

CALIFORNIA COASTAL COMMISSION

SAN DIEGO DISTRICT OFFICE
7575 METROPOLITAN DRIVE, SUITE 103
SAN DIEGO, CA 92108-4402
VOICE (619) 767-2370
FAX (619) 767-2384



F12a

A-6-LJS-21-0049 (Leidy Residence)

September 2021

EXHIBITS

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- EXHIBIT 1: Vicinity Map**
- EXHIBIT 2: Aerial View**
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6216 Avenida Cresta


Legend
6216 Avenida Cresta



EXHIBIT NO. 1
APPLICATION NO.
A-6-LJS-21-0049
Vicinity Map
 California Coastal Commission



Legend

 6216 Avenida Cresta

6216 Avenida Cresta

EXHIBIT NO. 2

APPLICATION NO.

A-6-LJS-21-0049

Aerial View



California Coastal Commission

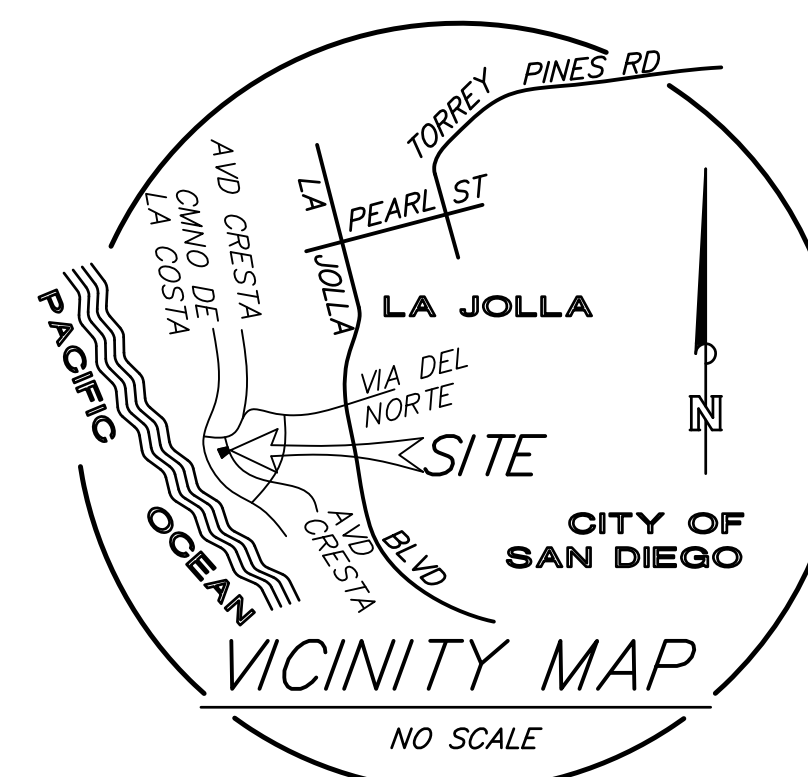


LEGEND

PARCEL BRG AND DIST	N 78°48'15" E 48.25'
RECORD DESCRIPTION	(N 78°48'15" E 48.25')
PROPERTY BOUNDARY	---
RIGHT OF WAY	---
EASEMENT	---
CENTER LINE STREET	---
CABLE TV	---
TELEPHONE CABLE	---
ELECTRICAL CABLE	---
GAS MAIN	---
WATER MAIN (SIZE AS SHOWN)	---
SEWER (SIZE AS SHOWN)	---
RETAINING WALL / WALL	---
EXISTING CONTOUR	(30)

LEGAL

LOT 14, BLOCK 3 OF MAP 1810



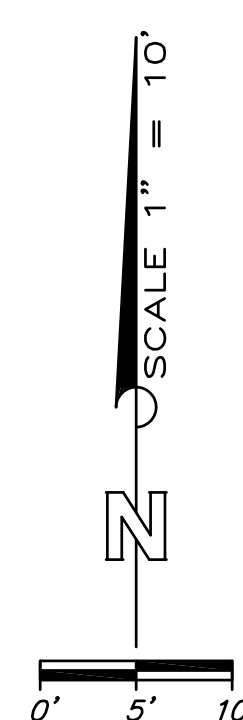
NOTE

THIS MAP OF EXISTING TOPOGRAPHY WAS SURVEYED BASED ON REQUIREMENTS FOR DESIGN OF A SPECIFIC PROJECT AND SOME AREAS MAY HAVE GREATER OR LESSER DETAIL THAN OTHER AREAS BASED ON PROJECT REQUIREMENTS. THIS MAP IS INTENDED FOR USE ONLY AS A DESIGN AID FOR THAT PROJECT. CHANGES IN THE SCOPE, DESIGN OR SIGNIFICANT DELAYS IN DESIGN AND/OR CONSTRUCTION MAY REQUIRE UPDATE OR EXTENSION OF THE TOPOGRAPHY.

THIS IS NOT A SURVEY OF PROPERTY LINES OR A RECORD OF SURVEY AND REPRESENTS ONLY AVAILABLE INFORMATION RELATING TO THE BOUNDARY OF THE PARCEL AND/OR EASEMENTS LINES WHICH ARE INCLUDED TO SHOW THE APPROXIMATE RELATIVE LOCATION OF THESE LINES TO THE TOPOGRAPHIC FEATURES. THE LOCATION OF THE PARCEL AND THE BEARING AND DISTANCES SHOWN ARE BASED ON FOUND MONUMENTS, OR 11791 & MAP 1810 AND MAY VARY FROM THE DEED OR MAP DESCRIPTION. NO MONUMENTS WERE FOUND EXCEPT AS SHOWN AND NO MONUMENTS WERE SET.

EASEMENT INFORMATION PER CALIFORNIA TITLE COMPANY: TITLE REPORT No. 400-1936886-34 DATED 9-11-2018 AND MAP 1810

LOCATION OF UTILITIES SHOWN ON THIS PLAN IS FROM RECORDS PROVIDED BY THE UTILITY COMPANIES AND/OR FROM SURFACE INFORMATION GATHERED DURING THE FIELD SURVEY. THE EXACT LOCATION AND DEPTH OF LINES AND FACILITIES MUST BE DETERMINED BY FIELD EXPLORATION PRIOR TO EXCAVATION. PLEASE CONTACT THESE COMPANIES DIRECTLY FOR MARK-OUT AND LOCATIONS PRIOR TO EXCAVATION.



RINEHART ENGINEERING
6431 CLEEVE WAY SAN DIEGO, CA 92117
FDR@RINEHART-ENGINEERING.COM
(658) 288-8401

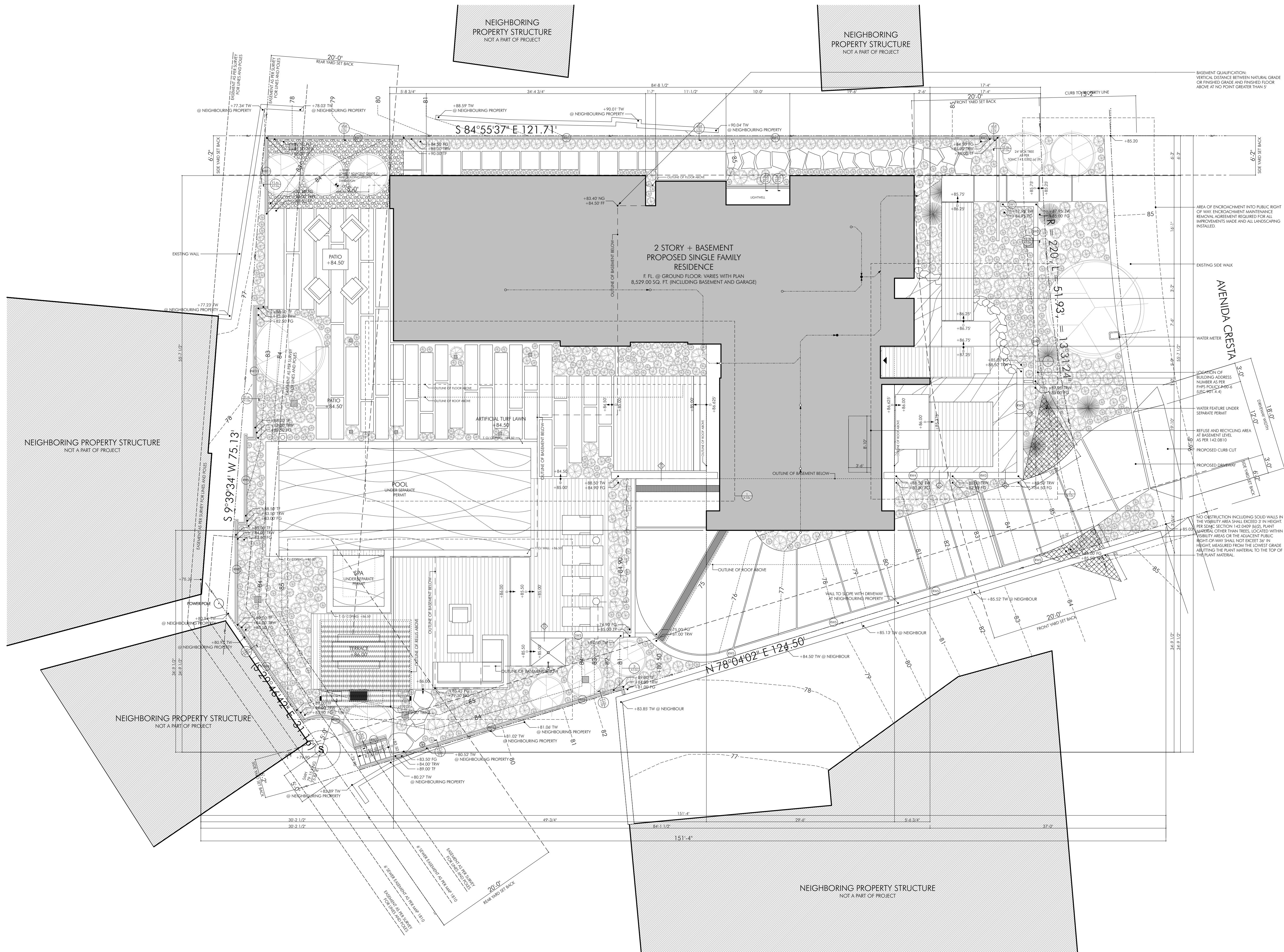
**TOPOGRAPHIC MAP OF
LOT 14, BLOCK 3 OF
MAP 1810**

6216 AVENIDA CUESTA APN: 357-012-13



DATE OF SURVEY: NOV 12, 2018
SURVEYOR: F. DAN RINEHART
DRAWN BY: FDR
SCALE: 1"=10'
JOB NUMBER: 18220T01.DWG
SHEET 1 OF 1

BENCH MARK
DESCRIPTION: BRASS PLUG TOP OF CURB
LOCATION: SW'LY CORNER OF AVENIDA CUESTA AND VIA DEL NORTE
RECORD FROM: CITY OF SAN DIEGO VERTICAL CONTROL
ELEVATION: 84.258 DATUM: SAN DIEGO MEAN SEA LEVEL



CONTRACTOR TO CROSS
REFERENCE DETAIL CALL OUTS OF
FLOOR PLANS, ELEVATIONS AND
SECTIONS AND NOTIFY DESIGN
PROFESSIONAL IF ANY
DISCREPANCIES OCCUR.

SITE PLAN LEGEND

- PROPERTY LINE
- SET BACK LINE
- LINE OF EASEMENT
- LINE OF NATURAL GRADE
- LINE OF FINISHED GRADE
- OUTLINE OF FLOOR ABOVE
- OUTLINE OF ROOF ABOVE
- OUTLINE OF BASEMENT BELOW
- OUTLINE OF EXISTING DRIVEWAY TO BE REMOVED

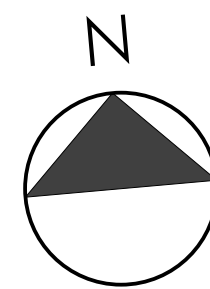
- ELEVATION MARKER
- FG FINISHED GROUND
- NG NATURAL GROUND
- TW TOP OF WALL
- TF TOP OF FENCE
- TP TOP OF PARAPET
- RW RETAINING WALL
- SW SCREEN WALL

SITE PLAN NOTES

- RECONSTRUCT THE DAMAGED EXISTING SIDEWALK AND CURB WITH CURRENT CITY STANDARD SIDEWALK, CURB AND GUTTER, ADJACENT TO SITE.
- CLOSURE OF ALL NON-UTILIZED DRIVEWAYS WITH CURRENT CITY STANDARD CURB, GUTTER AND SIDEWALK.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL INCORPORATE ANY CONSTRUCTION BEST MANAGEMENT PRACTICES NECESSARY TO COMPLY WITH CHAPTER 14, ARTICLE 2, DIVISION 1 (GRADING REGULATIONS) OF THE SAN DIEGO MUNICIPAL CODE, INTO THE CONSTRUCTION PLANS OR SPECIFICATIONS.
- PRIOR TO THE ISSUANCE OF ANY CONSTRUCTION PERMIT, THE OWNER/PERMITTEE SHALL SUBMIT A WATER POLLUTION CONTROL PLAN (WPCP). THE WPCP SHALL BE PREPARED IN ACCORDANCE WITH THE GUIDELINES IN PART 2 CONSTRUCTION BMP STANDARDS CHAPTER 4 OF THE CITY'S STORM WATER STANDARDS.
- EXISTING WATER METER AND SEWER LATERAL SERVICES ARE TO REMAIN.

SITE PLAN DATA:

LOT SIZE:	10,554.00 SQ. FT.
LOT COVERAGE:	3,123.00 SQ. FT. 3,123.00 SQ. FT. / 10,544.00 SQ. FT. = 0.2968 (29.68 %)
LOT AREA FRONT YARD:	1,369.00 SQ. FT.
HARD SCAPE FRONT YARD:	371.00 SQ. FT. 371.00 SQ. FT. / 1,369.00 SQ. FT. = 0.2710 (27.10 %)
LANSCAPE AREA:	LOT SIZE: 10,554.00 SQ. FT. (100.00 %) POOL AREA: 860.00 SQ. FT. (8.15 %) ROOF AREA: 3,652.00 SQ. FT. (34.40 %) PERMIABLE AREA: 3,020.00 SQ. FT. (28.61 %) IMPERMIABLE AREA: 3,022.00 SQ. FT. (28.63 %)



SITE PLAN

1/8" = 1' - 0"

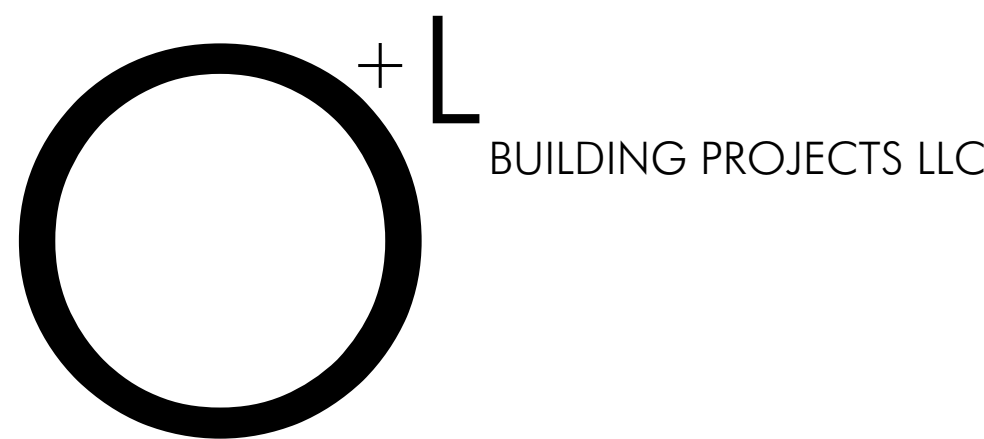
A1.0

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LA JOLLA RESIDENCE # 1806




4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

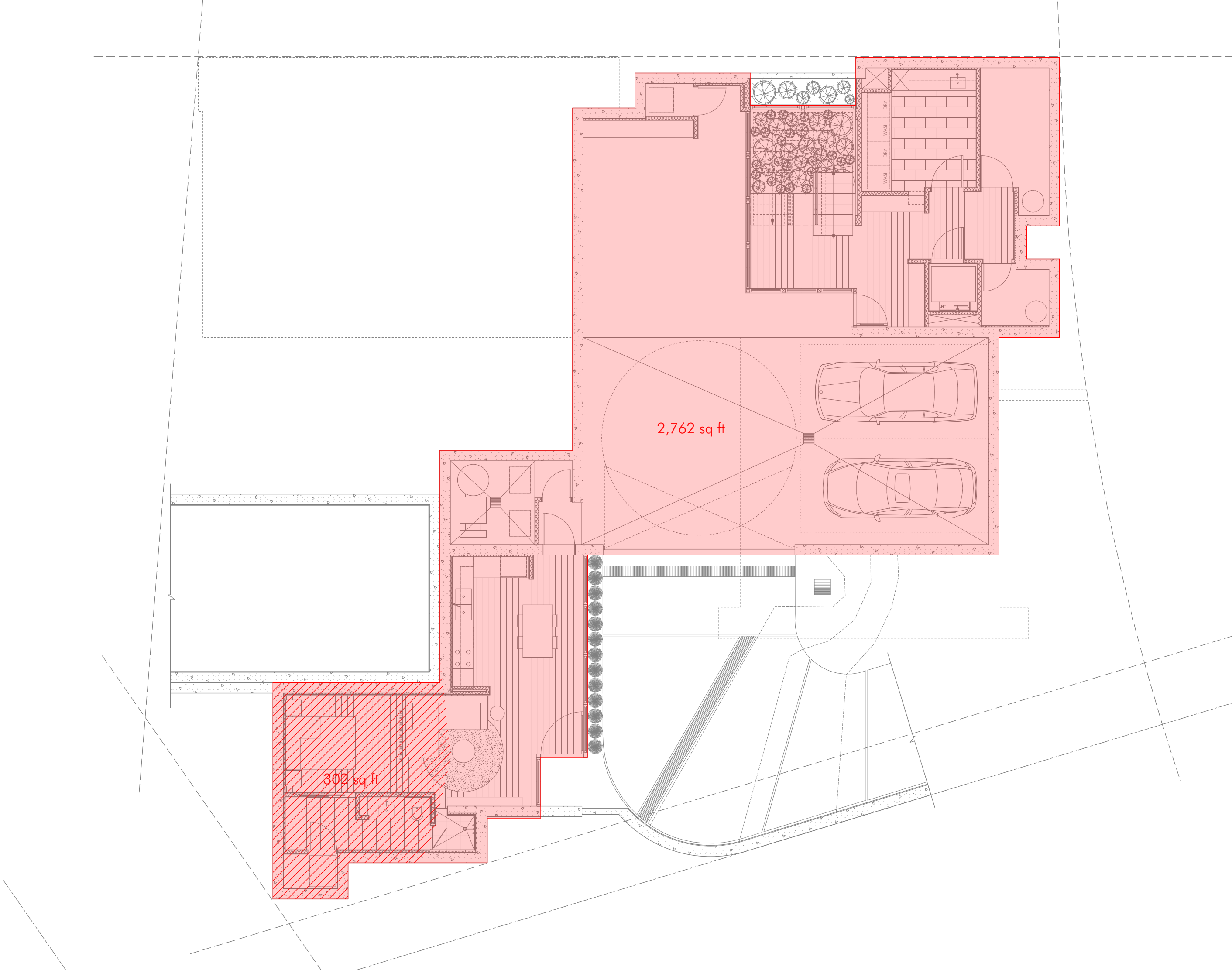
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PROJECT LOG:

Leidy Residence
6216 Avenida Cresta, La Jolla, CA 92037

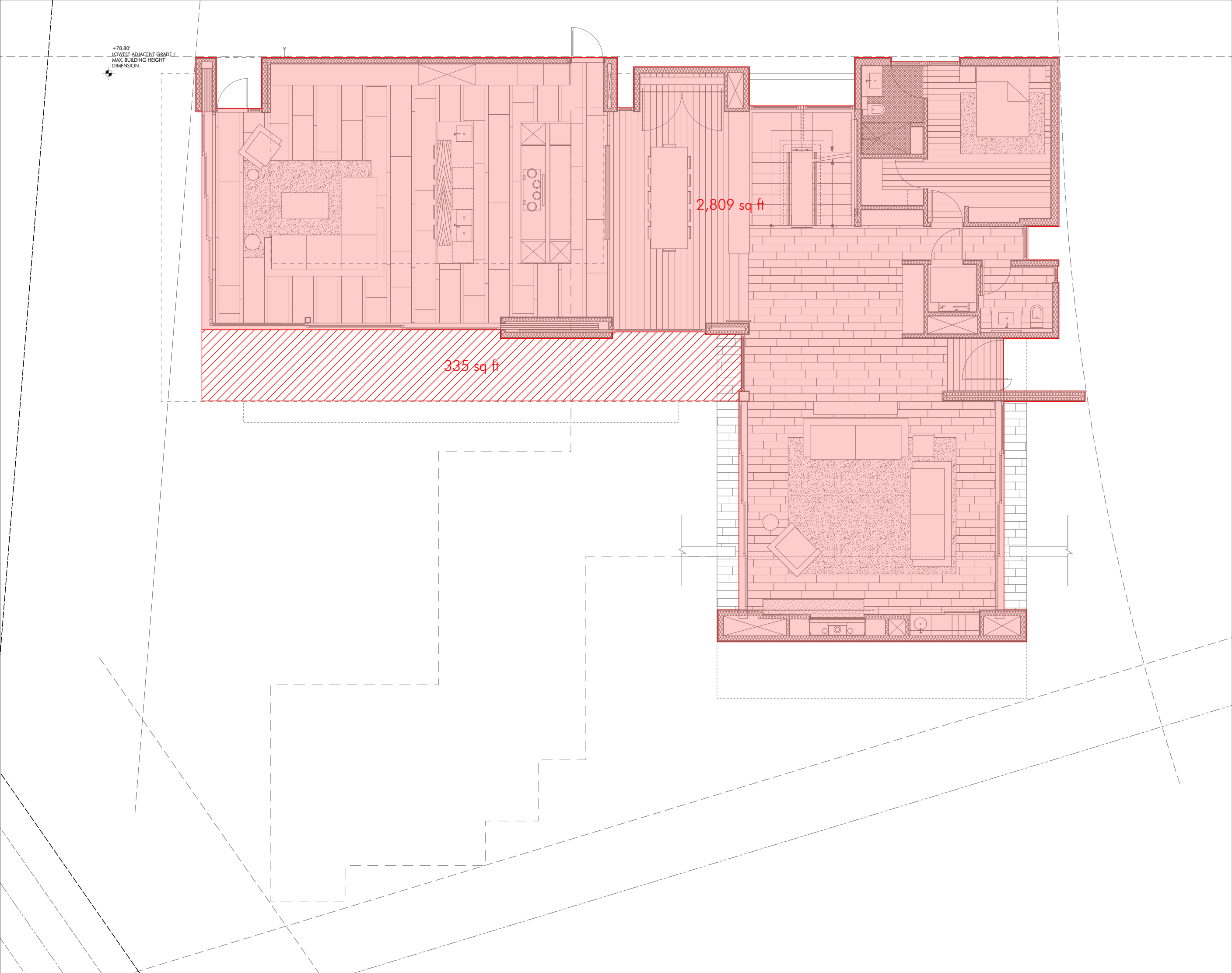
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				<p>A1.0b</p> <p>Sheet No. 16 / 62</p>

/Users/khokur/Dropbox/2018 Projects/1806 La Jolla Residence/1806 Archicad Files/1806 La Jolla Residence.pln 06/07/2021



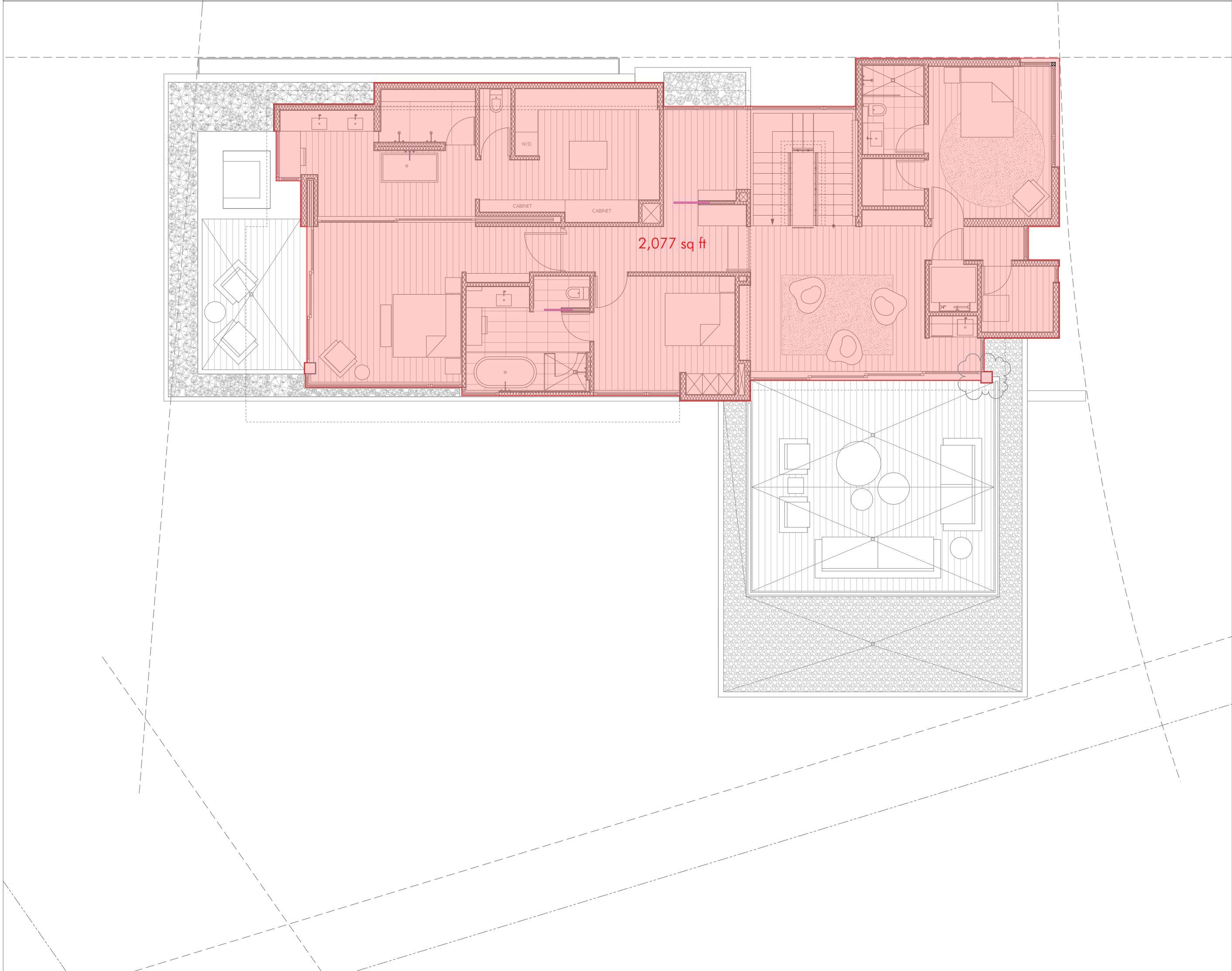
1 | GROSS FLOOR AREA BASEMENT

FLOOR AREA: 2,762.00 SQ. FT.
FLOOR AREA, NOT GFA EXEMPT: 302.00 SQ. FT.
SEE A1.0e FOR CREDITED AREA



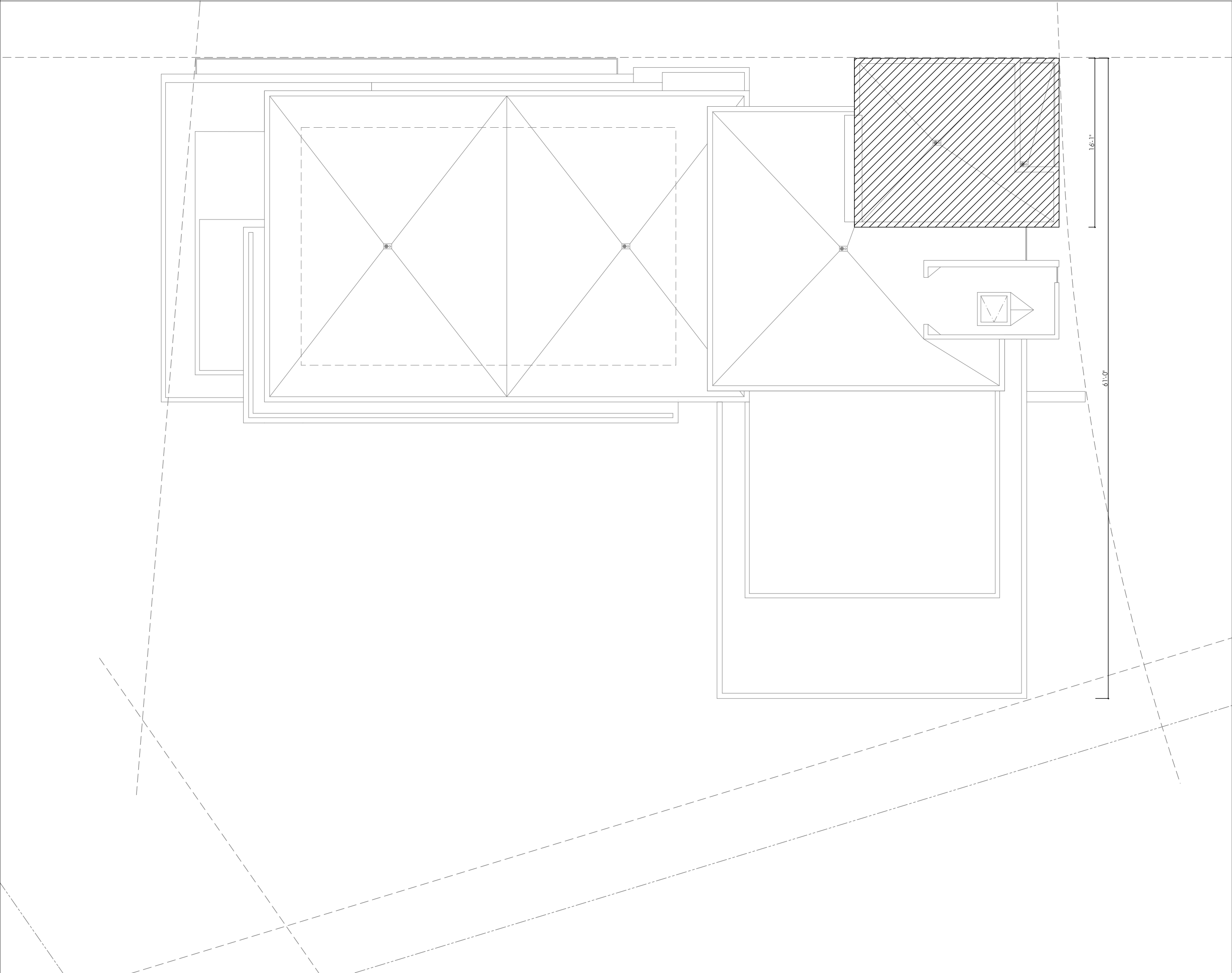
2 | GROSS FLOOR AREA GROUND FLOOR

GFA:
FLOOR AREA: 2,809.00 SQ. FT. (MAIN HOUSE)
AT GRADE AREA: 335.00 SQ. FT.



3 | GROSS FLOOR AREA SECOND FLOOR

GFA:
FLOOR AREA: 2,077.00 SQ. FT.



4 | HEIGHT LIMIT EXCEPTION AS PER 131.0461 (a) (1) (D)

OVERALL LENGTH OF BUILDING: 61'-0" (100.00%)
PENETRATING PART OF BUILDING: 16'-1" (26.35%)
PENETRATION ALLOWED IF < 33%
26.35 % < 33.00%

GROSS FLOOR AREA CALCULATION

ITEM:	PROPOSED:	CREDIT:	TOTAL:
BASEMENT:	2,762.00	2,460.00	302.00
FIRST FLOOR:	2,809.00	0.00	2,809.00
SECOND FLOOR:	2,077.00	0.00	2,077.00
AT GRADE:	335.00	0.00	335.00
TOTAL:	7,983.00	2,460.00	5,523.00

GROSS FLOOR AREA CALCULATIONS:
BASEMENT FLOOR AREA: 2,762.00 SQ. FT. (2,460.00 SQ. FT. EXEMPT)
FIRST FLOOR AREA: 2,809.00 SQ. FT.
SECOND FLOOR AREA: 2,077.00 SQ. FT.
AT GRADE AREA: 335.00 SQ. FT.
TOTAL GROSS FLOOR AREA - PROPOSED FAR: 5,523.00 SQ. FT.
TOTAL LOT AREA: 10,544.00 SQ. FT.
MAX. FAR: 0.54 (54%)
10,544.00 * 0.54 = 5,699.16 SQ. FT.
5,523.00 SQ. FT. < 5,699.16 SQ. FT.

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DIAGRAMS

1/8" = 1' - 0"

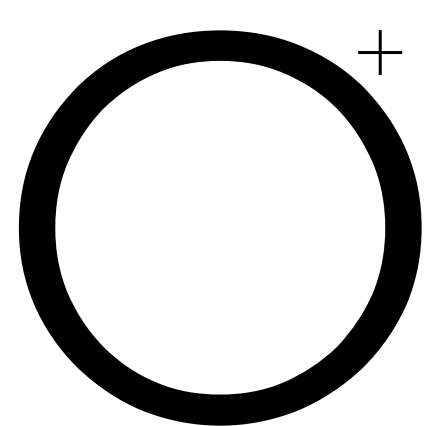
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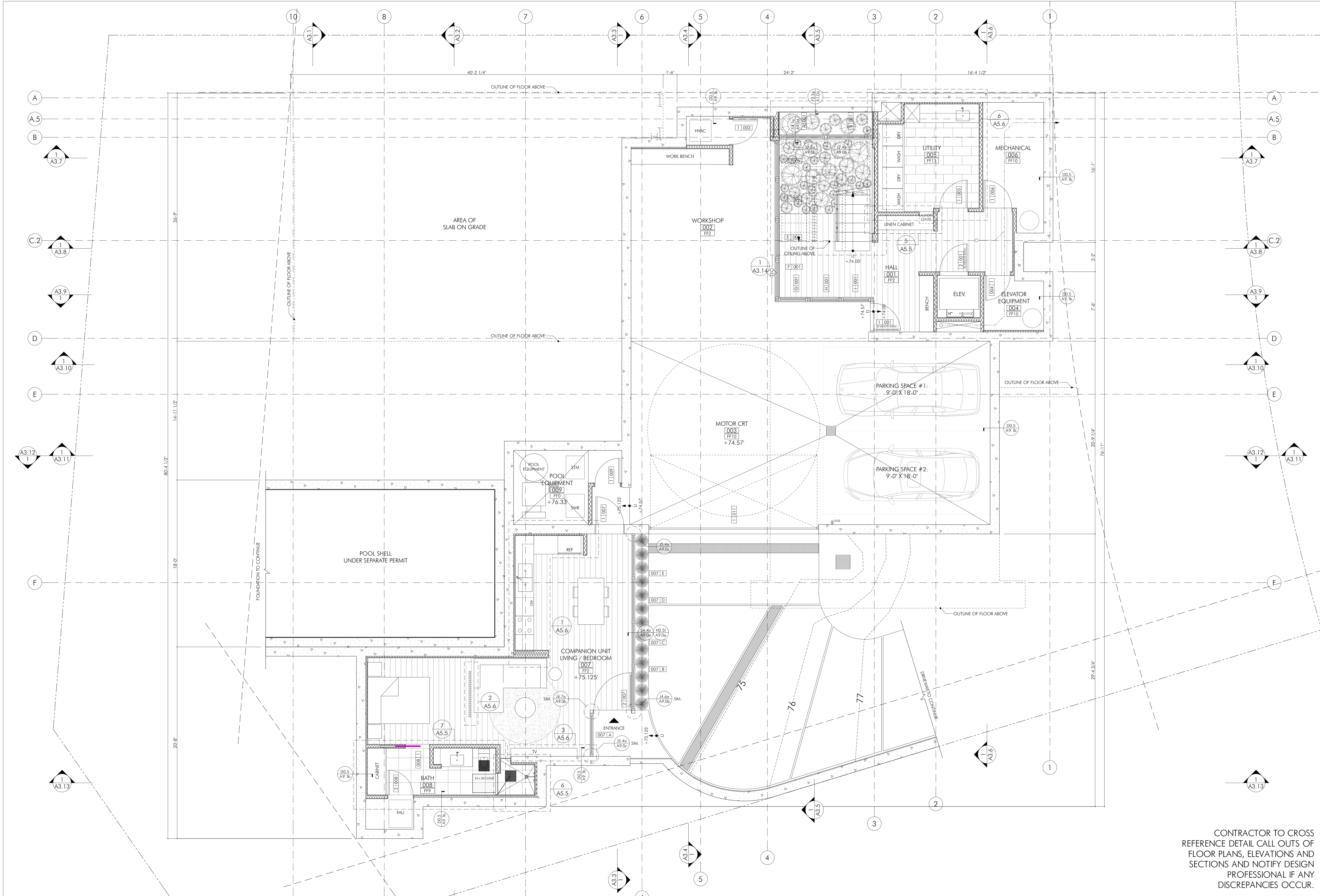
Leidy Residence
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GFA EXEMPTION
DIAGRAM

N.T.S.

A1.0e

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FLOOR PLAN NOTES

1. THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40 AMPERE MINIMUM DEDICATED BRANCH CIRCUIT (AND SPACES) RESERVED TO PERMIT INSTALLATION OF A BRANCH OVER-CURRENT PROTECTIVE DEVICE.

2. THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER-CURRENT PROTECTIVE DEVICES RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

3. WHERE SYMBOL IS PROVIDED IN THE PLAN, THE EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

4. FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.

5. ALL EXPOSED CONCRETE FLOOR WORK SHOWN SHALL BE UNCOLORED SMOOTH CEMENT FINISH TO ACHIEVE A SRI OF 0.3 MIN.

6. VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R609.4.

7. THE MAIN SERVICE PANEL SHALL HAVE A MIN. BUSBAR RATING OF 200 AMPS.

8. THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRICAL INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED FOR AS FUTURE SOLAR ELECTRICAL.

9. ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)

10. ALL PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF TABLE AS 303.2.3.1 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)

11. ALL APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTION AS 303.3 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)

12. ALL APPLIANCES PROVIDED ARE TO BE ENERGY STAR COMPLIANT. ALL LIGHT FIXTURES ARE TO BE HIGH EFFICIENCY FIXTURES.

ELECTRICAL SYMBOLS

COMBO SMOKE / CO DETECTOR: HARD WIRE AND BATTERY BACK-UP - WITH LOW BATTERY SIGNAL

FLOOR PLAN LEGEND

Exhaust Fan

Wall Tags, see T1.5a and T1.5b for Wall Schedule

For Details see A9.0 and A9.1

H Window Heads

J Window Jambes

S Window Sills

P Porcupets

R Guard Rails

F Site Walls and Fences

K Skylights

SIM. Similar

TP Top of Porcupet

T.S. Top of Slope

U Step(s) Up

D Step(s) Down

Drain

Entry

Combo Smoke / CO Detector

KITCHEN Room Label with Room Number and Finish Floor Material

Door Label

Window Label

1" = 1'

Roof Drain from Floor above

Roof Drain

Interior Elevation Tag, see A5.0 to A5.5

FLOOR PLAN DATA:

BASEMENT FLOOR AREA: 2,762.00 SQ. FT.

N

CONTRACTOR TO CROSS
REFERENCE DETAIL CALL OUTS OF
FLOOR PLANS, ELEVATIONS AND
SECTIONS AND NOTIFY DESIGN
PROFESSIONAL IF ANY
DISCREPANCIES OCCUR.

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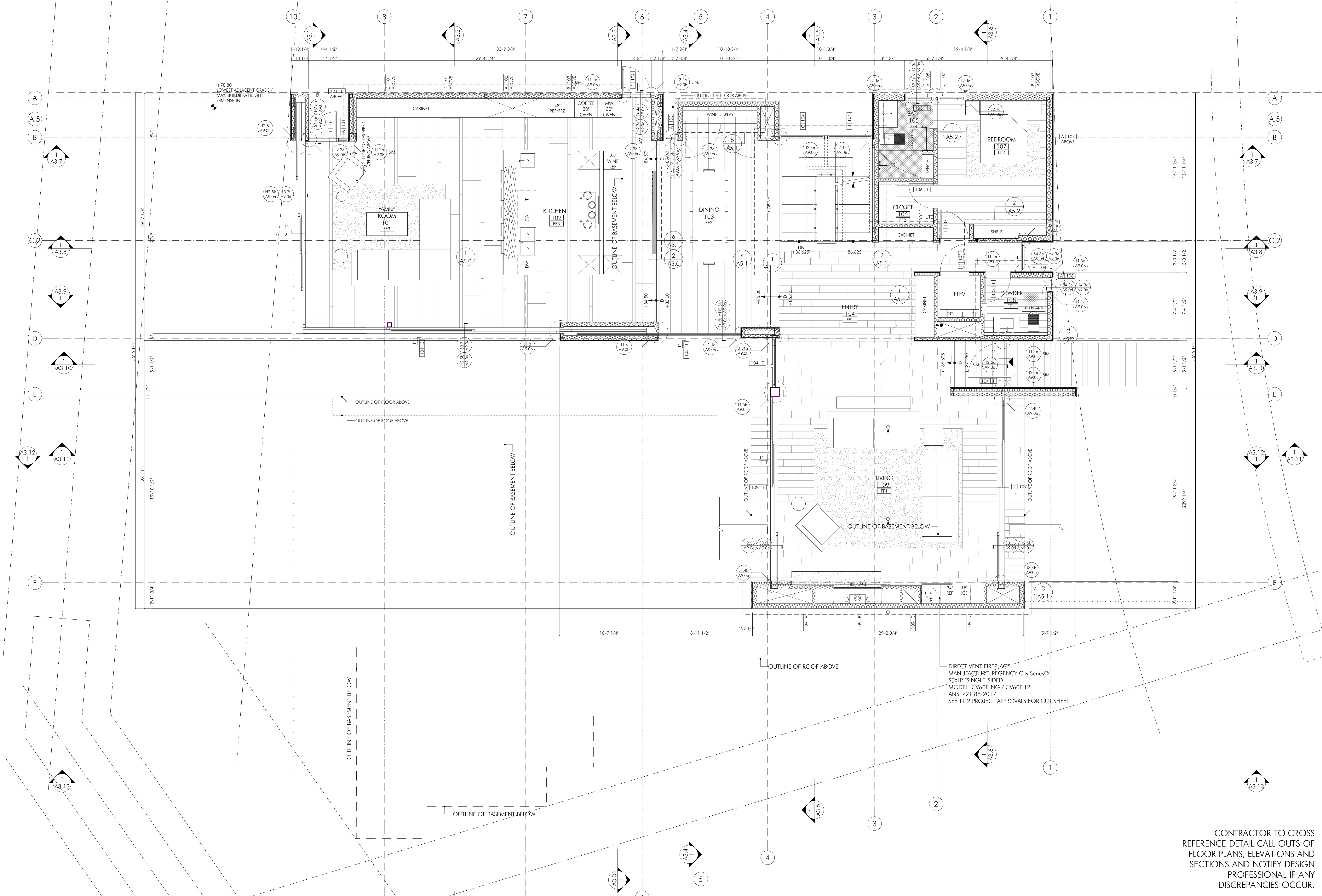
6216 Avenida Cresta, La Jolla, CA 92037

BASEMENT FLOOR PLAN

1/4" = 1' - 0"

A1.1

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FLOOR PLAN NOTES

- THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40 AMPERE MINIMUM DEDICATED BRANCH CIRCUIT (AND SPACES) RESERVED TO PERMIT INSTALLATION OF A BRANCH OVER-CURRENT PROTECTIVE DEVICE.
- THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER-CURRENT PROTECTIVE DEVICES RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.
- WHERE SYMBOL IS PROVIDED IN THE PLAN, THE EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.
- FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.
- ALL EXPOSED CONCRETE FLAT WORK SHOWN SHALL BE UNCOLORED SMOOTH CEMENT FINISH TO ACHIEVE A SRI OF 0.3 MIN.
- VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R609.4.
- THE MAIN SERVICE PANEL SHALL HAVE A MIN. BUSBAR RATING OF 200 AMPS.
- THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRICAL INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED FOR AS "FOR FUTURE SOLAR ELECTRIC".
- ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)
- ALL PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF TABLE A5.303.2.3.1 VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE.
- ALL APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTION A5.303.3 VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE.
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ELECTRICAL SYMBOLS

COMBO SMOKE / CO DETECTOR: HARD WIRE AND BATTERY BACK-UP - WITH LOW BATTERY SIGNAL

FLOOR PLAN LEGEND

Exhaust Fan

Wall Tags, see T1.5a and T1.5b for Wall Schedule

For Details see A9.0 and A9.1

1 Window Heads
J Window Jambes
S Window Sills
P Porcupets
R Guard Rails
F Site Walls and Fences
K Skylights

SIM. Similar
T.P. Top of Porcupet
T.S. Top of Slope

1 Step(s) Up
1 Step(s) Down
Drain
Entry
Combo Smoke / CO Detector

KITCHEN Room Label with Room Number and Finish Floor Material

1 | 000 Door Label
A | 000 Window Label

1" 1"
Roof Drain from Floor above
Roof Drain
Interior Elevation Tag, see A5.0 to A5.5

FLOOR PLAN DATA:

GROUND FLOOR AREA: 2,809.00 SQ. FT.
AT GRADE AREA: 335.00 SQ.FT

CONTRACTOR TO CROSS REFERENCE DETAIL CALL OUTS OF FLOOR PLANS, ELEVATIONS AND SECTIONS AND NOTIFY DESIGN PROFESSIONAL IF ANY DISCREPANCIES OCCUR.

N

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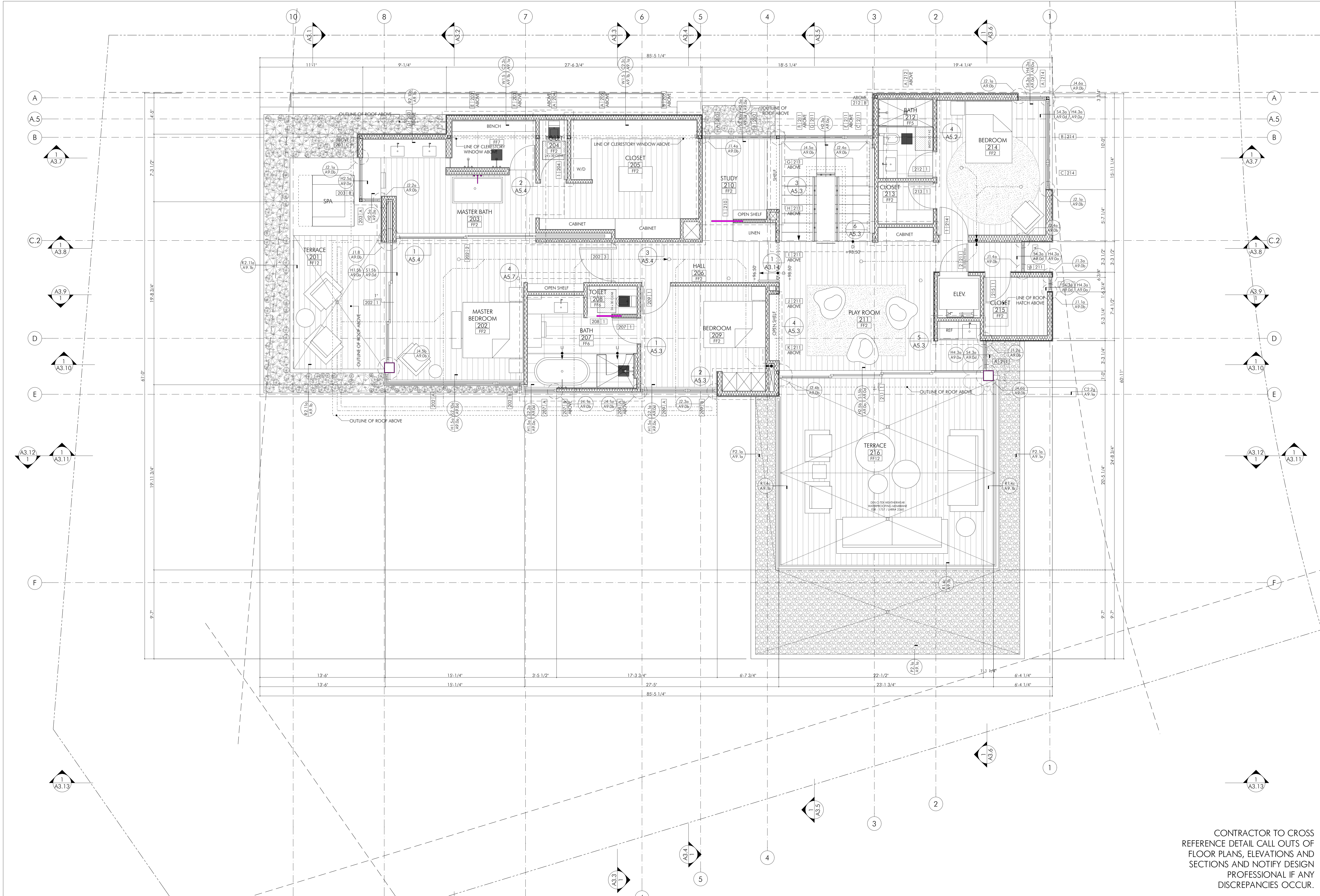
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GROUND FLOOR PLAN

1/4" = 1' - 0"

A1.2

Sheet No. 20 / 62



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- ALL PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF TABLE AS 303.2.3.1 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)
- ALL APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTION AS 303.3 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)
- ALL APPLIANCES PROVIDED ARE TO BE ENERGY STAR COMPLIANT. ALL LIGHT FIXTURES ARE TO BE HIGH EFFICIENCY FIXTURES.

ELECTRICAL SYMBOLS

COMBO SMOKE / CO DETECTOR: HARD WIRE AND BATTERY BACK-UP - WITH LOW BATTERY SIGNAL

FLOOR PLAN LEGEND

Exhaust Fan

Wall Tags, see T1.5a and T1.5b for Wall Schedule

For Details see A9.0 and A9.1

1 Window Jamb

5 Window Sills

P Porch

R Guard Rail

S Site Walls and Fences

K Skylights

SIM. Similar

TP Top of Porch

T.S. Top of Slope

U Step(s) Up

D Step(s) Down

Drain

Entry

Combo Smoke / CO Detector

KITCHEN Room Label with Room Number and Finish Floor Material

1 | 000 Door Label

A | 000 Window Label

1" 1" = 1' - 0"

Roof Drain from Floor above

Roof Drain

Interior Elevation Tag, see A5.0 to A5.5

FLOOR PLAN DATA:

GROUND FLOOR AREA: 2,077.00 SQ. FT.

CONTRACTOR TO CROSS REFERENCE DETAIL CALL OUTS OF FLOOR PLANS, ELEVATIONS AND SECTIONS AND NOTIFY DESIGN PROFESSIONAL IF ANY DISCREPANCIES OCCUR.

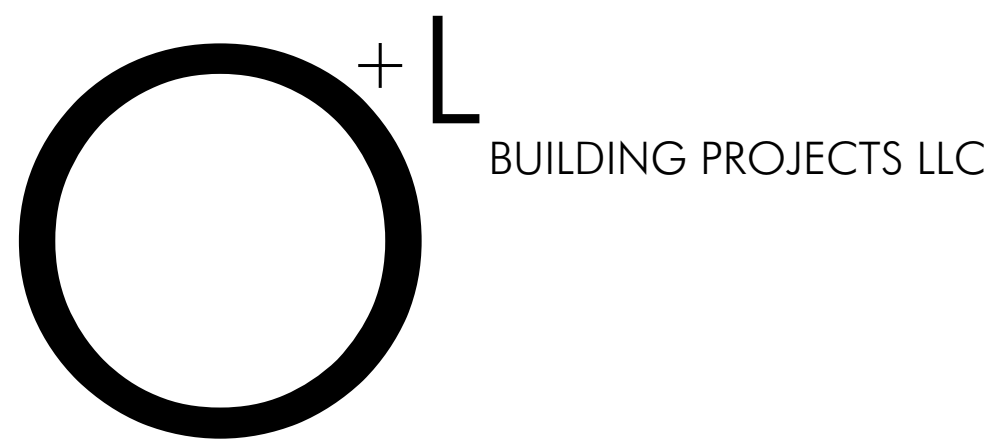
SECOND FLOOR PLAN

1/4" = 1' - 0"

A1.3

Sheet No.21a/ 62

All the material contained within these documents are property to O+L BUILDING PROJECTS LLC and Daryl Olesinski and are furnished in confidence for the purpose of evaluation, bidding and construction of the building described. All other uses are prohibited and any reuse or release, required written permission by O+L BUILDING PROJECTS LLC and Daryl Olesinski. Any discrepancies found between the existing and described information provided shall be reported to O+L BUILDING PROJECTS LLC.

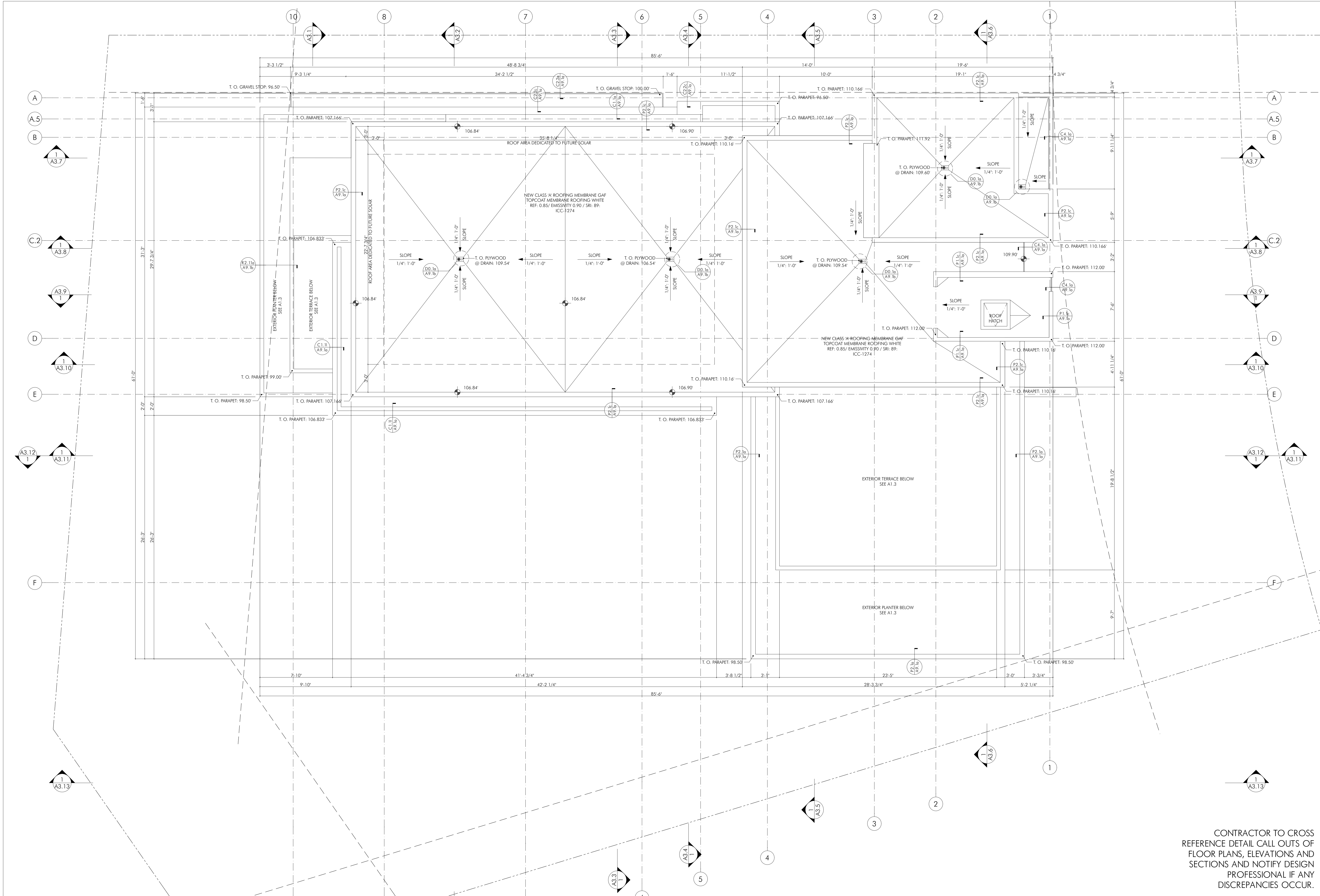


4509 Grand View Blvd. Los Angeles, CA 90066 p: (310) 390 1650

06.09.2021: CDP Hearing
05.12.2021: CDP Hearing
11.19.2020: Bid Documents
12.10.2019: La Jolla Permit Review Committee Meeting
05.20.2019: Issue to Consultants
05.10.2019: Design Development 1
02.11.2019: Preliminary Design Presentation
02.11.2019: Original Drawing Preparation Date

PROJECT LOG:

Leidy Residence
6216 Avenida Cresta, La Jolla, CA 92037



FLOOR PLAN NOTES

1.

THE PANEL OR SUB-PANEL SHALL PROVIDE CAPACITY TO INSTALL A 40 AMPERE MINIMUM DEDICATED BRANCH CIRCUIT AND SPACE(S) RESERVED TO PERMIT INSTALLATION OF A BRANCH OVER-CURRENT PROTECTIVE DEVICE.

2.

THE SERVICE PANEL OR SUB-PANEL CIRCUIT DIRECTORY SHALL IDENTIFY THE OVER-CURRENT PROTECTIVE DEVICE SPACE(S) RESERVED FOR FUTURE EV CHARGING AS EV CAPABLE. THE RACEWAY TERMINATION LOCATION SHALL BE PERMANENT AND VISIBLY MARKED EV CAPABLE.

3.

WHERE SYMBOL IS PROVIDED IN THE PLAN, THE EXHAUST FAN SHALL BE ENERGY STAR COMPLIANT AND BE DUCTED TO TERMINATE TO THE OUTSIDE OF THE BUILDING.

4.

FANS NOT FUNCTIONING AS A COMPONENT OF A WHOLE HOUSE VENTILATION SYSTEM MUST BE CONTROLLED BY A HUMIDITY CONTROL.

5.

ALL EXPOSED CONCRETE FLAT WORK SHOWN SHALL BE UNCOLORED SMOOTH CEMENT FINISH TO ACHIEVE A SRI OF 0.3 MIN.

6.

VEHICULAR ACCESS DOORS SHALL COMPLY WITH SECTION R609.4.

7.

THE MAIN SERVICE PANEL SHALL HAVE A MIN. BUSBAR RATING OF 200 AMPS.

8.

THE MAIN ELECTRICAL SERVICE PANEL SHALL HAVE A RESERVED SPACE TO ALLOW FOR INSTALLATION OF A DOUBLE POLE CIRCUIT BREAKER FOR A FUTURE SOLAR ELECTRICAL INSTALLATION. THE RESERVED SPACE SHALL BE POSITIONED AT THE OPPOSITE (LOAD) END FROM THE INPUT FEEDER LOCATION OR MAIN CIRCUIT LOCATION AND SHALL BE PERMANENTLY MARKED FOR AS FUTURE SOLAR ELECTRICAL.

9.

ALL INTERIOR AND EXTERIOR STAIRWAYS SHALL BE ILLUMINATED. (R303.7 & R303.8)

10.

ALL PLUMBING FIXTURES SHALL MEET THE REQUIREMENTS OF TABLE AS 303.2.3.1 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)

11.

ALL APPLIANCES SHALL MEET THE REQUIREMENTS OF SECTION AS 303.3 (VOLUNTARY MEASURES OF THE CALIFORNIA GREEN STANDARDS CODE)

12.

ALL APPLIANCES PROVIDED ARE TO BE ENERGY STAR COMPLIANT. ALL LIGHT FIXTURES ARE TO BE HIGH EFFICIENCY FIXTURES.

ELECTRICAL SYMBOLS

COMBO SMOKE / CO DETECTOR: HARD WIRE AND BATTERY BACK-UP - WITH LOW BATTERY SIGNAL

FLOOR PLAN LEGEND

Exhaust Fan

A3.10

1

For Details see A9.0 and A9.1

1

Window Heads

2

Window Jambes

3

Window Sills

4

Purports

5

Guard Rails

6

Site Walls and Fences

7

Skylights

SIM.

Similar

TP

Top of Parapet

T.S.

Top of Slope

U

Step(s) Up

D

Step(s) Down

Drain

Entry

Combo Smoke / CO Detector

KITCHEN

Room Label with Room Number and Finish Floor Material

1 | 000

Door Label

A | 000

Window Label

1"

1"

O

Roof Drain from Floor above

Roof Drain

2

A5.0

Interior Elevation Tag, see A5.0 to A5.5

CONTRACTOR TO CROSS REFERENCE DETAIL CALL OUTS OF FLOOR PLANS, ELEVATIONS AND SECTIONS AND NOTIFY DESIGN PROFESSIONAL IF ANY DISCREPANCIES OCCUR.

N

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LA JOLLA RESIDENCE # 1806

06.09.2021:

CDP Hearing

05.12.2021:

CDP Hearing

11.19.2020:

Bid Documents

12.10.2019:

La Jolla Permit Review Committee Meeting

05.20.2019:

Issue to Consultants

05.10.2019:

Design Development 1

02.11.2019:

Preliminary Design Presentation

02.11.2019:

Original Drawing Preparation Date

PROJECT LOG:

ROOF TOP PLAN

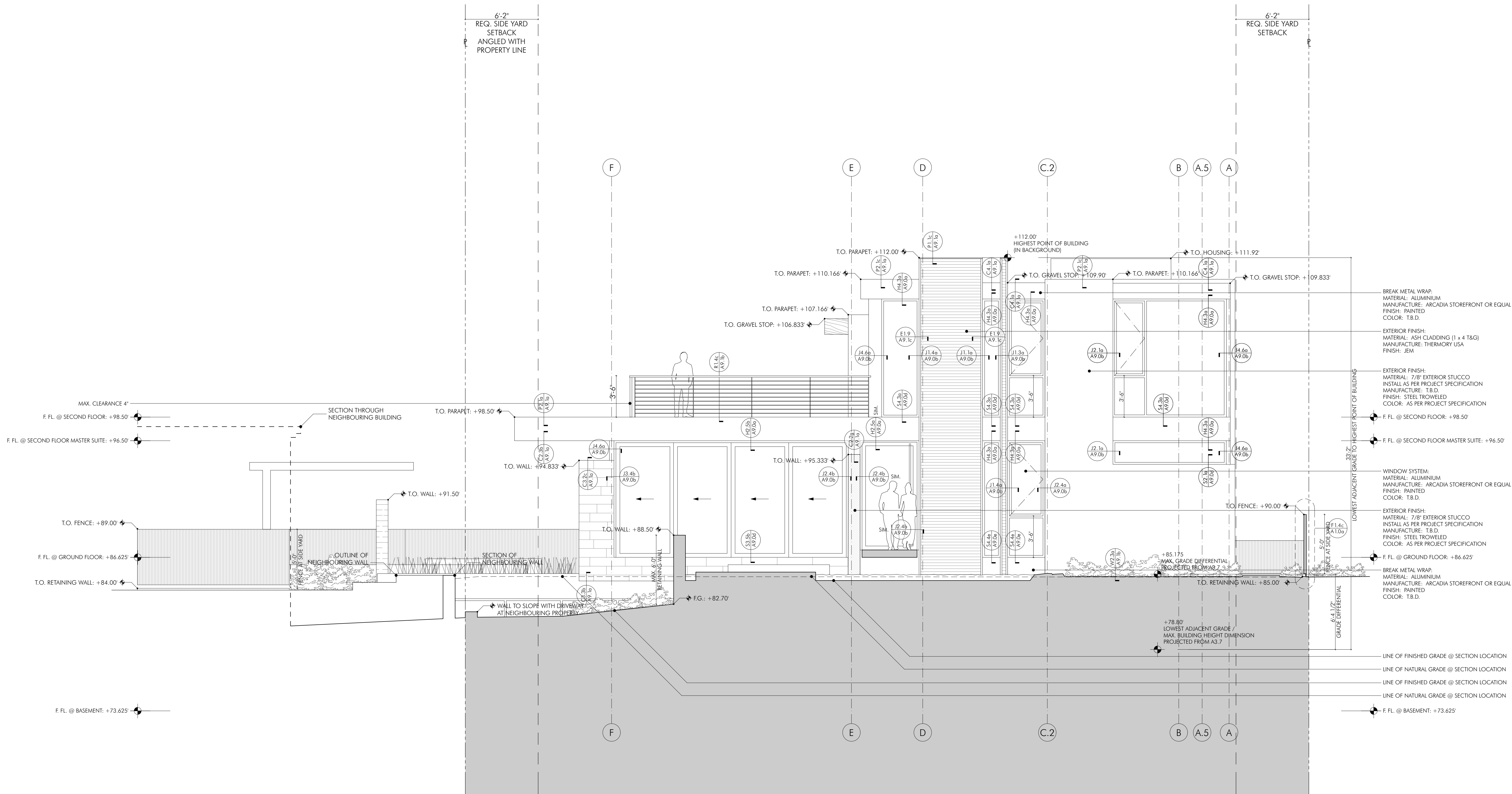
1/4" = 1' - 0"

A1.4

Sheet No.21b/ 62



/Users/khahur/Dropbox/2018 Projects/1806 La Jolla Residence/1806 Archicad Files/1806 La Jolla Residence/1806 Project Drawing files/1806 La Jolla Residence.pln 06/07/2021

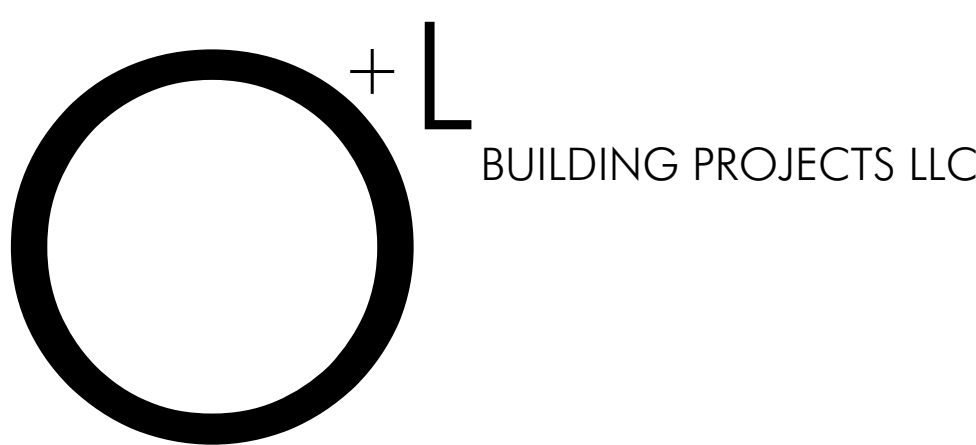


CONTRACTOR TO CROSS
REFERENCE DETAIL CALL OUTS OF
FLOOR PLANS, ELEVATIONS AND
SECTIONS AND NOTIFY DESIGN
PROFESSIONAL IF ANY
DISCREPANCIES OCCUR.

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LA JOLLA RESIDENCE # 1806



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PROJECT LOG:


Leidy Residence
6216 Avenida Cresta, La Jolla, CA 92037

EAST ELEVATION

1/4" = 1' - 0"

A2.1

Sheet No. 24 / 62

[illegible]

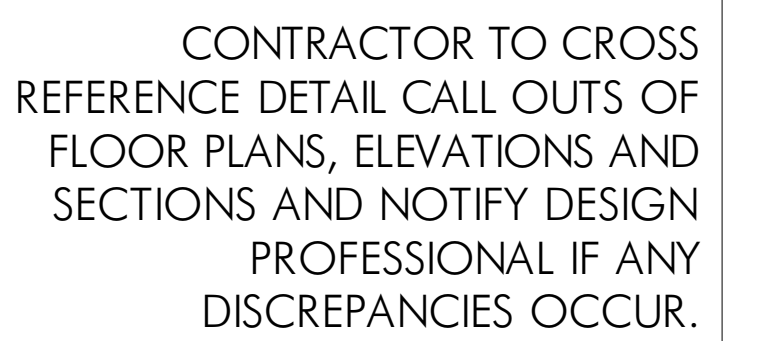
PROJECT LOG:

CONTRACTOR TO CROSS
REFERENCE DETAIL CALL OUTS OF
FLOOR PLANS, ELEVATIONS AND
SECTIONS AND NOTIFY DESIGN
PROFESSIONAL IF ANY
DISCREPANCIES OCCUR.

$$1/4'' = 1' - 0''$$

A2.2

Sheet No. 25 / 62



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PROJECT LOG:

Sheet No. 26 / 62

GENERAL NOTES

1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
2. UPON ISSUANCE OF A PERMIT, NO WORK WILL BE PERMITTED ON WEEKENDS OR HOLIDAYS UNLESS APPROVED BY TRAFFIC CONTROL PERMIT FROM THE DEVELOPMENT SERVICES DEPARTMENT.
3. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE PERMIT HOLDER OR OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
4. IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE (800) 422-4133, TWO DAYS BEFORE YOU DIG.
5. CONTRACTOR SHALL BE RESPONSIBLE FOR POTHOLING AND LOCATING ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE WHILE MAINTAINING A 1 FOOT VERTICAL CLEARANCE.
6. "PUBLIC IMPROVEMENT SUBJECT TO DESUETUDE OR DAMAGE." IF REPAIR OR REPLACEMENT OF SUCH PUBLIC IMPROVEMENTS IS REQUIRED, CONTRACTOR SHALL OBTAIN THE REQUIRED PERMITS FOR WORK IN THE PUBLIC RIGHT-OF-WAY, SATISFACTORY TO THE PERMIT ISSUING AUTHORITY.
7. DEVIATIONS FROM THESE SIGNED PLANS WILL NOT BE ALLOWED UNLESS A CONSTRUCTION CHANGE IS APPROVED BY THE CITY ENGINEER OR THE CHANGE IS REQUIRED BY THE RESIDENT ENGINEER.
8. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUITS, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
9. PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRECONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO, CONSTRUCTION MANAGEMENT AND FIELD SERVICES DIVISION (858) 627-3200.
10. CONTRACTOR SHALL ONLY PERFORM SITE SURVEY AND UTILITY MARK OUT SERVICES PRIOR TO THE PRECONSTRUCTION MEETING.
11. CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
12. CONTRACTOR SHALL HAVE EMERGENCY MATERIAL AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHERE FLOW MAY INCREASE EROSION AND SEDIMENT POLLUTION.
13. AN AS-GRADED GEOTECHNICAL REPORT AND SET OF THE REDLINE "AS-BUILT" GRADING PLANS SHALL BE SUBMITTED TO AREA 3 ON THE THIRD FLOOR OF DEVELOPMENT SERVICES WITHIN 30 CALENDAR DAYS OF THE COMPLETION OF GRADING. AN ADDITIONAL SET SHALL BE PROVIDED TO THE RESIDENT ENGINEER OF THE CONSTRUCTION MANAGEMENT & FIELD SERVICES DIVISION AT 9573 CHESAPEAKE DRIVE, SAN DIEGO, CA 92123.
14. "AS-BUILT" DRAWINGS MUST BE SUBMITTED TO THE RESIDENT ENGINEER PRIOR TO ACCEPTANCE OF THIS PROJECT BY THE CITY OF SAN DIEGO.
15. MANHOLES AND PULL BOX COVER SHALL BE LABELED WITH NAME OF COMPANY.
16. CONTRACTOR SHALL PROVIDE RED-LINES DRAWINGS IN ACCORDANCE WITH 2-5.4 OF THE WHITEBOOK, "RED-LINES AND RECORD DOCUMENTS."
17. CONTRACTOR SHALL MAINTAIN A MINIMUM OF 1 FOOT VERTICAL SEPARATION TO ALL UTILITIES UNLESS OTHERWISE SPECIFIED ON THE PLANS.

18. CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SOGAE, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.

19. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.

20. PRIOR TO CONSTRUCTION, SURVEY MONUMENTS (HORIZONTAL AND VERTICAL) THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE TIED-OUT AND REFERENCED BY A LAND SURVEYOR.

21. UPON COMPLETION OF CONSTRUCTION, ALL DESTROYED SURVEY MONUMENTS ARE REQUIRED TO BE REPLACED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE PREPARED AND FILED WITH THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYOR ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.

MONUMENT PRESERVATION CERTIFICATION

THE PERMITTEE SHALL BE RESPONSIBLE FOR THE COST OF REPLACING ALL SURVEY MONUMENTS DESTROYED BY CONSTRUCTION. IF A VERTICAL CONTROL MONUMENT IS TO BE DISTURBED OR DESTROYED, THE CITY OF SAN DIEGO FIELD SURVEY SECTION SHALL BE NOTIFIED IN WRITING AT LEAST 7 DAYS PRIOR TO DEMOLITION/CONSTRUCTION.

- ☐ THE TYPE OF CONSTRUCTION WILL NOT AFFECT ANY SURVEY MONUMENTS (THIS LINE IS FOR PROJECTS THAT ARE PROPOSING NO DEMOLITION, TRENCHING, ASSOCIATED WITH A CIP, ETC)

NAME	DATE
------	------

PRIOR TO PERMIT ISSUANCE, THE PERMITTEE SHALL RETAIN THE SERVICE OF A PROFESSIONAL LAND SURVEYOR OR CIVIL ENGINEER AUTHORIZED TO PRACTICE LAND SURVEYING WHO WILL BE RESPONSIBLE FOR MONUMENT PRESERVATION AND SHALL PROVIDE A CORNER RECORD OR RECORD OF SURVEY TO THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT, IF APPLICABLE. (SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA)

I HAVE INSPECTED THE SITE AND DETERMINED THAT:

- ☐ NO SURVEY MONUMENTS WERE FOUND WITHIN THE LIMITS OF WORK
- ☐ SURVEY MONUMENTS EXISTING IN OR NEAR LIMITS OF WORK WILL BE PROTECTED IN PLACE
- ☐ SURVEY MONUMENTS HAVE BEEN TIED OUT AND A FINAL OR PARCEL MAP WILL BE FILED (NO CORNER RECORD OR RECORD OF SURVEY WILL BE REQUIRED)
- ☐ OTHER AGENCY SURVEY MONUMENT (CORNER RECORD OR RECORD OF SURVEY MAY NOT BE REQUIRED). AGENCY HAS BEEN NOTIFIED OF POSSIBLE MONUMENT DESTRUCTION AND A LETTER PROVIDED TO CITY
- ☐ A PRE-CONSTRUCTION CORNER RECORD (OR RECORD OF SURVEY) FOR SURVEY MONUMENTS FOUND WITHIN THE LIMITS OF WORK HAS BEEN FILED.

CORNER RECORD #_____ OR RECORD OF SURVEY #_____

ALLEN R. A. TURNER, III	L.S. 7844	EXP. 12-31-20	DATE
-------------------------	-----------	---------------	------

POST CONSTRUCTION CORNER RECORD (AS-BUILT ITEM)

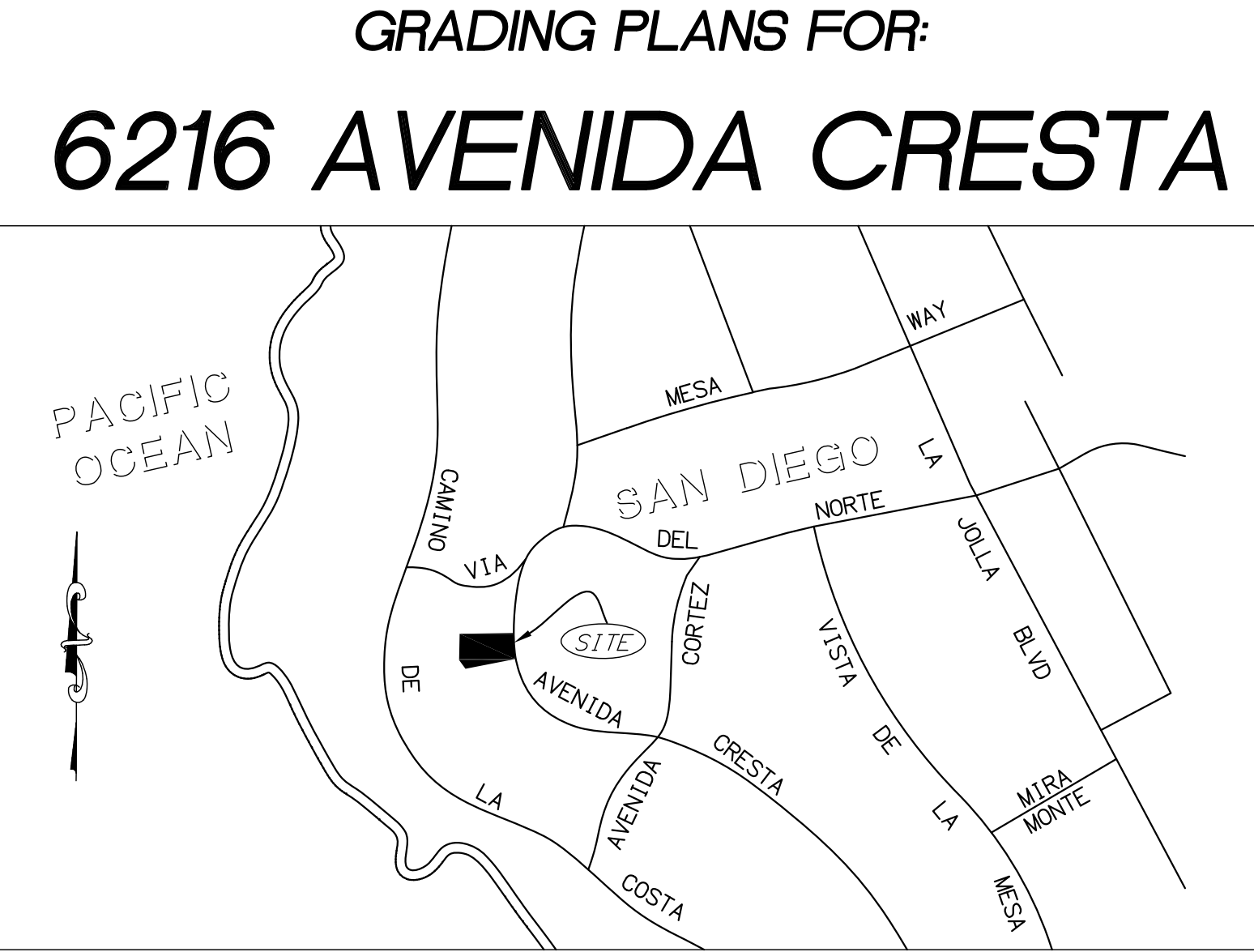
- ☐ POST CONSTRUCTION CORNER RECORD FOR SURVEY MONUMENTS DESTROYED DURING CONSTRUCTION AND REPLACED AFTER CONSTRUCTION.

CORNER RECORD #_____ OR RECORD OF SURVEY #_____

ALLEN R. A. TURNER, III	L.S. 7844	EXP. 12-31-20	DATE
-------------------------	-----------	---------------	------



KAPPA SURVEYING & ENGINEERING, INC.
8707 LA MESA BOULEVARD, LA MESA, CA 91942
(619) 465-8948 FAX: (619) 465-6410



VICINITY MAP

NO SCALE

GRADING + GEOTECHNICAL SPECIFICATIONS

1. ALL GRADING SHALL BE CONDUCTED UNDER THE OBSERVATION AND TESTING BY A QUALIFIED PROFESSIONAL ENGINEER AND, IF REQUIRED, A QUALIFIED PROFESSIONAL GEOLOGIST. ALL GRADING MUST BE PERFORMED IN ACCORDANCE WITH APPLICABLE CITY ORDINANCE AND THE RECOMMENDATIONS AND SPECIFICATIONS SET FORTH IN THE PRELIMINARY GEOTECHNICAL INVESTIGATION REPORT(S) ENTITLED:

REPORT TITLE, PROJECT NAME, PROJECT LOCATION, PREPARED BY (COMPANY NAME), DATED (THEIR COMPANY PROJECT NO.)

THESE DOCUMENTS WILL BE FILED IN THE RECORDS SECTION OF DEVELOPMENT SERVICES UNDER THE PROJECT NUMBER INDICATED IN THE TITLE BLOCK OF THESE PLANS.

2. ALL FILL SOIL SHALL BE COMPACTED TO A MINIMUM OF 90% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY THE MOST RECENT VERSION OF A.S.T.M. D-1557 OR AN APPROVED ALTERNATIVE STANDARD.

3. AT THE COMPLETION OF THE GRADING OPERATIONS FOR THE EARTHWORK SHOWN ON THIS PLAN, AN AS-GRADED GEOTECHNICAL REPORT SHALL BE PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO GUIDELINES FOR GEOTECHNICAL REPORTS. THE FINAL "AS-GRADED" GEOTECHNICAL REPORT SHALL BE SUBMITTED IN ACCORDANCE WITH THE GENERAL NOTES ON THESE PLANS WITHIN 30 DAYS OF THE COMPLETION OF GRADING. WHERE GEOLOGIC INSPECTION IS INDICATED IN THE PERMIT, PLANS, SPECIFICATIONS, OR GEOTECHNICAL REPORT(S), THE FINAL "AS-GRADED" GEOTECHNICAL REPORT MUST ALSO BE REVIEWED AND SIGNED BY A QUALIFIED PROFESSIONAL GEOLOGIST.

4. THE COMPANY OR COMPANIES REPRESENTED BY THE INDIVIDUALS SIGNING ITEM NO. 5 OF THIS CERTIFICATE IS/ARE THE GEOTECHNICAL CONSULTANT(S) OF RECORD. IF THE GEOTECHNICAL CONSULTANT OF RECORD IS CHANGED FOR THE PROJECT, THE WORK SHALL BE STOPPED UNTIL THE REPLACEMENT HAS SUBMITTED AN ACCEPTABLE TRANSFER OF GEOTECHNICAL CONSULTANT OF RECORD DECLARATION PREPARED IN ACCORDANCE WITH THE MOST RECENT EDITION OF THE CITY OF SAN DIEGO GUIDELINES FOR GEOTECHNICAL REPORTS. IT SHALL BE THE DUTY OF THE PERMITTEE TO NOTIFY THE RESIDENT ENGINEER AND THE GEOLOGY SECTION OF DEVELOPMENT SERVICES IN WRITING OF SUCH CHANGE PRIOR TO THE RECOMMENCEMENT OF GRADING.

5. THESE GRADING PLANS HAVE BEEN REVIEWED BY THE UNDERSIGNED AND FOUND TO BE IN CONFORMANCE WITH THE RECOMMENDATIONS AND SPECIFICATIONS CONTAINED IN THE REFERENCED GEOTECHNICAL REPORT(S) PREPARED FOR THIS PROJECT.

(SIGNATURE)		
ENGINEER'S NAME	P.E. OR G.E.	DATE
(SIGNATURE)		
GEOLOGIST'S NAME	P.G. OR C.E.G.	DATE

COMPANY NAME*
ADDRESS
TELEPHONE NUMBER

*IF THE PROFESSIONAL ENGINEER (P.E. OR G.E.) AND PROFESSIONAL GEOLOGIST (P.G. OR C.E.G.) SIGNING THIS STATEMENT ARE NOT FROM THE SAME COMPANY, BOTH COMPANY NAMES AND PHONE NUMBERS MUST BE PROVIDED.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS.

I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

WILLIAM R. DICK	R.C.E. NO. 34563	EXP. 09-30-2021	DATE
-----------------	------------------	-----------------	------

OWNER/APPLICANT

DAVID B. LEIDY AND PAMELA K. LEIDY
6216 AVENIDA CRESTA, LA JOLLA, CA 92037

REFERENCE DRAWINGS

WATER MAIN AND LATERAL CONNECTION	13210-10-D
SEWER MAIN AND LATERAL CONNECTION	25259-10-D
EASEMENT FOR POWER LINES	B 1161 P11-12
SUBDIVISION MAP	MAP 1810

SITE ADDRESS

6216 AVENIDA CRESTA, LA JOLLA, CA 92037

TOPOGRAPHY SOURCE

RINEHART ENGINEERING 6431 CLEEVE WAY, SAN DIEGO, CA 92117
DATE: NOVEMBER 12, 2018

BENCHMARK

THIS BENCHMARK FOR THIS SURVEY IS A CITY OF SAN DIEGO ENGINEERING DEPARTMENT VERTICAL CONTROL MONUMENT, A BRASS PLUG, LOCATED IN THE TOP OF THE CURB AT THE SOUTHWESTERLY CORNER OF AVENIDA CRESTA AND VIA DEL NORTE.

ELEVATION: 84.258 DATUM: SAN DIEGO MEAN SEA LEVEL

ASSESSORS PARCEL NUMBER

357-012-13-00

EXISTING LEGAL DESCRIPTION

LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 21, 1924.

SHEET INDEX

TITLE SHEET	SHEET 1
NOTES	SHEET 2
DRIVEWAY SECTIONS AND STANDARD DRAWINGS	SHEET 3
TOPOGRAPHIC MAP	SHEET 4
GRADING PLAN	SHEET 5
EROSION CONTROL PLAN	SHEET 6

GRADING QUANTITIES

GRADED AREA	0.25 ACRES	MAX. CUT DEPTH	9.30 FT
CUT QUANTITIES	251 CYD	MAX CUT SLOPE RATIO (2:1MAX)	5:1
FILL QUANTITIES	409 CYD	MAX. FILL DEPTH	6.98 FT
IMPORT/EXPORT	158 CYD	MAX FILL SLOPE RATIO (2:1MAX)	2:1

THIS PROJECT PROPOSES TO EXPORT 0 CUBIC YARDS OF MATERIAL FROM THIS SITE. ALL EXPORT MATERIAL SHALL BE DISCHARGED TO A LEGAL DISPOSAL SITE. THE APPROVAL OF THIS PROJECT DOES NOT ALLOW PROCESSING AND SALE OF THE MATERIAL. ALL SUCH ACTIVITIES REQUIRE A SEPARATE CONDITIONAL USE PERMIT.

CONSTRUCTION STORM WATER PROTECTION NOTES

1. TOTAL SITE DISTURBANCE AREA (ACRES): 0.25
WATERSHED: MISSION BEACH - FRONTAL PACIFIC OCEAN
HYDRAULIC SUB AREA NAME AND NUMBER: UNDEFINED 906.30

2. THE PROJECT SHALL COMPLY WITH THE REQUIREMENTS OF THE
☒ WPCP
THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND SUBSEQUENT AMENDMENTS.

☐ SWPPP
THE PROJECT IS SUBJECT TO MUNICIPAL STORM WATER PERMIT NUMBER R9-2013-0001 AND CONSTRUCTION GENERAL PERMIT ORDER NUMBER 2009-009-DWQ AS AMENDED BY ORDER 2010-0014 DWQ AND 2012-0006-DWQ.

TRADITIONAL: RISK LEVEL ☐ 1 ☐ 2 ☐ 3
LUP RISK LEVEL ☐ 1 ☐ 2 ☐ 3
WQID NO: _____

3. CONSTRUCTION SITE PRIORITY
☐ ASBS ☐ HIGH ☐ MEDIUM ☒ LOW

FOR STORMWATER BMP TABLES, SEE SHEET 2

WORK TO BE DONE

THE PUBLIC IMPROVEMENTS SHOWN ON THESE PLANS SHALL BE CONSTRUCTED ACCORDING TO THE FOLLOWING STANDARD SPECIFICATIONS AND STANDARD DRAWINGS OF THE CITY OF SAN DIEGO.

STANDARD SPECIFICATIONS:

DOCUMENT NO.	DESCRIPTION
PWPI010119-01	STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK), 2018 EDITION
PWPI010119-02	CITY OF SAN DIEGO STANDARD SPECIFICATIONS FOR PUBLICWORKS CONSTRUCTION (WHITEBOOK), 2018 EDITION
PWPI010119-04	CITYWIDE COMPUTER AIDED DESIGN AND DRAFTING (CADD) STANDARDS, 2018 EDITION
PWPI030119-07	CALIFORNIA DEPARTMENT OF TRANSPORTATION MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (REVISION 3), 2014 EDITION
PWPI030119-05	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD SPECIFICATIONS, 2018 EDITION

STANDARD DRAWINGS:

DOCUMENT NO.	DESCRIPTION
PWPI010119-03	CITY OF SAN DIEGO STANDARD DRAWINGS FOR PUBLIC WORKS CONSTRUCTION, 2018 EDITION
PWPI030119-06	CALIFORNIA DEPARTMENT OF TRANSPORTATION U.S. CUSTOMARY STANDARD PLANS, 2018 EDITION

LEGEND

PROPOSED IMPROVEMENTS

IMPROVEMENT	STANDARD DWGS.	SYMBOL
PROPOSED SPOT ELEVATION		85.35 FS
PROPOSED CONTOURS		80 78
MASONRY RETAINING WALL	C-01	
TRENCH DRAIN		
12" X 12" NDS CATCH BASIN		
ROOF DOWNSPOUT		
PVC GRAVITY DRAINAGE PIPE		
PVC STORM DRAIN FORCE MAIN		
WATER LATERAL		W S
SEWER LATERAL		
SURFACE FLOW LINE		
DRIVEWAY REPLACEMENT		
SIDEWALK, CURB, AND GUTTER REPLACEMENT	SDG-156	
SUMP PUMP		
BASEMENT WALL BELOW GRADE		

EXISTING IMPROVEMENTS

ITEM	SYMBOL
EXISTING SPOT ELEVATION	85.35 FS
EXISTING CONTOURS	80 78
WATER METER	WM
WATER MAIN	W
SEWER MAIN	S
OVERHEAD LINES	OH
CHAINLINK FENCE	X X
MASONRY RETAINING WALL	
POWER POLE	PP
SEWER MANHOLE	ME
ELECTRICAL HANDHOLE	

ENGINEERING PERMIT NO: _____
DISCRETIONARY PERMIT NO: _____ RETAINING WALL PROJECT NO: _____
PRIVATE CONTRACT

TITLE SHEET FOR:				
6216 AVENIDA CRESTA				
LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1				
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 1 OF 6 SHEETS				PROJECT NO. _____
FOR CITY ENGINEER				V.T.M. _____
DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	XXX			
AS-BUILTS				
CONTRACTOR	DATE STARTED			
INSPECTOR	DATE COMPLETED			
XXXXXX-1-D				

CONSTRUCTION BMP GENERAL NOTES

PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:

1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WP/CP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.

2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS, INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.

3. ALL CONSTRUCTION BMPS SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.

4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.

5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WP/CP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.

6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.

7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WP/CP

8. THE CONTRACTOR OR QUALIFIED PERSON SHALL CLEAR DEBRIS, SILT AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND AFTER EACH RAIN EVENT.

9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF THE DISCHARGE. AS SOON AS PRACTICAL, ANY AND ALL WASTE MATERIAL, SEDIMENT AND DEBRIS FROM EACH NON STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.

10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPS WHEN RAIN IS IMMINENT.

11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS TO WORKING ORDER YEAR ROUND.

12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.

13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.

14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WP/CP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.

15. UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPS RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.

16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMPS AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPS SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPS AS SOON AS POSSIBLE AS SAFETY ALLOWS.

17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXIT AREA SHALL BE ON LEVEL, STABILIZED GROUND. THE ENTRANCE AND EXIT AREA SHALL BE CONSTRUCTED BY OVERLAYING THE STABILIZED ACCESS AREA WITH 3 TO 6" DIAMETER STONES. THE AREA SHALL BE MINIMUM 50' LONG X 30' WIDE. IN LIEU OF STONE COVERED AREA, THE CONTRACTOR MAY CONSTRUCT RUMBLE RACKS OF STEEL PANELS WITH RIDGES MINIMUM 20' LONG X 30' WIDE CAPABLE OF PREVENTING THE MIGRATION OF CONSTRUCTION MATERIALS INTO THE TRAVELED WAYS.

18. PERFORMANCE STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING WATER POLLUTION CONTROL MEASURES BASED ON PERFORMANCE STANDARDS. PERFORMANCE STANDARDS SHALL INCLUDE:

A. NON-STORM WATER DISCHARGES FROM THE SITE SHALL NOT OCCUR TO THE MEP3. STORM WATER DISCHARGES SHALL BE FREE OF POLLUTANTS INCLUDING SEDIMENT TO THE MEP.

B. EROSION SHALL BE CONTROLLED BY ACCEPTABLE BMPS TO THE MEP. IF RILLS AND GULLIES APPEAR THEY SHALL BE REPAIRED AND ADDITIONAL BMPS INSTALLED TO PREVENT A REOCCURRENCE OF EROSION.

C. AN INACTIVE AREA SHALL BE PROTECTED TO PREVENT POLLUTANT DISCHARGES. A SITE OR PORTIONS OF A SITE SHALL BE CONSIDERED INACTIVE WHEN CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD OF 14 OR MORE CONSECUTIVE DAYS.

GRADING NOTES

1. GRADING AS SHOWN ON THESE PLANS SHALL BE IN CONFORMANCE WITH CURRENT STANDARD SPECIFICATIONS AND CHAPTER 14, ARTICLE 2, DIVISION 1, OF THE SAN DIEGO MUNICIPAL CODE.

2. PLANT AND IRRIGATE ALL CUT AND FILL SLOPES AS REQUIRED BY ARTICLE 2, DIVISION 4, SECTION 142.0411 OF THE SAN DIEGO LAND DEVELOPMENT CODE AND ACCORDING TO SECTION IV OR THE LAND DEVELOPMENT MANUAL LANDSCAPE STANDARDS.

3. GRADED, DISTURBED, OR ERODED AREAS THAT WILL NOT BE PERMANENTLY PAVED, COVERED BY STRUCTURE, OR PLANTED FOR A PERIOD OVER 90 DAYS SHALL BE TEMPORARILY RE-VEGETATED WITH A NON-IRRIGATED HYDROSEED MIX, GROUND COVER, OR EQUIVALENT MATERIAL. SEE SHEET ____ FOR MIX AND SPECIFICATIONS.

GROUND WATER DISCHARGE NOTES

1. ALL GROUND WATER EXTRACTION AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS NOT TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO R9-2015-0013 NPDES CAG919003.

2. THE ESTIMATED MAXIMUM DISCHARGE RATES MUST NOT EXCEED THE LIMITS SET IN THE OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL BOARD UNLESS PRIOR NOTIFICATION AND SUBSEQUENT AUTHORIZATION HAS BEEN OBTAINED, AND DISCHARGE OPERATIONS MODIFIED TO ACCOMMODATE THE INCREASED RATES.

3. ALL GROUND WATER EXTRACTIONS AND SIMILAR WASTE DISCHARGES TO SURFACE WATERS TRIBUTARY TO THE SAN DIEGO BAY ARE PROHIBITED UNTIL IT CAN BE DEMONSTRATED THAT THE OWNER HAS APPLIED AND OBTAINED AUTHORIZATION FROM THE STATE OF CALIFORNIA VIA AN OFFICIAL "ENROLLMENT LETTER" FROM THE REGIONAL WATER QUALITY CONTROL BOARD IN ACCORDANCE WITH THE TERMS, PROVISIONS AND CONDITIONS OF STATE ORDER NO R9-2015-0013 NPDES NO. CAG919003.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

1. STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN ½ INCH) AND REPAIRED AN REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILLED.

2. STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN ½ INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.

3. OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

PERMANENT POST-CONSTRUCTION BMP NOTES

1. OPERATION AND MAINTENANCE SHALL BE SECURED BY AN EXECUTED AND RECORDED STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT (SWMDCMA), OR ANOTHER MECHANISM APPROVED BY THE CITY ENGINEER, THAT ASSURES ALL PERMANENT BMP'S WILL BE MAINTAINED IN PERPETUITY, PER THE LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS.

2. ANY MODIFICATION(S) TO THE PERMANENT POST CONSTRUCTION BMP DEVICES/STRUCTURES SHOWN ON PLAN REQUIRES A CONSTRUCTION CHANGE TO BE PROCESSED AND APPROVED THROUGH DEVELOPMENT SERVICES DEPARTMENT BY THE ENGINEER OF WORK. APPROVAL OF THE CONSTRUCTION CHANGE IS REQUIRED PRIOR TO CONSTRUCTION OF THE PERMANENT BMP.

STORM WATER REQUIREMENTS

1. THIS PROJECT IS SUBJECT TO MUNICIPAL CODE SECTION 4303 AND ORDER NO. R9-2013-0001 AS AMENDED BY R9-2015-0001 AND R9-2015-0100

2. ALL WORK RELATED TO POST-CONSTRUCTION STORMWATER QUALITY SHALL BE IN ACCORDANCE WITH THE STORM WATER QUALITY MANAGEMENT PLAN ENTITLED, PROJECT NAME AND NUMBER, PROJECT APPLICANT, PROJECT ADDRESS, PREPARED BY, COMPANY NAME, REPORT DATE

3. POST-CONSTRUCTION BMPS ARE REQUIRED, SEE SHEET(S).....

PRIVATE WATER AND WASTEWATER

THE PRIVATE WATER/SEWER SYSTEM IS DESIGNED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE AND IS SHOWN ON THESE PLANS AS "INFORMATION ONLY". A SEPARATE PLUMBING PERMIT IS REQUIRED FOR CONSTRUCTION AND INSPECTION OF THE SYSTEM. APPROVAL NO.:

PRIVATE NOTE

ALL ONSITE, PRIVATE IMPROVEMENTS SHOWN ON THIS DRAWING ARE FOR INFOMRATION ONLY. THE CITY ENGINEER'S APPROVAL OF THIS DRAWING, IN NO WAY CONSTITUTES AN APPROVAL OF SAID PRIVATE IMPROVEMENTS. A SEPARATE PERMIT FOR SUCH IMPROVEMENTS MAY BE REQUIRED.

AGREEMENT DATA				
APPROVAL TYPE	DESCRIPTION	APPROVAL NO.	DOCUMENT NO.	SEE SHEET NUMBER(S)

TRAFFIC CONTROL NOTE

(DELETE IF GREATER THAN 5000 ADT)

THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN (11"x17") FOR APPROVAL PRIOR TO STARTING WORK. THE PLAN SHOULD BE SUBMITTED TO THE TRAFFIC CONTROL PERMIT COUNTER, 3RD FLOOR, BOOTH 22, BUILDING, SAFETY & CONSTRUCTION DIVISION, DEVELOPMENT SERVICES CENTER, 1222 FIRST AVENUE, SAN DIEGO (619-446-5150). CONTRACTOR SHALL OBTAIN A TRAFFIC CONTROL PERMIT A MINIMUM OF TWO (2) WORKING DAYS PRIOR TO STARTING WORK, AND A MINIMUM OF FIVE (5) DAYS IF WORK WILL AFFECT A BUS STOP OR AN EXISTING TRAFFIC SIGNAL, OR IF WORK WILL REQUIRE A ROAD OR ALLEY CLOSURE.

SOURCE CONTROL BMP CHECKLIST FOR STANDARD PROJECTS

FORM I-4A

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SOURCE CONTROL BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMPS SHOWN IN THIS CHECKLIST

NOTE: ALL SELECTED BMPS MUST BE SHOWN ON THE CONSTRUCTION PLANS

SOURCE CONTROL REQUIREMENT	APPLIED?			
4.2.1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
4.2.2 STORM DRAIN STENCILING OR SIGNAGE	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	
4.2.3 PROTECT OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	
4.2.4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	
4.2.5 PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
4.2.6 BMP'S BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS				
ON-SITE STORM DRAIN INLETS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	
INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
INTERIOR PARKING GARAGES	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
LANDSCAPE/OUTDOOR PESTICIDE USE	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	
POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	
FOOD SERVICE	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
REFUSE AREAS	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
INDUSTRIAL PROCESSES	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	
VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
FUEL DISPENSING AREA	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
LOADING DOCKS	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
FIRE SPRINKLER TEST WATER	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
MISCELLANEOUS DRAIN OR WASH WATER	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
PLAZAS, SIDEWALKS, AND PARKING LOTS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	
SC-6A: LARGE TRASH GENERATING FACILITIES	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
SC-6B: ANIMAL FACILITIES	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
SC-6C: PLANT NURSERIES AND GARDEN CENTERS	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
SC-6D: AUTOMOTIVE-RELATED USES	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	

DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:

4.2.6: NO VEHICLES WILL BE REPAIRED, MAINTAINED, OR REFUELED ON SITE.

SITE DESIGN BMP CHECKLIST FOR STANDARD PROJECTS

FORM I-5A

ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMPS SHOWN IN THIS CHECKLIST

NOTE: ALL SELECTED BMPS MUST BE SHOWN ON THE CONSTRUCTION PLANS

SITE DESIGN REQUIREMENT	APPLIED?			
4.3.1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A	
4.3.2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
4.3.3 MINIMIZE IMPERVIOUS AREA	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
4.3.4 MINIMIZE SOIL COMPACTION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	
4.3.5 IMPERVIOUS AREA DISPERSION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	
4.3.6 RUNOFF COLLECTION	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	
4.3.7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A	
4.3.8 HARVESTING AND USING PRECIPITATION	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A	

DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:

4.3.1: STORM WATER TO BE PUMPED EAST TO AVENIDA CRESTA. NATURAL DRAINAGE IS WEST TOWARD ADJACENT PROPERTY.

SITE DESIGN, SOURCE CONTROL AND POLLUTANT CONTROL BMP OPERATION + MAINTENANCE PROCEDURE

STORM WATER MANAGEMENT AND DISCHARGE CONTROL MAINTENANCE AGREEMENT APPROVAL NO.:

O&M RESPONSIBLE PARTY DESIGNEE: PROPERTY OWNER / HOA / CITY / OTHER:

BMP DESCRIPTION	INSPECTION FREQUENCY	MAINTENANCE FREQUENCY	MAINTENANCE METHOD	QUANTITY	INCLUDED IN O&M MANUAL		SHEET NUMBER(S)
SITE DESIGN ELEMENTS					YES	NO	
DESCRIPTION:							
SOURCE CONTROL ELEMENTS					YES	NO	
DESCRIPTION:							
POLLUTANT CONTROL BMP(S)					YES	NO	
DESCRIPTION:							
HMP FACILITY (IF SEPARATE)					YES	NO	
DESCRIPTION:							
HMP EXEMPT							

PRIVATE CONTRACT

NOTES FOR:

6216 AVENIDA CRESTA

LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1

CITY OF SAN DIEGO, CALIFORNIA
DEVELOPMENT SERVICES DEPARTMENT
SHEET 2 OF 6 SHEETS

PROJECT NO. _____

FOR CITY ENGINEER

V.T.M. _____

DESCRIPTION BY APPROVED DATE FILMED

ORIGINAL XXX

XXXX-XXXX
NAD83 COORDINATES

AS-BUILTS

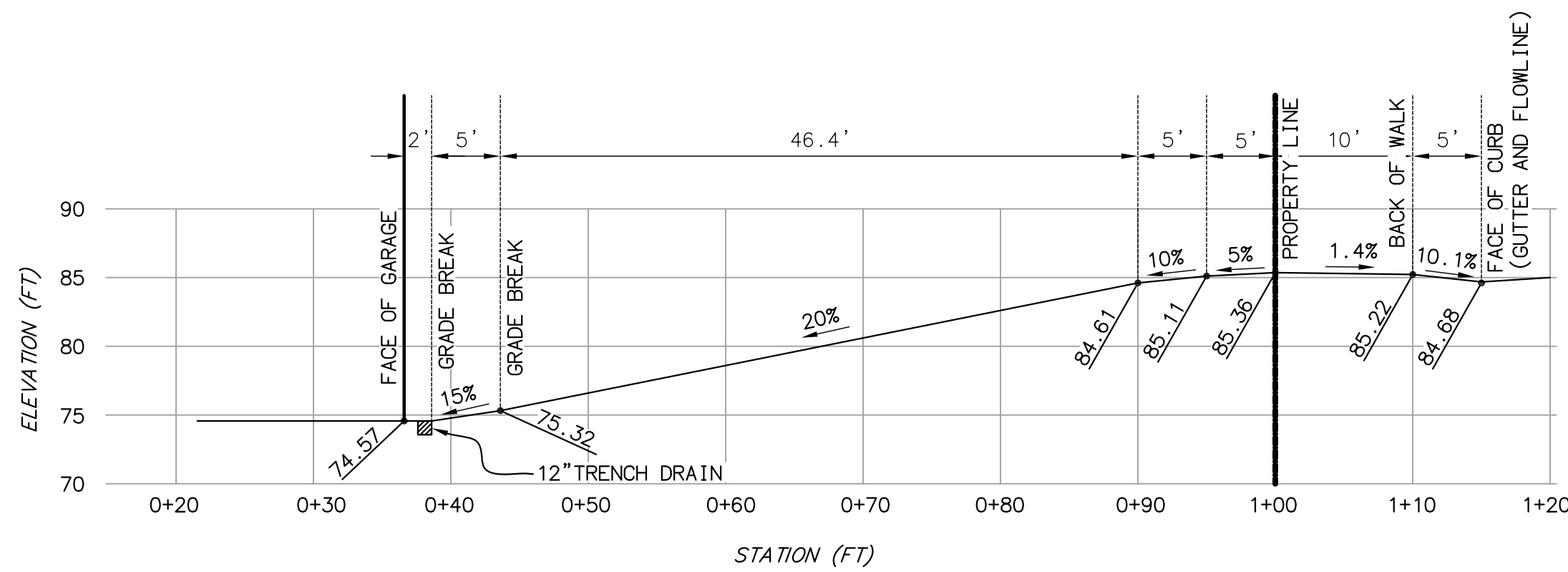
XXX-XXXX
LAMBERT COORDINATES

CONTRACTOR DATE STARTED
INSPECTOR DATE COMPLETED

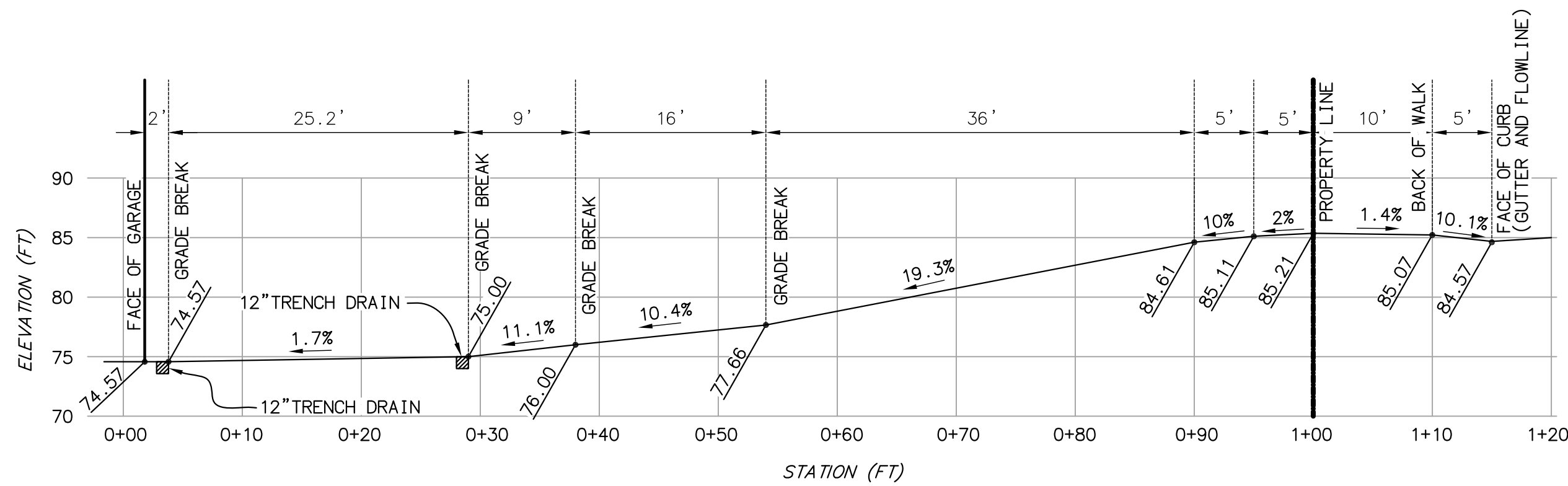
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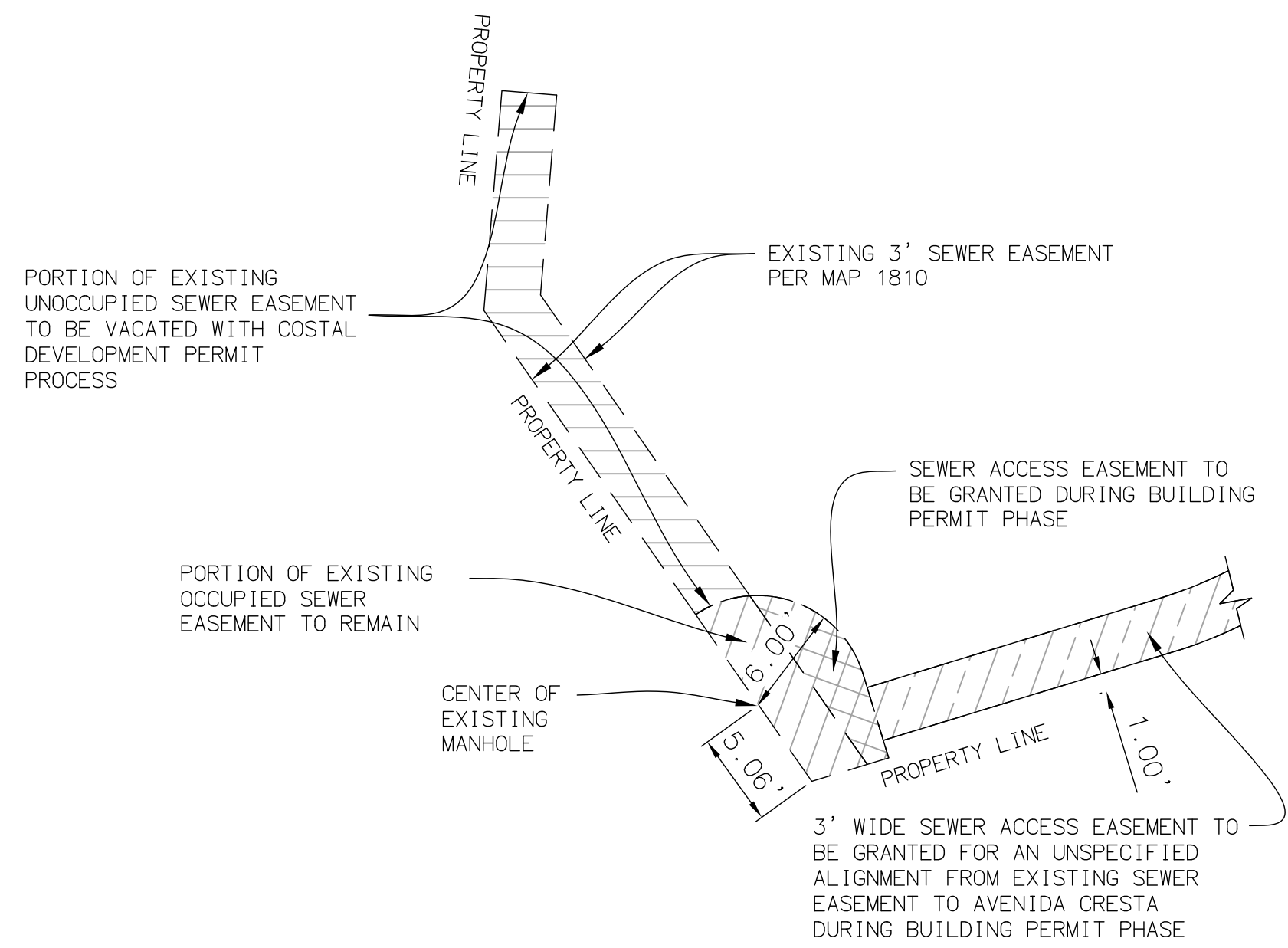
WILLIAM R. DICK R.C.E. NO. 34563 EXP. 09-30-2021 DATE



NORTH EDGE DRIVEWAY PROFILE
SCALE: 1"=10'



SOUTH EDGE DRIVEWAY PROFILE
SCALE: 1"=10'



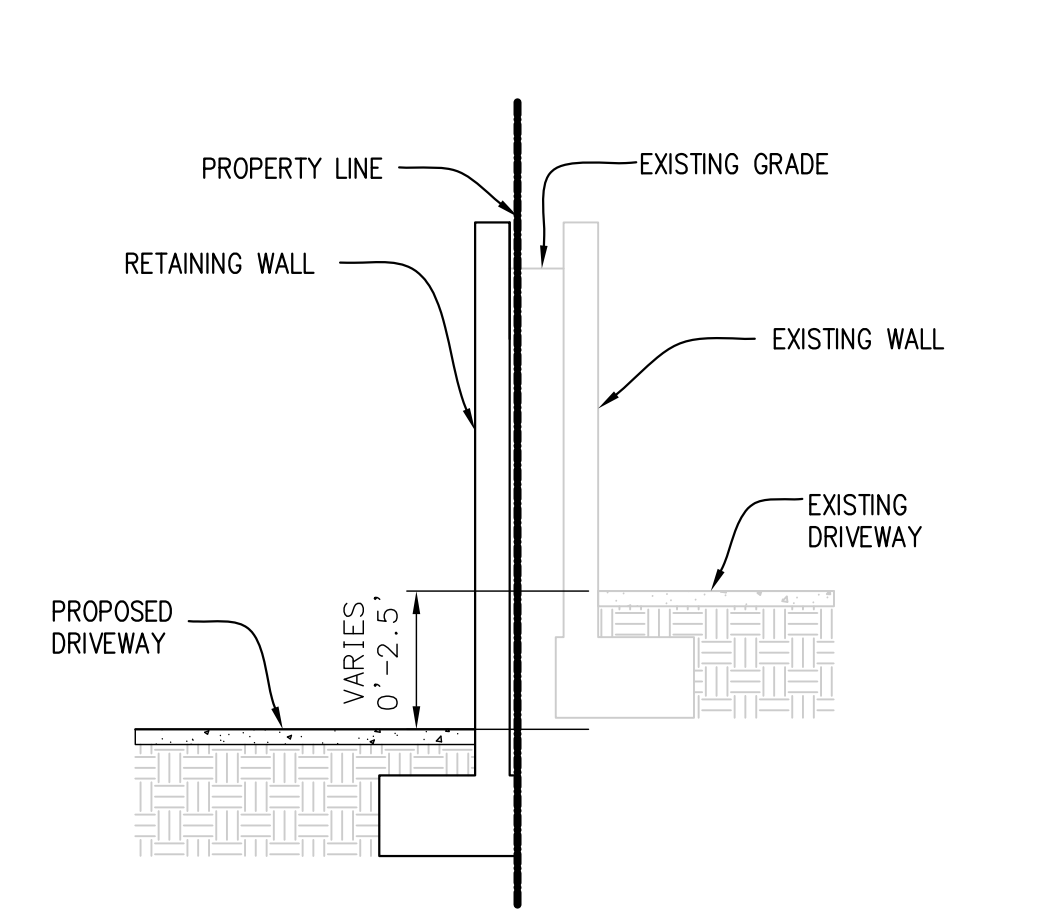
SEWER EASEMENT DETAIL
SCALE: 1"=8'



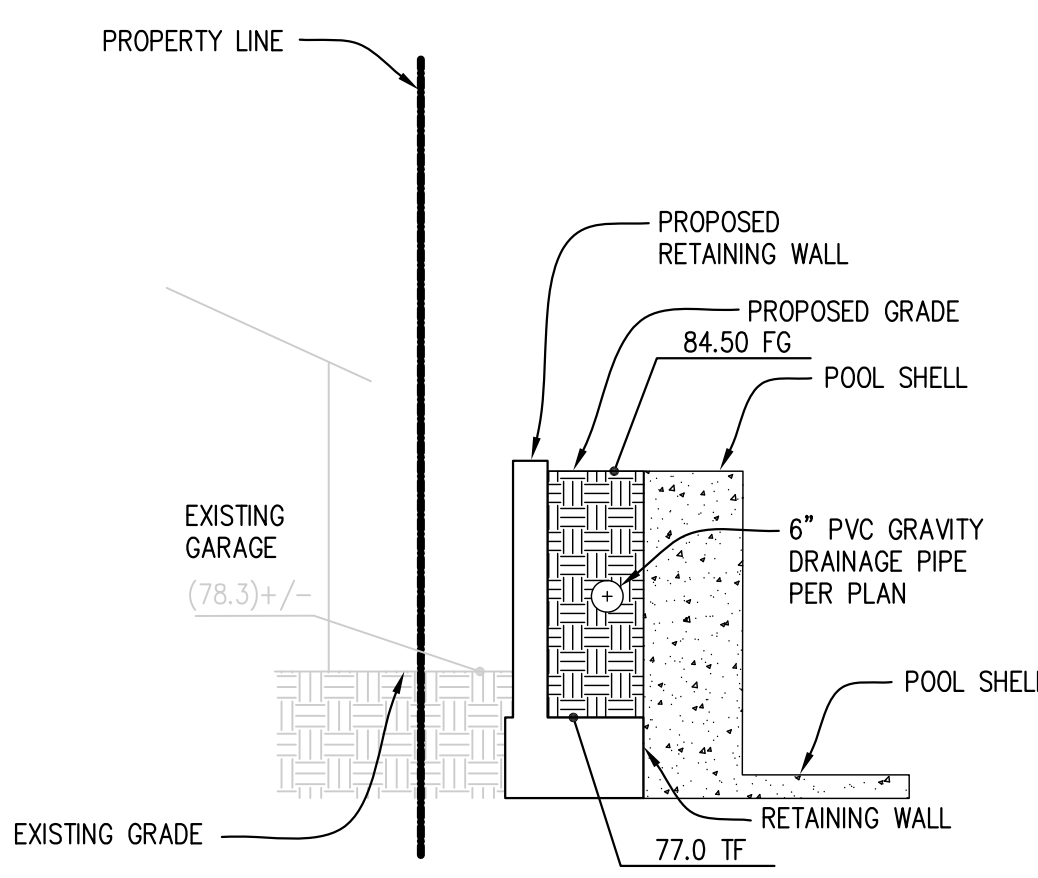
PRIVATE CONTRACT

DRIVEWAY SECTIONS AND STANDARD DRAWINGS FOR:
6216 AVENIDA CRESTA
LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1

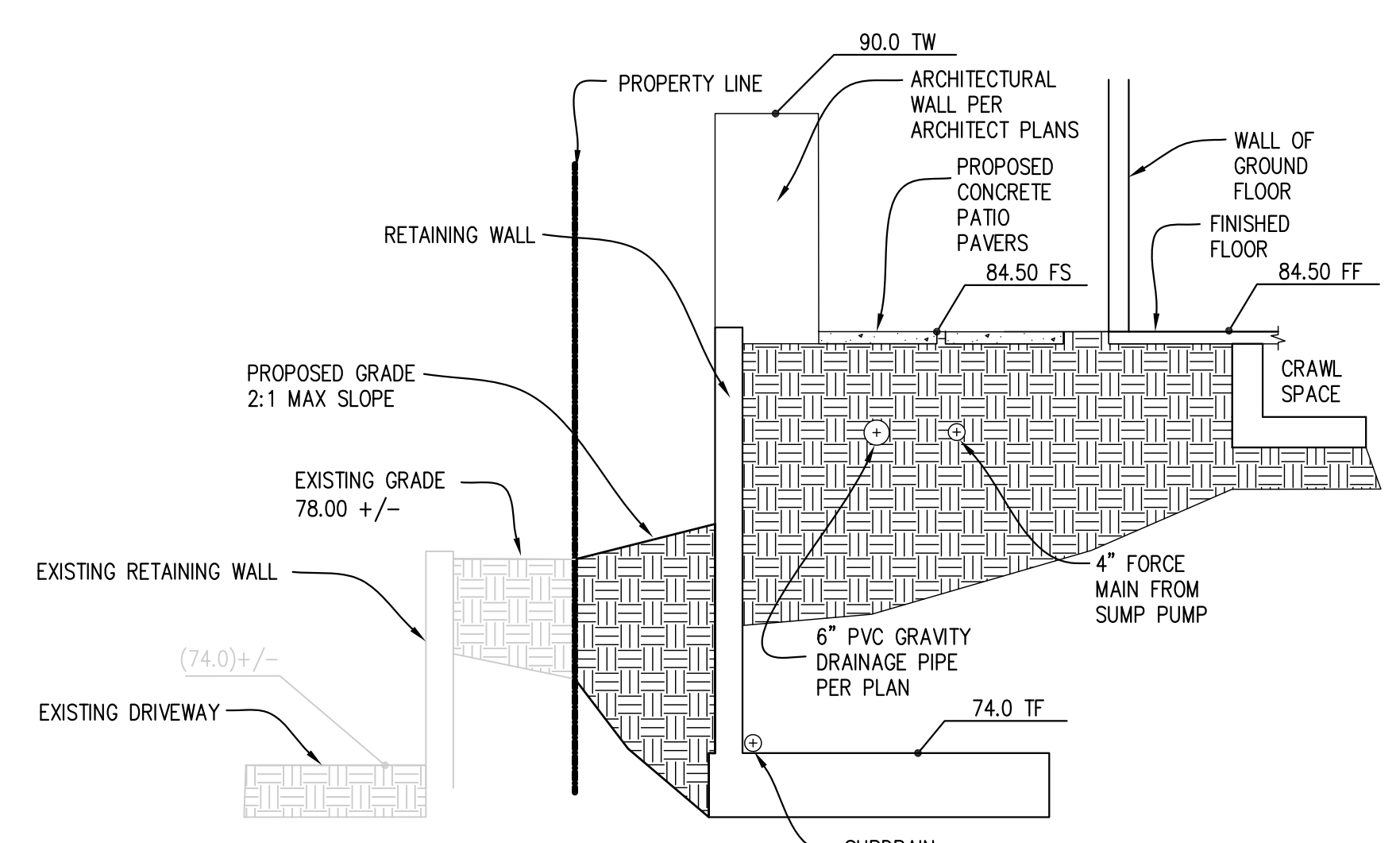
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 3 OF 6 SHEETS				PROJECT NO. _____
FOR CITY ENGINEER				V.T.M. _____
DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	XXX			
AS-BUILTS				
CONTRACTOR	DATE STARTED			XXXXX-3-D
INSPECTOR	DATE COMPLETED			



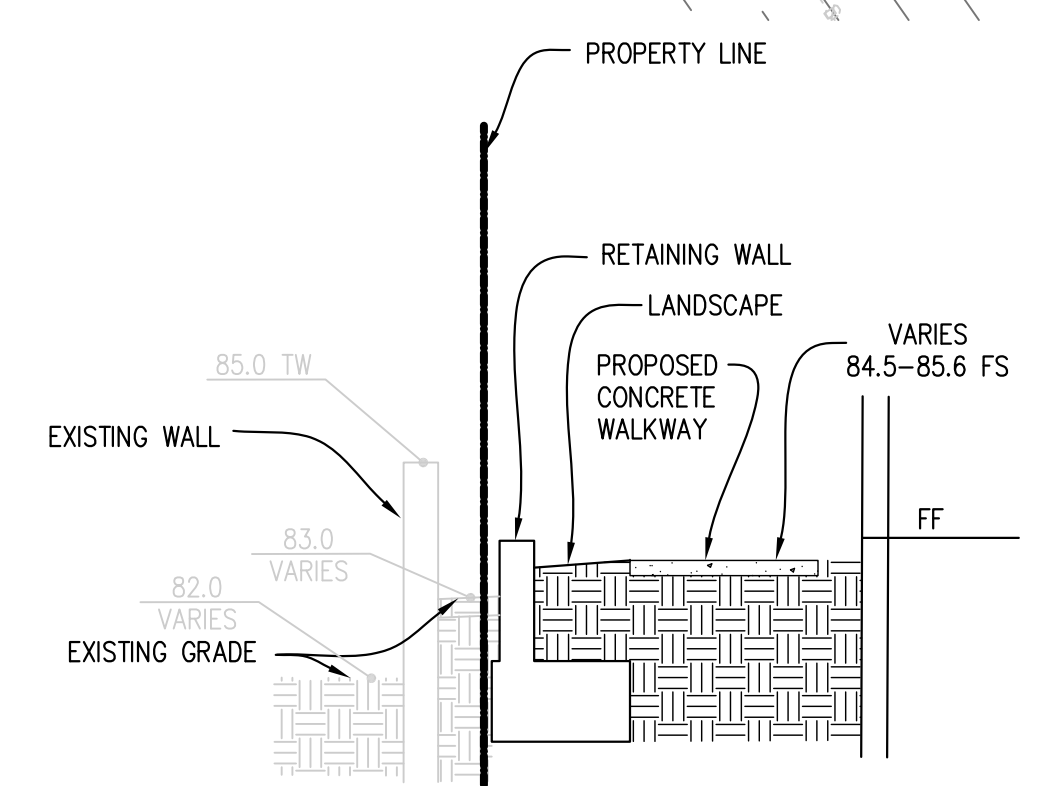
SECTION A-A:
NTS



SECTION B-B:
NTS



SECTION C-C:
NTS



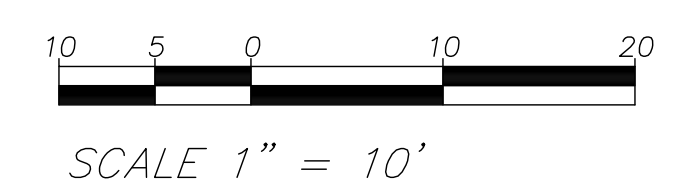
SECTION D-D:
NTS

APN 357-012-02-00
LOT 2 BLOCK 3
MAP 1810

SEE SEWER EASEMENT
DETAIL ON SHEET 3

APN 357-012-15-00
LOTS 3&4 BLOCK 3
MAP 1810

APN 357-012-12-00
LOT 13 BLOCK 3
MAP 1810



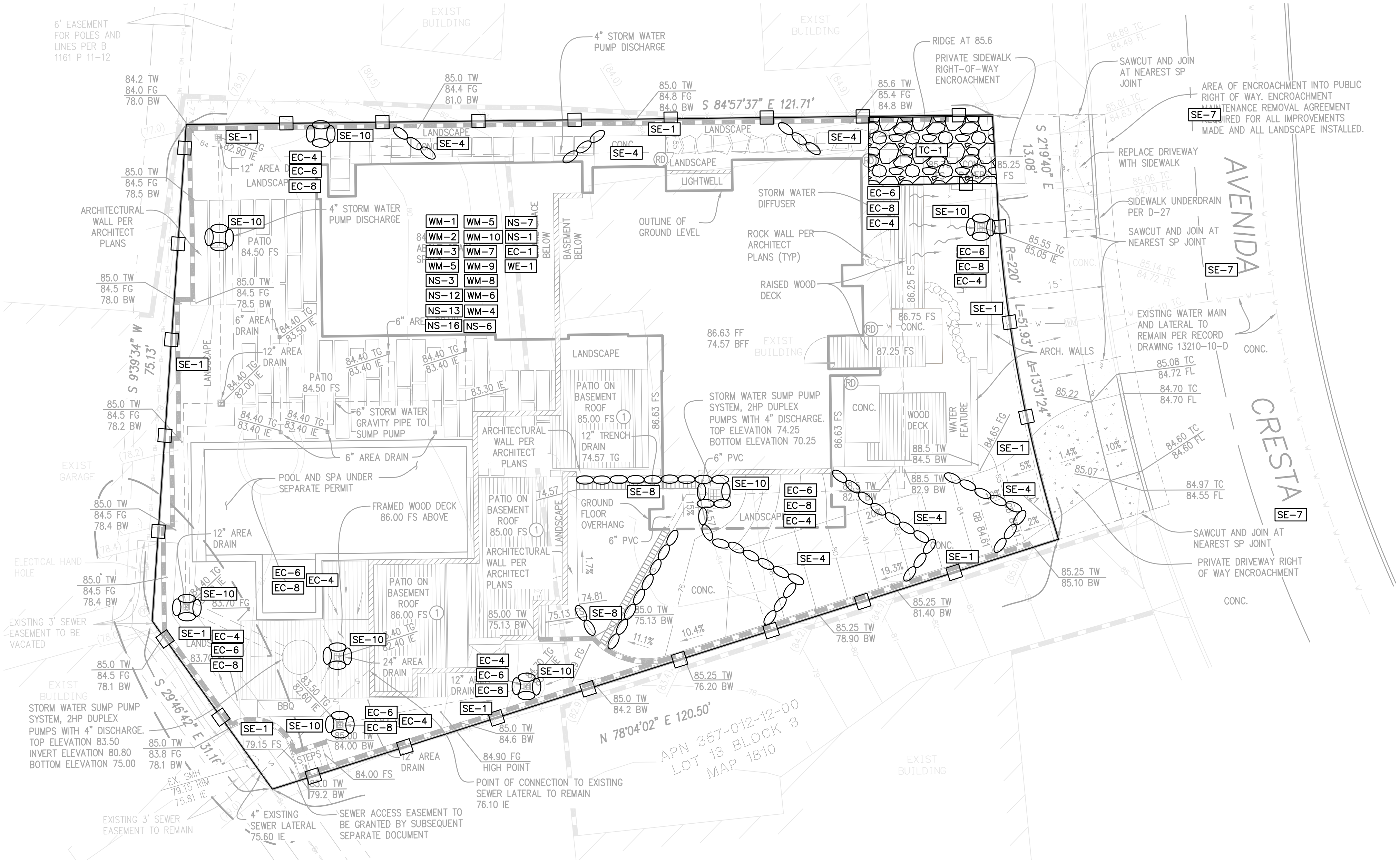
KAPPA SURVEYING & ENGINEERING, INC.
8707 LA MESA BOULEVARD, LA MESA, CA 91942
(619) 465-8948 FAX: (619) 465-6410

PRIVATE CONTRACT				
GRADING PLAN FOR:				
6216 AVENIDA CRESTA				
LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1				
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 5 OF 6 SHEETS				PROJECT NO. _____
FOR CITY ENGINEER				V.T.M. _____
DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	XXX			
AS-BUILTS				XXXX-XXXX NAD83 COORDINATES
CONTRACTOR				XXX-XXXX LAMBERT COORDINATES
INSPECTOR				XXXXX-5-D
DATE STARTED				
DATE COMPLETED				

EROSION CONTROL LEGEND

THE FOLLOWING EROSION CONTROL BMPs WILL BE USED ON THIS PROJECT, ALONG WITH ALL ELEMENTS OF THE PROJECT'S WATER POLLUTION CONTROL PROGRAM (WPCP) WHICH ARE INCLUDED HEREIN BY REFERENCE.

TEMPORARY BMP NAME	BMP DWG NO	SYMBOL
RESOURCE PROTECTION BMPs		
LINEAR SEDIMENT CONTROLS	SE-1	
MATERIAL STORAGE & HANDLING BMPs		
MATERIAL STORAGE	WM-1	N/A
MATERIAL HANDLING AND USE	WM-2	N/A
LANDSCAPE MATERIAL MANAGEMENT	WM-3	N/A
PAVING AND GRADING OPERATIONS	NS-3	N/A
CONCRETE MANAGEMENT	NS-12	N/A
WASTE MANAGEMENT BMPs		
SOLID WASTE MANAGEMENT	WM-5	N/A
LIQUID WASTE MANAGEMENT	WM-10	N/A
CONTAMINATED SOIL MANAGEMENT	WM-7	N/A
SANITARY/SEPTIC WASTE MANAGEMENT	WM-9	N/A
CONCRETE WASTE MANAGEMENT	WM-8	N/A
HAZARDOUS WASTE MANAGEMENT	WM-6	N/A
STOCKPILED WASTE MANAGEMENT	WM-3	N/A
NON-STORM WATER MANAGEMENT BMPs		
SPILL CONTROL PREVENTION	WM-4	N/A
REPORTING SIGNIFICANT SPILLS	N/A	N/A
NON-STORM WATER MANAGEMENT BMPs		
ILICIT CONNECTION/DISCHARGE DETECTION & REPORTING	NS-6	N/A
POTABLE WATER/IRRIGATION	NS-7	N/A
WATER CONSERVATION PRACTICES	NS-1	N/A
GENERAL EROSION CONTROL BMPs		
SCHEDULING/PHASING CONSTRUCTION	EC-1	N/A
STOCKPILE MANAGEMENT	WM-3	N/A
NON-VEGETATIVE STABILIZATION BMPs		
STRAW AND WOOD MULCH	EC-6	N/A
VEGETATIVE STABILIZATION BMPs		
ESTABLISH INTERIM VEGETATION (HYDROSEEDING)	EC-4	N/A
ESTABLISH PERMANENT LANDSCAPING	N/A	N/A
DUST CONTROL BMPs		
WIND EROSION CONTROL	WE-1	N/A
PERIMETER & LINEAR SEDIMENT CONTROL BMPs		
SILT FENCING	SE-1	
GRAVEL BAG BERM	SE-5	
SAND BAG BARRIER	SE-8	
SEDIMENT CAPTURE BMPs		
STORM DRAIN INLET PROTECTION	SE-10	
OFFSITE SEDIMENT TRACKING BMPs		
STABILIZED CONSTRUCTION ENTRANCE/EXIT	TC-1	
STREET SWEEPING AND VACUUMING	SE-7	N/A
RUN-ON AND RUNOFF CONTROL BMPs		
CHECK DAMS	SE-4	
FINAL STABILIZATION BMPs		
FINAL STABILIZATION	N/A	N/A



SPECIAL RAINY SEASON PROVISIONS

DURING THE RAINY SEASON, THE CONTRACTOR MUST TAKE SPECIAL CARE TO MAKE SURE THAT ALL PROVISIONS OF THIS PLAN AND THE WATER POLLUTION CONTROL PROGRAM ARE FULLY IMPLEMENTED.

- THE RAINY SEASON IS DEFINED AS FROM OCTOBER 1ST TO MAY 1ST.
- ALL EROSION CONTROL FEATURES (BMPs) SHALL BE INSPECTED AT LEAST ONCE EACH WEEK.
- SEE PROVISIONS OF THE WATER POLLUTION CONTROL PROGRAM FOR REQUIRED WORK WHEN A RAIN EVENT IS ANTICIPATED.



KAPPA SURVEYING & ENGINEERING, INC.
8707 LA MESA BOULEVARD, LA MESA, CA 91942
(619) 465-8948 FAX: (619) 465-6410

PRIVATE CONTRACT

EROSION CONTROL PLAN FOR:

6216 AVENIDA CRESTA

LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 6 OF 6 SHEETS				PROJECT NO.
FOR CITY ENGINEER				V.T.M.
DESCRIPTION	BY	APPROVED	DATE	FILMED
ORIGINAL	XXX			
AS-BUILTS				XXXX-XXXX NAD83 COORDINATES
CONTRACTOR				XXX-XXXX LAMBERT COORDINATES
INSPECTOR	DATE STARTED DATE COMPLETED			XXXXX-6-D

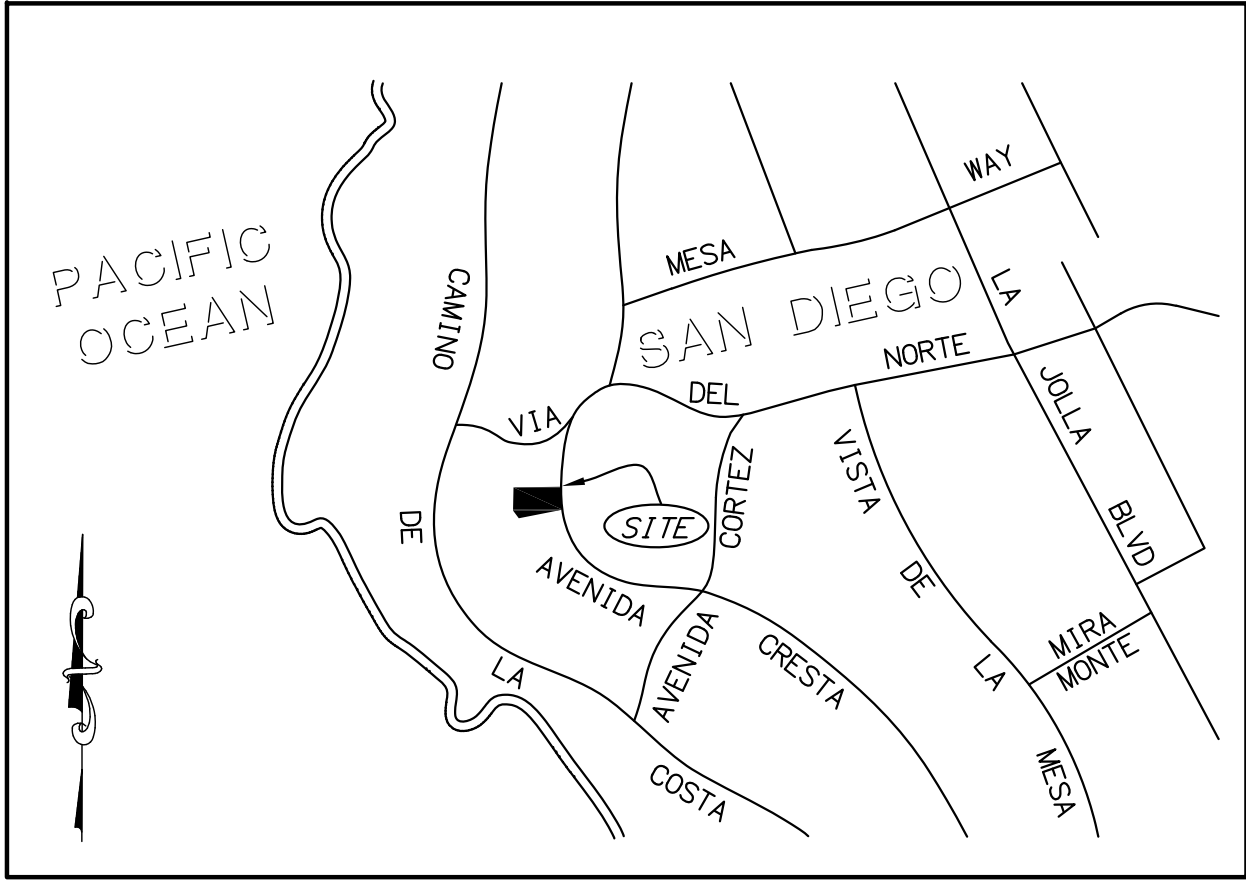
GENERAL NOTES

1. APPROVAL OF THESE PLANS BY THE CITY ENGINEER DOES NOT AUTHORIZE ANY WORK TO BE PERFORMED UNTIL A PERMIT HAS BEEN ISSUED.
2. THE APPROVAL OF THIS PLAN OR ISSUANCE OF A PERMIT BY THE CITY OF SAN DIEGO DOES NOT AUTHORIZE THE PERMIT HOLDER OR OWNER TO VIOLATE ANY FEDERAL, STATE OR CITY LAWS, ORDINANCES, REGULATIONS, OR POLICIES.
3. IMPORTANT NOTICE: SECTION 4216 OF THE GOVERNMENT CODE REQUIRES A DIG ALERT IDENTIFICATION NUMBER ISSUED BEFORE A "PERMIT TO EXCAVATE" WILL BE VALID. FOR YOUR DIG ALERT I.D. NUMBER, CALL UNDERGROUND SERVICE ALERT, TOLL FREE (800) 422-4133, TWO DAYS BEFORE YOU DIG.
4. PRIOR TO SITE DISTURBANCE, CONTRACTOR SHALL MAKE ARRANGEMENTS FOR A PRECONSTRUCTION MEETING WITH THE CITY OF SAN DIEGO, CONSTRUCTION MANAGEMENT AND FIELD SERVICES DIVISION (858) 627-3200.
5. CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL COMPLY WITH ALL APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
6. CONTRACTOR SHALL HAVE EMERGENCY MATERIAL AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHERE FLOW MAY GENERATE EROSION AND SEDIMENT POLLUTION.
7. MANHOLES AND PULL BOX COVER SHALL BE LABELED WITH NAME OF COMPANY.
8. CONTRACTOR SHALL REMOVE AND REPLACE ALL UTILITY BOXES SERVING AS HANDHOLES THAT ARE NOT IN "AS-NEW" CONDITION IN PROPOSED SIDEWALK, DAMAGED BOXES, OR THOSE THAT ARE NOT IN COMPLIANCE WITH CURRENT CODE SHALL BE REMOVED AND REPLACED WITH NEW BOXES, INCLUDING WATER, SEWER, TRAFFIC SIGNALS, STREET LIGHTS, DRY UTILITIES-SDG&E, COX, ETC. ALL NEW METAL LIDS SHALL BE SLIP RESISTANT AND INSTALLED FLUSH WITH PROPOSED SIDEWALK GRADE. IF A SLIP RESISTANT METAL LID IS NOT COMMERCIALY AVAILABLE FOR THAT USE, NEW BOXES AND LIDS SHALL BE INSTALLED.
9. THE AREA WHICH IS DEFINED AS A NON GRADING AREA AND WHICH IS NOT TO BE DISTURBED SHALL BE STAKED PRIOR TO START OF THE WORK. THE PERMIT APPLICANT AND ALL OF THEIR REPRESENTATIVES OR CONTRACTORS SHALL COMPLY WITH THE REQUIREMENTS FOR PROTECTION OF THIS AREA AS REQUIRED BY ANY APPLICABLE AGENCY. ISSUANCE OF THE CITY'S GRADING PERMIT SHALL NOT RELIEVE THE APPLICANT OR ANY OF THEIR REPRESENTATIVES OR CONTRACTORS FROM COMPLYING WITH ANY STATE OR FEDERAL REQUIREMENTS BY AGENCIES INCLUDING BUT NOT LIMITED TO CALIFORNIA REGIONAL WATER QUALITY CONTROL BOARD, CALIFORNIA DEPARTMENT OF FISH AND GAME. COMPLIANCE MAY INCLUDE OBTAINING PERMITS, OTHER AUTHORIZATIONS, OR COMPLIANCE WITH MANDATES BY ANY APPLICABLE STATE OR FEDERAL AGENCY.
10. PRIOR TO CONSTRUCTION, SURVEY MONUMENTS (HORIZONTAL AND VERTICAL) THAT ARE LOCATED IN THE CONSTRUCTION AREA SHALL BE TIED-OUT AND REFERENCED BY A LAND SURVEYOR.
11. UPON COMPLETION OF CONSTRUCTION, ALL DESTROYED SURVEY MONUMENTS ARE REQUIRED TO BE REPLACED, AND A CORNER RECORD OR RECORD OF SURVEY SHALL BE PREPARED AND FILED WITH THE COUNTY SURVEYOR AS REQUIRED BY THE PROFESSIONAL LAND SURVEYOR ACT, SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE OF THE STATE OF CALIFORNIA.

CONSTRUCTION BMP GENERAL NOTES

- PRIOR TO ANY SOIL DISTURBANCE, TEMPORARY EROSION AND SEDIMENT CONTROL SHALL BE INSTALLED BY THE CONTRACTOR OR QUALIFIED PERSON(S) AS INDICATED BELOW:
1. ALL REQUIREMENTS OF THE CITY OF SAN DIEGO "LAND DEVELOPMENT MANUAL, STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADING/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AND/OR WATER POLLUTION CONTROL PLAN (WPCP) FOR CONSTRUCTION LEVEL BMP'S AND, IF APPLICABLE, THE STORM WATER QUALITY MANAGEMENT PLAN (SWQMP) FOR POST CONSTRUCTION TREATMENT CONTROL BMP'S.
2. THE CONTRACTOR SHALL INSTALL AND MAINTAIN ALL STORM DRAIN INLETS. INLET PROTECTION IN THE PUBLIC RIGHT OF WAY MAY BE TEMPORARILY REMOVED WHERE IT IS PRONE TO FLOODING PRIOR TO A RAIN EVENT AND REINSTALLED AFTER RAIN IS OVER.
3. ALL CONSTRUCTION BMPS SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
4. THE CONTRACTOR SHALL ONLY GRADE, INCLUDING CLEARING AND GRUBBING, AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION AND SEDIMENT CONTROL MEASURES.
5. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING THAT ALL SUB-CONTRACTORS AND SUPPLIERS ARE AWARE OF ALL STORM WATER QUALITY MEASURES AND IMPLEMENT SUCH MEASURES. FAILURE TO COMPLY WITH THE APPROVED SWPPP/WPCP WILL RESULT IN THE ISSUANCE OF CORRECTION NOTICES, CITATIONS, CIVIL PENALTIES AND/OR STOP WORK NOTICES.
6. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF ALL SILT, DEBRIS AND MUD ON AFFECTED AND ADJACENT STREET(S) AND WITHIN STORM DRAIN SYSTEM DUE TO CONSTRUCTION VEHICLES/EQUIPMENT AND CONSTRUCTION ACTIVITY AT THE END OF EACH WORK DAY.
7. THE CONTRACTOR SHALL PROTECT NEW AND EXISTING STORM WATER CONVEYANCE SYSTEMS FROM SEDIMENTATION, CONCRETE RINSE, OR OTHER CONSTRUCTION RELATED DEBRIS AND DISCHARGES WITH THE APPROPRIATE BMPS THAT ARE ACCEPTABLE TO THE ENGINEER AND AS INDICATED IN THE SWPPP/WPCP.
8. THE CONTRACTOR OR QUALIFIED PERSON SHALL CLEAR DEBRIS, SILT AND MUD FROM ALL DITCHES AND SWALES PRIOR TO AND AFTER EACH RAIN EVENT.
9. IF A NON-STORM WATER DISCHARGE LEAVES THE SITE, THE CONTRACTOR SHALL IMMEDIATELY STOP THE ACTIVITY AND REPAIR THE DAMAGES. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF THE DISCHARGE. AS SOON AS PRACTICAL, ANY AND ALL WASTE MATERIAL, SEDIMENT AND DEBRIS FROM EACH NON STORM WATER DISCHARGE SHALL BE REMOVED FROM THE STORM DRAIN CONVEYANCE SYSTEM AND PROPERLY DISPOSED OF BY THE CONTRACTOR.
10. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID DEPLOYMENT OF CONSTRUCTION BMPS WHEN RAIN IS IMMINENT.
11. THE CONTRACTOR SHALL RESTORE AND MAINTAIN ALL EROSION AND SEDIMENT CONTROL BMPS TO WORKING ORDER YEAR ROUND.
12. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES DUE TO GRADING INACTIVITY OR UNFORESEEN CIRCUMSTANCES TO PREVENT NON-STORM WATER AND SEDIMENT-LADEN DISCHARGES.
13. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
14. ALL EROSION AND SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED SWPPP/WPCP SHALL BE INSTALLED AND MAINTAINED. ALL EROSION AND SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE PROPERLY DOCUMENTED AND INSTALLED TO THE SATISFACTION OF THE RESIDENT ENGINEER.

WATER POLLUTION CONTROL PLAN
6216 AVENIDA CRESTA



VICINITY MAP

NOT TO SCALE

CONSTRUCTION BMP GENERAL NOTES CONTINUED

15. UPON NOTIFICATION BY THE RESIDENT ENGINEER, THE CONTRACTOR SHALL ARRANGE FOR MEETINGS DURING OCTOBER 1ST TO APRIL 30TH FOR PROJECT TEAM (GENERAL CONTRACTOR, QUALIFIED PERSON, EROSION CONTROL SUBCONTRACTOR IF ANY, ENGINEER OF WORK, OWNER/DEVELOPER AND THE RESIDENT ENGINEER) TO EVALUATE THE ADEQUACY OF THE EROSION AND SEDIMENT CONTROL MEASURES AND OTHER BMPS RELATIVE TO ANTICIPATED CONSTRUCTION ACTIVITIES.
16. THE CONTRACTOR SHALL CONDUCT VISUAL INSPECTIONS DAILY AND MAINTAIN ALL BMPS AS NEEDED. VISUAL INSPECTIONS AND MAINTENANCE OF ALL BMPS SHALL BE CONDUCTED BEFORE, DURING AND AFTER EVERY RAIN EVENT AND EVERY 24 HOURS DURING ANY PROLONGED RAIN EVENT. THE CONTRACTOR SHALL MAINTAIN AND REPAIR ALL BMPS AS SOON AS POSSIBLE AS SAFETY ALLOWS.
17. CONSTRUCTION ENTRANCE AND EXIT AREA. TEMPORARY CONSTRUCTION ENTRANCE AND EXIT AREA SHALL BE ON LEVEL, STABILIZED GROUND. THE ENTRANCE AND EXIT AREA SHALL BE CONSTRUCTED BY OVERLAYING THE STABILIZED ACCESS AREA WITH 3 TO 6" DIAMETER STONES. THE AREA SHALL BE MINIMUM 50' LONG X 30' WIDE. IN LIEU OF STONE COVERED AREA, THE CONTRACTOR MAY CONSTRUCT RUMBLE RACKS OF STEEL PANELS WITH RIDGES MINIMUM 20' LONG X 30' WIDE CAPABLE OF PREVENTING THE MIGRATION OF CONSTRUCTION MATERIALS INTO THE TRAVELED WAYS.
18. PERFORMANCE STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IMPLEMENTING WATER POLLUTION CONTROL MEASURES BASED ON PERFORMANCE STANDARDS. PERFORMANCE STANDARDS SHALL INCLUDE:
- A. NON-STORM WATER DISCHARGES FROM THE SITE SHALL NOT OCCUR TO THE MEP3. STORM WATER DISCHARGES SHALL BE FREE OF POLLUTANTS INCLUDING SEDIMENT TO THE MEP.
- B. EROSION SHALL BE CONTROLLED BY ACCEPTABLE BMPS TO THE MEP. IF RILLS AND GULLIES APPEAR THEY SHALL BE REPAIRED AND ADDITIONAL BMPS INSTALLED TO PREVENT A REOCCURRENCE OF EROSION.
- C. AN INACTIVE AREA SHALL BE PROTECTED TO PREVENT POLLUTANT DISCHARGES. A SITE OR PORTIONS OF A SITE SHALL BE CONSIDERED INACTIVE WHEN CONSTRUCTION ACTIVITIES HAVE CEASED FOR A PERIOD OF 14 OR MORE CONSECUTIVE DAYS.

DECLARATION OF RESPONSIBLE CHARGE

I HEREBY DECLARE THAT I AM THE ENGINEER OF WORK FOR THIS PROJECT, THAT I HAVE EXERCISED RESPONSIBLE CHARGE OVER THE DESIGN OF THE PROJECT AS DEFINED IN SECTION 6703 OF THE BUSINESS AND PROFESSIONS CODE, AND THAT THE DESIGN IS CONSISTENT WITH CURRENT STANDARDS. I UNDERSTAND THAT THE CHECK OF PROJECT DRAWINGS AND SPECIFICATIONS BY THE CITY OF SAN DIEGO IS CONFINED TO A REVIEW ONLY AND DOES NOT RELIEVE ME, AS ENGINEER OF WORK, OF MY RESPONSIBILITIES FOR PROJECT DESIGN.

NAME R.C.E. NO. 34563 EXP. 09-30-21

DATE



KAPPA SURVEYING & ENGINEERING, INC.
8707 LA MESA BOULEVARD, LA MESA, CA 91942 (619) 465-8948 FAX: (619) 465-6410
JOB NO. 355819 - AVENIDA CRESTA

OWNER/APPLICANT

DAVID B. LEIDY AND PAMELA K. LEIDY
6216 AVENIDA CRESTA
LA JOLLA, CA 92037

ASSESSORS PARCEL NUMBER

357-012-13-00

EXISTING LEGAL DESCRIPTION

LEGAL DESCRIPTION: LOT 14, BLOCK 3, LA JOLLA HERMOSA, UNIT NO. 1, IN THE CITY OF SAN DIEGO, COUNTY OF SAN DIEGO, STATE OF CALIFORNIA, ACCORDING TO MAP THEREOF NO. 1810, FILED IN THE OFFICE OF THE COUNTY RECORDER OF SAN DIEGO COUNTY, NOVEMBER 21, 1924.

MINIMUM POST-CONSTRUCTION MAINTENANCE PLAN

AT THE COMPLETION OF THE WORK SHOWN, THE FOLLOWING PLAN SHALL BE FOLLOWED TO ENSURE WATER QUALITY CONTROL IS MAINTAINED FOR THE LIFE OF THE PROJECT:

1. STABILIZATION: ALL PLANTED SLOPES AND OTHER VEGETATED AREAS SHALL BE INSPECTED PRIOR TO OCTOBER 1 OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN ½ INCH) AND REPAIRED AND REPLANTED AS NEEDED UNTIL A NOTICE OF TERMINATION (NOT) IS FILED.
2. STRUCTURAL PRACTICES: DESILTING BASINS, DIVERSION DITCHES, DOWNDRAINS, INLETS, OUTLET PROTECTION MEASURES, AND OTHER PERMANENT WATER QUALITY AND SEDIMENT AND EROSION CONTROLS SHALL BE INSPECTED PRIOR TO OCTOBER 1ST OF EACH YEAR AND AFTER MAJOR RAINFALL EVENTS (MORE THAN ½ INCH). REPAIRS AND REPLACEMENTS SHALL BE MADE AS NEEDED AND RECORDED IN THE MAINTENANCE LOG IN PERPETUITY.
3. OPERATION AND MAINTENANCE, FUNDING: POST-CONSTRUCTION MANAGEMENT MEASURES ARE THE RESPONSIBILITY OF THE DEVELOPER UNTIL THE TRANSFER OF RESPECTIVE SITES TO HOME BUILDERS, INDIVIDUAL OWNERS, HOMEOWNERS ASSOCIATIONS, SCHOOL DISTRICTS, OR LOCAL AGENCIES AND/OR GOVERNMENTS. AT THAT TIME, THE NEW OWNERS SHALL ASSUME RESPONSIBILITY FOR THEIR RESPECTIVE PORTIONS OF THE DEVELOPMENT.

SHEET INDEX

TITLE SHEET	SHEET 1
WATER POLLUTION CONTROL PLAN:	SHEET 2
STORM WATER REQUIREMENTS APPLICABILITY CHECKLIST (DS-560)	SHEET 3

ENGINEERING PERMIT NO.:
DISCRETIONARY PERMIT NO.:

PRIVATE CONTRACT

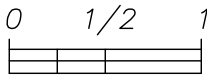
TITLE SHEET FOR:
6216 AVENIDA CRESTA
LOT 14, BLOCK 3 OF LA JOLLA HERMOSA, UNIT NO. 1
ACCORDING TO MAP THEREOF NO. 1810

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 1 OF 3 SHEETS					PROJECT NO. _____
FOR CITY ENGINEER _____ DATE _____					V.T.M. _____
DESCRIPTION	BY	APPROVED	DATE	FILED	
ORIGINAL	XXX				
					XXXX-XXXX NAD83 COORDINATES
					XXX-XXXX LAMBERT COORDINATES
AS-BUILTS					
CONTRACTOR			DATE STARTED _____		XXXXX-1-D
INSPECTOR			DATE COMPLETED _____		

CONSTRUCTION CHANGE TABLE

CHANGE	DATE	EFFECTED OR ADDED SHEET NUMBERS	APPROVAL NO.	PROJECT NO.

WARNING



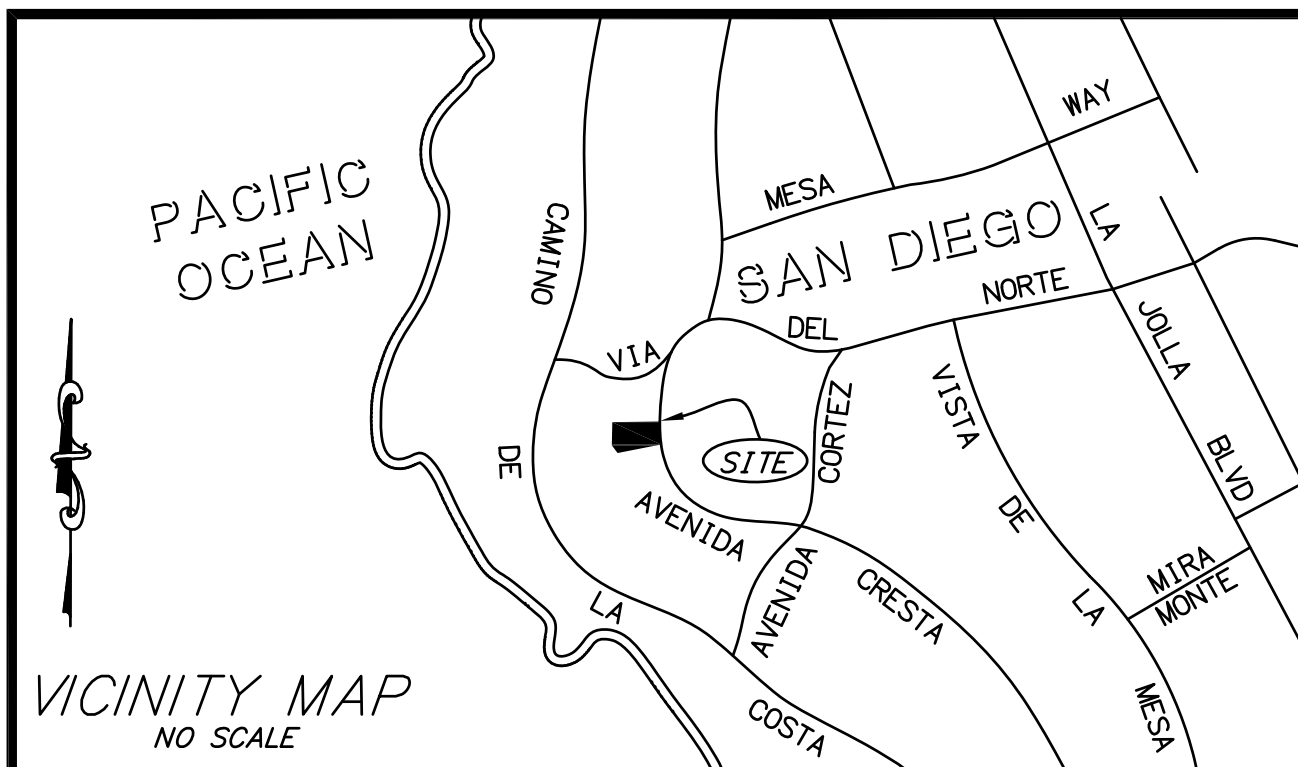
IF THIS BAR DOES
NOT MEASURE 1"
THEN DRAWING IS
NOT TO SCALE.



DEVELOPMENT SERVICES DEPARTMENT


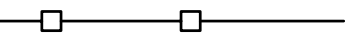





STREET DATA TABLE

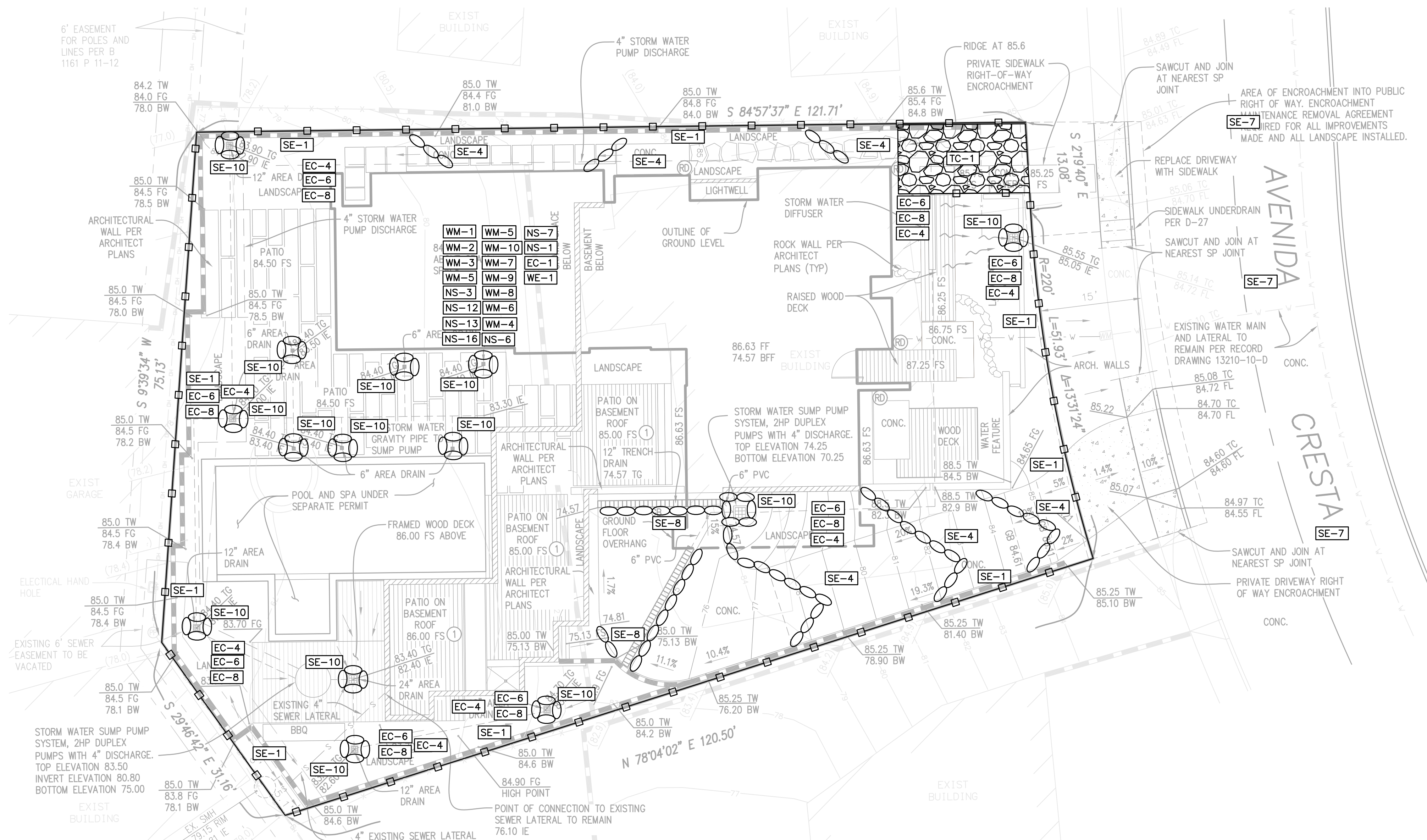
STREET NAME	CLASSIFICATION	SPEED (MPH)	ADT (VEHICLES)	R/W (FT)



EROSION CONTROL LEGEND

THE FOLLOWING EROSION CONTROL BMPs WILL BE USED ON THIS PROJECT, ALONG WITH ALL ELEMENTS OF THE PROJECT'S WATER POLLUTION CONTROL PROGRAM (WPCP) WHICH ARE INCLUDED HEREIN BY REFERENCE.

<u>TEMPORARY BMP NAME</u>	<u>BMP DWG NO</u>	<u>SYMBOL</u>
<u>RESOURCE PROTECTION BMPs</u>		
LINEAR SEDIMENT CONTROLS	SE-1	
<u>MATERIAL STORAGE & HANDLING BMPs</u>		
MATERIAL STORAGE	WM-1	N/A
MATERIAL HANDLING AND USE	WM-2	N/A
LANDSCAPE MATERIAL MANAGEMENT	WM-3 WM-5	N/A
PAVING AND GRADING OPERATIONS	NS-3	N/A
CONCRETE MANAGEMENT	NS-12 NS-13	N/A
	NS-16	
<u>WASTE MANAGEMENT BMPs</u>		
SOLID WASTE MANAGEMENT	WM-5	N/A
LIQUID WASTE MANAGEMENT	WM-10	N/A
CONTAMINATED SOIL MANAGEMENT	WM-7	N/A
SANITARY/SEPTIC WASTE MANAGEMENT	WM-9	N/A
CONCRETE WASTE MANAGEMENT	WM-8	N/A
HAZARDOUS WASTE MANAGEMENT	WM-6	N/A
STOCKPILED WASTE MANAGEMENT	WM-3	N/A
<u>NON-STORM WATER MANAGEMENT BMPs</u>		
SPILL CONTROL PREVENTION	WM-4	N/A
REPORTING SIGNIFICANT SPILLS	N/A	N/A
<u>NON-STORM WATER MANAGEMENT BMPs</u>		
ILLEGAL CONNECTION/DISCHARGE DETECTION & REPORTING	NS-6	N/A
POTABLE WATER/IRRIGATION	NS-7	N/A
WATER CONSERVATION PRACTICES	NS-1	N/A
<u>GENERAL EROSION CONTROL BMPs</u>		
SCHEDULING/PHASING CONSTRUCTION	EC-1	N/A
STOCKPILE MANAGEMENT	WM-3	N/A
<u>NON-VEGETATIVE STABILIZATION BMPs</u>		
STRAW AND WOOD MULCH	EC-6 EC-8	N/A
<u>VEGETATIVE STABILIZATION BMPs</u>		
ESTABLISH INTERIM VEGETATION (HYDROSEEDING)	EC-4	N/A
ESTABLISH PERMANENT LANDSCAPING	N/A	N/A
<u>DUST CONTROL BMPs</u>		
WIND EROSION CONTROL	WE-1	N/A
<u>PERIMETER & LINEAR SEDIMENT CONTROL BMPs</u>		
SILT FENCING	SE-1	
GRAVEL BAG BERM	SE-5	
SAND BAG BARRIER	SE-8	
<u>SEDIMENT CAPTURE BMPs</u>		
STORM DRAIN INLET PROTECTION	SE-10	
<u>OFFSITE SEDIMENT TRACKING BMPs</u>		
STABILIZED CONSTRUCTION ENTRANCE/EXIT	TC-1	
STREET SWEEPING AND VACUUMING	SE-7	N/A
<u>RUN-ON AND RUNOFF CONTROL BMPs</u>		
CHECK DAMS	SE-4	
<u>FINAL STABILIZATION BMPs</u>		
FINAL STABILIZATION	N/A	N/A



SPECIAL RAINY SEASON PROVISIONS

DURING THE RAINY SEASON, THE CONTRACTOR MUST TAKE SPECIAL CARE TO MAKE SURE THAT ALL PROVISIONS OF THIS PLAN AND THE WATER POLLUTION CONTROL PROGRAM ARE FULLY IMPLEMENTED.

1. THE RAINY SEASON IS DEFINED AS FROM OCTOBER 1ST TO MAY 1ST.
2. ALL EROSION CONTROL FEATURES (BMPs) SHALL BE INSPECTED AT LEAST ONCE EACH WEEK.
3. SEE PROVISIONS OF THE WATER POLLUTION CONTROL PROGRAM FOR REQUIRED WORK WHEN A RAIN EVENT IS ANTICIPATED.


ENGINEERING PERMIT NO: _____
DISCRETIONARY PERMIT NO: _____
PRIVATE CONTRACT

WATER POLLUTION CONTROL PLAN:

6216 AVENIDA CRESTA

LOT 14, BLOCK 3 OF LA JOLLA HERMOSA, UNIT NO. 1
ACCORDING TO MAP THEREOF NO. 1810

CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET 2 OF 3 SHEETS					PROJECT NO. _____	
FOR CITY ENGINEER _____ DATE _____					V.T.M. _____	
DESCRIPTION	BY	APPROVED	DATE	FILMED		
ORIGINAL	XXX					
					XXXX-XXXX NADB3 COORDINATES	
					XXX-XXXX LAMBERT COORDINATES	
AS-BUILTS						
CONTRACTOR		DATE STARTED		XXXXX-2-D		
INSPECTOR		DATE COMPLETED				

	Storm Water Requirements Applicability Checklist	FORM DS-560 November 2018
Project Address: 6216 Avenida Cresta		Project Number: 639782
SECTION 1. Construction Storm Water BMP Requirements: All construction sites are required to implement construction BMPs in accordance with the performance standards in the Storm Water Standards Manual . Some sites are additionally required to obtain coverage under the State Construction General Permit (CGP), which is administered by the State Regional Water Quality Control Board.		
For all projects complete PART A: If project is required to submit a SWPPP or WPCP, continue to PART B.		
PART A: Determine Construction Phase Storm Water Requirements.		
1. Is the project subject to California's statewide General NPDES permit for Storm Water Discharges Associated with Construction Activities, also known as the State Construction General Permit (CGP)? (Typically projects with land disturbance greater than or equal to 1 acre.) <input type="checkbox"/> Yes; SWPPP required, skip questions 2-4 <input checked="" type="checkbox"/> No; next question		
2. Does the project propose construction or demolition activity, including but not limited to, clearing, grading, grubbing, excavation, or any other activity resulting in ground disturbance and/or contact with storm water? <input checked="" type="checkbox"/> Yes; WPCP required, skip questions 3-4 <input type="checkbox"/> No; next question		
3. Does the project propose routine maintenance to maintain original line and grade, hydraulic capacity, or original purpose of the facility? (Projects such as pipeline/utility replacement) <input type="checkbox"/> Yes; WPCP required, skip question 4 <input type="checkbox"/> No; next question		
4. Does the project only include the following Permit types listed below? <ul style="list-style-type: none"> • Electrical Permit, Fire Alarm Permit, Fire Sprinkler Permit, Plumbing Permit, Sign Permit, Mechanical Permit, Spa Permit. • Individual Right of Way Permits that exclusively include only ONE of the following activities: water service, sewer lateral, or utility service. • Right of Way Permits with a project footprint less than 150 linear feet that exclusively include only ONE of the following activities: curb ramp, sidewalk and driveway apron replacement, pot holing, curb and gutter replacement, and retaining wall encroachments. <input type="checkbox"/> Yes; no document required		
Check one of the boxes below, and continue to PART B: <div style="display: flex; justify-content: space-between; margin-top: 10px;"> <div style="width: 45%;"> <input type="checkbox"/> If you checked "Yes" for question 1, a SWPPP is REQUIRED. Continue to PART B </div> <div style="width: 45%;"> <input checked="" type="checkbox"/> If you checked "No" for question 1, and checked "Yes" for question 2 or 3, a WPCP is REQUIRED. If the project proposes less than 5,000 square feet of ground disturbance AND has less than a 5-foot elevation change over the entire project area, a Minor WPCP may be required instead. Continue to PART B. </div> </div> <div style="margin-top: 10px;"> <input type="checkbox"/> If you checked "No" for all questions 1-3, and checked "Yes" for question 4 PART B does not apply and no document is required. Continue to Section 2. </div>		
1. More information on the City's construction BMP requirements as well as CGP requirements can be found at: www.sandiego.gov/stormwater/regulations/index.shtml		
Printed on recycled paper. Visit our web site at www.sandiego.gov/development/services . Upon request, this information is available in alternative formats for persons with disabilities.		
Clear Page 1		

Page 2 of 4	City of San Diego • Development Services • Storm Water Requirements Applicability Checklist			
PART B: Determine Construction Site Priority This prioritization must be completed within this form, noted on the plans, and included in the SWPPP or WPCP. The city reserves the right to adjust the priority of projects both before and after construction. Construction projects are assigned an inspection frequency based on if the project has a "high threat to water quality." The City has aligned the local definition of "high threat to water quality" to the risk determination approach of the State Construction General Permit (CGP). The CGP determines risk level based on project specific sediment risk and receiving water risk. Additional inspection is required for projects within the Areas of Special Biological Significance (ASBS) watershed. NOTE: The construction priority does NOT change construction BMP requirements that apply to projects; rather, it determines the frequency of inspections that will be conducted by city staff.				
Complete PART B and continued to Section 2				
1.	<input type="checkbox"/>	ASBS	a. Projects located in the ASBS watershed.	
2.	<input type="checkbox"/>	High Priority	a. Projects that qualify as Risk Level 2 or Risk Level 3 per the Construction General Permit (CGP) and not located in the ASBS watershed. b. Projects that qualify as LUP Type 2 or LUP Type 3 per the CGP and not located in the ASBS watershed.	
3.	<input type="checkbox"/>	Medium Priority	a. Projects that are not located in an ASBS watershed or designated as a High priority site. b. Projects that qualify as Risk Level 1 or LUP Type 1 per the CGP and not located in an ASBS watershed. c. WPCP projects (>5,000sf of ground disturbance) located within the Los Penasquitos watershed management area.	
4.	<input checked="" type="checkbox"/>	Low Priority	a. Projects not subject to a Medium or High site priority designation and are not located in an ASBS watershed.	
SECTION 2. Permanent Storm Water BMP Requirements. Additional information for determining the requirements is found in the Storm Water Standards Manual .				
PART C: Determine if Not Subject to Permanent Storm Water Requirements. Projects that are considered maintenance, or otherwise not categorized as "new development projects" or "redevelopment projects" according to the Storm Water Standards Manual , are not subject to Permanent Storm Water BMPs.				
If "yes" is checked for any number in Part C, proceed to Part F and check "Not Subject to Permanent Storm Water BMP Requirements".				
If "no" is checked for all of the numbers in Part C continue to Part D.				
1.	Does the project only include interior remodels and/or is the project entirely within an existing enclosed structure and does not have the potential to contact storm water?			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
2.	Does the project only include the construction of overhead or underground utilities without creating new impervious surfaces?			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
3.	Does the project fall under routine maintenance? Examples include, but are not limited to: roof or exterior structure surface replacement, resurfacing or reconfiguring surface parking lots or existing roadways without expanding the impervious footprint, and routine replacement of damaged pavement (grinding, overlay, and pothole repair).			<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<div style="border: 1px solid black; display: inline-block; padding: 2px 5px;">Clear Page 2</div>				

SOURCE CONTROL BMP CHECKLIST FOR STANDARD PROJECTS		FORM I-4A	
ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SOURCE CONTROL BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST			
NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS			
SOURCE CONTROL REQUIREMENT	APPLIED?		
4.2.1 PREVENTION OF ILLICIT DISCHARGES INTO THE MS4	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
4.2.2 STORM DRAIN STENCILING OR SIGNAGE	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.2.3 PROTECT OUTDOOR MATERIALS STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.2.4 PROTECT MATERIALS STORED IN OUTDOOR WORK AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.2.5 PROTECT TRASH STORAGE AREAS FROM RAINFALL, RUN-ON, RUNOFF, AND WIND DISPERSAL	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
4.2.6 BMP'S BASED ON POTENTIAL SOURCES OF RUNOFF POLLUTANTS			
ON-SITE STORM DRAIN INLETS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
INTERIOR FLOOR DRAINS AND ELEVATOR SHAFT SUMP PUMPS	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
INTERIOR PARKING GARAGES	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
NEED FOR FUTURE INDOOR & STRUCTURAL PEST CONTROL	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
LANDSCAPE/OUTDOOR PESTICIDE USE	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
POOLS, SPAS, PONDS, DECORATIVE FOUNTAINS, AND OTHER WATER FEATURES	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
FOOD SERVICE	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
REFUSE AREAS	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
INDUSTRIAL PROCESSES	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
OUTDOOR STORAGE OF EQUIPMENT OR MATERIALS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
VEHICLE/EQUIPMENT REPAIR AND MAINTENANCE	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
FUEL DISPENSING AREA	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
LOADING DOCKS	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
FIRE SPRINKLER TEST WATER	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
MISCELLANEOUS DRAIN OR WASH WATER	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
PLAZAS, SIDEWALKS, AND PARKING LOTS	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
SC-6A: LARGE TRASH GENERATING FACILITIES	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
SC-6B: ANIMAL FACILITIES	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
SC-6C: PLANT NURSERIES AND GARDEN CENTERS	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
SC-6D: AUTOMOTIVE-RELATED USES	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A

DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:

SITE DESIGN BMP CHECKLIST FOR STANDARD PROJECTS		FORM I-5A	
ALL DEVELOPMENT PROJECTS MUST IMPLEMENT SITE DESIGN BMP'S. REFER TO CHAPTER 4 AND APPENDIX E OF THE BMP DESIGN MANUAL FOR INFORMATION TO IMPLEMENT BMP'S SHOWN IN THIS CHECKLIST			
NOTE: ALL SELECTED BMP'S MUST BE SHOWN ON THE CONSTRUCTION PLANS			
SITE DESIGN REQUIREMENT		APPLIED?	
4.3.1 MAINTAIN NATURAL DRAINAGE PATHWAYS AND HYDROLOGIC FEATURES	<input type="checkbox"/> YES	<input checked="" type="checkbox"/> NO	<input type="checkbox"/> N/A
4.3.2 CONSERVE NATURAL AREAS, SOILS, AND VEGETATION	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
4.3.3 MINIMIZE IMPERVIOUS AREA	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
4.3.4 MINIMIZE SOIL COMPACTION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.3.5 IMPERVIOUS AREA DISPERSION	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.3.6 RUNOFF COLLECTION	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
4.3.7 LANDSCAPING WITH NATIVE OR DROUGHT TOLERANT SPECIES	<input checked="" type="checkbox"/> YES	<input type="checkbox"/> NO	<input type="checkbox"/> N/A
4.3.8 HARVESTING AND USING PRECIPITATION	<input type="checkbox"/> YES	<input type="checkbox"/> NO	<input checked="" type="checkbox"/> N/A
DISCUSSION / JUSTIFICATION FOR ALL "NO" ANSWERS SHOWN ABOVE:			
4.3.1: NATURAL DRAINAGE IS SURFACE FLOW OFF THE PROPERTY TO THE WEST, BUT DUE TO A DISPUTE WITH THE WESTERLY NEIGHBOR OVER CONCENTRATED DISCHARGE ON THEIR DRIVEWAY, STORM WATER WILL BE PUMPED EAST TO AVENIDA CRESTA.			

Page 3 of 4 City of San Diego • Development Services • Storm Water Requirements Applicability Checklist

PART D: PDP Exempt Requirements.

PDP Exempt projects are required to implement site design and source control BMPs.

If “yes” was checked for any questions in Part D, continue to Part F and check the box labeled “PDP Exempt.”

If “no” was checked for all questions in Part D, continue to Part E.

- Does the project **ONLY** include new or retrofit sidewalks, bicycle lanes, or trails that:
 - are designed and constructed to direct storm water runoff to adjacent vegetated areas, or other non-erodible permeable areas? Or;
 - are designed and constructed to be hydraulically disconnected from paved streets and roads? Or;
 - are designed and constructed with permeable pavements or surfaces in accordance with the Green Streets guidance in the City’s Storm Water Standards manual?

☐ Yes; PDP exempt requirements apply ☒ No; next question
- Does the project **ONLY** include retrofitting or redeveloping existing paved alleys, streets or roads designed and constructed in accordance with the Green Streets guidance in the City’s Storm Water Standards Manual?

☐ Yes; PDP exempt requirements apply ☒ No; project not exempt.

PART E: Determine if Project is a Priority Development Project (PDP).

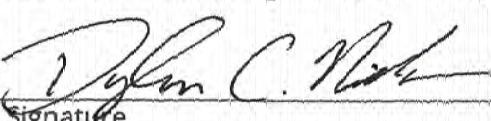
Projects that match one of the definitions below are subject to additional requirements including preparation of a Storm Water Quality Management Plan (SWQMP).

If “yes” is checked for any number in PART E, continue to PART F and check the box labeled “Priority Development Project”.

If “no” is checked for every number in PART E, continue to PART F and check the box labeled “Standard Development Project”.

- New Development that creates 10,000 square feet or more of impervious surfaces collectively over the project site.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. ☐ Yes ☒ No
- Redevelopment project that creates and/or replaces 5,000 square feet or more of impervious surfaces on an existing site of 10,000 square feet or more of impervious surfaces.** This includes commercial, industrial, residential, mixed-use, and public development projects on public or private land. ☐ Yes ☒ No
- New development or redevelopment of a restaurant.** Facilities that sell prepared foods and drinks for consumption, including stationary lunch counters and refreshment stands selling prepared foods and drinks for immediate consumption (SIC 5812), and where the land development creates and/or replace 5,000 square feet or more of impervious surface. ☐ Yes ☒ No
- New development or redevelopment on a hillside.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site) and where the development will grade on any natural slope that is twenty-five percent or greater. ☐ Yes ☒ No
- New development or redevelopment of a parking lot that creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site).** ☐ Yes ☒ No
- New development or redevelopment of streets, roads, highways, freeways, and driveways.** The project creates and/or replaces 5,000 square feet or more of impervious surface (collectively over the project site). ☐ Yes ☒ No

Clear Page 3

Page 4 of 4		City of San Diego • Development Services • Storm Water Requirements Applicability Checklist	
7.	New development or redevelopment discharging directly to an Environmentally Sensitive Area. The project creates and/or replaces 2,500 square feet of impervious surface (collectively over project site), and discharges directly to an Environmentally Sensitive Area (ESA). "Discharging directly" includes flow that is conveyed overlaid a distance of 200 feet or less from the project to the ESA, or conveyed in a pipe or open channel any distance as an isolated flow from the project to the ESA (i.e. not commingled with flows from adjacent lands).	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
8.	New development or redevelopment projects of a retail gasoline outlet (RGO) that create and/or replaces 5,000 square feet of impervious surface. The development project meets the following criteria: (a) 5,000 square feet or more or (b) has a projected Average Daily Traffic (ADT) of 100 or more vehicles per day.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
9.	New development or redevelopment projects of an automotive repair shops that creates and/or replaces 5,000 square feet or more of impervious surfaces. Development projects categorized in any one of Standard Industrial Classification (SIC) codes 5013, 5014, 5541, 7532-7534, or 7536-7539.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
10.	Other Pollutant Generating Project. The project is not covered in the categories above, results in the disturbance of one or more acres of land and is expected to generate pollutants post construction, such as fertilizers and pesticides. This does not include projects creating less than 5,000 sf of impervious surface and where added landscaping does not require regular use of pesticides and fertilizers, such as slope stabilization using native plants. Calculation of the square footage of impervious surface need not include linear pathways that are for infrequent vehicle use, such as emergency maintenance access or bicycle pedestrian use, if they are built with pervious surfaces or if they sheet flow to surrounding pervious surfaces.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
PART F: Select the appropriate category based on the outcomes of PART C through PART E.			
1.	The project is NOT SUBJECT TO PERMANENT STORM WATER REQUIREMENTS.	<input type="checkbox"/>	
	The project is a STANDARD DEVELOPMENT PROJECT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.	<input checked="" type="checkbox"/>	
3.	The project is PDF EXEMPT. Site design and source control BMP requirements apply. See the Storm Water Standards Manual for guidance.	<input type="checkbox"/>	
4.	The project is a PRIORITY DEVELOPMENT PROJECT. Site design, source control, and structural pollutant control BMP requirements apply. See the Storm Water Standards Manual for guidance on determining if project requires a hydromodification plan management.	<input type="checkbox"/>	
Dylan Nickerson		Designer	
Name of Owner or Agent (Please Print)		Title	
		12/12/2019	
Signature		Date	

ENGINEERING PERMIT NO: _____
DISCRETIONARY PERMIT NO: _____
PRIVATE CONTRACT

STORM WATER REQUIREMENTS ACCESSIBILITY CHECKLIST (DS-560): <div style="font-size: 1.5em; font-weight: bold; margin: 10px 0;">6216 AVENIDA CRESTA</div> <div style="margin: 5px 0;">LOT 14, BLOCK 3 OF LA JOLLA HERMOSA, UNIT NO. 1</div> <div style="margin: 5px 0;">(ACCORDING TO MAP THEREOF NO. 1810)</div>				
CITY OF SAN DIEGO, CALIFORNIA DEVELOPMENT SERVICES DEPARTMENT SHEET <u>3</u> OF <u>3</u> SHEETS			PROJECT NO. _____	
FOR CITY ENGINEER _____ DATE _____			V.T.M. _____	
DESCRIPTION	BY	APPROVED	DATE	FILED
ORIGINAL	XXX			
AS-BUILTS				
CONTRACTOR INSPECTOR _____			DATE STARTED _____	
			DATE COMPLETED _____	
			XXXXX-3-D	

CALIFORNIA COASTAL COMMISSION

SAN DIEGO COAST DISTRICT OFFICE
7575 METROPOLITAN DR., SUITE 103
SAN DIEGO, CA 92108-4421
(619) 767-2370
SANDIEGOCOAST@COASTAL.CA.GOV

**APPEAL FORM****Appeal of Local Government Coastal Development Permit****Filing Information (STAFF ONLY)**

District Office: San Diego Coast

Appeal Number: _____

Date Filed: _____

Appellant Name(s): _____

APPELLANTS

IMPORTANT. Before you complete and submit this appeal form to appeal a coastal development permit (CDP) decision of a local government with a certified local coastal program (LCP) to the California Coastal Commission, please review [the appeal information sheet](#). The appeal information sheet describes who is eligible to appeal what types of local government CDP decisions, the proper grounds for appeal, and the procedures for submitting such appeals to the Commission. Appellants are responsible for submitting appeals that conform to the Commission law, including regulations. Appeals that do not conform may not be accepted. If you have any questions about any aspect of the appeal process, please contact staff in the Commission district office with jurisdiction over the area in question (see the Commission's [contact page](#) at <https://coastal.ca.gov/contact/#/>).

Note regarding emailed appeals. Please note that emailed appeals are accepted ONLY at the general email address for the Coastal Commission district office with jurisdiction over the local government in question. For the North Coast district office, the email address is SanDiegoCoast@coastal.ca.gov. An appeal emailed to some other email address, including a different district's general email address or a staff email address, will be rejected. It is the appellant's responsibility to use the correct email address, and appellants are encouraged to contact Commission staff with any questions. For more information, see the Commission's [contact page](#) at <https://coastal.ca.gov/contact/#/>.

EXHIBIT NO. 4

APPLICATION NO.

A-6-LJS-21-0049

Appellants' Appeal



Appeal of local CDP decision
Page 2

1. Appellant information¹

Name: Philip A. Merten Architect for Lawrence P. Bogle
Mailing address: 1236 Muirlands Vista Way, La Jolla, CA 92037
Phone number: 858-459-4756
Email address: Phil@MertenArchitect.com

How did you participate in the local CDP application and decision-making process?

☐ Did not participate ☒ Submitted comment ☒ Testified at hearing ☐ Other

Describe: Submitted 'Merten letter to the H.O. dated 6-7-2021'.
Provided oral testimony at the virtual Hearing Officer
Public Hearing on July 9, 2021.

If you did *not* participate in the local CDP application and decision-making process, please identify why you should be allowed to appeal anyway (e.g., if you did not participate because you were not properly noticed).

Describe: _____

Please identify how you exhausted all LCP CDP appeal processes or otherwise identify why you should be allowed to appeal (e.g., if the local government did not follow proper CDP notice and hearing procedures, or it charges a fee for local appellate CDP processes).

Describe: The City of San Diego charges a fee to Appeal a Hearing Officer's
decision to Approve a CDP

¹ If there are multiple appellants, each appellant must provide their own contact and participation information. Please attach additional sheets as necessary.

Page 3

Local government name:

Local government approval body:

Development Services Department

Local government CDP application number:

Project No. 639782 / CDP No. 2309399

Local government CDP decision:

☒ CDP approval ☐ CDP denial³

Date of local government CDP decision:

June 9, 2021

Describe: 6216 Avenida Cresta, La Jolla, CA

Demolition of an existing 1,876 sq. ft. dwelling unit and construction of a 6,5682 sq.ft. Single Dwelling Unit with a basement that includes Garage and Guest Quarters, and a sewer easement vacation.

³ Very few local CDP denials are appealable, and those that are also require submittal of an appeal fee. Please see the [appeal information sheet](#) for more information.

Page 4

Applicant name(s):

David B. Leidy and Pamela K. Leidy

820 West 'G' Street 213 San Diego, CA 92101

For appeals of a CDP approval, grounds for appeal are limited to allegations that the approved development does not conform to the LCP or to Coastal Act public access provisions. For appeals of a CDP denial, grounds for appeal are limited to allegations that the development conforms to the LCP and to Coastal Act public access provisions. Please clearly identify the ways in which the development meets or doesn't meet, as applicable, the LCP and Coastal Act provisions, with citations to specific provisions as much as possible. Appellants are encouraged to be concise, and to arrange their appeals by topic area and by individual policies.

Describe: See attached 'Grounds for the Appeal' dated July 6, 2021

This image shows a single sheet of white paper with horizontal blue or grey ruling lines. The lines are evenly spaced and run across the width of the page. There are approximately 20 lines visible. The paper has a slight shadow on the right side, suggesting it's resting on a surface.

4 Attach additional sheets as necessary to fully describe the grounds for appeal.

Appeal of local CDP decision
Page 5

5. Identification of interested persons

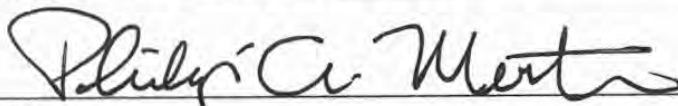
On a separate page, please provide the names and contact information (i.e., mailing and email addresses) of all persons whom you know to be interested in the local CDP decision and/or the approved or denied development (e.g., other persons who participated in the local CDP application and decision making process, etc.), and check this box to acknowledge that you have done so.

☒ Interested persons identified and provided on a separate attached sheet

6. Appellant certifications

I attest that to the best of my knowledge, all information and facts in this appeal are correct and complete.

Print name Philip A. Merten


Signature

Date of Signature July 6, 2021

7. Representative authorizations

While not required, you may identify others to represent you in the appeal process. If you do, they must have the power to bind you in all matters concerning the appeal. To do so, please complete the representative authorization form below and check this box to acknowledge that you have done so.

☐ I have authorized a representative, and I have provided authorization for them on the representative authorization form attached.

⁵ If there are multiple appellants, each appellant must provide their own certification. Please attach additional sheets as necessary.

⁶ If there are multiple appellants, each appellant must provide their own representative authorization form to identify others who represent them. Please attach additional sheets as necessary.

CALIFORNIA COASTAL COMMISSION

455 MARKET STREET, SUITE 300
SAN FRANCISCO, CA 94105-2219
VOICE (415) 904-5200
FAX (415) 904-5400

**DISCLOSURE OF REPRESENTATIVES**

If you intend to have anyone communicate on your behalf to the California Coastal Commission, individual Commissioners, and/or Commission staff regarding your coastal development permit (CDP) application (including if your project has been appealed to the Commission from a local government decision) or your appeal, then you are required to identify the name and contact information for all such persons prior to any such communication occurring (see Public Resources Code, Section 30319). The law provides that failure to comply with this disclosure requirement prior to the time that a communication occurs is a misdemeanor that is punishable by a fine or imprisonment and may lead to denial of an application or rejection of an appeal.

To meet this important disclosure requirement, please list below all representatives who will communicate on your behalf or on the behalf of your business and submit the list to the appropriate Commission office. This list could include a wide variety of people such as attorneys, architects, biologists, engineers, etc. If you identify more than one such representative, please identify a lead representative for ease of coordination and communication. You must submit an updated list anytime your list of representatives changes. You must submit the disclosure list before any communication by your representative to the Commission or staff occurs.

Your Name Dr. Lawrence Bogle

CDP Application or Appeal Number Coastal Development Permit No. 2309399

Lead Representative

Name Philip Merten
Title Architect
Street Address. 1236 Muirlands Vista Way
City La Jolla
State, Zip CA 92037
Email Address Phil@MertenArchitect.com
Daytime Phone 858-459-4756

Your Signature Philip Merten

Digitally signed by Philip Merten
Date: 2021.07.06 16:21:20 -07'00'

Date of Signature JULY 6, 2021



www.MertenArchitect.com

PHILIP A. MERTEN AIA ARCHITECT

1236 MUIRLANDS VISTA WAY LA JOLLA CALIFORNIA 92037 PHONE 858-459-4756 Phil@MertenArchitect.com

GROUNDNS FOR THE APPEAL of the City of San Diego's Approval of a Coastal Development Permit for:

LEIDY RESIDENCE

6216 Avenida Cresta, La Jolla

San Diego Project No. 639782 - Coastal Development Permit No. 2309399

GROUNDNS FOR THE APPEAL

A required Finding for a Coastal Development Permit (CDP) is: **'The proposed coastal development is in conformity with the certified Local Coastal Program land use plan'**. Contrary to the required 'Finding' for a CDP the proposed development simply does not conform to the certified *Local Coastal Program Land Use Plan (La Jolla Community Plan and Local Coastal Program Land Use Plan)*.

Neighborhood Character

In 2004 the surrounding neighborhood was potentially identified as the *La Jolla Hermosa Historic District* in the *La Jolla Historical Survey*, by Architect Milford Wayne Donaldson FAIA and the La Jolla Historical Society, prepared for the City of San Diego Planning Department. The *Historical Survey* identified four historic homes within 1200 feet of the proposed project. Two historic homes designed by Master Architect Thomas Shepard in the late 1920s are at 6019 Avenida Cresta in a French Eclectic style and 6101 Avenida Cresta in a Spanish Eclectic style, both within 900 feet of the proposed project. Not on the *Historical Survey* but across the street from the proposed project at 6219 Avenida is a home originally designed by Master Architect Thomas Shepard in the early 1930's in a Spanish Eclectic style.

The subject site is the grey roof dwelling with the bare rear yard in the center of the following aerial photo looking North.



With the exception of two dwellings on Camino De La Costa (the street below) all of the existing homes in the neighborhood have sloping clay tile or shingle clad roofs.

Neighborhood Character (continued)

The subject site is the grey roof dwelling with the bare rear yard in the center of the following aerial photo looking east.



With the exception of two dwellings on Camino De La Costa, the street below (West), all of the existing homes in the neighborhood have clay tile or shingle sloping roofs. The majority of homes have singled story elements facing Avenida Cresta. Those homes with two story elements facing Avenida Cresta are set back significantly further from the street.

LA JOLLA COMMUNITY PLAN AND LOCAL COASTAL PROGRAM

In 2003 the California Coastal Commission certified the *La Jolla Community Plan and Local Coastal Program Land Use Plan*.

To maintain community character **The *Community Character* Recommendations of the *RESIDENTIAL LAND USE ELEMENT* of the *La Jolla Community Plan and Local Coastal Program Land Use Plan* state:**

2. Community Character

- a. In order to maintain and enhance the existing neighborhood character and ambiance, and to promote good design and visual harmony in the transitions between new and existing structures, preserve the following elements:
 - 1) Bulk and scale - with regard to surrounding structures or land form conditions as viewed from the public right-of-way and from parks and open space;
 - 2) Street landscape - with regard to size and shape or generalized type of planting materials;

LA JOLLA COMMUNITY PLAN AND LOCAL COASTAL PROGRAM (continued)

Contrary to the Community Character Recommendations of the *La Jolla Community Plan and Local Coastal Program Land Use Plan*, the voluminous rectangular bulk, height and scale of the front north-west portion of the project immediately adjacent the front yard set back line is so different from that of the adjacent surrounding structures, that it does not preserve nor enhance the bulk and scale of the existing neighborhood character especially as viewed for the public right -of-way (Avenida Cresta).

The excessive and disruptive bulk, height and scale of the project in relation to the adjacent surrounding structures is best illustrated by the applicant's own exhibits (below) as were presented to the La Jolla Community Planning Association.

View from Avenida Cresta looking north-west:



from Avenida Cresta looking south-west:



View

LA JOLLA COMMUNITY PLAN AND LOCAL COASTAL PROGRAM (continued)

The excessive and voluminous rectangular bulk, 26 foot vertical height and scale of the front north-east portion of the project immediately adjacent the front and side *yard set back* lines is so different from that of the adjacent dwelling on the right (north) that it severely disrupts the existing neighborhood character.

Insufficient Transition in Bulk and Scale

The *Community Character* Recommendations of the **RESIDENTIAL LAND USE ELEMENT** of the *La Jolla Community Plan and Local Coastal Program Land Use Plan* state:

- e. In order to address transitions between the bulk and scale of new and older development in residential areas, maintain the existing 30-foot height limit of the single dwelling unit zones and Proposition D. Structures with front and side yard facades that exceed one story should slope or step back additional stories, up to the 30-foot height limit, in order to allow flexibility while maintaining the integrity of the streetscape and providing adequate amounts of light and air.



Contrary to the *La Jolla Community Plan and Local Coastal Program Land Use Plan* the upper level front (east) and right side (north) exterior wall facades of the voluminous rectangular element, just 20 feet from the front property line and 6'-2" from the side property line, **do not step back from the lower level exterior walls and provide no transition in the height and mass of the proposed home to that of the existing lower adjacent home**

According to the applicant's exhibits, the top of the roof parapet of the proposed voluminous rectangular white colored element adjacent the front building setback line is Elev: 110.16', while the top front ridge of the mansard roof of the adjacent dwelling on the right (north) is Elev: 101.3'. The 9 foot disparity in the proposed new roof elevation to that of the existing roof elevation of the existing home provides no transition between the bulk, height and scale of the proposed home to that of the existing adjacent home, and lessens the integrity of the streetscape.

(Note: Had the voluminous rectangular element been located on the southern portion of the subject property, an effective transition between the bulk and scale of the tall existing adjacent home on the left (south) to that of the existing lower adjacent home on the right (north) might have occurred.)

CONCLUSION:

As the proposed project is not in conformity with the certified *Local Coastal Program Land Use Plan* the required Finding for a Coastal Development Permit that the 'The proposed coastal development is in conformity with the certified *Local Coastal Program Land Use Plan* ...' cannot be made.

CATEGORICAL EXEMPTION FROM CEQA

Title 24 California Code of Regulations, Chapter, Article 19 Categorical Exemptions,
Section 15300.2 Exceptions to Categorical Exemptions states:

(b) Cumulative Impact. All exemptions for these classes are inapplicable when the cumulative impact of successive projects of the same type in the same place, over time is significant.

This particular project is so different from the existing development pattern that the cumulative impact of future projects like this one will forever alter the neighborhood character; and therefore **can not be exempted from CEQA review.**

Submitted By:

A handwritten signature in black ink, appearing to read "Philip A. Merten". The signature is stylized with a large initial "P" and a long, sweeping underline.

Philip A. Merten AIA

Date: July 6, 2021



THE CITY OF SAN DIEGO

RECEIVED

JUL 06 2021

CALIFORNIA
COASTAL COMMISSION
SAN DIEGO COAST DISTRICT

COASTAL DEVELOPMENT PERMIT NOTICE OF FINAL ACTION

California Coastal Commission, San Diego Area Office
7575 Metropolitan Drive, Suite 103, San Diego, CA 92108-4402
Phone (619) 767-2370

June 30, 2021

6-LJS-21-0620

The following project is located within the City of San Diego Coastal Zone. A Coastal Permit application for the project has been acted upon as follows:

PROJECT NAME - NUMBER: Leidy Residence CDP - 639782, CEQA Exemption

PROJECT DESCRIPTION: Coastal Development Permit and Easement Vacation for demolition of an existing 1,876 SF dwelling unit and construction of a 6,582 SF, two-story single dwelling unit with basement, 405 SF garage, 661 SF ADU, and sewer easement vacation located at 6216 Avenida Cresta.

LOCATION: 6216 Avenida Cresta

ASSESSOR'S PARCEL NO.: 357-012-1300

APPLICANT'S NAME Chandra Slaven
ADDRESS & PHONE NO.: 820 W G Street 213
San Diego, CA 92101
(619)316-7645

FINAL ACTION: APPROVED WITH CONDITIONS

ACTION BY: Hearing Officer

ACTION DATE: June 9, 2021

CONDITIONS OF APPROVAL: See attached Permit.

FINDINGS: See attached Resolution.

- X Appealable to the Coastal Commission pursuant to Coastal Act Section 30603. An aggrieved person may appeal this decision to the Coastal Commission only after a decision by the City Council (or Planning Commission for Process 2 and 3 Coastal Development Permits) and within ten (10) business days following Coastal Commission receipt of this Notice, as to the date the Commission's appeal period will conclude.

EXHIBIT NO. 5

APPLICATION NO.

A-6-LJS-21-0049

City Notice of Final
Action



California Coastal Commission

CITY CONTACT:

Benjamin Hafertepe
Development Services Department
1222 First Avenue, MS 501
San Diego, CA 92101-4101
(619)446-5086 AND BHafertepe@sandiego.gov

HEARING OFFICER RESOLUTION NO. [REDACTED]
COASTAL DEVELOPMENT PERMIT NO. 2309399
LEIDY RESIDENCE CDP - PROJECT NO. 639782

WHEREAS, DAVID B. LEIDY AND PAMELA K. LEIDY, Husband and Wife as Joint Tenants, Owner/Permittee, filed an application with the City of San Diego for a Coastal Development Permit and a Public Service Easement Vacation to demolish an existing single dwelling unit and to construct a 6,582 square-foot, two-story single dwelling unit with basement, 405 square-foot garage, 661 square-foot accessory dwelling unit, and to vacate a portion of an existing sewer easement (as described in and by reference to the approved Exhibits "A" and corresponding conditions of approval for the associated Permit No. 2309399 on portions of a 0.24-acre site;

WHEREAS, the project site is located at 6216 Avenida Cresta in the RS-1-5 Zone and Coastal Overlay (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones within the La Jolla Community Plan area;

WHEREAS, the project site is legally described as Lot 14, Block 3, La Jolla Hermosa, Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof NO. 1810, filed in the Office of the County Recorder of San Diego County, November 21, 1924; Also Known as: 6216 Avenida Cresta, La Jolla, CA 92037; APN #: 357-012-13-00;

WHEREAS, on December 3, 2020, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15301, Existing Facilities, and Section 15303, New Construction or Conversion of Small Structures; and there was no appeal of the

Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520;

WHEREAS, on June 9, 2021, the Hearing Officer of the City of San Diego considered Coastal Development Permit No. 2309399 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED by the Hearing Officer of the City of San Diego, that it adopts the following findings with respect to Coastal Development Permit No. 2309399;

A. COASTAL DEVELOPMENT PERMIT [SDMC Section 126.0708]

1. Findings for all Coastal Development Permits:

- (a) The proposed coastal development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in a Local Coastal Program land use plan; and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.**

The project proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two-story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot accessory dwelling unit (ADU). The project also proposes to vacate a 103.44 square-foot portion of an existing sewer easement located on the westerly portion of the site. The 0.24-acre project site is located at 6216 Avenida Cresta in the RS-1-5 Zone and the Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones.

The Community Plan designates the site and surrounding areas to the North, South, East and West as Low Density Residential with a density of 5 to 9 dwelling units per acre (DU/AC). The proposed two-story, 6,582 square-foot single dwelling unit with a 661 square-foot ADU is consistent with the underlying land-use designation. The Residential Land Use section of the Community Plan includes goals for maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures (pg. 67). The neighborhood is developed with one- and two-story single-family residential development ranging from older construction to more recent development, and the proposed single dwelling unit would serve to maintain the

present diverse design themes of the surrounding area. Furthermore, the Residential Land Use section also recommends the promotion of development of a variety of housing types and styles in La Jolla, and the project's contemporary design will diversify the architectural styles in the neighborhood while still conforming to the bulk and scale of adjacent properties, proposing an open courtyard on the south side (side yard), which reduces the massing and integrates a view corridor for pedestrians located at the street.

The project site is located approximately 415 feet from the Pacific Ocean. The roadway immediately adjacent to the project site, Avenida Cresta, is not identified as a public vantage point in the Community Plan and LCP (pg. 35). Via del Norte (North of the site), Avenida Cortez (South of the site), and Camino De La Costa (West of the site) are identified as Scenic Overlooks and Intermittent or Partial Vistas (pg. 35). However, the project would not impact public views of the Pacific Ocean, as the project is observing all required setbacks and the proposed project is contained within the existing lot area. Due to all development taking place within the project premises, the project will not encroach upon any existing or proposed physical accessway that is legally used by the public identified in the Community Plan and LCP Land Use Plan. Additionally, the Residential Land Use section of the Community Plan recommends that the new development maintain the existing 30-foot height limit of the single dwelling unit zones in order to maintain La Jolla's community character (pg. 76). Additionally, the project's proposed height of 33 feet, 2 inches from lowest adjacent grade (the proposed basement) to the highest point of building complies with the maximum Coastal Height Limit, as the height measured from the lowest adjoining surface does not exceed the 30-foot maximum height by more than 10 feet, pursuant to SDMC Section 113.0270(a)(4)(D). Moreover, the height of the front façade facing Avenida Cresta is approximately 27 feet and is in keeping with the existing character of the community, is consistent with the goals of the Community Plan and LCP and contributes to preserving and improving the physical appearance and visual harmony of the La Jolla community.

Therefore, the proposed development will not encroach upon any existing physical accessway that is legally used by the public or any proposed public accessway identified in the Local Coastal Program land use plan and the proposed coastal development will enhance and protect public views to and along the ocean and other scenic coastal areas as specified in the Local Coastal Program land use plan.

(b) The proposed coastal development will not adversely affect environmentally sensitive lands.

The project site is located at 6216 Avenida Cresta and is currently developed with an existing single dwelling unit within the Community Plan area. The project proposes to demolish the existing dwelling unit and to construct a two-story single dwelling unit with a basement that includes a 405 square-foot garage and 661 square-foot ADU on a 0.24-acre site. The project site was a previously graded

and developed site located within an urbanized area and is located approximately 415 feet from the Pacific Ocean. However, the project site does not contain or is not adjacent to any steep hillsides, sensitive biological resources, sensitive coastal bluffs, or Special Flood Hazard Areas. Therefore, the proposed coastal development will not adversely affect environmentally sensitive lands.

(c) The proposed coastal development is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

The project proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two-story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot ADU. The project also proposes to vacate a 103.44 square-foot portion of an existing sewer easement located on the westerly portion of the site. The 0.24-acre project site is located at 6216 Avenida Cresta in the RS-1-5 Zone and the Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones.

The project complies with all required regulations in the SDMC, the Community Plan and the LCP. The project site is in the RS-1-5 Zone, which is a residential zone intended to provide for flexibility in the development of single dwelling units that allow reasonable use of property while minimizing adverse impact to adjacent properties. Based on the density outlined in Table 131-04D, one dwelling unit is allowed per lot, and therefore, the proposed single dwelling unit is consistent with the prescribed density for the site. The total proposed floor ratio (FAR) of 0.52 complies with the maximum FAR of 0.54. Furthermore, the project's lot coverage of 29.79% is far below the maximum allowed lot coverage of 50%. The proposed two off-street parking spots meet the required parking for the site. The project has been designed in conformance with all required setbacks, including the 20-foot minimum front setback, side and street setback calculation, and 20-foot minimum rear setback. Additionally, the project's proposed height of 33 feet, 2 inches from lowest adjacent grade (the proposed basement) to the highest point of building complies with the maximum Coastal Height Limit, as the height measured from the lowest adjoining surface does not exceed the 30-foot maximum height by more than 10 feet, pursuant to SDMC section 113.0207(a)(4)(D).

The proposed ADU complies with all required regulations in the SDMC, Community Plan and LCP. In accordance with SDMC Section 141.0302(a)(2)(B), ADU's are not subject to the density limitations for the premises. Therefore, the proposed ADU does not affect the prescribed density for the site. The sole ADU proposed complies with the maximum single ADU permitted on the premises with a proposed single dwelling unit. Furthermore, the proposed ADU complies with the required gross floor area maximum of 1,200 square-feet and minimum

of 150-square-feet. As the ADU is proposed in the basement of the single dwelling unit, the ADU complies with required setbacks as well.

The project site contains a six-foot wide sewer easement commencing at Lot 14's most southwesterly corner and continuing northwesterly along Lot 14's westerly boundary, as shown on Map No. 1810. The project proposes to vacate a 103.44 square-foot portion of the subject existing sewer easement, as the proposed easement vacation area is one that is currently not in use due to the sewer line terminating at the manhole located before the portion to be vacated. The action will remove the City's liability for an area that is not needed or required. The Public Utilities Department has confirmed that the existing sewer manhole is in good working condition and field staff will have access to it through the private property via a recorded access easement should maintenance be required (to be processed through a subsequent ministerial review).

The project site is located approximately 415 feet from the Pacific Ocean. The roadway immediately adjacent to the project site, Avenida Cresta, is not identified as a public vantage point in the Community Plan and LCP (pg. 35). Via del Norte (North of the site), Avenida Cortez (South of the site), and Camino De La Costa (West of the site) are identified as Scenic Overlooks and Intermittent or Partial Vistas (pg. 35). However, the project would not impact public views of the Pacific Ocean, as the project is observing all required setbacks and the proposed project is contained within the existing lot area. Due to all development taking place within the project premises, the project will not encroach upon any existing or proposed physical accessway that is legally used by the public identified in the Community Plan and LCP Land Use Plan. Additionally, the project's proposed height of 33 feet, 2 inches from lowest adjacent grade (the proposed basement) to the highest point of building complies with the maximum Coastal Height Limit, as the height measured from the lowest adjoining surface does not exceed the 30-foot maximum height by more than 10 feet, pursuant to SDMC Section 113.0270(a)(4)(D). Moreover, the height of the front façade facing Avenida Cresta is approximately 27 feet and is in keeping with the existing character of the community, is consistent with the goals of the Community Plan and LCP and contributes to preserving and improving the physical appearance and visual harmony of the La Jolla community.

The project has been designed in compliance with all the applicable provisions of the Community Plan and LCP, and the San Diego Municipal Code (SDMC) and does not require or request any deviations. Therefore, the proposed project is in conformity with the certified Local Coastal Program land use plan and complies with all regulations of the certified Implementation Program.

- (d) For every Coastal Development Permit issued for any coastal development between the nearest public road and the sea or the shoreline of any body of water located within the Coastal Overlay Zone the coastal development is in conformity with the public access and public recreation policies of Chapter 3 of the California Coastal Act.**

The project proposes to demolish the existing dwelling unit and to construct a two-story single dwelling unit with a basement that includes a 405 square-foot garage and 661 square-foot ADU on a 0.24-acre site. The project also proposes the vacation of a portion of an existing sewer easement.

The project site is located approximately 415 feet from the Pacific Ocean, on Avenida Cresta. There is no existing or proposed public access to the beach on the project site as identified in the Community Plan and LCP and therefore, the project would not impact any or adversely affect any public access. The development is proposed on private property and designed in conformance with all applicable development regulations. Due to its location, the development would not block views to and along the shoreline from public areas, as identified in the Community Plan and LCP (pg. 35). The project would not impact public views of the Pacific Ocean, as the project is observing all required setbacks and does not impede on any existing or proposed physical accessway that is legally used by the public identified in the Community Plan and LCP Land Use Plan. The project site is not located in an area identified for public recreation and will not impact existing public recreation areas. Therefore, the project conforms with the public access and public recreation policies of Chapter 3 of the California Coastal Act.

The above findings are supported by the minutes, maps and exhibits, all of which are incorporated herein by this reference.

BE IT FURTHER RESOLVED that, based on the findings hereinbefore adopted by the Development Services Department, Coastal Development Permit No. 2309399 is hereby GRANTED by the Hearing Officer to the referenced Owner/Permittee, in the form, exhibits, terms and conditions as set forth in Coastal Development Permit No. 2309399, a copy of which is attached hereto and made a part hereof.

Ben Hafertepe
Development Project Manager
Development Services

Adopted on: June 9, 2021

IO#: 24008303

DRAFT

RESOLUTION NUMBER _____

DATE OF FINAL PASSAGE June 9, 2021

A RESOLUTION VACATING PUBLIC SERVICES EASEMENT NO. 2535513
FOR THE LEIDY RESIDENCE CDP-PROJECT NO. 639782

WHEREAS, San Diego Municipal Code section 125.1010(a) provides a procedure for the vacation of public service easements and San Diego Municipal Code section 112.0103 provides a procedure for consolidating the processing of multiple approvals by the decision maker at the highest level of authority for that development, in this instance the Hearing Officer; and

WHEREAS, DAVID B. LEIDY AND PAMELA K. LEIDY, Husband and Wife as Joint Tenants, Owner/Permittee, filed an application to vacate a Public Service Easement, located at 6216 Avenida Cresta in the RS-1-5 Zone and the Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones; and

WHEREAS, it is proposed that a portion of a six-foot wide sewer easement be vacated; and

WHEREAS, on December 3, 2020, the City of San Diego, as Lead Agency, through the Development Services Department, made and issued an Environmental Determination that the project is exempt from the California Environmental Quality Act (CEQA) (Public Resources Code Section 21000 et seq.) under CEQA Guidelines Section 15301, Existing Facilities, and Section 15303, New Construction or Conversion of Small Structures, and there was no appeal of the Environmental Determination filed within the time period provided by San Diego Municipal Code Section 112.0520; and

WHEREAS, on June 9, 2021, the Hearing Officer of the City of San Diego considered Easement Vacation No. 2535513 pursuant to the Land Development Code of the City of San Diego;

NOW, THEREFORE,

BE IT RESOLVED, by the Hearing Officer, that with respect to the sewer easement located within the property located at 6216 Avenida Cresta, the Hearing Officer adopts the following findings with respect to Easement Vacation No. 2535513 pursuant to SDMC Section 125.1040:

- (a) **There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.**

The Leidy Residence CDP project (Project) proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two-story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot accessory dwelling unit (ADU). The project also proposes to vacate a 103.44 square-foot portion of an existing sewer easement located on the westerly portion of the site. The 0.24-acre project site is located at 6216 Avenida Cresta in the RS-1-5 Zone and designated as Low Density Residential with 5 to 9 dwelling units per acre (DU/AC) within the La Jolla Community Plan (the Community Plan) and Local Coastal Program (LCP). The project site is also located within the Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones.

The project site contains a six-foot wide sewer easement commencing at Lot 14's most southwesterly corner and continuing northwesterly along Lot 14's westerly boundary, as shown on Map No. 1810. The project proposes to vacate a 103.44 square-foot portion of the subject existing sewer easement, as the proposed easement vacation area is one that is currently not in use due to the sewer line terminating at the manhole located before the portion of the easement to be vacated. The action will remove the City's liability for an area that is not needed or required. The Public Utilities Department has confirmed that the existing sewer manhole is in good working condition and field staff will have access to it through the private property via a recorded access easement should maintenance be required (to be processed through a subsequent ministerial review).

There is no present or prospective public use for the easement, either for the facility or purpose for which it was originally acquired or for any other public use of a like nature that can be anticipated.

- (b) **The public will benefit from the action through improved utilization of the land made available by the vacation.**

The project site contains a six-foot wide sewer easement commencing at Lot 14's most southwesterly corner and continuing northwesterly along Lot 14's westerly boundary, as shown on Map No. 1810. There are no utilities or public services within

the portion to be vacated, as the public sewer line terminates at the manhole located prior to the portion of the easement to be vacated.

As outlined in Finding (a) listed above, the project proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two-story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot ADU. The proposed vacation of a portion of the sewer easement will allow for the future development of land that was previously not developable. Additionally, the public will also benefit through improved utilization of the land because the area of privately-owned land subject to property tax will be increased, which would contribute to an incremental increase to the tax base. Therefore, the public will benefit from the action through improved utilization of the land made available by the vacation.

(c) The vacation is consistent with any applicable land use plan.

As outlined in Finding (a) listed above, the project proposes to demolish an existing dwelling unit and construct a 6,582 square-foot, two-story dwelling unit with a basement including a 405 square-foot two-car garage, and a 661 square-foot ADU. The Community Plan designated the site and surrounding areas to the North, South, East and West as Low Density Residential with a density of 5-9 DU/AC. The proposed two-story, 6,582 square-foot single dwelling unit with a 661 square-foot ADU is consistent with the underlying land-use designation.

The Community Plan does not reference easement vacations directly. However, the proposed sewer easement vacation does not change any land use, as it does not affect the prescribed density for the site. It also does not impact existing or proposed sewer collection services. Therefore, the vacation is consistent with any applicable land use plan.

(d) The public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

The project site contains a six-foot wide sewer easement commencing at Lot 14's most southwesterly corner and continuing northwesterly along Lot 14's westerly boundary, as shown on Map No. 1810. The easement was originally acquired for the City to access and maintain the sewer line that is located within the project site. There are no utilities or public services within the portion to be vacated, as the public sewer line terminates at the manhole located prior to the portion of the easement to be vacated. Additionally, the Public Utilities Department has confirmed that the existing sewer manhole is in good working condition and field staff will have access to it through the private property via a recorded access easement should maintenance be required (to be processed through a subsequent ministerial review.) Therefore, the public facility or purpose for which the easement was originally acquired will not be detrimentally affected by the vacation or the purpose for which the easement was acquired no longer exists.

BE IT FURTHER RESOLVED, that the public service easement located within 6216 Avenida Cresta in connection with Coastal Development Permit No. 2309399, as more particularly described in the legal description marked as Exhibit "A," and shown on Drawing No. 42405-B, marked as Exhibit "B," which are by this reference incorporated herein and made a part hereof, is ordered vacated.

BE IT FURTHER RESOLVED, that the Development Services Department shall record a quitclaim deed with an attached copy of this resolution and any exhibits, in the Office of the County Recorder releasing to the property owner, all rights title and interest in said easement.

Ben Hafertepe
Development Project Manager
Development Services

Adopted on: June 9, 2021

IO No.: 24008303

RECORDING REQUESTED BY
CITY OF SAN DIEGO
DEVELOPMENT SERVICES
PERMIT INTAKE, MAIL STATION
501

WHEN RECORDED MAIL TO
PROJECT MANAGEMENT
PERMIT CLERK
MAIL STATION 501

INTERNAL ORDER NUMBER: 24008303

SPACE ABOVE THIS LINE FOR RECORDER'S USE

COASTAL DEVELOPMENT PERMIT NO. 2309399
LEIDY RESIDENCE - PROJECT NO. 639782
HEARING OFFICER

This Coastal Development Permit No. 2309399 is granted by the Hearing Officer of the City of San Diego to David B. Leidy and Pamela K. Leidy, Husband and Wife as Joint Tenants, Owner/Permittee, pursuant to San Diego Municipal Code [SDMC] section 126.0702. The 0.24-acre site is located at 6216 Avenida Cresta in the RS-1-5 Zone and Coastal (Appealable), Coastal Height Limit, Coastal and Beach Parking Impact, Residential Tandem Parking, Transit Area, and Transit Priority Area Overlay Zones within the La Jolla Community Planning area. The project site is legally described as: Lot 14, Block 3, La Jolla Hermosa, Unit No. 1, in the City of San Diego, County of San Diego, State of California, according to Map thereof No. 1810, filed in the Office of the County Recorder of San Diego County, November 21, 1924; Also known as: 6216 Avenida Cresta, La Jolla, CA 92037; AP #: 357-012-13-00.

Subject to the terms and conditions set forth in this Permit, permission is granted to Owner/Permittee to construct a new single dwelling unit with basement, garage, and accessory dwelling unit as described and identified by size, dimension, quantity, type and location on the approved exhibits [Exhibit "A"] dated June 9, 2021, on file in the Development Services Department.

The project shall include:

- a. The demolition of an existing 1,876 square-foot dwelling unit and construction of a 6,582 square-foot, two-story single dwelling unit with basement with a 405 square-foot garage and 661 square-foot accessory dwelling unit, and sewer easement vacation.
- b. Landscaping (planting, irrigation and landscape related improvements);
- c. Off-street parking;
- d. Public and private accessory improvements determined by the Development Services Department to be consistent with the land use and development standards for this site in accordance with the adopted community plan, the California Environmental Quality Act

[CEQA] and the CEQA Guidelines, the City Engineer's requirements, zoning regulations, conditions of this Permit, and any other applicable regulations of the SDMC.

STANDARD REQUIREMENTS:

1. This permit must be utilized within thirty-six (36) months after the date on which all rights of appeal have expired. If this permit is not utilized in accordance with Chapter 12, Article 6, Division 1 of the SDMC within the 36-month period, this permit shall be void unless an Extension of Time has been granted. Any such Extension of Time must meet all SDMC requirements and applicable guidelines in effect at the time the extension is considered by the appropriate decision maker. This permit must be utilized by **DATE**.
2. This Coastal Development Permit shall become effective on the eleventh working day following receipt by the California Coastal Commission of the Notice of Final Action or following all appeals.
3. No permit for the construction, occupancy, or operation of any facility or improvement described herein shall be granted, nor shall any activity authorized by this Permit be conducted on the premises until:
 - a. The Owner/Permittee signs and returns the Permit to the Development Services Department; and
 - b. The Permit is recorded in the Office of the San Diego County Recorder.
4. While this Permit is in effect, the subject property shall be used only for the purposes and under the terms and conditions set forth in this Permit unless otherwise authorized by the appropriate City decision maker.
5. This Permit is a covenant running with the subject property and all of the requirements and conditions of this Permit and related documents shall be binding upon the Owner/Permittee and any successor(s) in interest.
6. The continued use of this Permit shall be subject to the regulations of this and any other applicable governmental agency.
7. Issuance of this Permit by the City of San Diego does not authorize the Owner/Permittee for this Permit to violate any Federal, State or City laws, ordinances, regulations or policies including, but not limited to, the Endangered Species Act of 1973 [ESA] and any amendments thereto (16 U.S.C. § 1531 et seq.).
8. The Owner/Permittee shall secure all necessary building permits. The Owner/Permittee is informed that to secure these permits, substantial building modifications and site improvements may be required to comply with applicable building, fire, mechanical, and plumbing codes, and State and Federal disability access laws.

9. Construction plans shall be in substantial conformity to Exhibit "A." Changes, modifications, or alterations to the construction plans are prohibited unless appropriate application(s) or amendment(s) to this Permit have been granted.

10. All of the conditions contained in this Permit have been considered and were determined necessary to make the findings required for approval of this Permit. The Permit holder is required to comply with each and every condition in order to maintain the entitlements that are granted by this Permit.

If any condition of this Permit, on a legal challenge by the Owner/Permittee of this Permit, is found or held by a court of competent jurisdiction to be invalid, unenforceable, or unreasonable, this Permit shall be void. However, in such an event, the Owner/Permittee shall have the right, by paying applicable processing fees, to bring a request for a new permit without the "invalid" condition(s) back to the discretionary body which approved the Permit for a determination by that body as to whether all of the findings necessary for the issuance of the proposed permit can still be made in the absence of the "invalid" condition(s). Such hearing shall be a hearing de novo, and the discretionary body shall have the absolute right to approve, disapprove, or modify the proposed permit and the condition(s) contained therein.

11. The Owner/Permittee shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any and all claims, actions, proceedings, damages, judgments, or costs, including attorney's fees, against the City or its agents, officers, or employees, relating to the issuance of this permit including, but not limited to, any action to attack, set aside, void, challenge, or annul this development approval and any environmental document or decision. The City will promptly notify Owner/Permittee of any claim, action, or proceeding and, if the City should fail to cooperate fully in the defense, the Owner/Permittee shall not thereafter be responsible to defend, indemnify, and hold harmless the City or its agents, officers, and employees. The City may elect to conduct its own defense, participate in its own defense, or obtain independent legal counsel in defense of any claim related to this indemnification. In the event of such election, Owner/Permittee shall pay all of the costs related thereto, including without limitation reasonable attorney's fees and costs. In the event of a disagreement between the City and Owner/Permittee regarding litigation issues, the City shall have the authority to control the litigation and make litigation related decisions, including, but not limited to, settlement or other disposition of the matter. However, the Owner/Permittee shall not be required to pay or perform any settlement unless such settlement is approved by Owner/Permittee.

CLIMATE ACTION PLAN REQUIREMENTS:

12. Owner/Permittee shall comply with the Climate Action Plan (CAP) Consistency Checklist stamped as Exhibit "A." Prior to issuance of any construction permit, all CAP strategies shall be noted within the first three (3) sheets of the construction plans under the heading "Climate Action Plan Requirements" and shall be enforced and implemented to the satisfaction of the Development Services Department.

ENGINEERING REQUIREMENTS:

13. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the closure of existing driveway with City standard curb, gutter and sidewalk, adjacent to the site on Avenida Cresta, satisfactory to the City Engineer.
14. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond the construction of a new City standard 12 ft driveway, adjacent to the site on Avenida Cresta, satisfactory to the City Engineer.
15. Prior to the issuance of any building permit, the Owner/Permittee shall assure by permit and bond to reconstruct the existing damaged curb with City Standard curb and gutter, adjacent to the site on Avenida Cresta, satisfactory to City Engineer.
16. Prior to the issuance of any building permits, the Owner/Permittee shall assure by permit and bond the replacement of the existing damaged sidewalk with current City Standard sidewalk, maintaining the existing sidewalk scoring pattern and preserving the contractor's stamp, adjacent to the site on Avenida Cresta, satisfactory to the City Engineer.
17. Prior to the issuance of any building permits, the Owner/Permittee shall obtain an Encroachment Maintenance Removal Agreement for the sidewalk underdrain/curb outlet, street trees and landscape in the Avenida Cresta Right-of-Way, satisfactory to the City Engineer.
18. Prior to the issuance of any building permits, the Owner/Permittee shall obtain a bonded grading permit for the grading proposed for this project. All grading shall conform to the requirements of the City of San Diego Municipal Code in a manner satisfactory to the City Engineer.
19. The drainage system proposed for this development, as shown on the site plan, is subject to approval by the City Engineer.
20. Prior to the issuance of any construction permit, the Owner/Permittee shall incorporate any construction Best Management Practices necessary to comply with Chapter 14, Article 2, Division 1 (Grading Regulations) of the SDMC, into the construction plans or specifications.
21. Prior to the issuance of any construction permit the Owner/Permittee shall submit a Water Pollution Control Plan (WPCP). The WPCP shall be prepared in accordance with the guidelines in Part 2 Construction BMP Standards Chapter 4 of the City's Storm Water Standards.

PLANNING/DESIGN REQUIREMENTS:

22. The automobile, motorcycle and bicycle parking spaces must be constructed in accordance with the requirements of the SDMC. All on-site parking stalls and aisle widths shall be in compliance with requirements of the City's Land Development Code and shall not be converted and/or utilized for any other purpose, unless otherwise authorized in writing authorized by the appropriate City decision maker in accordance with the SDMC.
23. A topographical survey conforming to the provisions of the SDMC may be required if it is determined, during construction, that there may be a conflict between the building(s) under

construction and a condition of this Permit or a regulation of the underlying zone. The cost of any such survey shall be borne by the Owner/Permittee.

24. The accessory dwelling unit may not be sold or conveyed separately from the primary dwelling unit.

25. The accessory dwelling unit shall not be used for a rental term of less than 30 consecutive days.

26. All private outdoor lighting shall be shaded and adjusted to fall on the same premises where such lights are located and in accordance with the applicable regulations in the SDMC.

GEOLOGICAL REQUIREMENTS

27. Prior to the issuance of any construction permits (either grading or building), the Owner/Permittee shall submit a geotechnical investigation report or update letter prepared in accordance with the City's "Guidelines for Geotechnical Reports" that specifically addresses the proposed construction plans. The geotechnical investigation report or update letter shall be reviewed for adequacy the Geology Section of the Development Services Department prior to issuance of any construction permits.

28. The Owner/Permittee shall submit an as-graded geotechnical report prepared in accordance with the City's "Guidelines for Geotechnical Reports" following completion of the grading. The as-graded geotechnical report shall be reviewed for adequacy by the Geology Section of the Development Services Department prior to the exoneration of the bond and grading permit close-out.

PUBLIC UTILITIES DEPARTMENT REQUIREMENTS:

29. Prior to any Building Construction Permit being issued, all domestic, irrigation, and fire water services serving this development must pass through a permitted, private, above ground, backflow prevention device (BFPD); or, one of the following two notes must be included on the title sheet of the building construction plans being permitted:

- a. THIS RESIDENTIAL DEVELOPMENT HAS, OR WILL HAVE AS A CONSEQUENCE OF THIS WORK, A COMBINED DOMESTIC/FIRE PROTECTION WATER SERVICE UTILIZING A PASSIVE PURGE STYLE OF DESIGN AND IS THEREFORE EXEMPT FROM INSTALLING A BACKFLOW PREVENTION DEVICE; or,
- b. THE SCOPE OF WORK FOR THIS PROJECT INCLUDES THE INSTALLATION OF A PRIVATE, ABOVE GROUND, BACKFLOW PREVENTION DEVICE TO BE LOCATED IN-LINE WITH THE SERVICE AND JUST INSIDE THE PROPERTY (IMMEDIATELY ADJACENT TO THE PROPERTY LINE). ** Note: Any configuration other than as detailed above must be specifically authorized in advance by the City's Cross-Connection Control Section (please contact Anthony Diaz - ADDiaz@sandiego.gov or 858-614-5752).

30. If an existing water service to be retained is found to be inadequately sized to serve the proposed project, the applicant must obtain a Permit to Work in the Public right-of-way to abandon

(kill) that existing water service line at the main, and install a new water service in a location acceptable to the Public Utilities Director. To ensure acceptability, the new service line should be at least 30" from any prior service line alignment, 5 feet from any driveway or tree, and 10 feet from any active sewer lateral.

31. Prior to any Building Construction Permit being issued, the sewer lateral(s) serving this development must pass through an acceptable sewer cleanout (as defined below); or, the following note must be included on the title sheet of the building construction plans being permitted: THIS RESIDENTIAL DEVELOPMENT HAS, OR WILL HAVE AS A CONSEQUENCE OF THIS WORK, INSTALLED A PERMITTED SEWER LATERAL CLEANOUT, THE CONDITION AND LOCATION OF WHICH IS ACCEPTABLE TO THE DIRECTOR OF PUBLIC UTILITIES AND THE CITY ENGINEER.

32. Prior to any Building Construction Permit being issued, any private improvements within a public ROW or public easement which lies on or adjacent to this project site and which could inhibit the City's right to access, maintain, repair, or replace its public water and sewer facilities (including but not limited to landscaping*, enhanced paving, storage, or structures of any kind) must be removed. * No trees or shrubs exceeding three feet in height at maturity shall be installed or remain within ten feet of any public sewer facilities or within five feet of any public water facilities.

INFORMATION ONLY:

- The issuance of this discretionary permit alone does not allow the immediate commencement or continued operation of the proposed use on site. Any operation allowed by this discretionary permit may only begin or recommence after all conditions listed on this permit are fully completed and all required ministerial permits have been issued and received final inspection.
- Any party on whom fees, dedications, reservations, or other exactions have been imposed as conditions of approval of this Permit, may protest the imposition within ninety days of the approval of this development permit by filing a written protest with the City Clerk pursuant to California Government Code-section 66020.
- This development may be subject to impact fees at the time of construction permit issuance.

APPROVED by the Hearing Officer of the City of San Diego on June 9, 2021 and [Approved Resolution Number].

AUTHENTICATED BY THE CITY OF SAN DIEGO DEVELOPMENT SERVICES DEPARTMENT

Ben Hafertepe
Development Project Manager

**NOTE: Notary acknowledgment
must be attached per Civil Code
section 1189 et seq.**

The undersigned Owner/Permittee, by execution hereof, agrees to each and every condition of this Permit and promises to perform each and every obligation of Owner/Permittee hereunder.

Owner/Permittee

By _____
David B. Leidy
Husband as Joint Tenant

Owner/Permittee

By _____
Pamela K. Leidy
Wife as Joint Tenant

**NOTE: Notary acknowledgments
must be attached per Civil Code
section 1189 et seq.**



Project Location Map

Leidy Residence CDP / 6216 Avenida Cresta

PROJECT NO. 639782



July 30, 2021

Attn: Alex Llerandi & Diana Lilly
California Coastal Commission
San Diego Region
7575 Metropolitan Dr # 103,
San Diego, CA 92108

**Re: Leidy Residence (PTS# 0639782)
6216 Avenida Cresta, La Jolla, California 92037
Coastal Development Permit No. 2309399
Easement Vacation No. 2535513
Response CCC Appeal Filed by Mr. Merten/Dr. Bogle**

Dear Alex and Diana,

I represent the homeowners, David, and Pam Leidy, located at 6216 Avenida Cresta, La Jolla, CA 92037. Thank you for the opportunity to provide our written response to the appeal filed by Phil Merten on behalf of his clients, Doctor and Mrs. Lawrence Bogle, dated July 6, 2021. The appeal is of the City of San Diego's Hearing Officer's approval of Project No. 0639782 and CDP No. 2309399 that occurred on June 9, 2021.

Mr. Merten's client, Mr. Bogle, has bypassed the long-standing accepted administrative appeal process citing economic hardship as the City of San Diego has raised their appeal fee from \$100 to \$1,000 (in an effort to reduce the number of fraudulent appeals that were coming before City Council). As a result, you have an unvetted, unsubstantiated appeal before you today. It is essential to recognize that the issues raised in the "Ground for the Appeal" have not been reviewed by the City of San Diego's Planning Commission or any other City body.

Introduction

As stated in the City's Hearing Officer Staff Report, the project as designed is consistent with the underlying land-use designation of the property. The Residential Land Use section of the Community Plan includes goals for maintaining the character of La Jolla's residential areas by ensuring that redevelopment occurs in a manner that protects natural features, preserves existing streetscape themes, and allows a harmonious visual relationship to exist between the bulk and scale of new and older structures (pg. 67). The neighborhood is developed with one- and two-story single-family residential development ranging from older construction to more recent development. The proposed single-dwelling unit would serve to maintain the present diverse design themes of the surrounding area.

Recognizing the importance of public input, the project received the overwhelming support of the La Jolla Community Planning Group, who voted 14-0-1 to recommend approval of the proposed project without conditions/recommendations on January 9, 2020.

EXHIBIT NO. 6
APPLICATION NO.
A-6-LJS-21-0049
Applicant's Response
 California Coastal Commission

On behalf of his clients, Mr. Merten has expressed personal opinions regarding the project but has not provided any substantial evidence of a potentially significant impact. On the other hand, the City found that the proposed project does not conflict in any manner with applicable land use plans, policies, and regulations of the City of San Diego is supported by abundant substantial evidence within the immediate neighborhood. City staff reviewed the building setbacks, drainage, lot coverage, building mass, building height, public views, and driveway width and found that the project will comply with all the required development regulations. The project is consistent with the Community Character Recommendations of the La Jolla Community Plan and conforms to the General Design Regulations and Development Regulations of the RS-1-5 Zone. The proposed development is consistent with the applicable Low-Density Residential land use designation (5-9 DU/AC) of the La Jolla Community Plan and Local Coastal Land Use Plan. The building was designed in total compliance with the Zoning Code so that there are no proposed variances or deviations to the development regulations of the Land Development Code.

Issue #1: Neighborhood Character

According to Mr. Merten, "...the surrounding neighborhood *was* potentially identified in the La Jolla Hermosa Historic Survey..." (emphasis added). First, there is no direct evidence that the surrounding neighborhood was, in fact, identified in said Survey. More importantly, the Survey has no bearing on the review of this project. It is not an official City document for purposes of code review. As Coastal Staff is well aware, the project is, instead, viewed under the certified Local Coastal Program Land Use Plan (La Jolla Community Plan and Local Coastal Program Land Use Plan) under the auspices of the California Coastal Act.

Mr. Merten then abruptly transitions his argument to "the color of the roof" of our project. This is the first CCC appeal I have encountered where the actual color and roofing material was for public debate. I was not aware that the California Commission is now in the business of dictating aesthetic colors and exterior materials for homes. Despite this concern, I draw your attention to the aerial photo on the first page of Mr. Merten's letter. As can one see, there is a healthy mixture of different roofing materials and corresponding colors. Not every house has a "red tile roof." In fact, I counted over ten homes in this photo alone that do not have a "red tile roof."

The projecting roof does not create a design incompatibility because there is no typical roofing design or theme in the neighborhood. Homes in the neighborhood include several unique roof designs and materials. Some roofs are gabled, and some are flat. Roofing materials include tile, metal, and composition shingles with varying colors. Therefore, the home's design is not out of character and will not disrupt the neighborhood and/or roof form continuity.

Issue #2: Community Character/Bulk and Scale

The proposed demolition of an existing residence and construction of a new two-story residential dwelling unit is compatible with the surrounding development regarding architecture, bulk, scale, or density. The project site is in a developed neighborhood transitioning as older homes are replaced, and there are numerous homes of similar size and scale. The existing homes in the

neighborhood do not have a unifying theme of architecture, such as the architecture of Old Town. Old Town is an example in the City's CEQA Significance Thresholds as a community containing a unifying architectural theme. Additionally, the general bulk and scale of the various residences in the immediate vicinity have been evolving as there are no longer applicable CC&Rs for the local neighborhood of La Jolla Hermosa.

For the administrative record, my clients worked extremely hard to consider the surrounding neighbor's views and privacy. To that end, it was discussed how the driveway would interact with the immediate neighbors to the south to ensure a design that worked for both parties. The clients flew a drone to confirm that the view from the rear second-floor veranda would not breach the privacy of the neighbors to the west. To illustrate the importance of neighborly relations, my clients installed a new Ficus hedge at the request of the adjacent neighbors to maintain their privacy. My clients should also receive due credit for avoiding the trend to incorporate a rooftop deck because of the privacy concerns it would create for the neighbors and the undesirable aesthetics of railings and furniture on the roof. In addition, the floor-to-ceiling transparency of the sizeable second-floor window dramatically reduces the sense of bulk by adding a depth dimension that extends around the northeast corner.

Most significantly, because the proposed project is located on one of the higher lots on this section of Avenida Cresta, my clients designed the left front of the house to be entirely transparent for sidewalk pedestrians, which will provide anyone walking down the street a water and sunset horizon view that does not currently exist. Due to the new design of the garage below grade, there will be no unsightly garage facing the street.

For greater detail on the process that went into the design before you today, please refer to the attached May 23, 2021, letter provided by Daryl Olesinski, Architect. Mr. Olesinski goes to great lengths to explain the design process to support the concept of neighborhood compatibility from an aesthetic perspective. He also provides an in-depth analysis of the surrounding neighborhood (i.e., La Jolla Hermosa). All of which clearly illustrate how the proposed project exemplifies neighborhood compatibility.

Categorical Exemption from CEQA

Mr. Merten states that by the project being "*...so different from the existing development pattern that the cumulative impact of future projects like this one will forever alter the neighborhood character; and therefore, cannot be exempted from CEQA review.*" Although that is not the accepted threshold for cumulative impact analysis, the environmental exemption determination for this project was made on December 3, 2020. The opportunity to appeal that determination ended December 17, 2020. Therefore, the subject of CEQA cannot legally be considered a substantial issue before the Commission.

Summary

In summary, we are proposing a truly well-designed, code-compliant home that is sensitive to the surrounding neighborhood. We look forward to meeting with you virtually in the very near

July 30, 2021

Page 4 of 4

future so that we may work together ahead of the scheduled September Substantial Issue Hearing. Thank you for your time and consideration in this vital matter.

Very truly yours,

A handwritten signature in dark ink, appearing to read "Chandra Slaven". The signature is fluid and cursive, with the first name "Chandra" written in a larger, more prominent script than the last name "Slaven".

Chandra Slaven, AICP
Coastal Permit Specialist
619-316-7645
chandraslaven@gmail.com

Attachment: May 23, 2021, letter provided by Daryl Olesinski, Architect



LETTER

Hearing Officer
Development Services Department
1222 First Ave. MS 501
San Diego CA. 92101

May 23rd, 2021

Hearing Officer and Development Services,

This letter is written in response to the Letter issued by Mr. Merten on behalf of Dr. and Mrs. Bogle (6219 Avenida Cresta). The remarks written below are made to demonstrate the compatibility of the project with the overall neighborhood upon which the project is sited as well as to address the code issues raised by Mr. Merten.

Before specific issues are reviewed, I would like to take this opportunity to give the Hearing Officer a bit of background on the design process our office took on as part of creating the project you see before you now.

As part of the preliminary site design process, we survey the entire neighborhood to obtain a full understanding as to the scale, aesthetic and typology of the architecture. In this analysis, a range of both scale and aesthetic was found throughout the neighborhood. I would go so far as to describe the architecture of the area to be eclectic with a smattering of all different domestic architectural styles. With respect to massing, building placement on a site, proportions, scale and articulation, the myriad of different styles drove the way in which each single-family residential structure addressed the street, related to the adjacent neighboring homes and seemed to address the requirements of the Zoning Code. We found that there was not a singular aesthetic style, scale of building, way in which the building addressed neither the Zoning requirements nor an overall pattern to the design approach to the entire neighborhood. Instead the neighborhood is a collection of ever evolving design styles that (1) demonstrates a sense of the time in which they were built and (2) create a diverse and interesting language of domestic architecture. Based on this study, we set out to design a home that did two very important things. Firstly, the house meets the aesthetic, programmatic and use wishes of the Owners and secondly, continued and advanced that same overall dialogue with the immediate community.

As part of the description of the design process, I would like to review from the macro to the micro level and how the design addresses at these levels. To begin, we studied the site, its position on the street, the adjacent structures, the surrounding structures on the street / adjacent streets and how best the building can be designed given these parameters.

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Site / Neighborhood Study:

- Site Planning / Site Density:

The site sits within a neighborhood made up of structures that typically occupy about 50% of the lot area. While there are buildings that can be considered to be one large mass, the majority of the buildings are not singular structure; rather they are a series of varying single and two story volumes both in layout and massing that create garden spaces throughout the individual site.

- Building Mass / Building Placement:

Topographically, the site sits at almost the highest position on Avenida Cresta with only the southerly adjacent site being higher in elevation. The southerly adjacent house is a large multi volume structure mainly two stories with a descending driveway along the northerly property line to the basement garage. The northerly adjacent house is a combination of single and a two story volume that sits slightly lower than the subject property and has a meandering series of volumes that are both single and two stories in height. The main two-story volume is located along Via Del Norte but there is a two-story portion immediately adjacent to the subject property directly off Avenida Cresta. Between the subject property and the northerly adjacent property is planted a tall hedgerow of Podocarpus plants acting as a privacy screen between the two properties. The overall massing of the two adjacent structures created a descending line of massing from south to north that could be continued by the design on the subject property - almost like inserting the building between the two buildings under the line that is created by their given massing / heights.

- Singular vs. Staggering Masses:

Within the neighborhood, there are several different ways in which the buildings were designed. In general there are two typologies - (1) single mass and (2) staggering masses. There are examples of each of these typologies within view of the subject property and each typology contributes to the eclectic nature of the area.

- Aesthetic Styling:

As stated above, when the project was first undertaken, a review of the neighborhood was performed to see what the tendencies were and what if any design was prevalent. In essence, all buildings wear clothes. Two buildings can have very similar massing, proportions and placement on the site but be seen as very different by the aesthetic styling or clothes the building wears. There are a several different design styles found throughout the neighborhood ranging from Spanish Colonial to California Modern. The two adjacent properties are stylistically very different, the southerly property could be considered Mediterranean in design while the northerly is Cape Cod in its design. On the same street you can find Tuscan to California Ranch, from Spanish Revival to very Modern (exposed concrete and glass). I would argue it is in fact this diversity that brings richness to the neighborhood.

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Design Response:

Given the parameters outlined above, there is also the need for the building to respond to the site, its views, orientation and forces of nature that can be best captured by the design - not only does the building have to be a part of the neighborhood, it also need to be designed to the Owners needs and wishes.

- Site Planning / Site Density:

As we all know, there is a Lot Coverage Ratio that is part of the Municipal Code. Despite the Lot Coverage allowances, we knew that the building would be under the requirement, as it had to fit into the overall fabric of the community and be designed to reinforce that language. To that end, the building was designed in an "L" configuration with a low single story volume along the southern side and a two-story volume along the northern side. This was done for several reasons, firstly would be the southerly orientation to allow the most amount of natural light to enter the building. Secondly, allow that same natural light to activate the garden / pool terrace and thirdly, be able to use the idea of the descending sloping driveway similar to the southerly neighbor to place the garage in the basement therefore not have a garage door dominate that street facade. As part of the site study, our office took into account the density of the neighboring structures on both sides of the street so that the design would melt into that fabric seamlessly (see exhibit provided from the Neighborhood Compatibility Hearing below). In conjunction with this study, we provided a rendered site plan superimposed onto the aerial image of the neighborhood so that this idea was further demonstrated (see rendered Site Plan below).

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Neighboring Property Lot Coverage Analysis:



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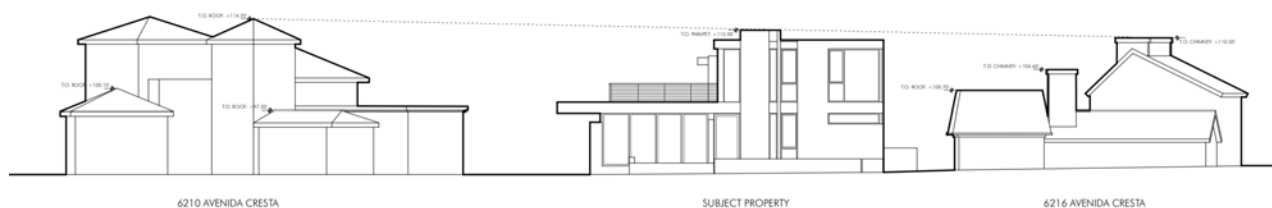


Rendered Site Plan (within neighborhood context):



- Building Mass / Building Placement:

In studying the streetscape of both sides of Avenida Cresta from Avenida Cortez to the south and Via Del Norte to the north, there is a mixture of single and two story buildings throughout. This same point can be made for all the streets in the neighborhood - there is no one overall height designation. With respect to the subject property, when looking at the site from Avenida Cresta, the two adjacent buildings vary in both massing and height. The goal of the design for the building was to literally fit in between these two adjacent buildings and continue the descending line from south to north. Again as mentioned several times, this approach was intentional to have the building become part of the neighborhood fabric and not be singled out. As part of the coordination with Consultants, we asked the Civil Engineer to shoot the top of the roof for each of the adjacent structures so we had an accurate line to consider. Based upon that information, our office took into account the heights of the neighboring structures on both sides of the subject property so that the design lives below the perceived height line (see exhibit provided from the Neighborhood Compatibility Hearing below).



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- Singular vs. Staggering Masses:

As a part of our design process and how our office feels about domestic architecture given the climate and lifestyle of Southern California, it is very rare that we will design a singular large mass building unless the site parameters / density call for it. This approach was used in the Site Planning / Building Planning for this project. The site has a true north / south orientation across its short axis with westerly ocean views along its long axis. Given this orientation, a study was done to understand the benefits of which side of the long axis would be best used for the design of the house. As you can see by the diagram created for the Site Analysis, placing the long bar portion of the building along the northern property line allowed for the highest level of natural sun exposure to the house and garden / pool. This orientation also allowed for the use of the uninterrupted views toward the ocean by using the void space created in the urban fabric of the neighboring property driveway to the west. At the same time, the building needed to still fit under that perceived descending line of building height from the southerly to northerly properties. The single story volume acting as the short leg of the "L" configuration is comprised mainly of glass on both the eastern and western elevations thereby allowing direct and open views through the building from the street to the west. As opposed to creating a large two-story mass (which is allowed by the Zoning Code), the design instead steps in mass and is varied in volume and articulation and has varying materiality to reinforce these volumes.

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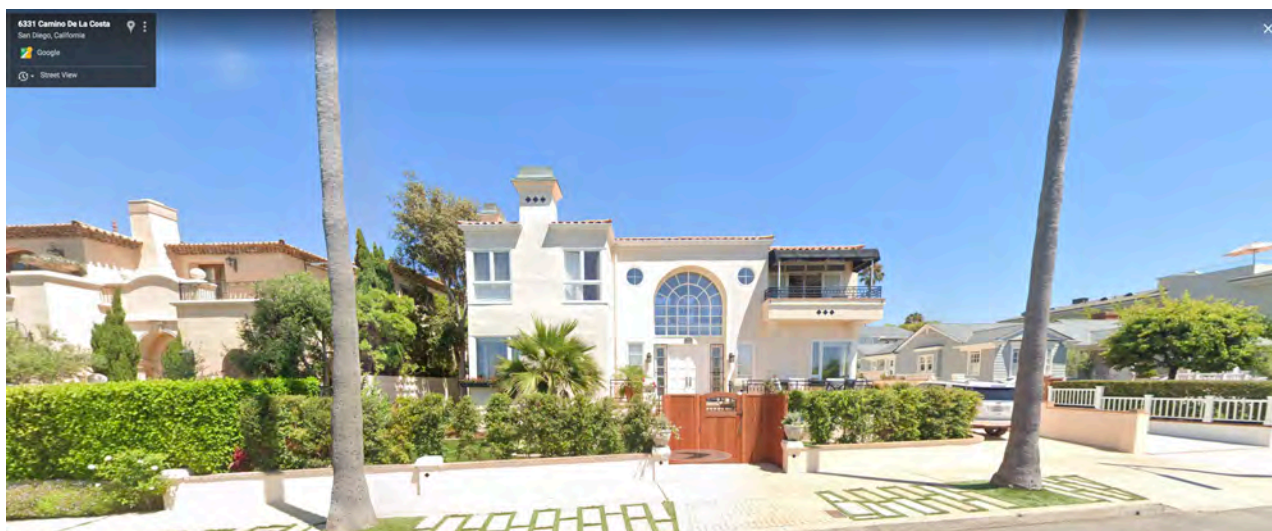
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- Aesthetic Styling:

Aesthetics is a very subjective issue to discuss; this is why most communities do not have design guidelines as placing a prescriptive mandate over what each individual homeowner is able to do with their own property is a challenge to property rights. As mentioned above, in essence, like people, buildings wear clothes. Some people are more conservative and therefore dress as such while others are more daring and again dress as such. Custom Residential design reflects the Owners and how they want to live. Southern California has a rich history in residential design, from Spanish Colonial to Case Study California Modern; there is a legacy that very few places have like this region. The design of the building under consideration continues that dialogue while using the very same massing and volumetric examples from the neighborhood. It is clear that to some, modern design is offensive and can feel aggressive while to others, traditional design is inauthentic and has a Disneyland aspect to it. As long as each individual design is good of its kind, the saying "to each their own" should be the mandate. If you were to compare the proposed building to that of other buildings in the neighborhood, you will see similarities that cannot be ignored. Massing for example, the building located at 6331 Camino De La Costa has a large two story volume on the left side of the street facade set directly on the front yard setback. Even more imposing is the building located at 6308 Camino De La Costa which again has a large two story volume on the left side of the street facade set directly on the front yard setback. In this case, the large two-story volume is rotated 45° with its corner pointing to the street. In comparison, the proposed building also has a two-story volume located on the street facade but that volume is juxtaposed with a low single story wing that balances with the two story volume. Each of these buildings are doing the same things, just wearing different clothing while doing it.

6331 Camino De La Costa:



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6308 Camino De La Costa:



6216 Avenida Cresta:



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As well, materiality and the tone of the building drive as much of the perception of the design as the massing. Throughout the neighborhood, there are buildings of wide ranging materiality. With that said, there is an overall sense that the majority of the buildings are of light colored stucco balanced with warmer toned accents. Whether those accents be via exposed beams, cladding materials, roofing materials or stain color, it is that composition of materials that create the overall neighborhood aesthetic. As an example, the building located at 6281 Camino De La Costa has a pale yellow smooth finish stucco balanced with warm stained wood windows and doors and exposed beam tails.



As well, the building located at 334 Mesa Way has stark white smooth finish stucco balanced with warm stained wood accent and doors and clay tile roof.



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The proposed design takes it queue from this material language and uses that language in a modern way, letting the materiality help define volume and massing, balancing the solid elements to the void (glass) creating a series of vertical and horizontal planes defined by smooth white stucco and warm wood siding.



In addressing the specific issues raised by Mr. Merten in his letter dated May 11, 2021 please see the following.

Neighborhood Compatibility:

First off, I would like to address the idea of "Neighborhood Compatibility". The real question with respect to the intent of this section of the Zoning Code is how is this to be interrupted. Our understanding of Neighborhood Compatibility extends to the entire neighborhood where this building, like all the other buildings is considered as a whole of the residential fabric. To single out one building as it relates in a very specific manner to an adjacent building completely defeats the idea of "neighborhood". I would ask the Hearing Officer to examine this building as it relates to the entire residential built fabric and how it as a piece of a much larger puzzle complies.

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Bulk and Scale:

This issue was addressed in detail above but in direct response to the main point of bulk and scale, I would ask that the Hearing Officer consider other numerous instances of two story volumes being located adjacent to single story volumes throughout the neighborhood. In the case raised by Mr. Merten, unlike the volumetric relationship of the buildings located at 6308 and 6319 Camino De La Costa, 6375 and 6357 Avenida Cresta, 254 Via Del Norte and 6284 Avenida Cresta, 6105 and 6101 Vista De La Mesa & 345 and 335 Via Del Norte where there is a large two story mass placed directly adjacent to a low single story mass, the northeast corner of the proposed building is placed adjacent to another two-story volume that holds the garage. Clearly there is precedent within the immediate neighborhood that can be cited.

Facade Slope / Step Back:

Considering the number of other buildings in the neighborhood that do not comply with this idea in any manner (including the actual house that the person behind the objection currently lives in and that Mr. Merten was the Architect for) we are a bit surprised that issue is being raised. The composition of volumes for the proposed building varies so greatly that it cannot be compared to that of the examples cited below. In preparation for this response our office went street by street to study instances where this exact condition exists. We found fourteen examples where there are buildings where the second floor walls sit directly over the ground floor walls, again including the building owned by the person filing the objection that was in fact designed by Mr. Merten.

These examples are provided below with annotations.

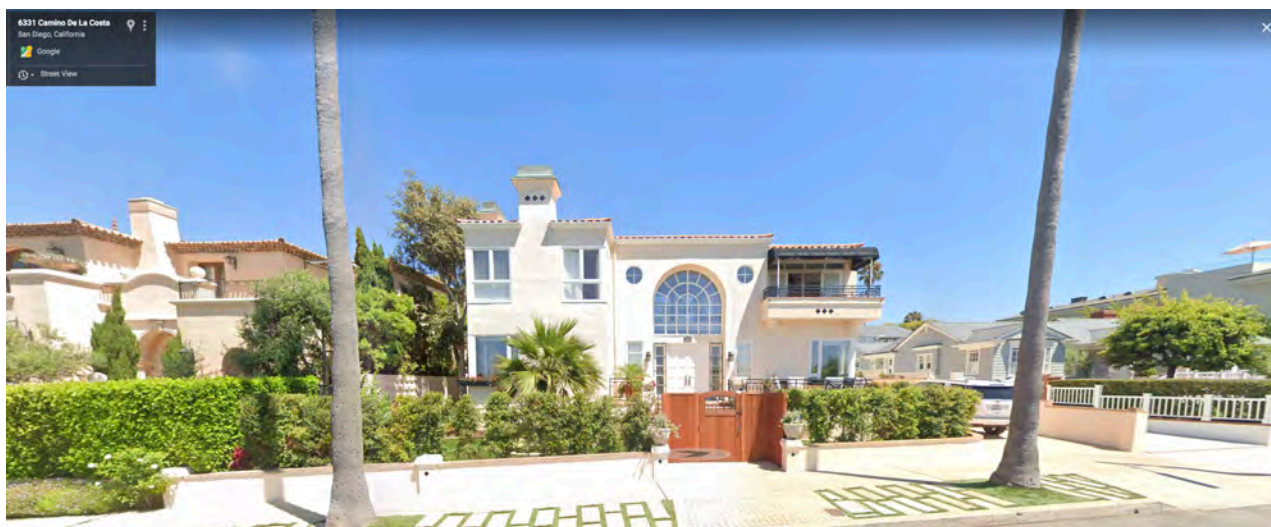
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6331 Camino De La Costa:

- Both north and south side two-story structure that has stacking walls (second floor over ground floor) with no setback or offset.
- Large two story volume directly n the front facade (@ F.Y. Setback) - literally the exact same condition as the subject property.



6308 Camino De La Costa:

- Both north and south side two-story structure that has stacking walls (second floor over ground floor) with no setback or offset.
- Large two story volume directly n the front facade (@ F.Y. Setback) - literally the exact same condition as the subject property.



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6281 Camino De La Costa:

- Both north and south side two-story structure that has stacking walls (second floor over ground floor) with no setback or offset.
- Large two story volume directly in the front facade (@ F.Y. Setback) - literally the exact same condition as the subject property.



6205 Camino De La Costa:

- Both north and south side two-story structure that has stacking walls (second floor over ground floor) with no setback or offset creating a three story volume to the street.
- Large two story volume directly in the front facade (@ F.Y. Setback) - literally the exact same condition as the subject property.



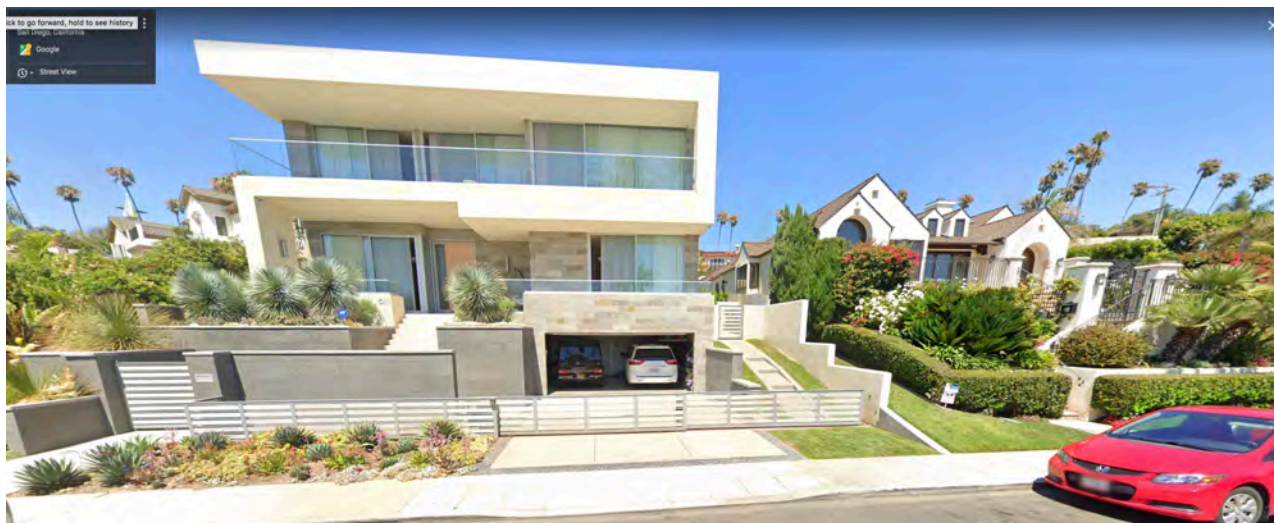
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6111 Camino De La Costa:

- Large south side two-story structure that has stacking walls (second floor over ground floor) with no setback or offset creating a three-story volume to the street.



6039 Camino De La Costa:

- Both north and south side two story structure that has stacking walls (second floor over ground floor) with no setback or offset.



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6219 Avenida Cresta:

- Both north side and south side second floor that has stacking walls (second floor over ground floor) with no setback or offset.



6120 Avenida Cresta:

- Both north side and south side second floor that has stacking walls (second floor over ground floor) with no setback or offset.



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6198 Avenida Cresta:

- Corner property with both north side and south side second floor that has stacking walls (second floor over ground floor) with no setback or offset



334 Mesa Way:

- Eastern side second floor that has stacking walls (second floor over ground floor) with no setback or offset.



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315 Mesa Way:

- Both eastern side and western side second floor that has stacking walls (second floor over ground floor) with no setback or offset.



6026 Vista De La Mesa:

- North side second floor that has stacking walls (second floor over ground floor) with no setback or offset directly at the FY Setback - literally the exact same condition as the subject property.



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6110 Vista De La Mesa:

- Both north and south side second floor that has stacking walls (second floor over ground floor) with no setback or offset directly at the FY Setback - literally the exact same condition as the subject property.



6366 Camino De La Costa:

- Both north and south side two story structure that has stacking walls (second floor over ground floor) with no setback or offset.



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Site Retaining Walls:

The drawings for the project were reviewed to determine where and if the Site Retaining Walls were in fact higher than the Zoning Code allows for. We did find two areas where the walls were over the height allowed for and as such the documents / design has been adjusted. Those revisions are included in the amended submittal package (see information provided).

Daryl Olesinski, Principal

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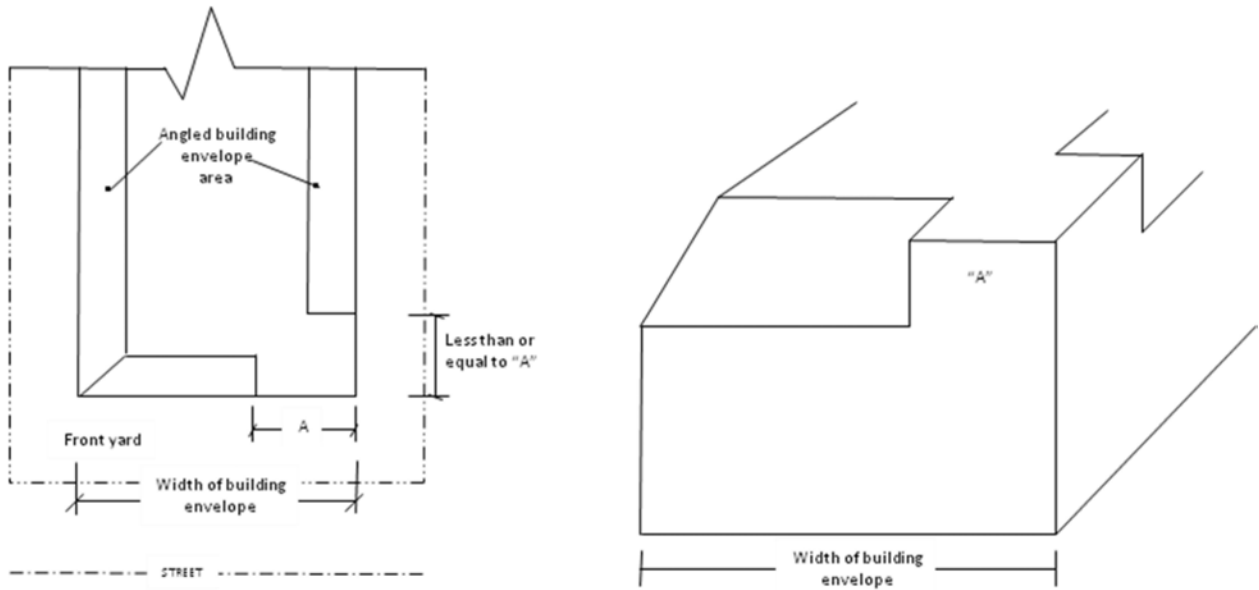
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§131.0461 Architectural Projections and Encroachments in Residential Zones

- (a) The following are permitted *architectural projections* and *encroachments* into required *yards* and the angled *building envelope* plane for RS and RX zones, the RM-1-1, RM-1-2, and RM-1-3 zones, and in small *lot subdivisions* in accordance with Section 143.0365. These projections and *encroachments* are not permitted in the required *yards* within view corridors that are designated by *land use plans* in the Coastal Overlay Zone and may not be located in a required *visibility area* or a required turning radius or vehicle back-up area except where *development* regulations may allow.
- (1) Roof projections such as eave, cornice, and eyebrow projections may extend into the required *yard* or into the space above the angled *building envelope* subject to the following:
- (A) The projection may extend a maximum of 6 feet into the required *yard* or 50 percent of the width of the required *yard*, whichever is less;
- (B) The projection shall not be closer than 2 feet, 6 inches to the *property line*; and
- (C) There shall be a minimum 6-foot, 8-inch clearance between *proposed grade* and the projection.
- (D) A roof design element may project into the space above the required angled *building envelope* plane, as depicted in Diagram 131-04S, provided that the roof design element:
- (i) Faces the front *yard*;
- (ii) Does not encroach into any required *yard*;
- (iii) Complies with all applicable *structure height* limits in accordance with Section 113.0270; and
- (iv) Is limited to a maximum of 33 percent of the width of the *building envelope* facing the front *yard*, and a maximum depth equal to or less than its width.

Diagram 131-04S

Exception for Angled Building Envelope Area



Note: "A" shall not exceed 33% of the width of the building envelope