

CALIFORNIA COASTAL COMMISSION

South Coast District Office
301 E Ocean Blvd., Suite 300
Long Beach, CA 90802-4302
(562) 590-5071



F5a

5-20-0427 (Giobbi)

SEPTEMBER 10, 2021

EXHIBITS

Table of Contents:

Exhibit 1 – Vicinity Map and Project Site

Exhibit 2 – Project Plans

Exhibit 3 – LUP Figure 3-3

Exhibit 4 – Geologic Map and Cross Sections

Exhibit 5 – Geologic Setback Lines

Exhibit 6 – Commission's Delineation of Canyon Setback Line

Exhibit 7 – Aerial Photo of the Project Site

Exhibit 8 – P-3-14-74-2830 Site Plan

Exhibit 9 – LUP Figure 4-2-B

Project Location



18 W Avenida Gaviota

Exhibit 1

Page 1 of 2



Project Site

An aerial photograph of a residential neighborhood. A yellow outline highlights a specific area, labeled 'Project Site'. The area is situated between a dense forest on the left and a residential street on the right. The street is labeled 'W Avenida Gaviota'. A red pin marks the location '318 W Avenida Gaviota'. The project site itself contains several buildings, including a large one with a red roof and solar panels, and another with a brown roof. The surrounding area includes other houses, trees, and a swimming pool.

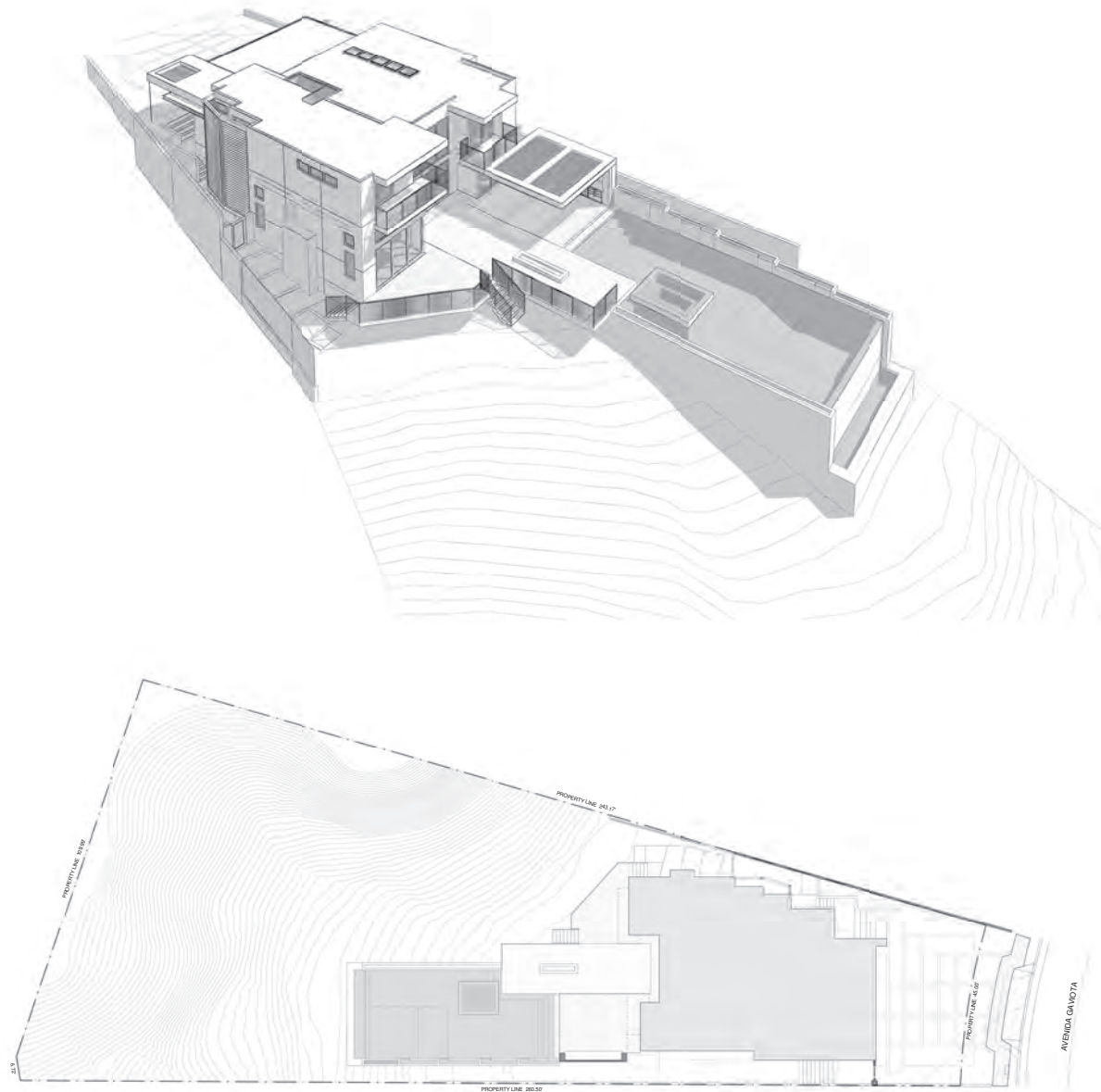
318 W Avenida Gaviota

Exhibit 1

Page 2 of 2



California Coastal
Commission



OVERALL SITE PLAN

1/16" = 1'-0"



SHEET INDEX:

TS	PROJECT DATA: OVERALL SITE PLAN
A0	SITE PLAN: ROOF PLAN
A1.0	DEMO PLANS
A1.1	FIRST FLOOR PLAN
A3.0	SECOND FLOOR PLAN
A3.1	AS-BUILT ELEVATIONS
A3.2	EXTERIOR ELEVATIONS
A4.1	EXTERIOR ELEVATIONS
A4.2	EXTERIOR ELEVATIONS
TP-01	BUILDING SECTIONS
L1	TOPOGRAPHIC SURVEY
L2	LANDSCAPE COVER SHEET
L3	LANDSCAPE PLAN
	LANDSCAPE SKETCHES/ ELEVATIONS

PROJECT DATA:

BUILDING AREAS:	
EXISTING FIRST FLOOR LIVING	1,628 SF
EXISTING SECOND FLOOR LIVING	1,074 SF
TOTAL EXISTING LIVING AREA	2,702 SF
EXISTING GARAGE AREA	800 SF
EXISTING GARAGE TO BE CONVERTED INTO LIVING	(71 SF)
PROPOSED GARAGE AREA	729 SF
FIRST FLOOR LIVING REDUCTION	(8 SF)
FIRST FLOOR LIVING ADDITION	369 SF
TOTAL PROPOSED FIRST FLOOR LIVING	2,693 SF
PROPOSED SECOND FLOOR LIVING	1,488 SF
PROPOSED TOTAL LIVING AREA	3,548 SF
PROPOSED SECOND FLOOR DECKS	160 SF
LOT AREA	20,008 SF
TOTAL PROPOSED LOT COVERAGE	2,789 SF
LOT COVERAGE RATIO	14 %

BUILDING ADDRESS:

318 W AVENIDA GAVIOTA
SAN CLEMENTE, CA 92672
APN: 692-282-11

OWNER:

OWNER: PAUL & TIFFANEY GIOBI
ADDRESS: 318 W AVENIDA GAVIOTA
SAN CLEMENTE, CA 92672
949.308.3295
PH:
EMAIL: PAUL@ZUMASYS.COM

BUILDING CODES:

RESIDENTIAL	2019 CALIFORNIA RESIDENTIAL CODE (CRC)
FIRE	2019 CALIFORNIA FIRE CODE
PLUMBING	2019 CALIFORNIA PLUMBING CODE (CPC)
MECHANICAL	2019 CALIFORNIA MECHANICAL CODE (CMC)
ELECTRICAL	2019 CALIFORNIA ELECTRICAL CODE (CEC)
ENERGY	T24 - 2019 BUILDING ENERGY EFFICIENCY STANDARDS
CALGREEN	2019 CALIFORNIA GREEN BUILDING STANDARD CODE

THIS PROJECT SHALL COMPLY WITH ALL OTHER REGULATIONS AND ORDINANCES ADOPTED BY THE STATE GOVERNING AGENCIES.

PROJECT CODE DATA:

TYPE OF CONSTRUCTION:	V-B SPRINKLERED
EXISTING OCCUPANCY:	R-3/U
CLASSIFICATION:	TWO
NUMBER OF STORIES:	

CONSULTANTS:

BUILDING DESIGNER/ STRUCTURAL ENGINEER:

B.E.S., INC.
2340 SOUTH EL CAMINO REAL, SUITE 18
SAN CLEMENTE, CALIFORNIA 92672
CONTACT: IAN BUCHAN
TEL: 949.459.9786

SURVEYOR:

TOTAL ENGINEERING, INC.
139 AVENIDA NAVARRO
LAGUNA BEACH, CA. 92652
TEL: 949.492.8586

LANDSCAPE ARCHITECT:

MICHAEL J. BUNGANICH
MORTON DESIGN GROUP
TEL: 949.912.9777
LANDSCAPE ARCHITECT - CA: LIC 2041

SCOPE OF WORK:

- REMODEL THROUGHOUT & ADDITION TO EXISTING DETACHED SINGLE FAMILY RESIDENCE
- NEW LANDSCAPING & ATTACHED COVERED OUTDOOR STRUCTURE W/ BBQ
- NEW SWIMMING POOL AND SPA IN REAR YARD

VICINITY MAP:



PROJECT SITE

REVISION SCHEDULE

NO. | DATE | DESCRIPTION



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**GIOBI RESIDENCE
ADDITION/ REMODEL**
318 W AVENIDA GAVIOTA
SAN CLEMENTE, CALIFORNIA

Project No.
2019-13

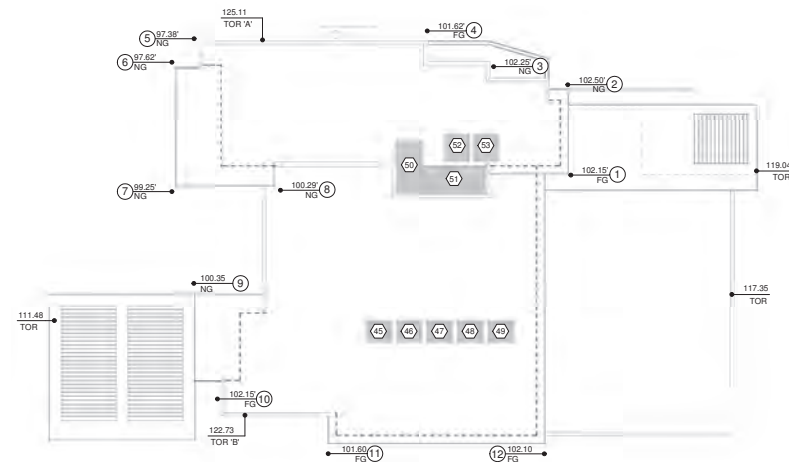
Sheet Title:
PROJECT INFO

Exhibit 2

Page 1 of 18



California Coastal
Commission

[illegible]

NOTE: ALL FOUNDATION ELEMENTS SHALL BE PLACED OUTSIDE OF THE 15' CANYON SETBACK. CANTILEVERED PORTIONS OF THE PROPOSED DECK/PATIO STRUCTURE MAY EXTEND 5' INTO THE 15' CANYON EDGE SETBACK, AND THE DECK TO DECK STRING LINE.

NOTE: REFER TO L-1-3, LANDSCAPE SHEETS
FOR MORE INFORMATION ON PROPOSED POOL,
DECK AND PLANTING

1/8" = 1'-0"



- EXISTING FIRST LEVEL LIVING
- EXISTING LIVING AREA REMOVED IN ORDER
TO BRING STRUCTURE TO CONFORMANCE
WITH SIDE YARD SETBACK
- EXISTING GARAGE
- FIRST FLOOR LIVING ADDITION
- GARAGE AREA CONVERTED TO LIVING SPACE
- EXISTING SECOND FLOOR LIVING
- PROPOSED SECOND FLOOR LIVING
- PROPOSED SECOND FLOOR DECKS
- PROPOSED FURRED ENTRY/GARAGE
SEPARATION WALL
- 95% OF TOTAL FRONT YARD SETBACK AREA
495 SF PERMANENT + 52% LANDSCAPE RATIO

AVENIDA GAVIOTA

SITE PLAN

1/8" = 1'-0"

NO	DATE	DESCRIPTION
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GIOBI RESIDENCE
ADDITION/REMODEL
318 W. AVENIDA GAVIOTA
SAN CLEMENTE, CALIFORNIA

COASTAL
DEVELOPMENT
PERMITProject No.
2019-13

Sheet Title:

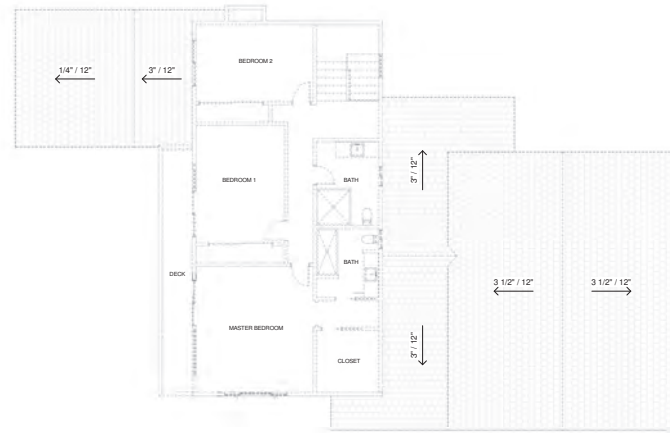
**SITE PLAN
ROOF PLAN**

Exhibit 2

Page 2 of 18

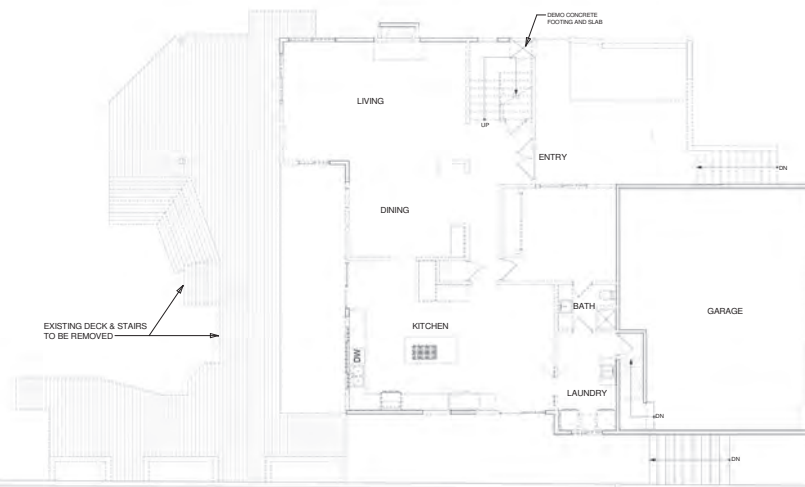


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SECOND FLOOR DEMO PLAN

1/8" = 1'-0"



FIRST FLOOR DEMO PLAN

1/8" = 1'-0"



REVISION SCHEDULE

NO. | DATE | DESCRIPTION



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318 W AVENIDA GAVIOTA
SAN CLEMENTE, CALIFORNIA

Project No.
2019-13

Sheet Title:
DEMO PLANS



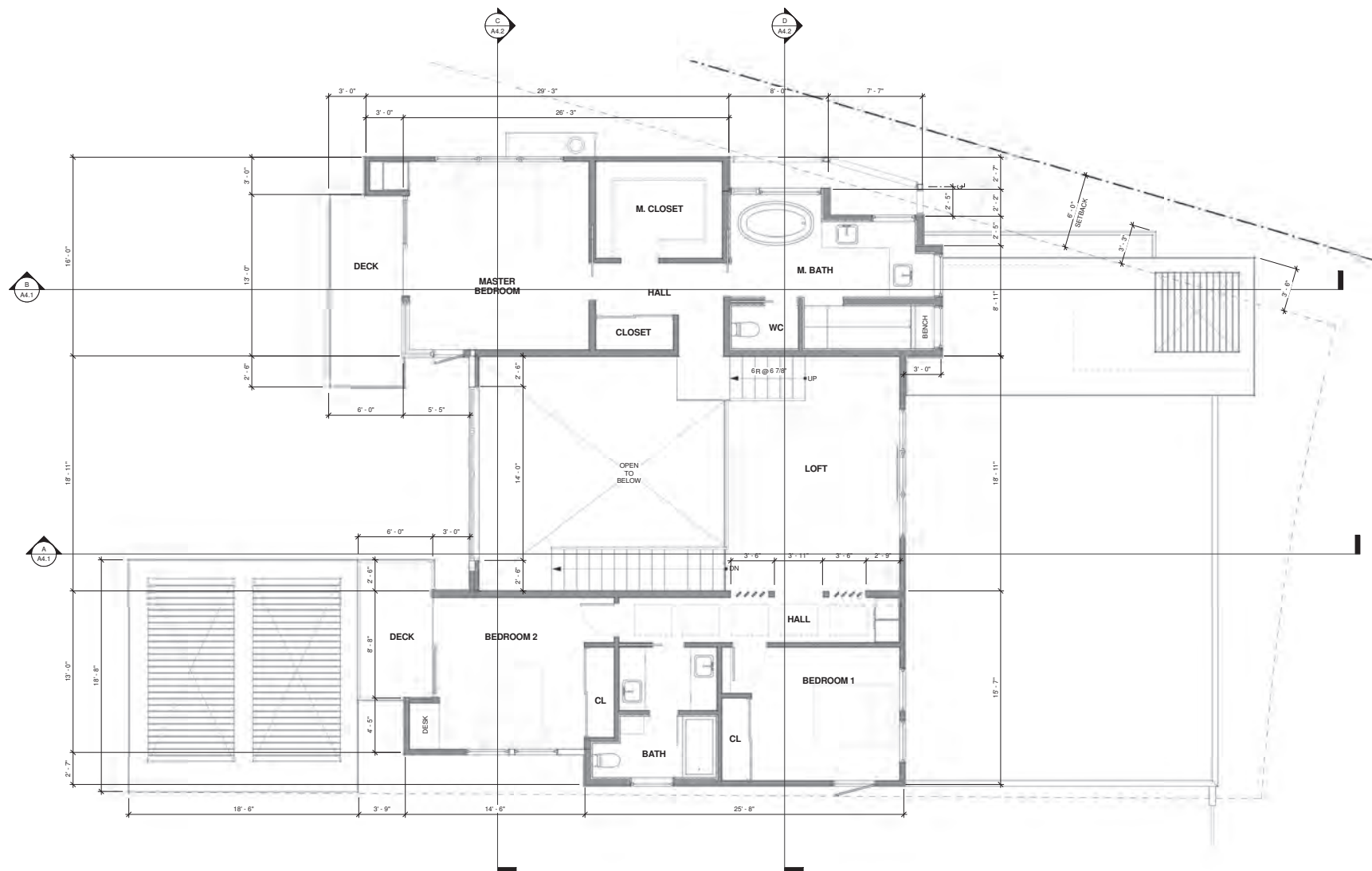
BES
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info@besinc.com

Project No.
2019-13

Sheet Title:
**FIRST FLOOR
PLAN**



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SECOND FLOOR PLAN

1/4" = 1'-0"



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ADDITION/REMODEL**
318 W AVENIDA GAVIOTA
SAN CLEMENTE, CALIFORNIA

Project No.
2019-13

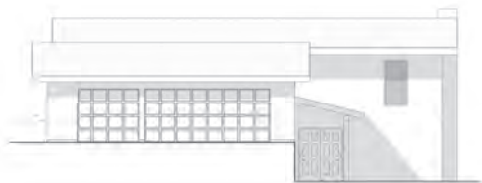
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SECOND FLOOR
PLAN

Exhibit 2

Page 5 of 18



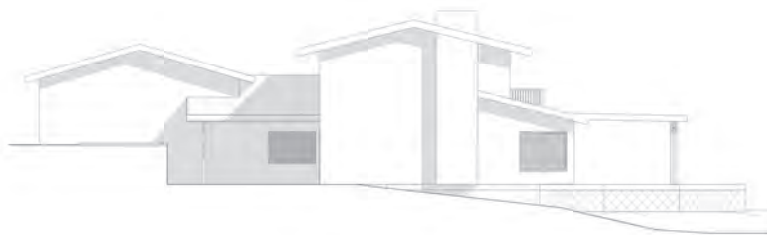
California Coastal
Commission



EAST ELEVATION
1/8" = 1'-0"



SOUTH ELEVATION
1/8" = 1'-0"



NORTH ELEVATION
1/8" = 1'-0"



WEST ELEVATION
1/8" = 1'-0"

REVISION SCHEDULE		
NO.	DATE	DESCRIPTION

BES
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ADDITION/ REMODEL**
318 W AVENIDA GAVIOTA
SAN CLEMENTE, CALIFORNIA

Project No.
2019-13

Sheet Title:
**AS-BUILT
EXTERIOR
ELEVATIONS**



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GIObi RESIDENCE
ADDITION/REMODEL
318 W AVENIDA GAVIOTA
SAN CLEMENTE, CALIFORNIA

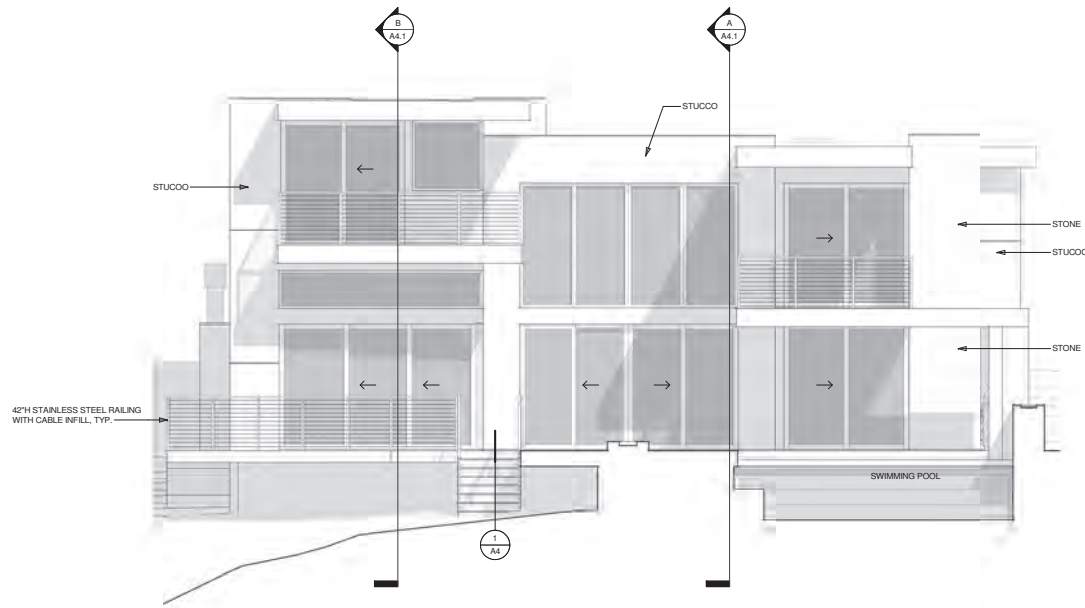
Project No.
2019-13

EXTERIOR
ELEVATION

Page 8 of 18

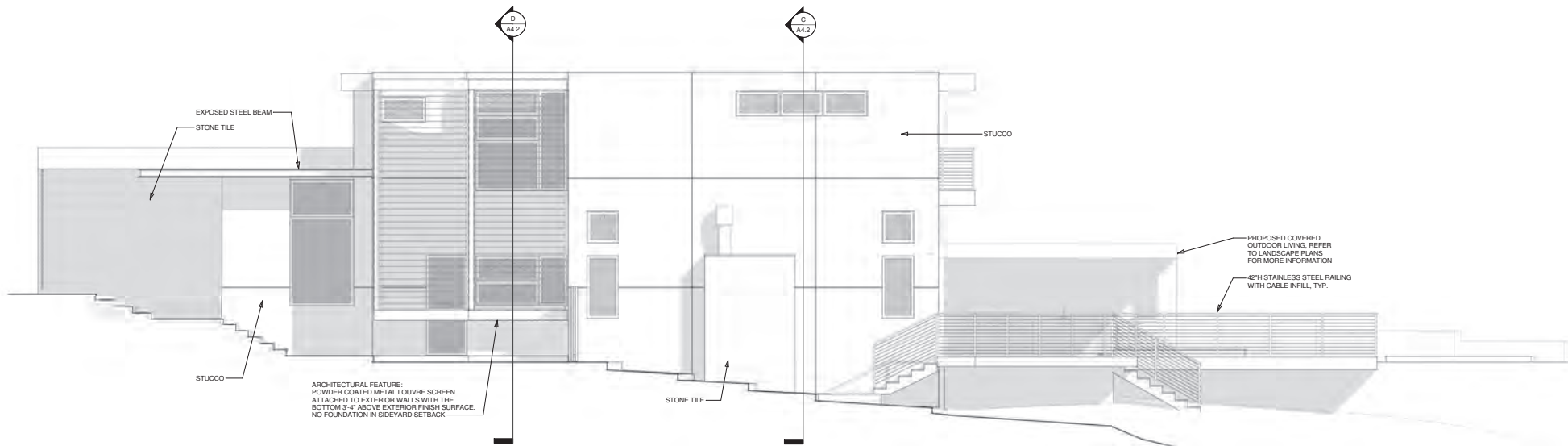


California Coastal
Commission



WEST ELEVATION

1/4" = 1'-0"



NORTH ELEVATION

1/4" = 1'-0"

REVISION SCHEDULE

NO. | DATE | DESCRIPTION

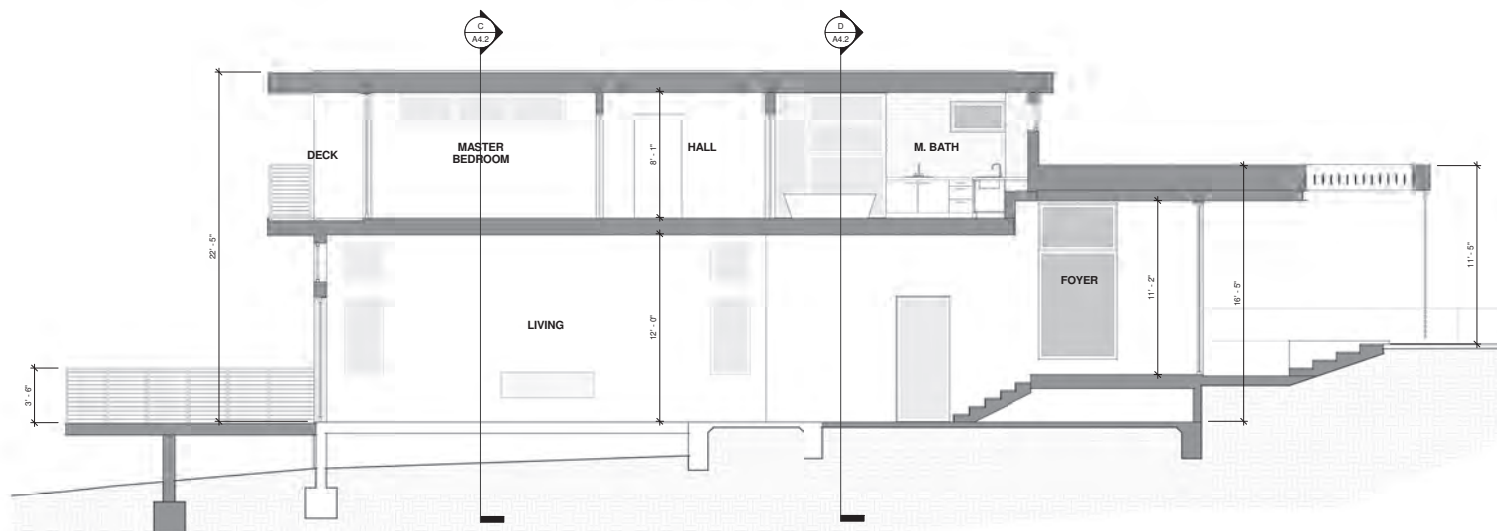


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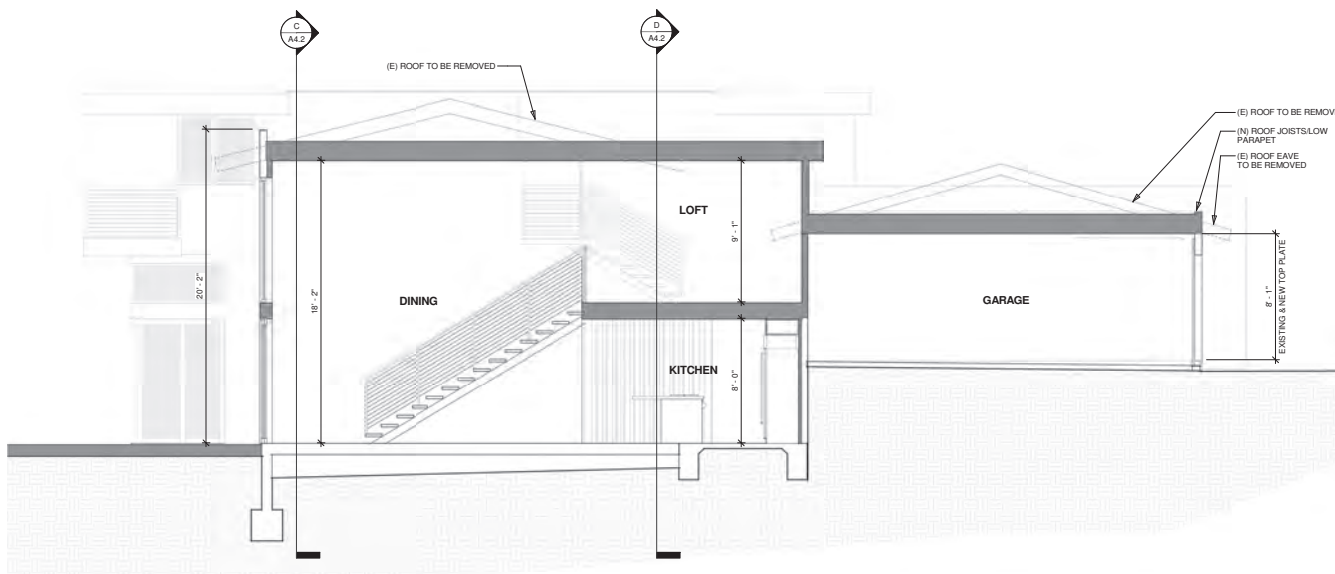
GIOBI RESIDENCE ADDITION/ REMODEL 318 W AVENIDA GAVIOTA SAN CLEMENTE, CALIFORNIA

Project No.
2019-13

Sheet Title:
BUILDING
SECTIONS



SECTION B
1/4" = 1'-0"



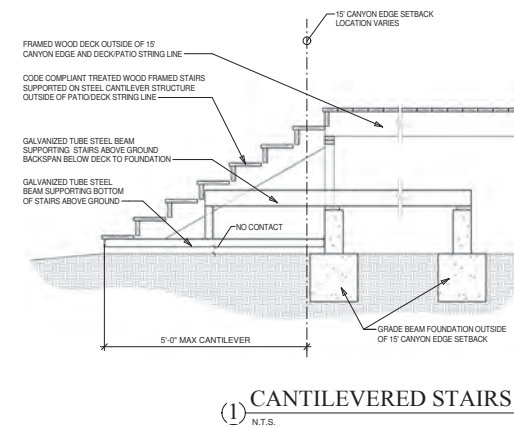
SECTION A
1/4" = 1'-0"

Exhibit 2

Page 9 of 18



California Coastal
Commission

[illegible]

OS DOWNSLOUT; CONNECT TO SITE DRAINAGE SYSTEM

OD 4" DIA PVC AER DRAIN W/ 4" DIA METAL GRATE IN HARDSCAPE & SLOTTIC GRATE IN LANDSCAPING; ATTACH TO SITE DRAINS

----- SLOPE GRATE AROUND PERIMETER OF THE DECK EDEA AND BOTTOM OF ENTRY LIDER LANDING

OL TRENCH DRAIN LEADER LINE CONNECTED TO SITE DRAINAGE SYSTEM

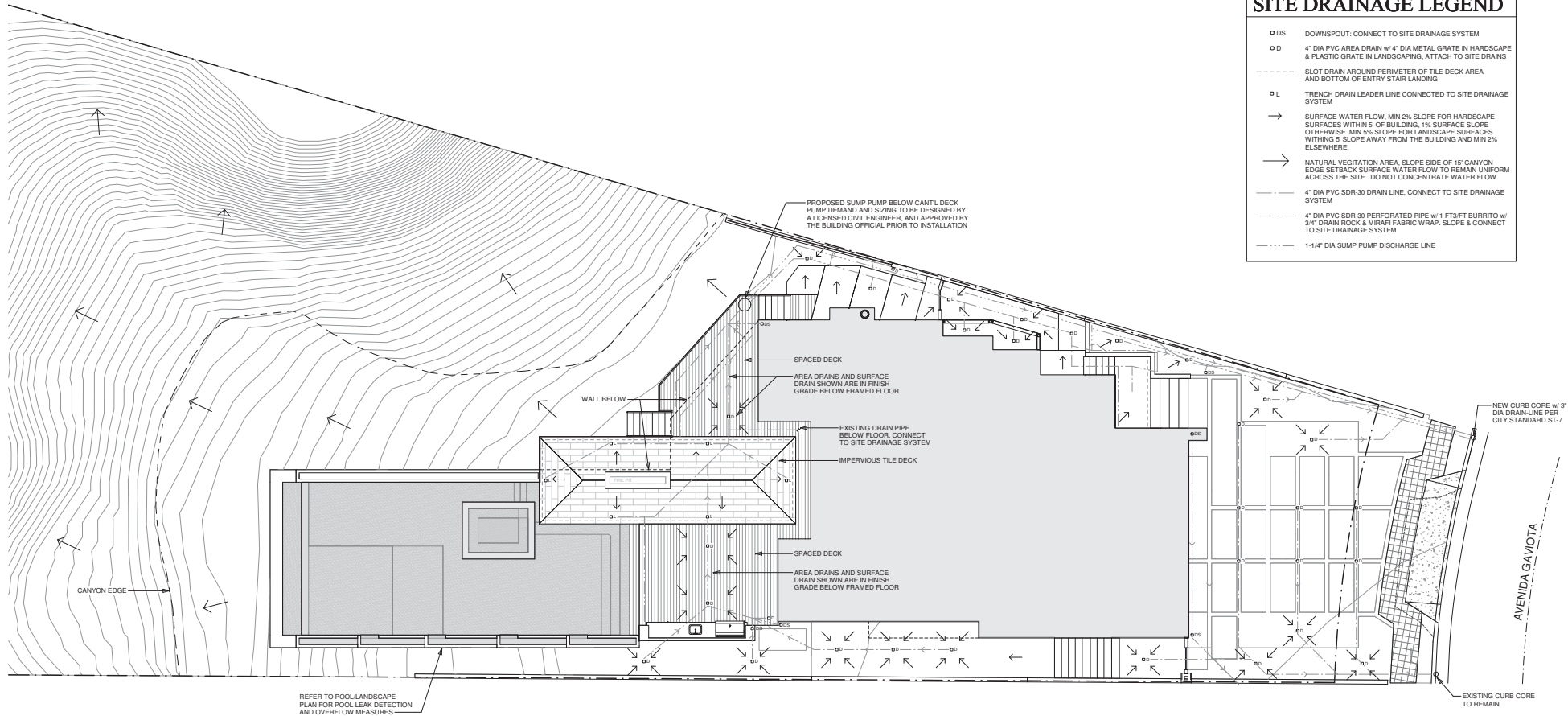
----- SURFACE WATER FLOW, MIN 2% SLOPE FOR HARDSCAPE SURFACES WITHIN 3' OF BUILDING, 1% SURFACE SLOPE OTHERWISE, MIN 5% SLOPE FOR LANDSCAPE SURFACES WITHIN 5' SLOPE AROUND THE BUILDING AND MIN 2% ELSEWHERE.

----- NATURAL VEGETATION AREA, SLOPE SIDE OF 1% CANYON EDEA SETBACK SURFACE WATER FLOW TO REMAIN UNIFORM ACROSS THE SITE. DO NOT CONCENTRATE WATER FLOW.

----- 4" DIA PVC SD-30 DRAIN LINE; CONNECT TO SITE DRAINAGE SYSTEM

----- 4" DIA PVC SD-30 PERFORATED PIPE W/ 1" TSTBT BURRITO W/ 3/4" DRAIN ROCK & MARIACHI FABRIC WRAP. SLOPE & CONNECT TO SITE DRAINAGE SYSTEM

----- 1-1/4" DIA SLUMP PUMP DISCHARGE LINE



DRAINAGE PLAN

1/8" = 1'-0"

A circular symbol containing a north arrow pointing towards the upper right.

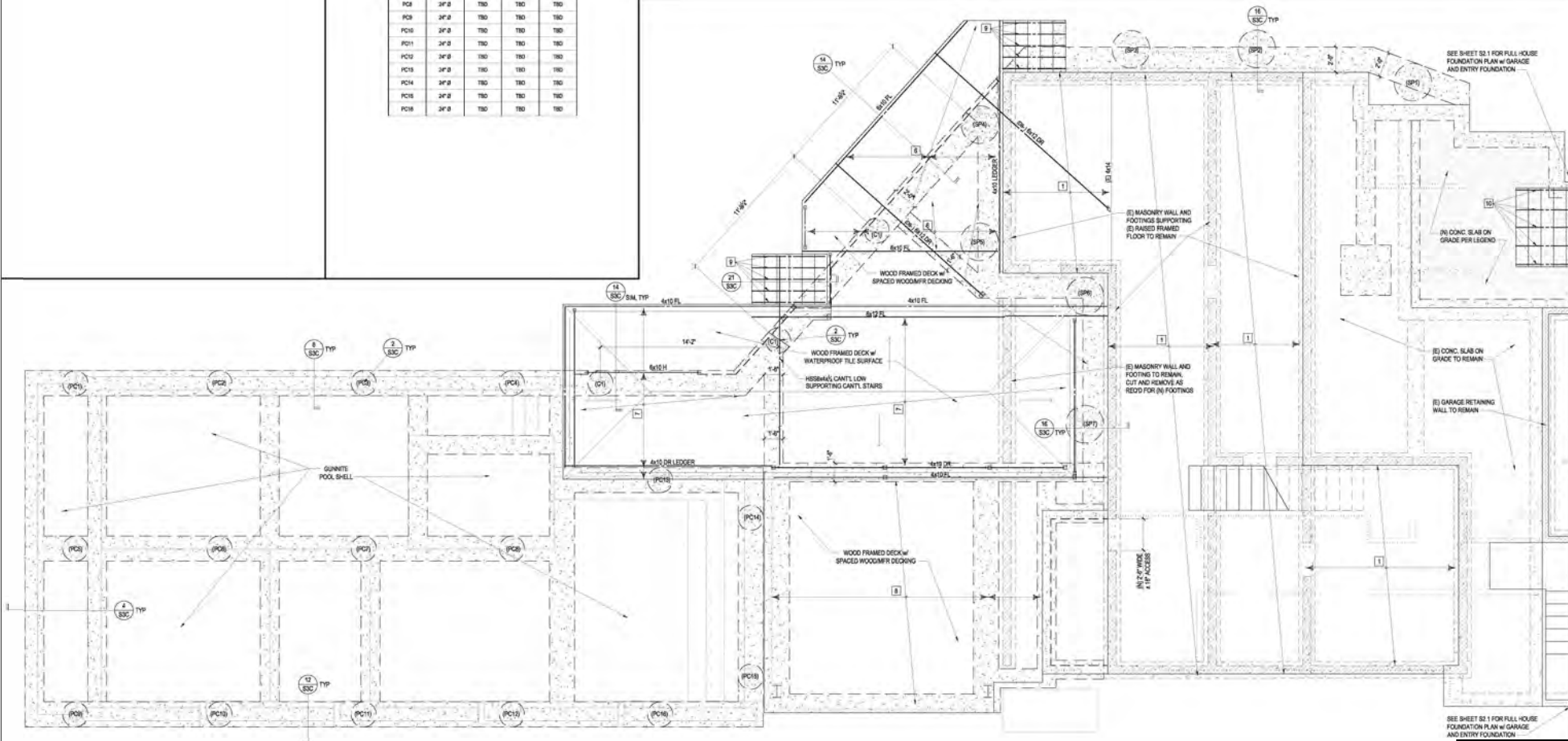
CAISSON SCHEDULE			
MARK	CAISSON DIAMETER	CAISSON VERTICAL REINFC	TOTAL CAISSON EMB. (L)
C1	24" Ø	(9) #10	24"
C2	24" Ø	(9) #11	24"
C3	24" Ø	(9) #11	24"
SP1	36" Ø	(9) #11	25"
SP2	36" Ø	(9) #11	32"
SP3	36" Ø	(9) #11	48"
SP4	36" Ø	(9) #11	48"
SP5	36" Ø	(9) #11	42"
SP6	36" Ø	(9) #11	32"
SP7	36" Ø	(9) #11	22"
PC1	24" Ø	T80	T80
PC2	24" Ø	T80	T80
PC3	24" Ø	T80	T80
PC4	24" Ø	T80	T80
PC5	24" Ø	T80	T80
PC6	24" Ø	T80	T80
PC7	24" Ø	T80	T80
PC8	24" Ø	T80	T80
PC9	24" Ø	T80	T80
PC10	24" Ø	T80	T80
PC11	24" Ø	T80	T80
PC12	24" Ø	T80	T80
PC13	24" Ø	T80	T80
PC14	24" Ø	T80	T80
PC15	24" Ø	T80	T80
PC16	24" Ø	T80	T80

FLOOR / DECK FRAMING KEY:

- (1) RAISED FLOOR JOIST: 2x6 @ 16" O.C. TO REMAIN
- FLOOR JOIST: 11 1/2" T. JAY10 @ 16" O.C. w/ 7/8" PLY PER PLAN
- FLOOR JOIST: 11 1/2" T. JAY10 @ 16" O.C. w/ 7/8" PLY PER PLAN
- FLOOR JOIST: #2 DF 2x12 @ 16" O.C. RIP TO SLOPE w/ 7/8" PLY PER PLAN
- DECK JOIST: #2 DF 2x12 @ 16" O.C. RIP TO SLOPE w/ 7/8" PLY PER PLAN
- DECK JOIST: #2 PTDF 2x10 @ 16" O.C. w/ SPACED DECKING PER ARCH'L
- DECK JOIST: #2 PTDF 2x14 @ 16" O.C. RIP TO SLOPE w/ 7/8" PLY PER PLAN
- RAISED FLOOR JOIST: #2 DF 2x6 @ 16" O.C.
- NOTCHED EXTERIOR STAIR STRINGERS: #2 PTDF 2x14 @ 16" O.C. 1/4" MIN-4"
- NOTCHED INTERIOR STAIR STRINGER: #2 DF 2x14 @ 16" O.C. 1/4" MIN-4"

FOUNDATION LEGEND:

- INTERIOR F.T.G. EDGE F.T.G.
- (N) CO. NO. FLOOR JOIST THICKNESS
- (N) CO. NO. FOOTING
- (N) CA. ST-IN-PLACE CONCRETE CAS. ID. N
- (N) GUN MITE POOL SHELL (B. VOTER S)
- (N) CO. NO. SLAB ON GRADE, SEE SCHEDULE
- (E) CONC. SLAB ON GRADE TO REMAIN
- (E) CMU WALL



GIObBI RESIDENCE
ADDITION / REMODEL
318 W. AVENIDA GAYVOTA
SAN CLEMENTE, CA

COASTAL
DEVELOPMENT
PERMIT

Project No.
2019-13

Sheet Title
LOWER FLOOR
REAR DECK AND
PRELIMINARY POOL

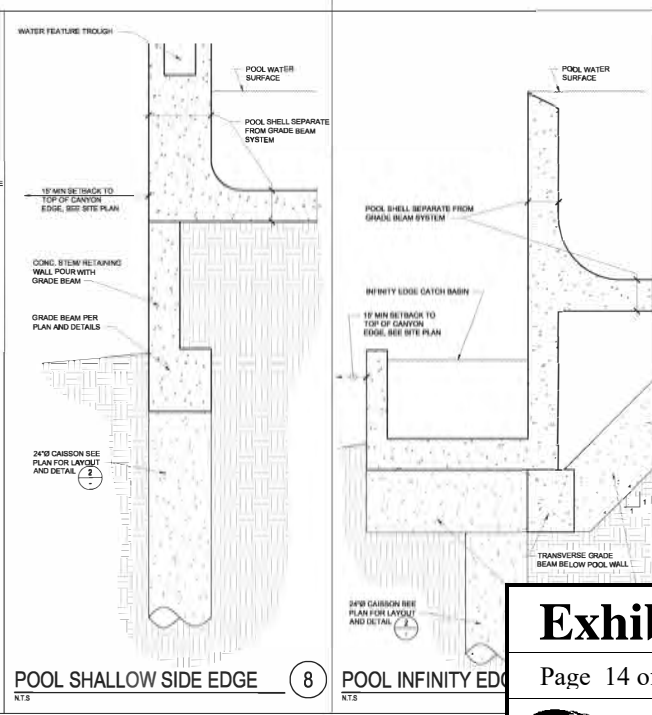
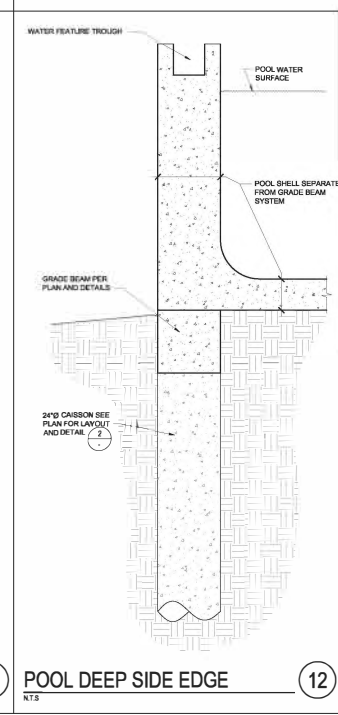
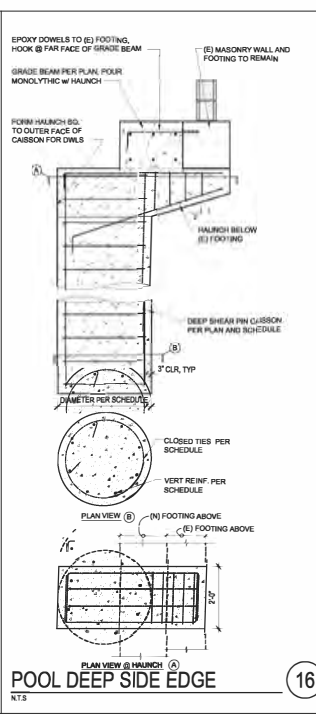
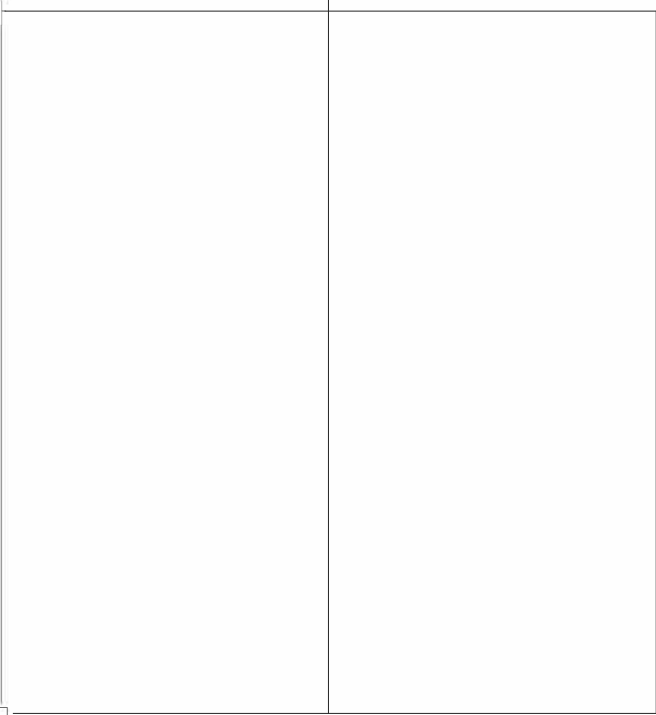
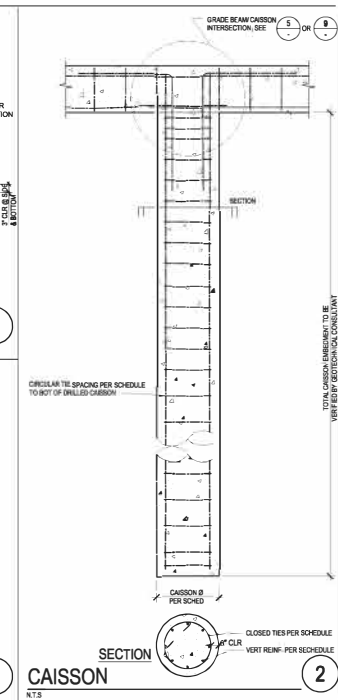
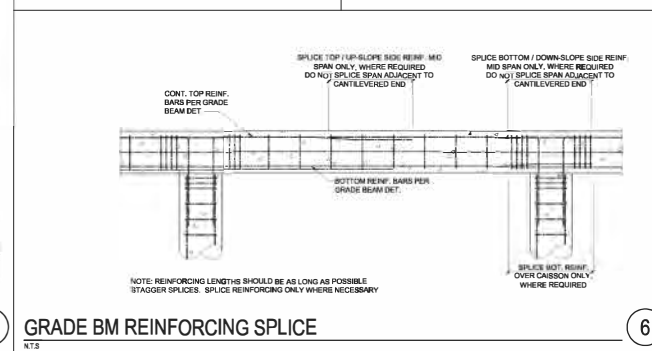
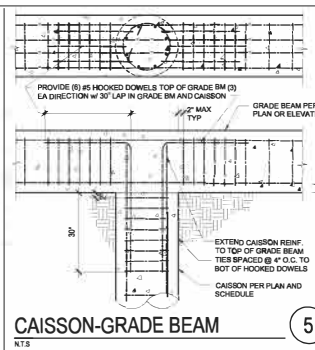
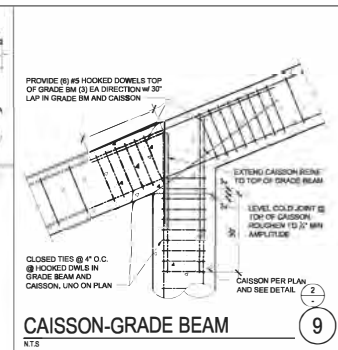
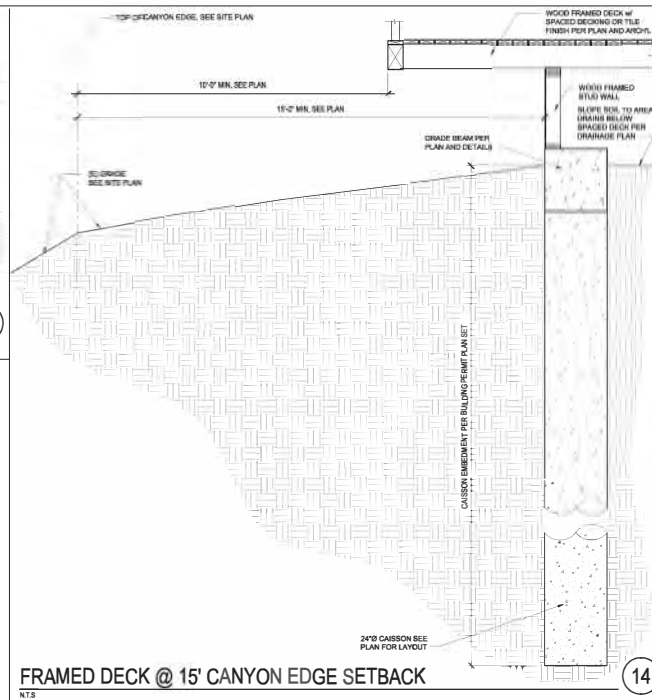
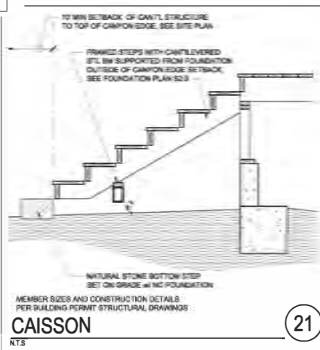
Exhibit 2

Page 13 of 18



California Coastal
Commission

FOUNDATION P



Insurance / Revisions
No. Date Description

BES
BES ENGINEERING STRUCTURES INC.
1000 S. AVENUE 100, SUITE 100
SAN ANTONIO, TEXAS 78205
(214) 395-0619
WWW.BES-ENGINEERING.COM

GIOBBI RESIDENCE
ADDITION / REMODEL
318 W. AVENIDA GAYVITA
SAN CLEMENTE, CA

COASTAL DEVELOPMENT PERMIT

Project No.
2019-13

Sheet Title
SCHEMATIC STRUCT. FOUNDATION DETAILS

LANDSCAPE LEGEND

PLANT FORM	PLANT SIZE	BOTANICAL NAME	COMMON NAME	PLANT # FROM ATT. 1	SYMBOL CODE FROM ATT. 1	EXPECTED MAX. GROWTH HEIGHT	EXPECTED MAX. GROWTH WIDTH	MIN. SIZE
Tree	T1	(1) Cercis Occidentalis	Western Redbud	59	w	15' +	15' +	36" Box
Shrub	S1	(3) Heteromeles arbutifolia	Toyon	132	On	12'	12'	15 Gal.
Shrub	S2	(6) Ceanothus Megacarpus	Big Pod Ceanothus	53	O	8'	8'	15 Gal.
Shrub	S3	(6) Romneya Coulteri	Matilija Poppy	239	O	6'	6' +	15 Gal.
Shrub	S4	(11) Dendroica Rigida	Bush Poppy	87	O	5'	6'	5 Gal.
Shrub	S5	(7) Encelia Californica	Calif. Encelia/ Coast Sunflower	97	O	3'	4'	5 Gal.
Shrub	S6	(3) Clebs x Purpureus	Orchid Rockrose	66	W	3'	3'	5 Gal.
Shrub	S7	(16) Epilobium Canum	California Fuchsia	98	O	2'	4'	5 Gal.
Shrub	S8	(6) Salvia Greggii	Autumn Sage	242	Wn	3'	3'	5 Gal.
Shrub	S9	(4) Hesper Alce Pavilola	Red Yucca	131	W	4'	4'	5 Gal.
Shrub	S10	(11) Argemonea Flavida	Kangaroo Paw	21	W	3'	3'	5 Gal.
Shrub	S13	(11) Tachelospesum Jasminodes	Star Jasmine	267	N	2'	3'	15' Gal.
Shrub	S14	(5) Yucca Species Elephantipes	Yucca Place in pots (5)	281	X	8'	3'	5 Gal.
Shrub	S15	(5) Discaena Margata	Pink Stripe Discaena	N/A*	N/A*	6'	3'	15 Gal.

Succulent	SS1	(3) Agave attenuata	Century Plant	8	W	2'	3'	5 Gal.
Succulent	SS2	(2) Agave Shawii	Shaw's Century Plant	10	N	2'	2'	5 Gal.
Succulent	SS3	(15) Dudleya Pulcherrima	Chalk Dudleya	95	O	1'	2'	1 Gal.
Ground Cover	G1	Dymondia Marganetee	Dymondia 'Tats'	N/A*	N/A*	2'	1'	Flats 12" - 18" o.c.
Ground Cover	G2	Ophiopogon Japonicum	Mondo Grass	195	N	6"	6"	Flats 12" - 18" o.c.
Ground Cover	G3	Senecio Serpens	Blue Chalk Sticks	255	X	1'	1'	Flats 12" - 18" o.c.
Ground Cover	G4	(66) Styrinchium Bellum	Blue Eyed Grass	256	O	1'	1'	1 Gal.
Vines	V1	(2) Distinda Buccanaria	Blood Red Trumpet Vine	89	N	6'	20'	5 Gal.
Potted Plants			See plant type. Provide drip irrigation and 1.5" PVC drain to each pot.					
Bedding	B1	Decomposed Granite						
Boulder	R1	Landscape Boulder						

Existing tree to remain.

Existing shrub to remain.

LANDSCAPE QUANTITIES

PLANT TOTALS -	193.	Native plus non-native.	100%
NATIVE:	121		62%
NON-NATIVE Ornamentals:	72		38%

Existing Coastal Canyon Vegetation to remain undisturbed.

Thinning of dead and dying vegetation only, per Coastal LUP. No existing or proposed irrigation in this region.

15' Coastal Top of Bluff Setback Zone.

Landscape to consist of native species only. All species and species plant spacing/height to conform to OCCA guidelines and Coastal Commission requirements. Species and general locations as shown. Temporary, on grade, drip irrigation to all new specimens for establishing only. To be removed after initial specimen establishment.

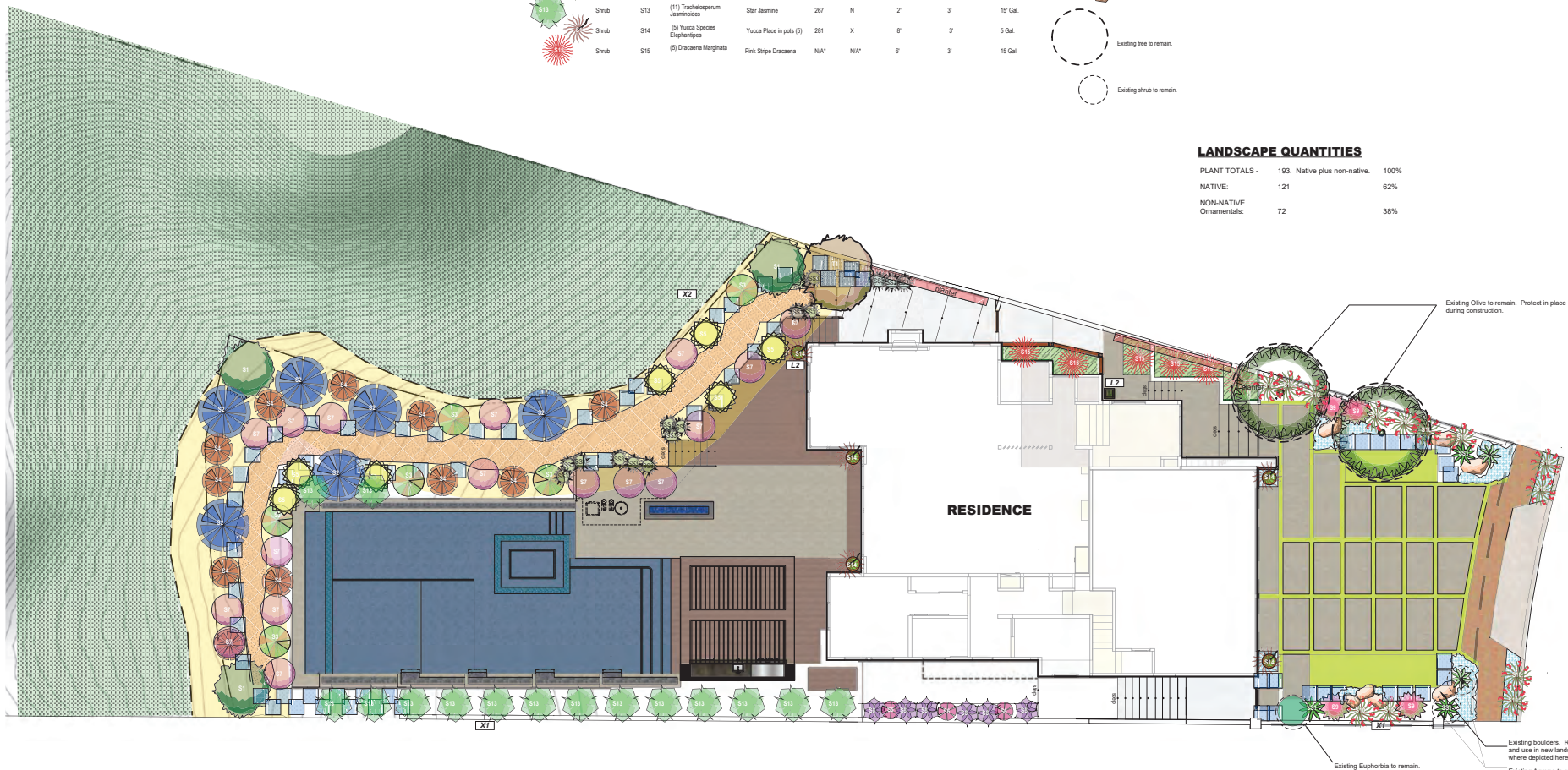
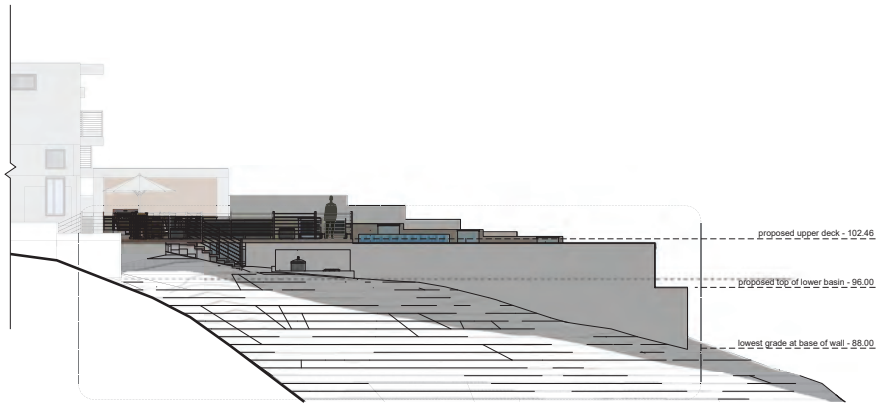


Exhibit 2

Page 16 of 18



California Coastal
Commission



AA
A2 NORTH ELEVATION AT POOL AND SPA
1/8" = 1'

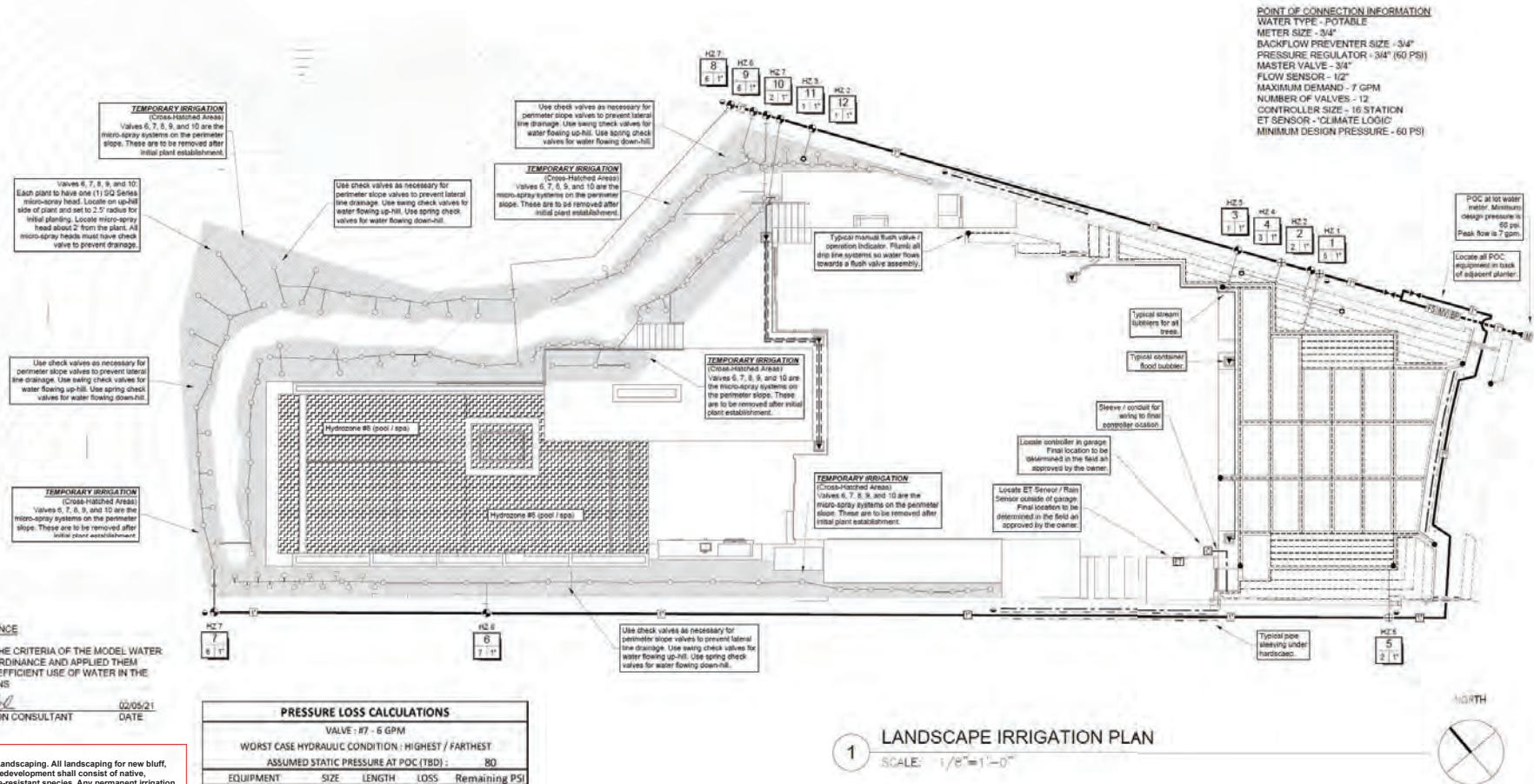


BB
A2 WEST ELEVATION AT POOL AND SPA
1/8" = 1'





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STATEMENT OF COMPLIANCE

I HAVE COMPLIED WITH THE CRITERIA OF THE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE AND APPLIED THEM ACCORDINGLY FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS

Pink Dots
RICK DORTCH - IRRIGATION CONSULTANT

HAZ-46 Bluff, Canyon and Shoreline Landscaping. All landscaping for new bluff, canyon or shoreline development or redevelopment shall consist of native, noninvasive, drought-tolerant, and fire-resistant species. Any permanent irrigation system shall be low volume (drip, micro jet, etc.) and shall only be permitted on the street facing portion of the lot. **Irrigation systems along the bluff, canyon or shoreline portion of a lot shall only be allowed on a temporary basis for initial plant establishment and shall be removed after vegetation has established.** Excessive irrigation on bluff and canyon lots is prohibited.

PRESSURE LOSS CALCULATIONS				
VALVE : R7 - 6 GPM				
WORST CASE HYDRAULIC CONDITION : HIGHEST / FARTHEST				
ASSUMED STATIC PRESSURE AT POC (TBD) :				80
EQUIPMENT	SIZE	LENGTH	LOSS	Remaining PS
Service Line	3/4"	25'	1.8	78.2
Water Meter	3/4"	-	0.8	77.4
Copper Line to R/P	1"	50'	3.6	73.8
Pressure Entering Backflow Preventer Assembly				73.8
Pressure Regulator Setting at R/P Assembly				60.0
Backflow Preventer	3/4"	-	12.0	48.0
Master Valve	3"	-	1.0	47.0
Flow Sensor	1/2"	-	2.0	45.0
Sch 40 PVC Main	1"	260'	3.5	41.5
Electric Control Valve	1"	-	2.4	39.1
Lateral Lines	Misc.	Misc.	3.0	36.1
Misc. Losses (10%)	n/a	-	2.4	33.7
SUBTOTAL PRESSURE AVAILABLE :				33.7
Elevation Losses	Feet :	-14	0.433	-6.1
PRESSURE AVAILABLE AT SPRINKLER HEAD / EMITTER :				39.8
PRESSURE REQUIRED AT SPRINKLER HEAD / EMITTER :				30.0
RESIDUAL PRESSURE :				9.8



LANDSCAPE IRRIGATION PLAN

1 SCALE: 1/8"=1'-0"

LATERAL PIPE SIZING	
	3/4" PIPE
	1" PIPE
	1 1/4" PIPE
	1 1/2" PIPE
	2" PIPE
	2 1/2" PIPE
	3" PIPE
	4" PIPE
	6" PIPE
	8" PIPE

1 1/4" SLEEVE	18 WIRES	1/2" PIPE
1 1/2" SLEEVE	9-16 WIRES	3/4" PIPE
2" SLEEVE	13-26 WIRES	1" PIPE
2 1/2" SLEEVE	25-50 WIRES	1 1/4" PIPE
3" SLEEVE	39-54 WIRES	1 1/2" PIPE
4" SLEEVE	55-100 WIRES	2" PIPE
6" SLEEVE	100+ WIRES	3" PIPE
8" SLEEVE	N/A	4" PIPE
12" SLEEVE	N/A	6" PIPE



Exhibit 2

Page 18 of 18



California Coastal
Commission

Figure 3-3 Coastal Access Points



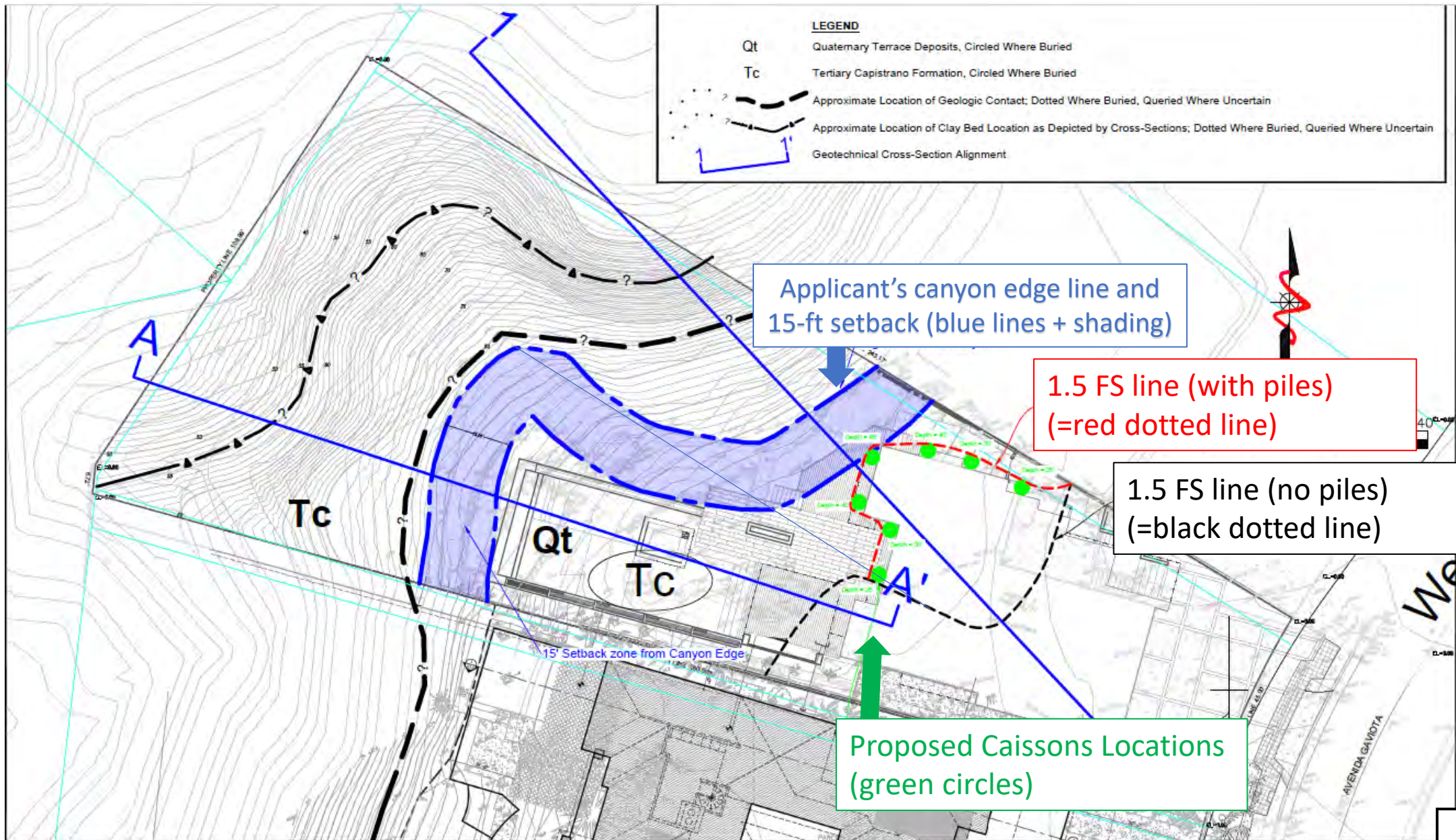
Figure 3-3

Coastal Access Points Existing

Local Coastal Program - Land Use Plan
March 2018

0 0.1 0.2 0.4 0.6 0.8 Miles





LGC Geotechnical, Inc.
131 Calle Iglesia, Ste. 200
San Clemente, CA 92672
TEL (949) 369-8141 FAX (949) 369-8142

Figure 1
Geotechnical Map

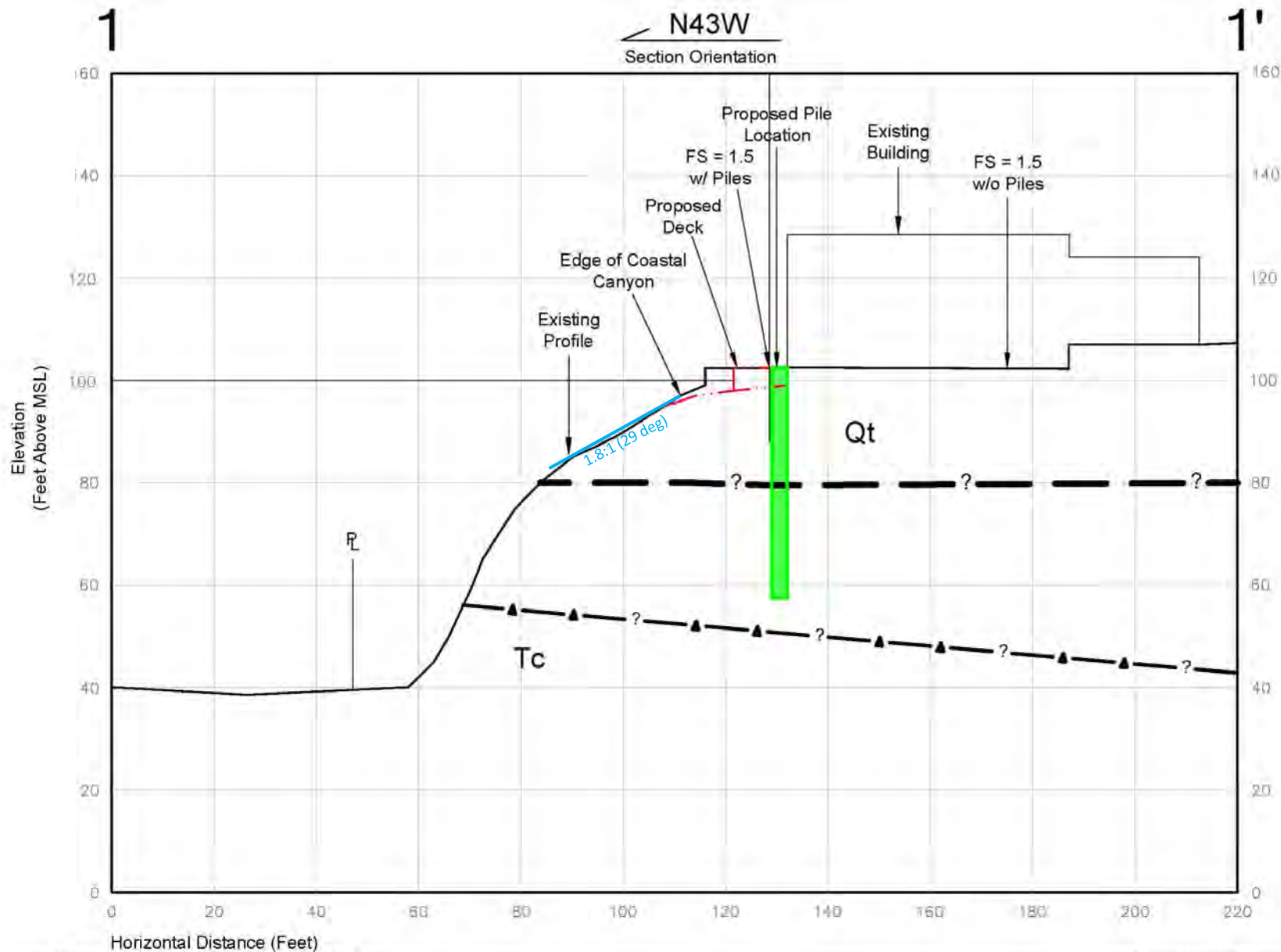
PROJECT NAME	Giobbi - 318 West Avenida Gaviota
PROJECT NO.	19084-01
ENG. / GEOL.	BJE/KBC
SCALE	1" = 20'
DATE	October 2020

Exhibit 4

Page 1 of 3



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Applicant's bluff edge is OK along this cross-section and on the northern part of the site (where canyon slope is steepest).

Figure 3
Geotechnical Cross Section 1-1'



LGC Geotechnical, Inc.
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TEL (949) 369-6141 FAX (949) 369-6142

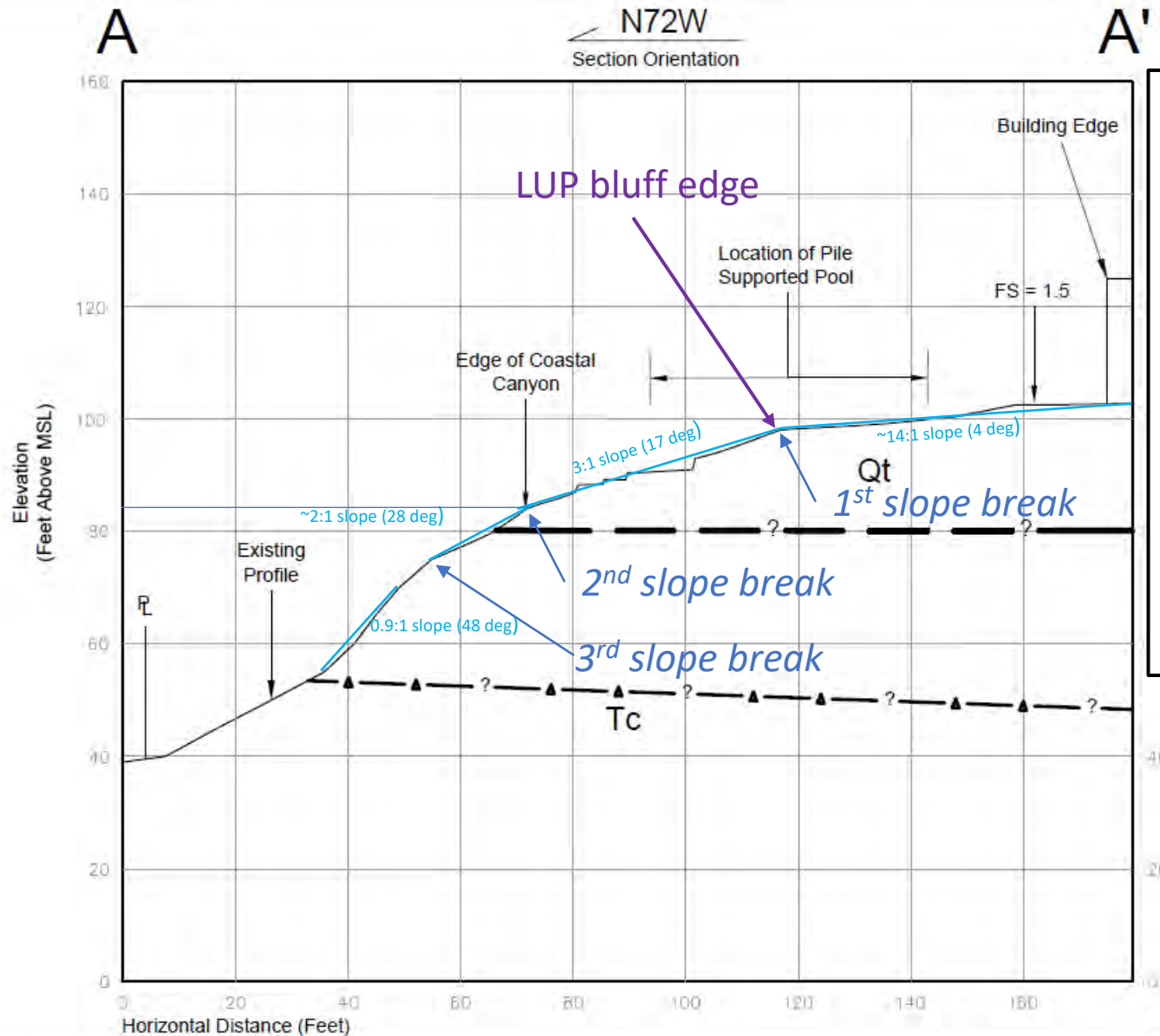
PROJECT NAME	Giobbi - 318 West Avenida Gaviota
PROJECT NO.	19084-01
ENG. / GEOL.	BJE/KBC
SCALE	1" = 20'
DATE	July 2020

Exhibit 4

Page 2 of 3



California Coastal
Commission



- The Commission does not agree with the applicant's bluff edge on cross-section A-A' and across the southern part of the site.
 - Top edge of canyon bluff is "rounded away from the face of the bluff"
 - Downward gradient increases "more or less continuously" beyond the labeled **1st slope break**:
 - Slope of bluff top: 14:1 (4°)
 - 1st slope break: increases to 3:1 (17°)
 - 2nd slope break: increases to 2:1 (28°)
 - 3rd slope break: increases to <1:1 (>45°)
- 1st slope break = CCC LUP bluff edge
- Approximated by +98 ft elevation contour

SHEETS
CLOSED POOL,

15 ft. setback from
CCC canyon edge

1/8" = 1'-0"



FOS 1.5 Present Day
(without proposed
caissons)

Applicant's
canyon edge











	EXISTING FIRST LEVEL LIVING
	EXISTING LIVING AREA REMOVED IN ORDER TO BRING STRUCTURE TO CONFORMANCE WITH SIDE YARD SETBACK
	EXISTING GARAGE
	FIRST FLOOR LIVING ADDITION
	GARAGE AREA CONVERTED TO LIVING SPACE
	EXISTING SECOND FLOOR LIVING
	PROPOSED SECOND FLOOR LIVING
	PROPOSED SECOND FLOOR DECKS
	PROPOSED FURRED ENTRY/GARAGE SEPARATION WALL
	956 SF TOTAL FRONT YARD SETBACK AREA 495 SF PERMEABLE ~ 52% LANDSCAPE RATIO

Exhibit 5

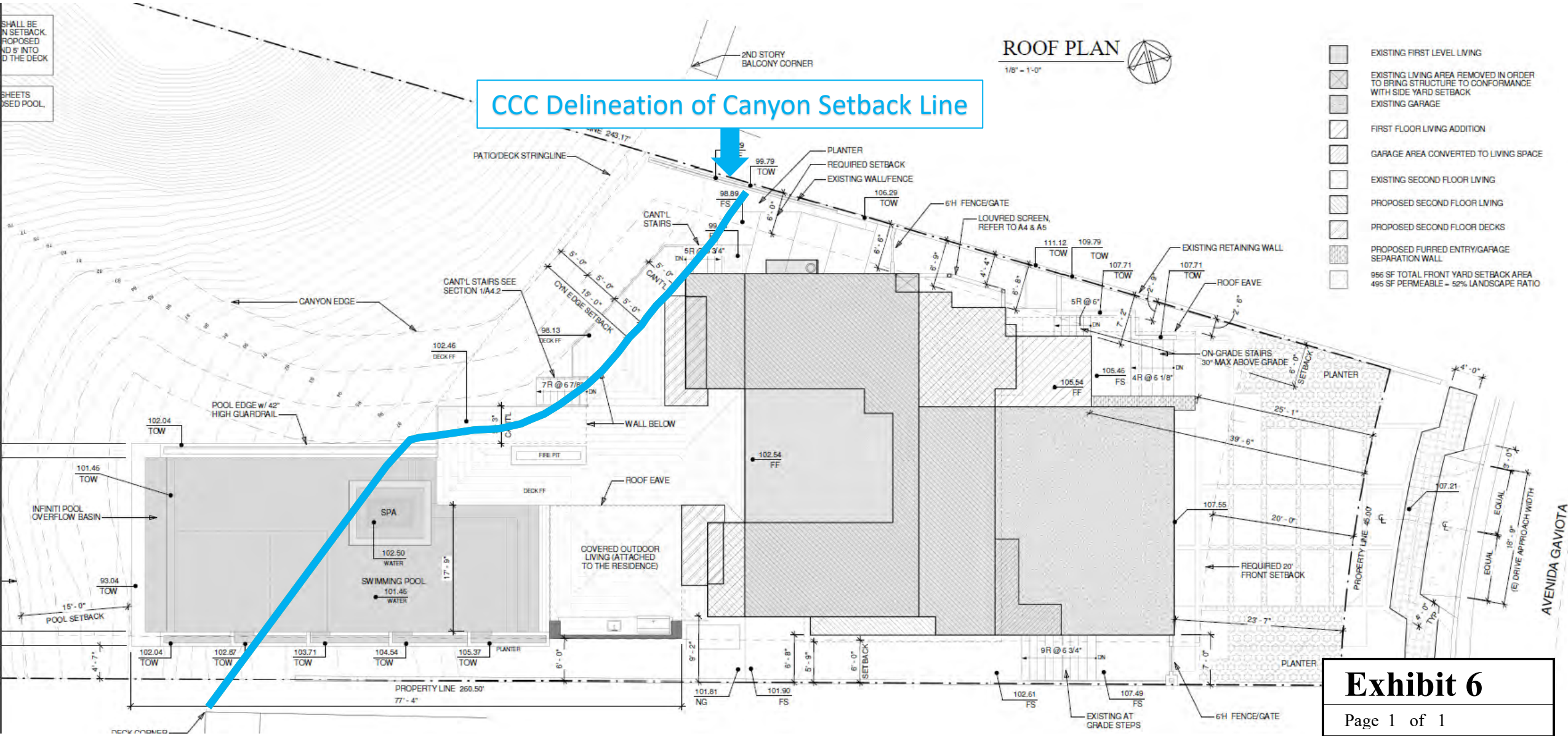
Page 1 of 1



California Coastal
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SHALL BE
N SETBACK
ND 5' INTO
D THE DECK

SHEETS
USED POOL.



CCC Delineation of Canyon Setback Line

ROOF PLAN

1/8" = 1'-0"

- EXISTING FIRST LEVEL LIVING
- EXISTING LIVING AREA REMOVED IN ORDER TO BRING STRUCTURE TO CONFORMANCE WITH SIDE YARD SETBACK
- EXISTING GARAGE
- FIRST FLOOR LIVING ADDITION
- GARAGE AREA CONVERTED TO LIVING SPACE
- EXISTING SECOND FLOOR LIVING
- PROPOSED SECOND FLOOR LIVING
- PROPOSED SECOND FLOOR DECKS
- PROPOSED FURRED ENTRY/GARAGE SEPARATION WALL
- 956 SF TOTAL FRONT YARD SETBACK AREA
- 495 SF PERMEABLE - 52% LANDSCAPE RATIO

Exhibit 6

Page 1 of 1



Unpermitted deck, wooden steps, carved terraces, rock walls, and concrete paths

Exhibit 7

Page 1 of 1



California Coastal
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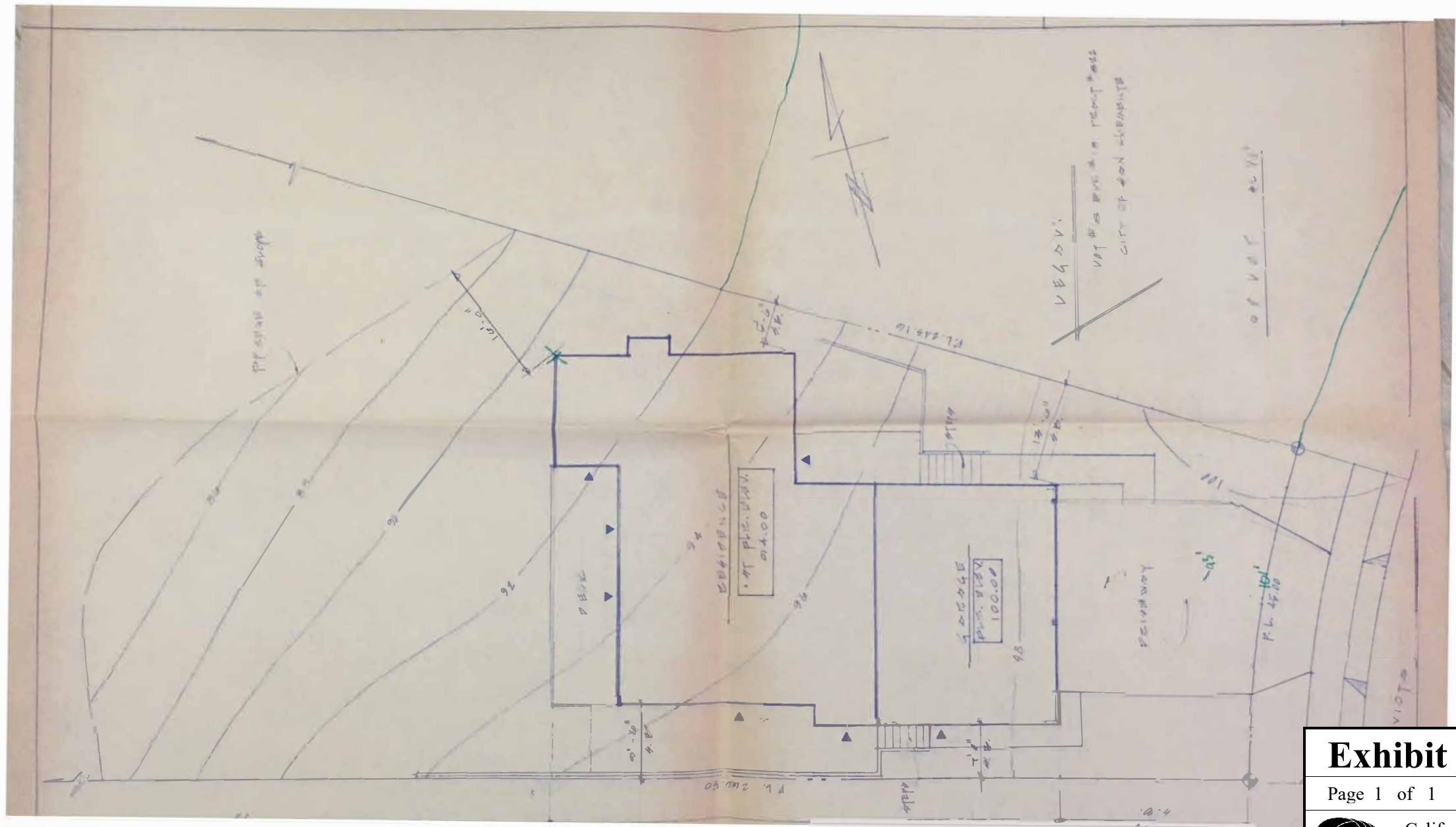


Exhibit 8

Page 1 of 1



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Figure 4-2-B Potential Habitat Study Areas

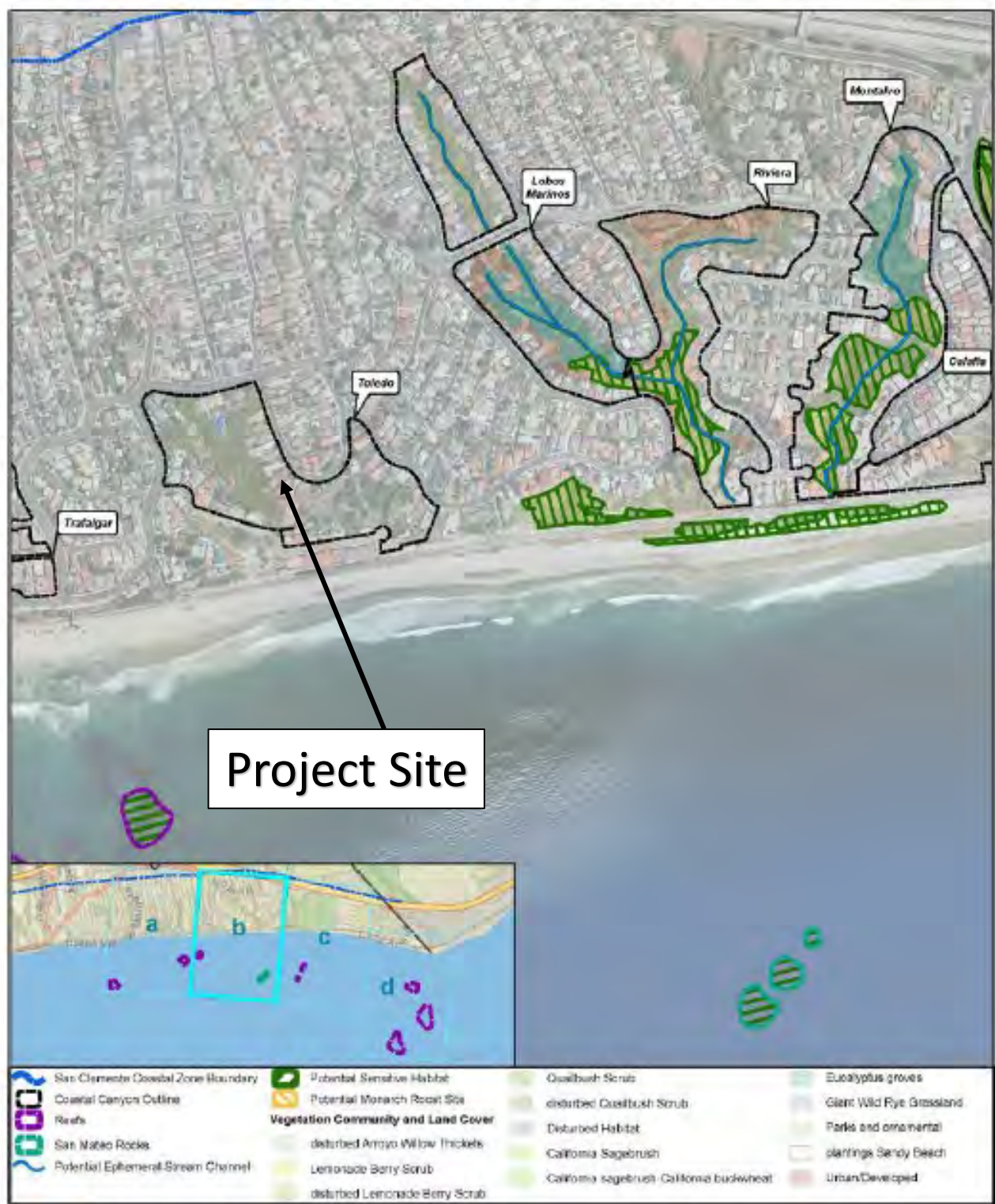
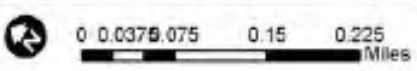


FIGURE 4-2-B
Potential Habitat Study Areas - Map B



Local Coastal Program - Land Use Plan
March 2018

SOURCE: Google Earth Map 2013
Biological Inventory Report for San Clemente LCP