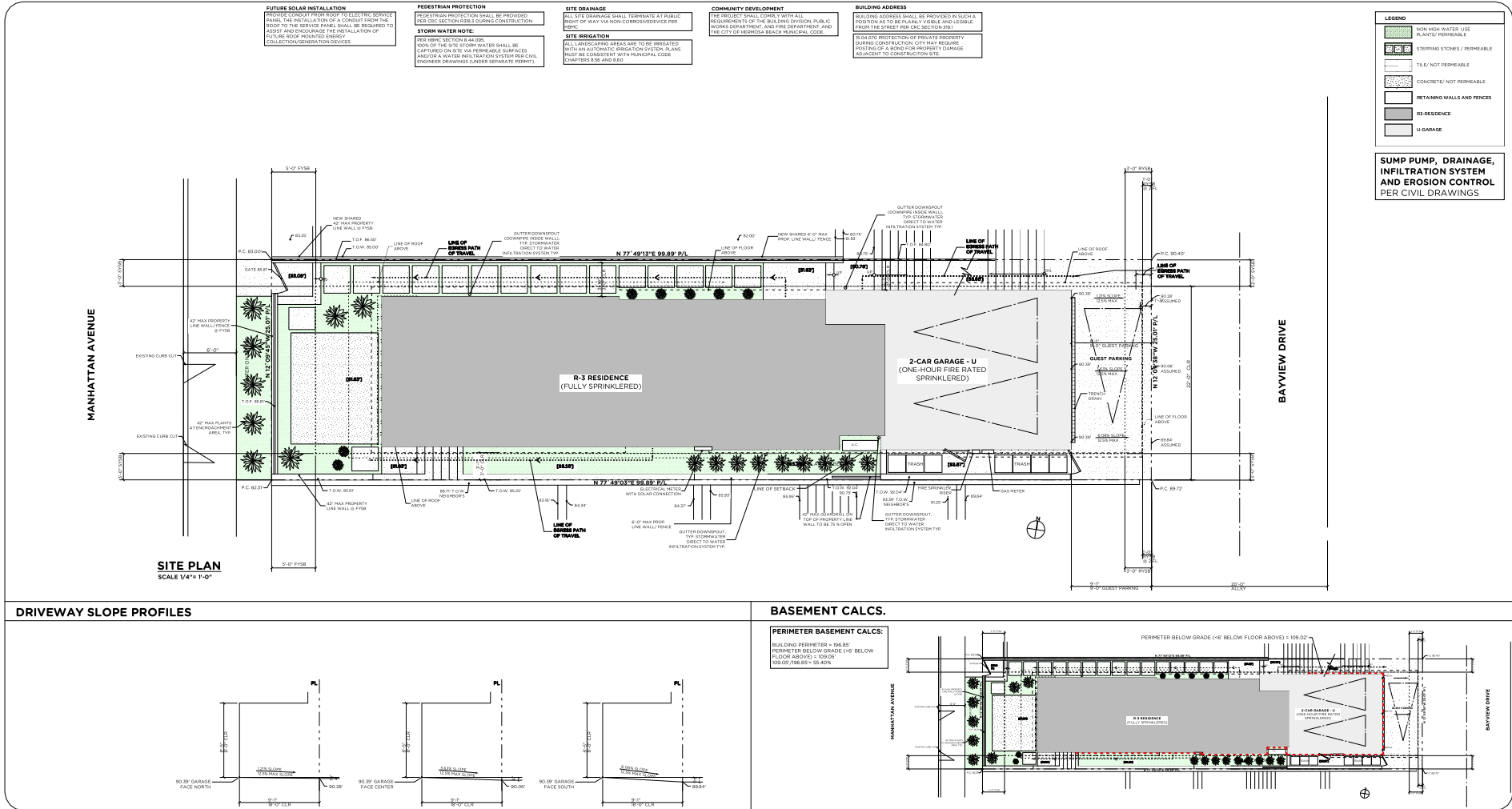
Project Location



10th Street

Project
Site

Manhattan Avenue



REVISIONS

DATE	SCALE	PROJECT NUMBER	SUBMITTALS
8/12/20	AS NOTED	2018.20	06/10/2020 PLANNING REG. SUBMITTAL

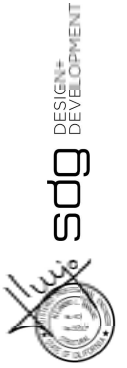
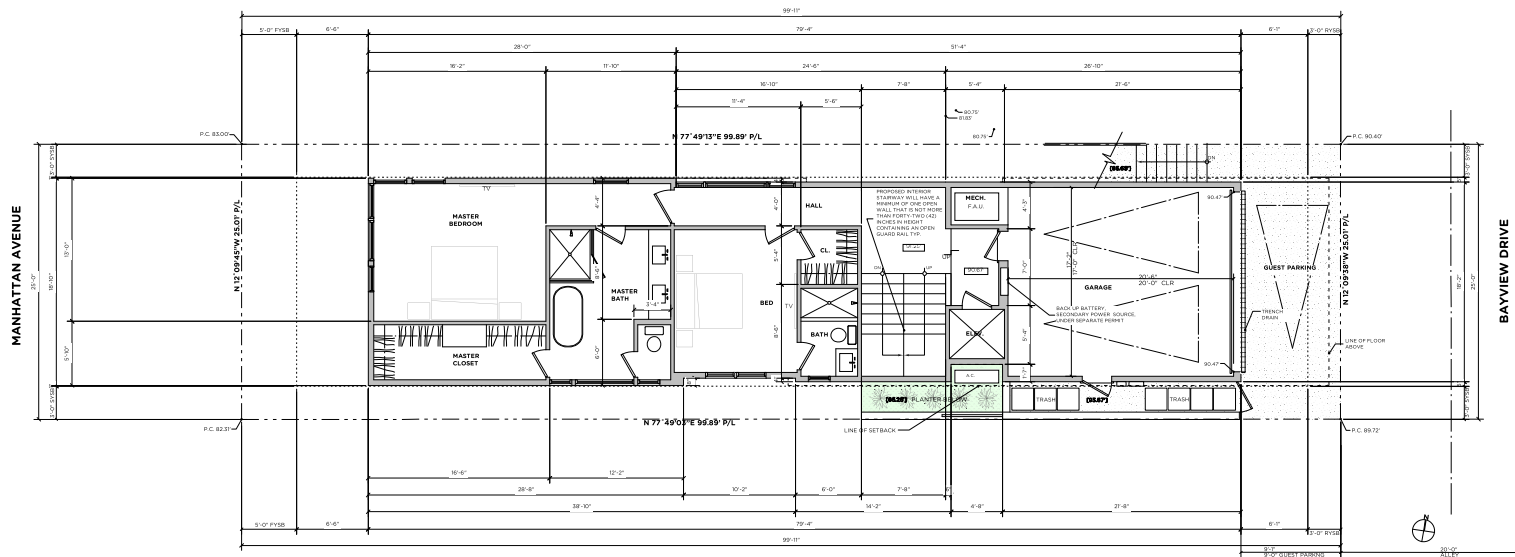
PROJECT NAME
908 MANHATTAN

PROJECT ADDRESS
908 MANHATTAN AVE.
HERNDON BEACH, FL

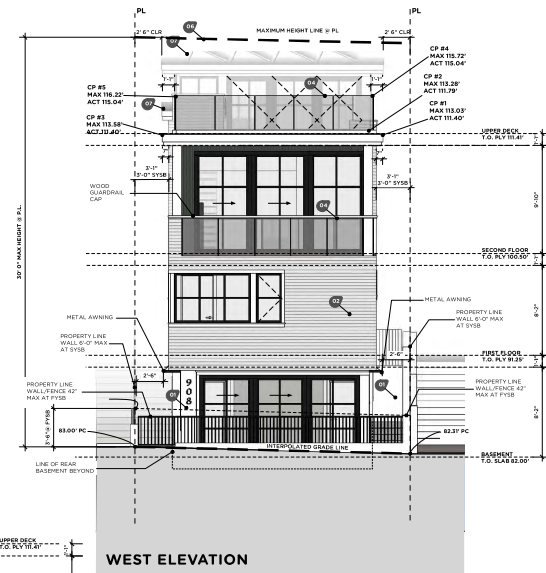
SHEET NAME
SITE PLAN

SHEET NUMBER
A-0.5

sdg DESIGN+ DEVELOPMENT



- 01 STUCCO / RETAINING WALL
- 02 HORIZONTAL SIDING
- 03 VERTICAL WOOD PANELING
- 04 TEMP. GLASS GUARDRAIL MIN 42"
- 05 METAL AWNING
- 06 SOLAR PANEL
- 07 STANDING SEAM METAL ROOF
- 08 WOOD POST



NOT FOR
CONSTRUCTION

REVISIONS
DATE AUGUST 13, 2020
SCALE $\frac{1}{8}" = 1'-0"$
PROJECT NUMBER 2019-10
DESCRIPTION PROPOSED RECONSTRUCTION OF THE NORTH + WEST ELEVATIONS OF THE EXISTING 908 MANHATTAN AVENUE, A 10-STORY OFFICE BUILDING, IN THE CITY OF LOS ANGELES, CALIFORNIA.
SUBMITTALS 05/15/2020 PLANNING REVIEW SUBMITTAL
PROJECT NAME 908 MANHATTAN
PROJECT ADDRESS 908 MANHATTAN AVENUE, LOS ANGELES, CA
SHEET NAME NORTH + WEST ELEVATIONS
SHEET NUMBER A3.0

- 10 CONCRETE STEP FOOTING PER STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATIONS.
- 11 EXTERIOR THICKENED WALLS: U.S. EOE FLOOR PLAN WITH SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER. PRELIMBOL STUDY AT CEILING AND AT MID-HEIGHT STUDY AT EXTERIOR THICKENED WALLS.
- 12 INTERIOR WALL STUDY: 24" (EXCEPT WHERE NOTED OTHERWISE ON FLOOR PLANS) WITH SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER.
- 13 EXTERIOR AND INTERIOR THICKENED WALLS SHALL BE CONSTRUCTED FROM MULTIPLE RAYS OF REINFORCING BARS AND SHALL BE CONSTRUCTED WITH REINFORCING BARS.
- 14 DRAFT STUDY SHALL BE PROVIDED WITH ATTACHES, HANGERS, OVERLAYS, AND SIMILAR CONCEALED SPACES FORM OF CONSTRUCTIBLE CONSTRUCTION.
- 15 TYPICAL FIRST FLOOR SYSTEM: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, BLOCKING AND SPECIFICATIONS.
- 16 ROOF PARTS: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- 17 CEILING STUDY: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- 18 FLOOR BEATING: 1/8" TONGUE AND GROOVE RLYWOOD. PROVIDE A CONTINUOUS BEAD OF FINISH MATERIAL BETWEEN FLOOR BEATING AND WALLS. GLUE FLOOR BEATING TO BE SCREWED. SEE TONGUE AND GROOVE FLOOR, SPACING AND SPECIFICATIONS.
- 19 DECK BEATING: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS. SLOPE BEATING UP FROM 1/8" TO DRAIN. VERIFY WITH DECK MANUFACTURER'S SPECIFICATIONS.

- [illegible]



REVISIONS

DATE
August 13, 2020

SCALE
1/4" = 1'-0"

PROJECT NUMBER
2018.20

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SUBMITTALS

08/13/2020 PLANNING RE-SUBMITTAL

PROJECT NAME

908
MANHATTAN

PROJECT ADDRESS
908 MANHATTAN AVENUE,
HERMOSA BEACH, CA

SHEET NAME

**LONGITUNDINAL
SECTION**

SHEET NUMBER **A4.0**



NORTHEAST
RENDERING



NORTHWEST
RENDERING

RENDERINGS ARE FOR REFERENCE ONLY
SEE ALL OTHER PAGES



NORTHWEST
RENDERING



SOUTHWEST
RENDERING



**NOT FOR
CONSTRUCTION**

REVISIONS

DATE
August 13, 2020

SCALE
1/4" = 1'-0"

PROJECT NUMBER
2018.20

SUBMITTALS
08/13/2020 PLANNING RE-SUBMITTAL

PROJECT NAME

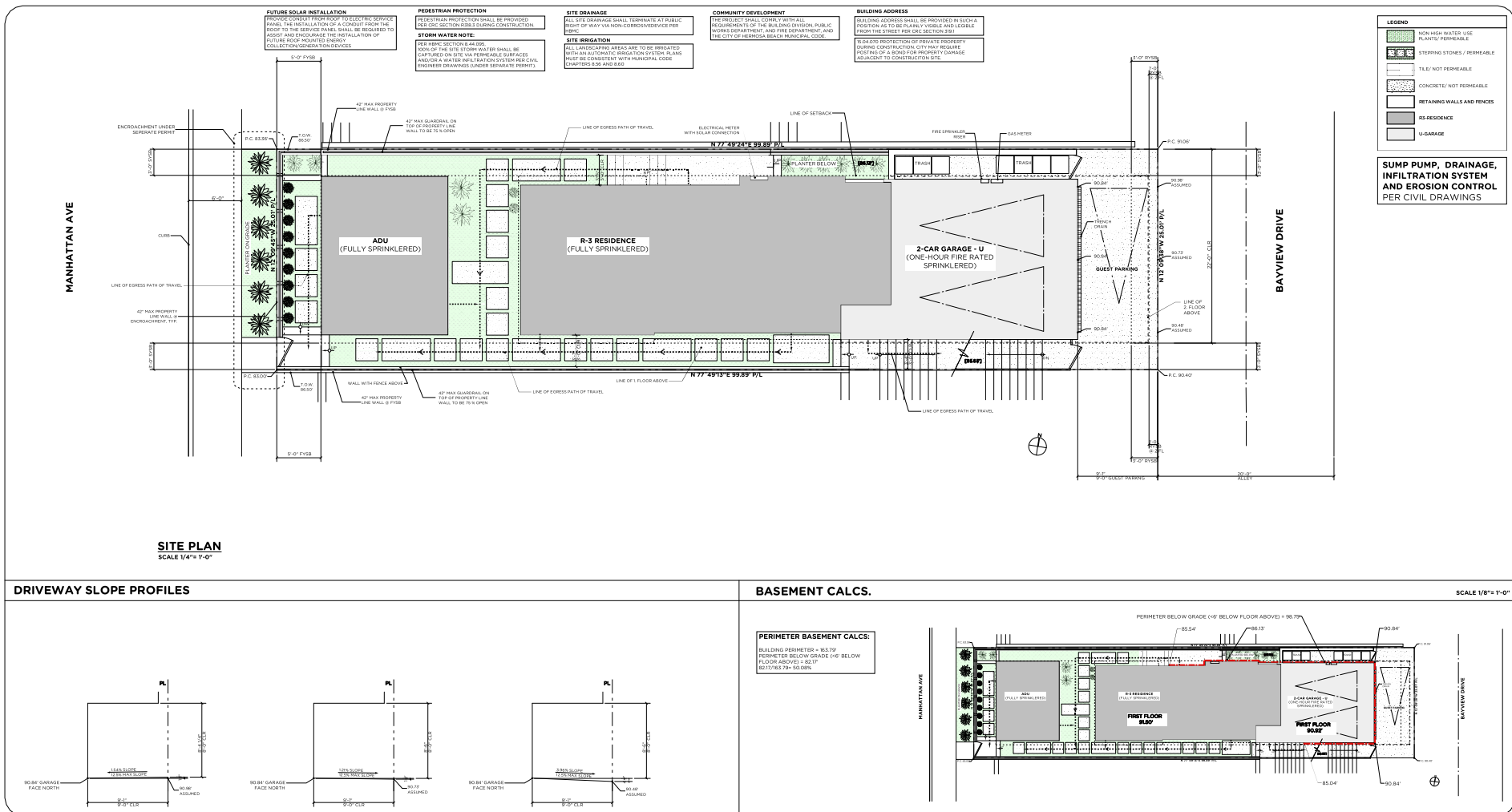
**908
MANHATTAN**

PROJECT ADDRESS
908 MANHATTAN AVENUE,
HOLMWOOD BEACH, CA

SHEET NAME

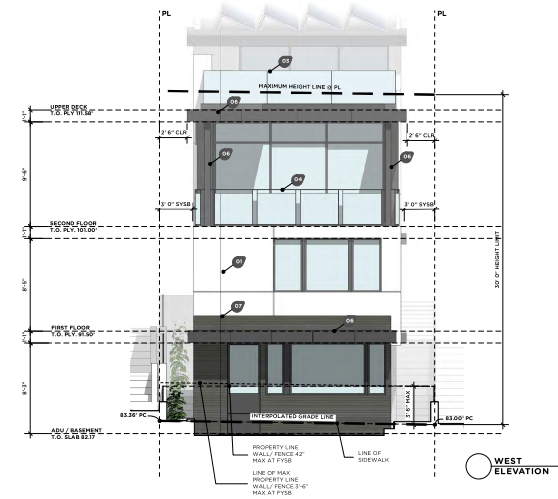
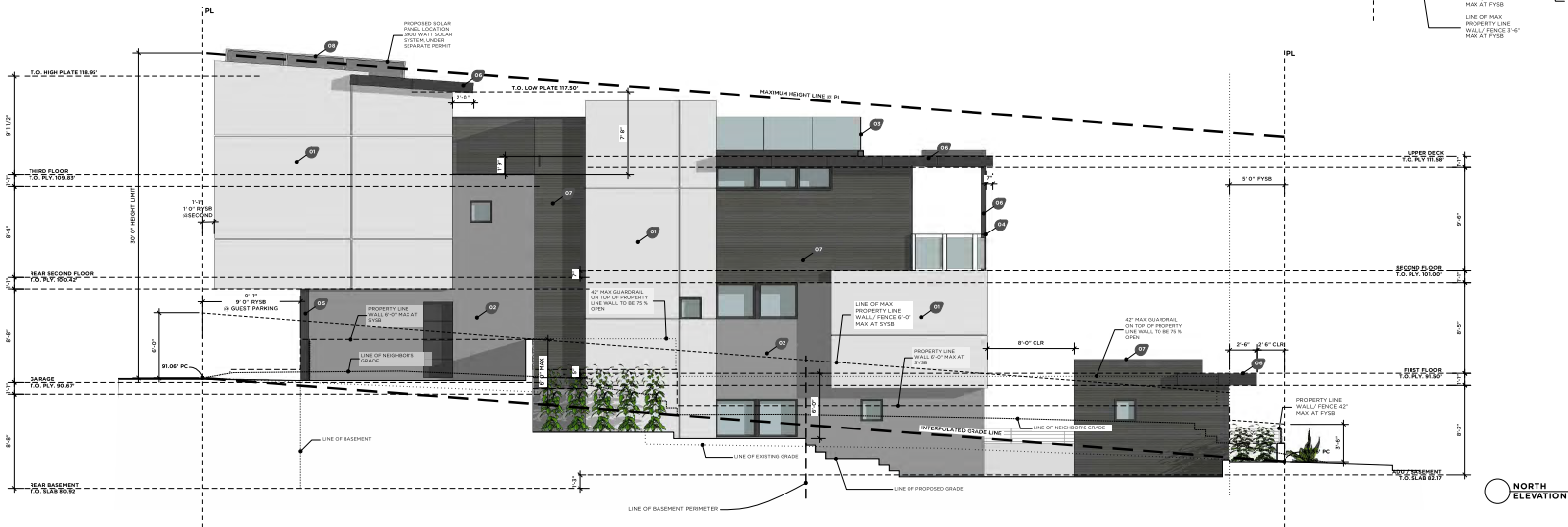
RENDERINGS

SHEET NUMBER
A4.2



MATERIAL KEY

- 01 SMOOTH STUCCO / WHITE
- 02 SMOOTH STUCCO / GREY
- 03 GLASS GUARDRAIL MIN 42" ESR 3269 PER STRUCTURAL DWG
- 04 GUARDRAIL MIN 42" PER STRUCTURAL DWG
- 05 EXPOSED STEEL
- 06 SHEET METAL CLADDING / TO MATCH WINDOWS
- 07 TAG
- 08 PROPOSED SOLAR PANEL LOCATION 3900 WATT SOLAR SYSTEM UNDER SEPARATE PERMIT



REVISIONS

DATE

05/18/2020

SCALE

1/4" = 1'-0"

PROJECT NUMBER

2018.20

SUBMITTALS

06/10/2020 PLANNING RE SUBMITTAL

PROJECT NAME

910

MANHATTAN

AVENUE

PROJECT ADDRESS

910 MANHATTAN AVENUE,

HERMOSA BEACH

SHEET NAME

ELEVATIONS

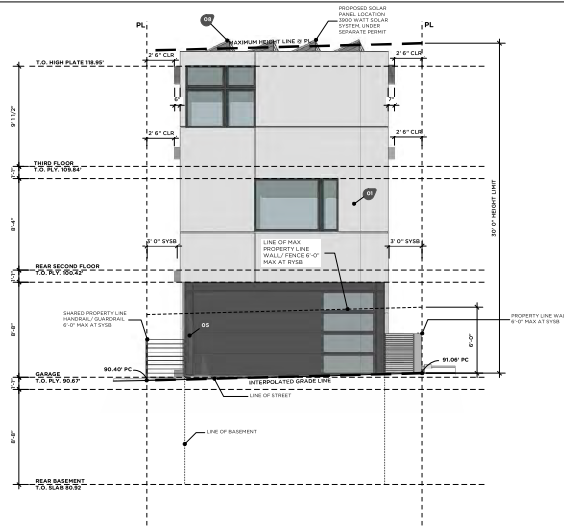
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A3.0

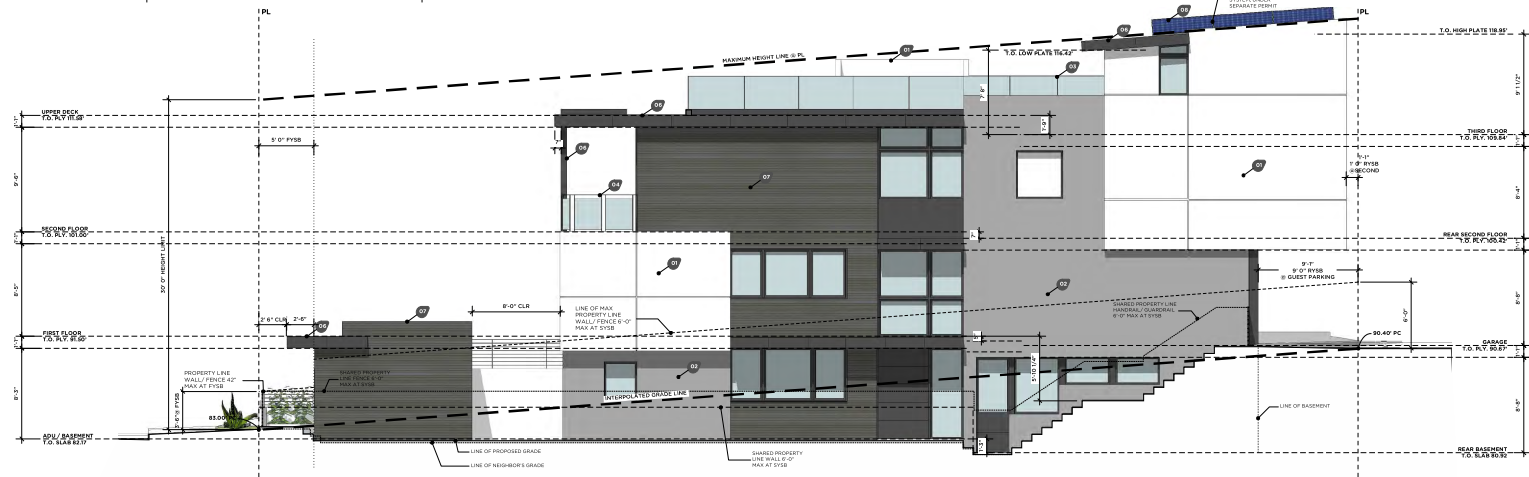
MATERIAL KEY

- 1 SMOOTH STUCCO / WHITE
- 2 SMOOTH STUCCO / GREY
- 3 GLASS GUARDRAIL MIN 42" ESR 3269 PER STRUCTURAL DWG
- 4 GUARDRAIL MIN 42" PER STRUCTURAL DWG
- 5 EXPOSED STEEL
- 6 SHEET METAL CLADDING / TO MATCH WINDOWS
- 7 T&G
- 8 PROPOSED SOLAR PANEL LOCATION 3900 WATT SOLAR SYSTEM UNDER SEPARATE PERMIT

EAST
ELEVATION



SOUTH
ELEVATION



REVISIONS

DATE

05/18/2020

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1/4" = 1'-0"

PROJECT NUMBER

2018.20

SUBMITTALS

06/18/2020 PLANNING RE SUBMITTAL

PROJECT NAME

910

MANHATTAN

AVENUE

PROJECT ADDRESS

300 MANHATTAN AVENUE,

HERMOSA BEACH

SHEET NAME

ELEVATIONS

SHEET NUMBER

A3.1



SOUTH EAST
RENDERING



NORTH WEST
RENDERING

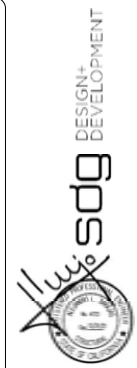
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SOUTH WEST
RENDERING



NORTH EAST
RENDERING

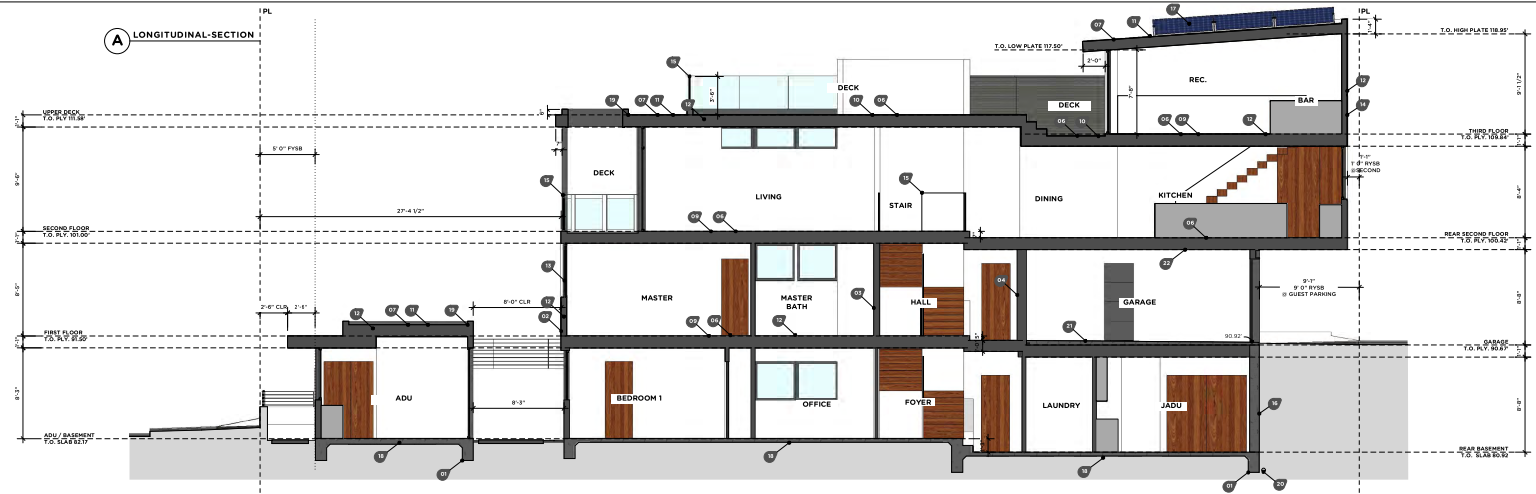


REVISIONS	
DATE	05/18/2020
SCALE	1/4" = 1'-0"
PROJECT NUMBER	2018.20
SUBMITTALS	
06/15/2020 PLANNING RE SUBMITTAL	
PROJECT NAME	
910 MANHATTAN AVENUE	
PROJECT ADDRESS	
910 MANHATTAN AVENUE, HESPERIA BEACH	
SHEET NAME	
RENDERINGS	
SHEET NUMBER	A3.2

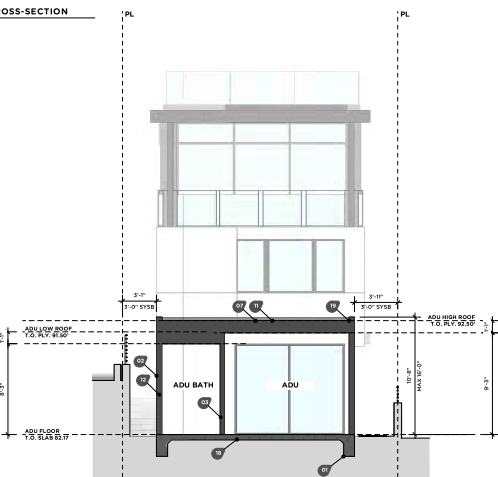
NOTES:

- CONCRETE STEEL FOOTING PER STRUCTURAL ENGINEER'S DRAWINGS AND SPECIFICATIONS.
- EXTERIOR HOUSE STUDS: U/A/O SEE FLOOR PLAN WITH SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER. PARALLEL STUDS AT CEILING AND AT MID-HEIGHT STUDS BETWEEN FINISH FLOOR AND CEILING HEIGHT PER STRUCTURAL ENGINEER.
- INTERIOR WALL STUDS: 2x4 (EXCEPT WHERE NOTED OTHERWISE ON FLOOR PLANS) WITH SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER.
- EXTERIOR AND INTERIOR THICKENED WALLS SHALL BE CONSTRUCTED FROM MULTIPLE ROWS OF 2x6 STUDS, SPACING AND SPECIFICATIONS PER STRUCTURAL ENGINEER.
- DRAFT STOPS SHALL BE PROVIDED WITHIN ATTICS, HANGARS, OVERHANDS, AND SIMILAR CONCEALED SPACES FORMED OF CONSTRUCTIBLE CONSTRUCTION.
- TRUSS JOIST FLOOR SYSTEM: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, BLOODING AND SPECIFICATIONS.
- ROOF RAFTERS: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- CEILING JOISTS: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- FLOOR SHEATHING: 1/2" TONGUE AND GROOVE PLYWOOD. PROVIDE A CONTINUOUS BEAD OF CONSTRUCTION ADHESIVE BETWEEN PLYWOOD AND SUBFLOORS. ALL FLOOR SHEATHING TO BE SCREWED. SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS.
- DECK SHEATHING: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS. SLOPE SHEATHING 1/4" PER 1'-0" TO DRAIN. VERIFY WITH DECK MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- ROOF SHEATHING: SEE STRUCTURAL DRAWINGS FOR SIZE, SPACING, AND SPECIFICATIONS. VERIFY WITH ROOF MANUFACTURER'S SPECIFICATIONS AND RECOMMENDATIONS.
- THERMAL INSULATION: ALL WALLS AND ROOFS TO BE THERMAL INSULATED PER THE ENERGY CALCULATIONS.
 - R-20 WOOD FRAMED BATTIES
 - R-20 FACTOR THERMAL INSULATION AT ALL EXTERIOR WALLS
 - R-50 FACTOR SHALL BE USED IN ALL ROOF INSULATION PER THE ENERGY CALCULATIONS
 - R-10 FACTOR THERMAL INSULATION AT ALL FLOOR JOIST AREAS
 - R-10 AT INTERIOR WALLS FOR NOISE REDUCTION
- 5/8" GYPSON BOARD FINISH FASTENED TO WALLS AND CEILING WITH DRYWALL SCREWS.
- EXTERIOR PLASTER OVER WIRE LATH AND LAYER GRADE 5 BOLLING PAPER GUNTER JUMBO TIE (OR EQ.) OVER 1 LAYER TYEN OR TYEN. ALL CORNED BEADED.
- ALL GUARDRAILS SHALL BE A MINIMUM HEIGHT OF 42" MEASURED FROM TOP OF FINISH SURFACE UNLESS NOTED OTHERWISE. SEE DETAILS PER STRUCTURAL ENGINEER.
- PROVIDE CORRELLA DOWNEN DELTA DRAIN 8220 OF BENTONITE WATERPROOFING (ETCO VOLLEYL SWELLETTE LA-RW 2X15 OR APPROVED EQUAL) OF SELF-ADHESING SHEET RUBBERIZED/EPDM SHEET WATERPROOFING (ETCO ENVIROCHASSET OR APPROVED EQUAL) FOR FOUNDATION WATERPROOFING. RETAIL PER MANUFACTURER'S RECOMMENDATIONS.
- PROPOSED SOLAR PANEL LOCATION 3800 WATT SOLAR SYSTEM, UNDER SEPARATE PERMIT
- CONCRETE SLAB PER STRUCTURAL DRAWINGS OF 2" SAND OF WATERPROOF MEMBRANE OF 2" SAND OF GRAVEL BED OVER COMPACTED OR UNDISTURBED SOIL. TYP.
- 7" HIGH MIN. SLO. NON-BODESADABLE CANT WITH LIQUID MEMBRANE COATING AT TOP SURFACE. TYP.
- FILTER FABRIC OVER 4" DRAIN TILE WITH GRAVEL FILL. SHAPE SOIL TO FORM GUTTER, DRAIN TO SURFACE. TYP.
- LIGHTWEIGHT CONCRETE AT GARAGE. SLORE IN MIN.
- CEILING IN GARAGE, UTILITY MECHANICAL UNDER STAIR AND WATER HEATER CLOSETS SHALL HAVE 2 LAYER OF 5/8" TYPE-X FIRE RESISTANT GYPSUM BOARD SEPARATION ON UNDERSIDE OF CEILING

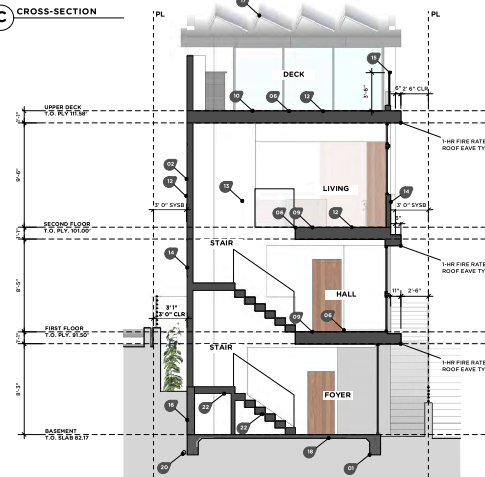
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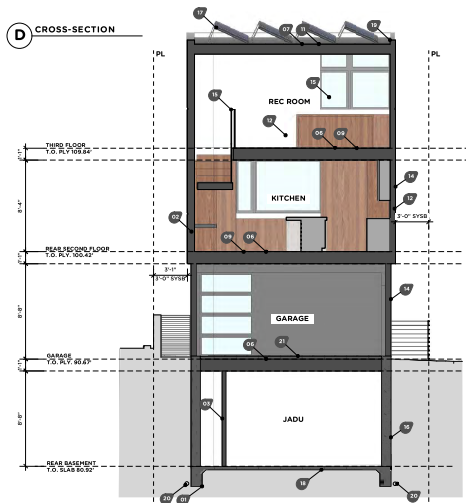
B CROSS-SECTION



C CROSS-SECTION



D CROSS-SECTION



REVISIONS

DATE

05/18/2020

SCALE

1/4" = 1'-0"

PROJECT NUMBER

2018.20

SUBMITTALS

9/15/2020 PLANNING REL SUBMITTAL

PROJECT NAME

910

MANHATTAN

AVENUE

PROJECT ADDRESS

910 MANHATTAN AVENUE,

HERMOSA BEACH

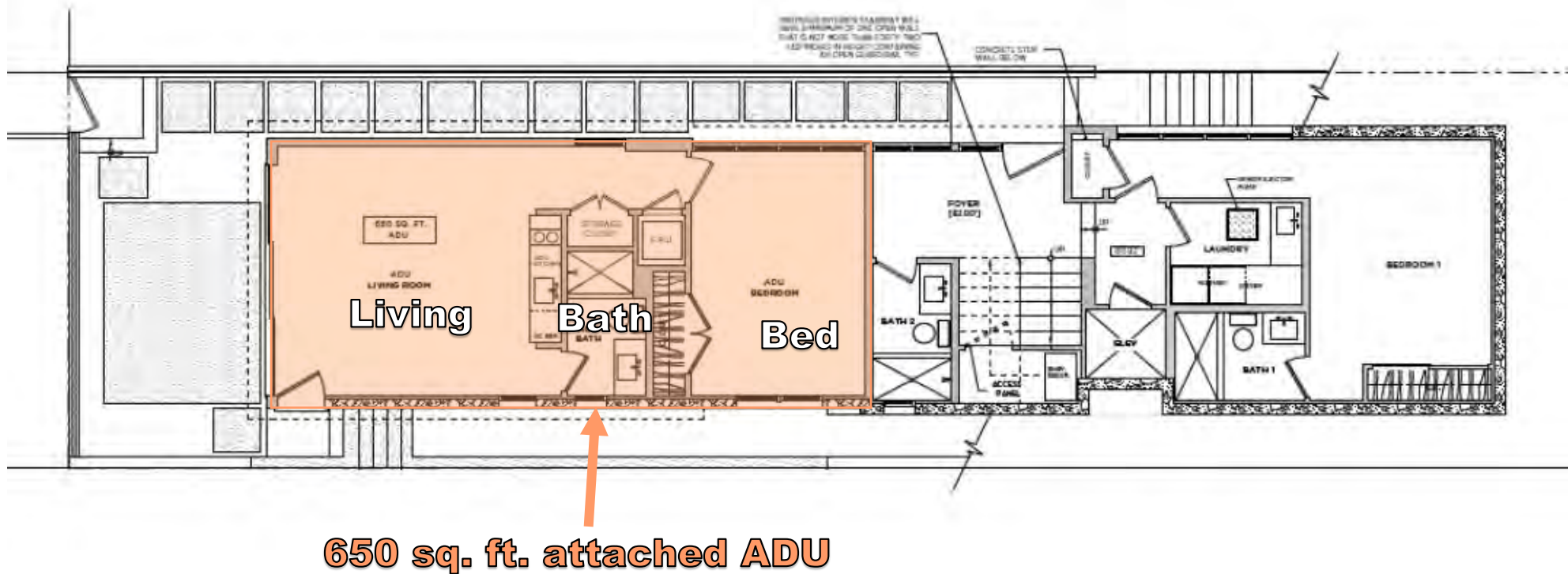
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SECTIONS

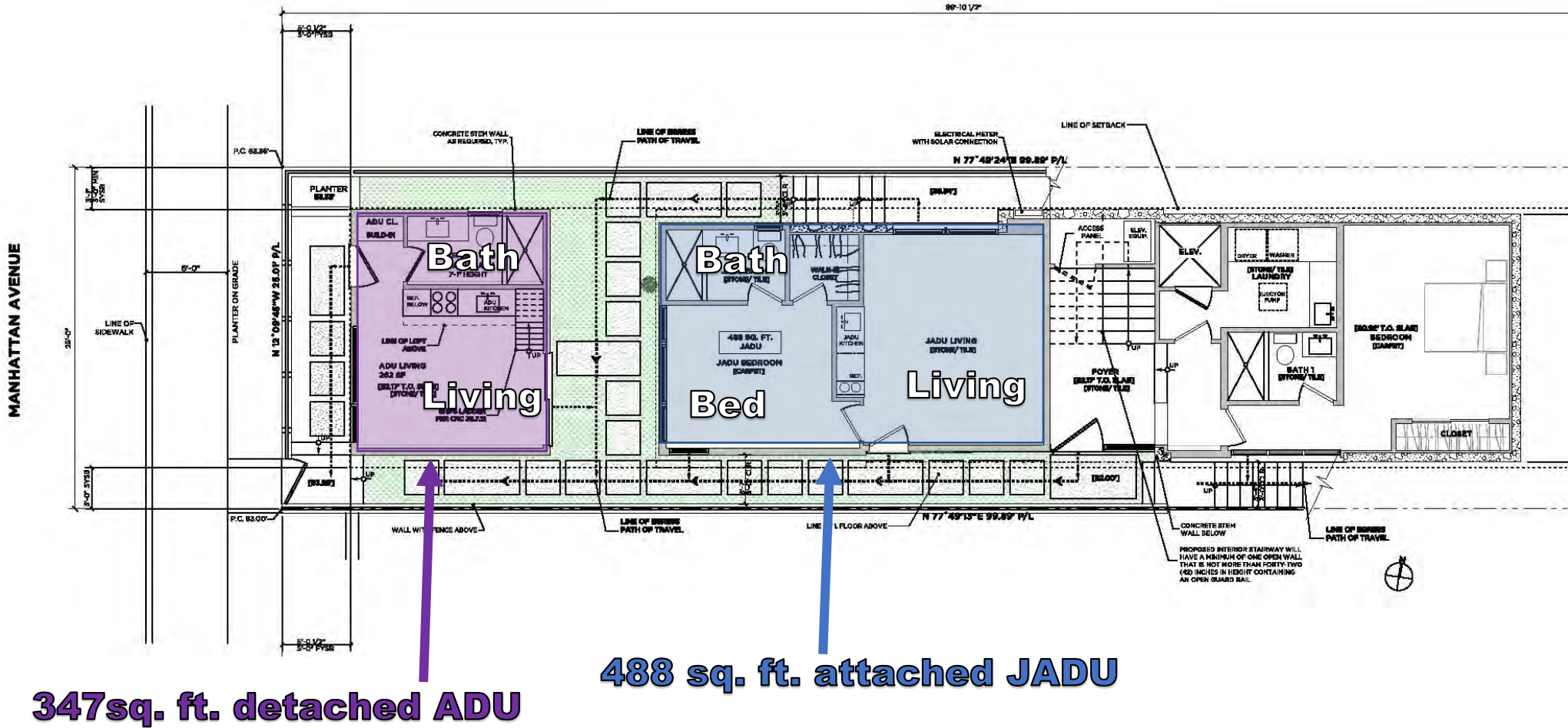
SHEET NUMBER

A4.0

Proposed ADU for 908 Manhattan Avenue



Proposed ADU and JADU for 910 Manhattan Avenue



MANHATTAN AVENUE



Community Character Survey

Address	Residence Type	Structure Size (sq. ft)	Lot Size (sq. ft)
214 W 10 th Street	Condo (4-units)		5,498
934 Manhattan Avenue	Triplex	1,702	2,509
928 Manhattan Ave	Single-Family	1,014	2,497
926 Manhattan Ave	Duplex		2,493
918 Manhattan Ave	Duplex	3,098	2,507
908 Manhattan Avenue*	Multi-Family (5-units)	2,534	4,991 (consists of 2 tied 2,495.5 sq. ft. lots)
902 Manhattan Avenue	Condo (3-units)		5,015
844 Manhattan Avenue	Single-Family	1,593	1,493
845 Bayview Drive	Single-Family	398	1,000
836 Manhattan Avenue	Quadraplex	4,202	3,137
830 Manhattan Avenue	Condo (2-unit)		3,120
828 Manhattan Avenue	Condo (2-unit)		3,125
816 Manhattan Avenue	Duplex	1,780	3,120
810 Manhattan Avenue	Single-Family	3,702	2,502
207 8 th Street	Single-Family	837	1,497
211 8 th Street	Single-Family	1,390	1,246
801 Bayview Drive	Single-Family	1,045	1,120
805 Bayview Drive	Single-Family	1,045	1,133
221 8 th Street	Duplex	1,122	1,116
806 Bayview Drive	Duplex	672	1,128
235 8 th Street	Triplex	2,323	2,760
817 Monterey Blvd	Condo (2-unit)		3,248
814 Bayview Drive	Single-Family	2,460	1,742
823 Monterey Blvd	Duplex	1,160	2,504
828 Bayview Drive	Duplex	2,240	2,506
831 Monterey Blvd	Duplex	2,228	2,500
837 Monterey Blvd	Single-Family	960	2,494
841 Monterey Blvd	Single-Family	4,131	2,507
845 Monterey Blvd	Multi-Family (5-unit)	4,973	5,000
907 Monterey Blvd	Quadraplex	2,406	4,006
921 Monterey Blvd	Quadraplex	1,994	3,508
924 Monterey Blvd	Single-Family	1,767	1,241
925 Monterey Blvd	Single-Family	1,672	1,241
928 Bayview Drive	Single-Family	1,596	1,255
931 Monterey Blvd	Single-Family	1,273	1,254
226 10 th Street Apt E	Multi-Family (5-unit)	1,992	1,325
935 Monterey Blvd	Single-Family	2,713	1,770
947 Monterey Blvd	Duplex	1,428	2,130
226 10 th Street Apt A	Quadraplex	2,584	2,781

*** Project Site**

Commission Approvals of Housing Density Reduction Projects in Hermosa Beach Since 2014

Permit Number	Date Approved	Units Before Project	Units After Project	Net Unit Loss
5-13-1348-W	2/13/2014	2	1	-1
5-13-1239-W	2/13/2014	2	1	-1
5-14-0006-W	3/12/2014	3	1	-2
5-14-0002-W	3/12/2014	2	1	-1
5-14-0528-W	4/11/2014	2	1	-1
5-14-1056-W	8/13/2014	2	1	-1
5-14-1687-W	11/18/2014	2	1	-1
5-15-0619-W	7/09/2015	2	1	-1
5-15-0612-W	8/12/2015	2	1	-1
5-15-0552-W	8/12/2015	3	2	-1
5-15-0968-W	9/15/2015	2	1	-1
5-15-1234-W	10/09/2015	2	1	-1
5-15-1969-W	2/11/2016	2	1	-1
5-15-1799	4/14/2016	2	1	-1
5-16-0153	7/14/2016	2	1	-1
5-16-0628-W	9/08/2016	2	1	-1
5-17-0016-W	2/08/2017	1	0	-1
5-17-0030-W	2/08/2017	2	1	-1
5-17-0040-W	5/12/2017	2	1	-1
5-17-0100-W	5/12/2017	5	1	-4
5-17-0285-W	6/07/2017	3	1	-2
5-17-0691-W	10/12/2017	2	1	-1
5-17-0822-W	10/27/2017	2	1	-1
5-17-0823-W	11/09/2017	2	1	-1
5-17-0802-W	11/09/2017	2	1	-1
5-17-0792	3/08/2018	2	1	-1
5-17-1005	7/11/2018	2	1	-1
5-18-0651	11/07/2018	3	1	-2
5-18-0827	2/07/2019	2	1	-1
5-18-0949	3/06/2019	2	1	-1
5-19-0137	9/12/2019	2	1	-1
5-19-0195	10/17/2019	2	1	-1
5-19-1209	11/13/2019	3	2	-1
5-19-0955	6/12/2020	2	1	-1
5-19-1244	9/10/2020	2	1	-1
5-20-0142	9/10/2020	2	1	-1
5-20-0223	9/10/2020	2	1	-1
5-19-1215	10/08/2020	3	2	-1
5-19-1220	10/08/2020	2	1	-1
5-20-0530	12/10/2020	2	1	-1
5-20-0503	03/11/2021	2	1	-1