#### CALIFORNIA COASTAL COMMISSION

South Coast Area Office 301 East Ocean Blvd., Suite 300 Long Beach, CA 90802 (562) 590-5071



## F9b

#### 5-21-0128 (Publik House LLC & San Clemente Arts LLC) September 9, 2021

#### **EXHIBITS**

Exhibit 2 – Photos of Existing Structure

Exhibit 3 – Project Plans

Exhibit 4 – Proposed Parking No Valet

Exhibit 5 – Proposed Parking with Valet

Exhibit 6 – City Approved Parking Chart

Exhibit 7 – Parking Demand Comparison Chart

Exhibit 8 – Public Service Area Closure Examples

Exhibit 9 – 2018 North Beach Parking Study Figure 1

Exhibit 10 – Proximity of Hotel & Trolley Stops to Subject Site

Exhibit 11 – Free Trolley Route Map

Exhibit 12 - Map Showing Site Relative to Approved Historic Structures

Exhibit 13 - Photo of North El Camino Real Left Turn Lane

Exhibit 14 – Proposed Courtyard Wall

Exhibit 15 - Letter of Objection Received (Larry Culbertson, 3/26/2021)

Exhibit 16 – Proposed Building Height Increase



**5-21-0128** Publik House 1531 & 1533 No. El Camino Real, San Clemente

Vicinity Map Exhibit 1a



5-21-0128 Publik House LLC

1531 & 1533 No. El Camino Real, San Clemente

Vicinity Map Exhibit 1b

#### 5-21-0128 Publik House



Vicinity Map Exhibit 1c



Existing Structure as seen from No. El Camino Real

5-21-0120 Publik House Photos of Existing Structure Exhibit 2a



Existing Structure as seen from No. El Camino Real Parking lot entrance.

5-21-0120 Publik House Photos of Existing Structure Exhibit 2b

# Publik House Tenent Improvement

# Events Center and Cafe 1531 N. El Camino Real San Clemente, CA 92672



#### PARKING ANALYSIS

USE	PARKING CALC.	S/F / # SEATS PROPOSED DURING HOURS OF OPERATION	HOURS OF OPERATION	# PARKING SPACES REQUIRED	# PARKING SPACES PROVIDED
MONDAY-FRIDAY	DAYTIME				
CAFE	5 SEATS PER SPACE + 16 OUTDOOR SEATS	96 SEATS	7AM-2PM MON-FRI	16 SPACES	16 SPACES
OFFICE	IN MU ZONES WITHIN THE CB OVERLAY: I PER 350 S.F. II34/350=3.24	1134 SF	8AM-5PM MON-FRI	4 SPACES	2 SPACES
TOTAL DAYTIME			7AM-3PM 7 DAYS PER WEEK	20 SPACES	IS SPACES
MONDAY-FRIDAY	EVENING			•	<u> </u>
EVENT SPACE	5 SEATS PER PARKING SPACE FOR 150 SEATS 150/5 = 30 REQ'D. SPACES	I50 SEATS	SPM-IIPM MON-FRI	30 SPACES	IS SPACES
TOTAL EVENING			SPM-IIPM MON-FRI	30 SPACES	IS SPACES
SATURDAY DAYTI	ME		T		
CAFE	5 SEATS PER SPACE + 16 OUTDOOR SEATS	IOO SEATS	7AM-2PM SAT	20 SPACES	IS SPACES
TOTAL SATURDAY DAYTIME			7AM-2PM SAT	20 SPACES	IS SPACES
SATURDAY EVENII	NG				
EVENT SPACE	5 SEATS PER PARKING SPACE FOR 150 SEATS 150/5 = 30 REQ'D. SPACES	I50 SEATS	SPM-IIPM SATURDAY	30 SPACES	IS SPACES
TOTAL SATURDAY EVENING			SPM-IIPM SATURDAY	30 SPACES	IS SPACES
SUNDAY - DAYTIM	<b>E</b>		·		
CHURCH	4 SEATS PER PARKING SPACE 80 SEATS	80 SEATS	7AM-12PM SUNDAY	20 SPACES	IS SPACES
TOTAL SUNDAY DAYTIME			7AM-12PM SUNDAY	20 SPACES	IS SPACES
SUNDAY EVENING	I	I	1	1	1
EVENT SPACE	5 SEATS PER PARKING SPACE FOR 150 SEATS 150/5 = 30 REQ'D. SPACES	I50 SEATS	IPM-IIPM SUNDAY	30 SPACES	IS SPACES
TOTAL SUNDAY EVENING			IPM-IIPM SUNDAY	30 SPACES	IS SPACES

## GENERAL NOTES

- THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA STANDARDS CODE AND LOCAL ORDINANCES. CALIFORNIA RESIDENTAL CODE (CRC) BASED ON THE 2019 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC) CALIFORNIA BUILDING CODE (CBC) BASED ON THE 2019 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC) CALIFORNIA PLUMBING CODE (CPC)
- BASED ON THE 2019 UNIFORM PLUMBING CODE (UPC) CALIFORNIA MECHANICAL CODE (CMC) BASED ON THE 2019 UNIFORM MECHANICAL CODE (UMC) CALIFORNIA ELECTRICAL CODE (CEC) BASED ON THE 2019 NATIONAL ELECTRICAL CODE (NEC) CALIFORNIA ENERGY CODE 2019 EDITION
- CALIFORNIA GREEN BUILDING STANDARDS CODE 2019 EDITION ON-SITE VERIFICATION OF ALL DIMENSIONS IS THE RESPONSIBILITY OF THE CONTRACTOR.
- 3. DO NOT SCALE DRAWINGS. NOTES SHALL GOVERN OVER DIMENSIONS. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALLER SCALE DRAWINGS.

NOTED DIMENSIONS TAKE PRECEDENCE OVER

- CONTRACTOR SHALL VERIFY ALL PROJECT CONDITIONS AND DIMENSIONS, AND NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO STARTING CONSTRUCTION.
- ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING W/ WORK
- 6. ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS OTHERWISE SPECIFIED.
- FOR COORDINATION OF ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE SUBCONTRACTORS. 8. THE DETAILS SHALL BE USED WHENEVER

THE CONTRACTOR SHALL BE RESPONSIBLE

- APPLICABLE UNLESS OTHERWISE NOTED ON 9. IF CONSTRUCTION MATERIALS ARE STACKED ON ROOF OR FLOOR FRAMING, THE LOAD
- EXCEED DESIGN LIVE LOAD PER SQUARE. IO. (N.I.C.) DENOTES WORK NOT IN CONTRACT.

SHALL BE DISTRIBUTED AND SHALL NOT

- OWNER / CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS FOR THE
- 12. ALL CONSTRUCTION TECHNIQUES, MATERIALS AND FINISHES SHALL BE AS REQUIRED BY THE APPROPRIATE CODE AUTHORITIES. INSTALLATION SHALL FOLLOW THE CODE STANDARDS IN ADDITION TO MEETING OR EXCEEDING THE DESIGN STANDARDS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE BACKING AND/OR SUPPORT FOR ALL WALL OR CEILING MOUNTED ITEMS INCLUDING OWNER FURNISHED EQUIPMENT AND ALL NECESSARY SUPPORT AND CONNECTIONS FOR ELECTRICAL, GAS, WATER, ETC., WHERE REQUIRED.
- ENLARGED PLANS: WHERE ENLARGED PLANS OR PARTIAL PLANS ARE REFERENCED, DIMENSIONS AND SPECIAL DETAILING OR FINISH REQUIREMENTS ARE NOTED ON THE ENLARGED PLANS AND OMITTED ON THE SMALLER SCALE OR OVERALL AREA PLANS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS.

METHODS, TECHNIQUES, SEQUENCES,

WITH WORK.

PROCEDURES, TIMELINES, OR FOR SAFETY

PRECAUTIONS AND PROGRAMS IN CONNECTION

- PROVIDE F/F ALL WEATHER ACCESS TO ALL OPENINGS AS REQUIRED AND COMPLY WITH 2016 CBC.
- SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN
- 18. THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.

APPROVED BY THE BUILDING OFFICIAL.

MANUFACTURER'S PRODUCT INSTALLATION INSTRUCTION SHALL BE AVAILABLE ON THE JOB SITE AT TIME OF INSPECTION. (CHAPTER I, DIVISION II, SECTION RIO6.1.2).

- 20. FERROUS MATERIAL IS NOT PERMITTED IN THE GROUND UNLESS SPECIFIED IN A GEOTECHNICAL REPORT PER ORD. 15.20.020.
- 21. ALL EXTERIOR LIGHTING SHALL BE ENERGY-EFFICIENT AND SHIELDED SO THAT DIRECT GLARE AND REFLECTIONS ARE CONTAINED WITHIN THE BOUNDARIES OF THE PARCEL, AND SHALL BE DIRECTED DOWNWARD AND AWAY FROM ADJOINING PROPERTIES AND PUBLIC RIGHT-OF-WAY. NO LIGHTING SHALL BLINK, FLASH, OR BE OF UNUSUALLY HIGH INTENSITY OR BRIGHTNESS. ALL LIGHTING FIXTURES SHALL BE APPROPRIATE IN SCALE, INTENSITY, AND HEIGHT TO THE USE. SECURITY LIGHTING SHALL BE PROVIDED AT ALL ENTRANCES/EXITS. ALL EXTERIOR LIGHTING SHALL COMPLY THE THE CITY OF SAN CLEMENTE LIGHTING ORDINANCE (SCMC
- 22. REFER TO THE SOILS REPORT FOR ANY QUESTIONS REGARDING SOILS REQUIREMENTS.

17.24.130).

17.24.130).

- 23. SUBSTITUTION OF MATERIALS: EQUIPMENT PRODUCTS, AND CONSTRUCTION DETAILS OTHER THAN THOSE SHOWN ON THE DRAWINGS OR SPECIFICATIONS MAY BE CONSIDERED BY THE OWNER FOR USE ON THE PROJECT, PROVIDED WRITTEN APPROVAL IS OBTAINED FROM THE RESPONSIBLE DESIGN PROFESSIONAL.
- 24. ALL CONTRACTORS SHALL COORDINATE THEIR WORK AND SUPERVISION SO THAT THE WORK SHALL NOT BE MATERIALLY IMPEDED
- 25. CONTRACTOR SHALL SUBMIT REQUIRED SHOP DRAWINGS FOR REVIEW NOT LESS THAN THIRTY (30) DAYS PRIOR TO PURCHASE AND/OR ON-SITE DELIVERY
- 26. ALL EXTERIOR LIGHTING SHALL BE\ ENERGY-EFFICIENT AND SHIELDED SO THAT DIRECT GLARE AND REFLECTIONS ARE CONTAINED WITHIN THE BOUNDARIES OF THE PARCEL, AND SHALL BE DIRECTED DOWNWARD AND AWAY FROM ADJOINING PROPERTIES AND PUBLIC RIGHT-OF-WAY. NO LIGHTING SHALL BLINK, FLASH, OR BE OF UNUSUALLY HIGH INTENSITY OR BRIGHTNESS. ALL LIGHTING FIXTURES SHALL BE APPROPRIATE IN SCALE, INTENSITY, AND HEIGHT TO THE USE. SECURITY LIGHTING SHALL BE PROVIDED AT ALL ENTRANCES/EXITS. ALL EXTERIOR LIGHTING SHALL COMPLY THE THE CITY OF SAN CLEMENTE LIGHTING ORDINANCE (SCMC

- REFER TO THE SOILS REPORT FOR ANY QUESTIONS
- REGARDING SOILS REQUIREMENTS. 28. SUBSTITUTION OF MATERIALS: EQUIPMENT, PRODUCTS, AND CONSTRUCTION DETAILS OTHER THAN THOSE SHOWN ON THE DRAWINGS OR SPECIFICATIONS MAY BE CONSIDERED BY THE OWNER FOR USE ON THE PROJECT, PROVIDED WRITTEN APPROVAL IS OBTAINED FROM THE RESPONSIBLE DESIGN
- PROFESSIONAL. 29. ALL CONTRACTORS SHALL COORDINATE THEIR WORK AND SUPERVISION SO THAT THE WORK SHALL NOT BE

MATERIALLY IMPEDED THEREBY

- 30. CONTRACTOR SHALL SUBMIT REQUIRED SHOP DRAWINGS FOR REVIEW NOT LESS THAN THIRTY (30) DAYS PRIOR TO PURCHASE AND/OR ON-SITE
- 31. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES ENCOUNTERED IN AREAS WHERE EXCAVATIONS ARE INDICATED AND SHALL REPAIR ANY SUCH DAMAGE. WHERE UTILITY LINES MUST BE MAINTAINED UNDER THE BUILDING, THEY SHALL BE PROPERLY SLEEVED THROUGH FOUNDATION WALLS. FOOTINGS SHALL BE DROPPED TO A DEPTH BELOW UTILITY AS REQUIRED BY DETAILS ON DRAWINGS, I.E. PRESSURE ZONE PROXIMITY, SLEEVE LOCATIONS, STEPS, REINFORCING,
- 32. CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND COMPARE DRAWINGS TO FIELD CONDITIONS CONTRACTOR TO INSPECT RELATED WORK AND ADJACENT SURFACES AND REPORT TO ARCHITECT IN WRITING ANY CONDITIONS WHICH PREVENT ADEQUATE EXECUTION OF THE WORK.

- ORNAMENTAL METAL ALL JOINTS SHALL BE WELDED WITH GRINDING AND SANDING FOR A SMOOTH SURFACE. ALL CONCEALED METAL SHALL BE DELIVERED TO THE JOB SITE FREE OF RUST, GREASE, ETC. ALL METAL SHALL BE METALLIZED AND POWDER COATED TYP. U.N.O.
- ARCHITECT TO REVIEW ORNAMENTAL METAL SHOP DRAWINGS TO CONFORMANCE WITH DRAWINGS AND DESIGN INTENT NOT LESS THAN 30 DAYS PRIOR TO ORDERING AND/OR ON-SITE DELIVERY.

#### MOISTURE PROTECTION & DRAINAGE

WEATHER-STRIP ALL DOORS AND WINDOWS EXPOSED TO THE EXTERIOR. ALL DOORS AND WINDOWS TO BE

- METAL PLASTER GROUND WITH WEEP HOLES SHALL BE INSTALLED AT THE EXTERIOR OF THE BUILDING AT THE INTERSECTION OF THE MUDSILL AND CONCRETE SLAB, UNLESS OTHERWISE SPECIFIED ON THE PLANS. WEEP SCREED TO BE 26 GAUGE CORROSION RESISTANT METAL WITH & ROUND HOLES AT 3" O.C.
- 3. ALL FLASHING, COUNTERFLASHING, AND COPING WHEN OF METAL SHALL BE OF NOT LESS THAN NO. 24 U.S. GAUGE CORROSION-RESISTANT METAL.
- FLASH AND COUNTERFLASH AT ALL ROOF TO WALL CONDITIONS. G.I. FLASHING AND CAULK WOOD BEAMS AND OUTLOOKERS PROJECTING THROUGH EXTERIOR WALLS OR ROOF SURFACES.
- PROVIDE VENTS FROM ALL EXHAUST FANS IN ACCORDANCE WITH FAN MANUFACTURER'S REQUIREMENTS VENTS IN WALLS SHALL BE ASBESTOS WRAPPED. INSTALL EAVE, GABLE AND DORMER VENTS AS REQUIRED. BREAK VENTS TO REAR OF RIDGE, (IF APPLICABLE.)
- CONTRACTOR TO FURNISH ALL WATERPROOFING MATERIALS, EQUIPMENT AND LABOR REQUID. TO EXECUTE THE WORK AS INDICATED ON THE DRAWINGS AND SPECIFIED AND AS NECESSARY TO COMPLETE THE CONTRACT, INCLUDING BUT NOT LIMITED TO: WATERPROOFING, PROTECTION, INSPECTION AND
- WATERPROOFING APPLICATOR MUST SUBMIT CERTIFICATION THAT HE IS APPROVED BY MANUFACTURER AND THAT THE WORK HAS BEEN INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS.
- 8. DELIVER ALL MATERIALS IN THE ORIGINAL CONTAINERS WITH SEALS UNBROKEN AND WITH MANUFACTURERS' NAME AND PRODUCT IDENTIFICATION CLEARLY LEGIBLE. STORE SO AS TO PRECLUDE ENTRY OF MOISTURE OR DAMAGE FROM ANY SOURCE.
- WATERPROOFING APPLICATOR SHALL ACQUAINT HIMSELF WITH THE WORK OF OTHER TRADES WHOSE MORK ABUTS, JOINS, OR IS IN ANY MANNER AFFECTED BY WORK UNDER THIS SECTION, CONSULT THE DRAWINGS OF OTHER TRADES AND COORDINATE THEIR WORK WITH THE WORK UNDER THIS SECTION TO AVOID OMISSIONS AND DELAYS.
- IO. CONTRACTOR TO SET DRAINS IN AN ADDITIONAL LAYER OF WATERPROOFING MEMBRANE, OR LEAD FLANGE WITH MEMBRANE OVER IT IN ADHESIVE.
- VERTICAL MEMBRANE PROTECTION: THE PROTECTION BOARD SHALL BE INSTALLED IMMEDIATELY AFTER FINISHING WATERPROOFING AND THE CONTRACTOR SHALL INSTALL BRACING NECESSARY TO HOLD PANELS IN PLACE DURING BACKFILL OPERATION. BACKFILL TO BE DONE IN A MANNER AS TO PREVENT DAMAGE TO THE WATERPROOFING MEMBRANE. ANY DAMAGE SHALL BE REPORTED TO ALLOW THE REPAIR OF THE MEMBRANE PRIOR TO COMPLETION OF THE BACKFILL.

## SHEET INDEX

GENERAL TITLE SHEET, GENERAL NOTES CITY OF SAN CLEMENTE NOTES

## <u>CIVIL ENGINEERING</u>

GRADING PLAN STORM DRAIN AND NOTES

LANDSCAPING TREE DISPOSITION PLAN

CONCEPTUAL LANDSCAPE PLAN

#### SECTION ARCHITECTURAL

A-I.I SITE PLAN A-1.2 WATER QUALITY EXHIBIT - NON PRIORITY PROJECT A-2.0 MAIN LEVEL DEMOLITION PLAN

A-2.I BASEMENT LEVEL FLOOR PLAN A-2.2 MAIN LEVEL FLOOR PLAN - CAFE SEATING A-2.2A MAIN LEVEL FLOOR PLAN - INDOOR EVENTS SEATING

#### A-2.2B MAIN LEVEL FLOOR PLAN - OUTDOOR EVENTS SEATING/ INDOOR ENTERTAINMENT A-2.2C MAIN LEVEL FLOOR PLAN - INDOOR OR OUTDOOR CHURCH SEATING

- A-2.3 UPPER LEVEL FLOOR PLAN A-2.5 BASEMENT LEVEL EGRESS PLAN
- A-2.6 MAIN LEVEL EGRESS PLAN
- A-2.7 UPPER LEVEL EGRESS PLAN
- A-3.0 EXISTING EXTERIOR ELEVATIONS A-3.I EXTERIOR ELEVATIONS
- A-3.2 EXTERIOR ELEVATIONS A-3.3 EXTERIOR COURTYARD WALL ELEVATIONS
- A-3.4 EXTERIOR COURTYARD WALL ELEVATIONS A-3.5 ENLARGED TRASH ENCLOSURE PLAN & ELEVATIONS
- A-4.2 SECTIONS

# SCOPE OF WORK

- PROVIDE NEW CAFE FOR BREAKFAST/LUNCH OPERATING
- PROVIDE INTERIOR EVENT SPACE.
- REMOVE INTERIOR WALLS TO OPEN UP INTERIOR SPACE ENLARGE RESTROOM AND ADD SECOND RESTROOM. ADD NEW COMMERCIAL KITCHEN.
- REMODEL HARDSCAPING, PAVING, AND LANDSCAPING. PROVIDE STUCCO WALLS AND ENTRY GATES AT CHANGE CAFE FLAT ROOF TO GABLE ROOF WITH 2 PIECE

ADD NEW WATER FEATURES AND OUTDOOR FIREPLACE.

- CLAY TILE ROOFING TO MATCH EXISTING HISTORIC ROOFING WITH SPANISH COLONIAL REVIVAL DESIGN ARTICULATION.
- 10. ADD NEW TRASH ENCLOSURE AND PROVIDE ROOF COVERING NEW LIGHTING, FLOORING, CEILING TREATMENTS
- THROUGHOUT AND NEW WOOD DOORS AND WINDOWS AT AREA OF WORK TO MATCH EXISTING. REMODEL PARKING LOT FOR ADA COMPLIANCE, ADD

NEW LANDSCAPING, AND WIDEN ALLEY ACCESS.

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	S.F.	OCCUPANT LOAD	EXIT MIDTH MIN. (INCHES)
BASEMENT LEVEL				
KITCHEN SECONDARY	200 GR055	995	5	44" MIN. Ø STAIR
MAIN LEVEL				
UNCONCENTRATED (TABLES & CHAIRS) CAFE & PRIVATE DINII	I5 NET NG	1031	69	69X.2=13.8" (36" MIN.)
UNCONCENTRATED (TABLES & CHAIRS) BEAR ROOM	I5 NET	2255	150	150X.2=30.0 (36" MIN.)
KITCHEN PRIMARY	200 GR055	772	4	" (36" MIN.)
CAFE EMPLOYEE SERVING COUNTER	200 GR055	232	1	
COURTYARD	I5 NET	2259	151	
UPPER LEVEL				

TOTAL	392
ALLOWABLE NUMBER OF STORIES AND A	REA
(PER CBC 2016 TABLE 504.4 AND 506.2	)

	ER OF STORIES AND AREA BLE 504.4 AND 506.2)	
OCCUPANCY	2 STORIES, AUTOMATIC FIRE SPRINKLERS	TYPE VB
A-2	S (WITHOUT AREA INCREASE)	2 STORIES, 40
A-2	SM	18,000 SQ FT

| 1*5,000* 5Q. F \*NOTE: BASEMENT LEVEL AND UPPER LEVEL DO NOT STACK. STRUCTURE DOES NOT EXCEED 2 STORIES IN HEIGHT

LANDSAPING AND URBAN OPEN SPACE						
REQUIRED	PROVIDED		%			
	LANDSCAPING 25	21 SF	5294/19,979			
20% (MIN.) OF NET LOT AREA	STONE PAVING AT PARKING LOT 25	8 SF				
TO BE URBAN OPEN AREA	PEDESTRIAN WALKWAYS 87	2 SF	27%			
(PROVIDED ON STREET LEVEL)	OUTDOOR SEATING 164	13 SF				
	TOTAL 52	94 SF				
25% (MIN.) OF URBAN OPEN AREA	LANDSCAPING 25	21 SF	2521/5294=			
TO BE PROVIDED IN LANDSCAPING	TOTAL 52	94 SF	•			

2255

#### PUBLIC SERVICE AREAS PUBLIC SERVICE AREAS SQUARE FOOTAGE CAFE INDOOR PRIVATE DINING INDOOR BEAR ROOM INDOOR EVENTS

COURTYARD OUTDOOR CAFE / EVENTS

CHURCH INDOOR

CHURCH OUTDOOR

# S AREROS

#### PROJECT DIRECTORY TENANT: THE PUBLIK HOUSE LLC

ERIC BOWMAN AND

SUITE 106

ERIC"BOOGIE" ROSE

216 AVE. FABRICANTE

(949) 584-9387 (ROSE)

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SURVEYOR:
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23016 LAKE FOREST DR. LAGUNA HILLS, CA 92653

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STRUCTURAL ENGINEER:
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CONRAD ORR JR.

CONRAD ORR

1531 N. EL CAMINO REAL

MU2-A-CB-CZ

057 170 28 (LOT 4)

ORDINANCE PROPOSED

6'-4 1/2"

0'/94'-3 1/2"

5132/19,979

SPACES 18 SPACES PARKING 100 + 16 = 150 EVENTS WAIVER

FOOTAGE

19,979 SQ. FT

5179 SQ. FT

1134 SQ. FT

N.T.S.

TOTAL 116 100 CAFE REQD. 2 OFFICE

SAN CLEMENTE, CA 92672

AND LOTS 2/3 ALL IN BLK 2

(714) 847-7100 X4001

(714) 847-7100 X1001 conrad@croeg.com

N TR 795, BLK 2 LOT | TR 795 BLK 2

(949) 943-0737

(714) 847-7100 X2003

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SUITE 150

rdmsurveying@cox.net

SAN CLEMENTE, CA 92672

OWNER: RICHARD AND PATTI HERDELL

ALURA AGUILERA, AIA, LEED AF

1220 AVENIDA DE LA ESTRELLA

SAN CLEMENTE, CA 92672

OWNER'S REPRESENTATIVE

SAN CLEMENTE, CA 92672

62 VIA SANTA MARIA

jimholloway2@qmail.com

RRM DESIGN GROUP SCOTT NEIMAN #

BRIAN HANNIGAN

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LANDSCAPE ARCHITECT:

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(858) 587-5540 MAIN

150 CALLE IGLESIA, SUITE A SAN CLEMENTE, CA 92672 (760) 520-5364 MOBILE

iason.schwartzel@procraftmedia.comcorr@croeq.com

ACCESSOR'S PARCEL#: 057 170 62 (LOTS 1, 2, \$ 3)

CONSTRUCTION TYPE: TYPE V-B

MU2.0 ZONE DEVELOPMENT STANDARDS

FLOOR AREA RATIO (MAXIMUM):

AUDIO/VIDEO **PROCRAFT** 

OCCUPANCY:

SIDE (EACH)

LOT COVERAGE (MAXIMUM)

BUILDING HEIGHT (MAXIMUM):

URBAN OPEN AREA 20% (MIN.)

DESCRIPTION

FLOOR AREA: \*NOTE: NO NEW SQUARE FOOTAGE PROPOSE

LANDSCAPE AREA:

BASEMENT FLOOR AREA

ANDSCAPE AREA:

MAIN LEVEL FLOOR AREA

JPPER LEVEL FLOOR AREA

OTAL EXISTING FLOOR AREA

TOTAL PROPOSED FLOOR AREA

) PARKING LOT LANDSCAPE AREA

(N) PARKING LOT LANDSCAPE AREA

VICINITY MAP

PROJECT AREA

SITE AREA:

FIRE SPRINKLERS:

3198-G AIRPORT LOOP DRIVE COSTA MESA, CA 92626

INTERIOR DESIGN: HATCH DESIGN

RYOKO NASU, NCIDQ

bahannigan@rrmdesign.com

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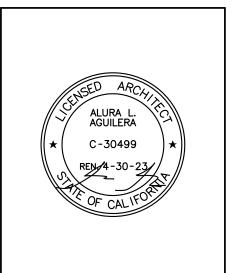
(949) 584-4261

A2 DESIGN

Architecture

a2 design

1220 Avenida De La Estrella San Clemente, ca 92672 Phone: 949.218.6472 a2arc@cox.net



PROJECT TITLE:

nts 153 an (

SHEET TITLE:  $\bigcirc$ 

REVISIONS:	BY:



BASED ON THE SAN CLEMENTE CITYWIDE DESIGN GUIDELINES, THE PLANT PALETTE BELOW IS COMPRISED OF PLANT MATERIALS AND TREES KNOWN TO THRIVE IN THE LOCAL CLIMATE AND SOIL CONDITIONS. THE PLANT PALETTE IS COMPRISED OF PLANTS NATIVE TO MEDITERRANEAN CLIMATES. 20% OR LESS OF THE PLANT MATERIAL WILL REQUIRE MODERATE WATER, AND THE REMAINDER WILL REQUIRE LOW TO VERY LOW WATER ONCE ESTABLISHED THIS PLANT PALETTE COUPLE WITH THE IRRIGATION SYSTEM DESCRIBED AT THE RIGHT WILL MEET OR EXCEED THE STATE AND LOCAL STANDARDS FOR WATER CONSERVATION THROUGH WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN.

ALL ABOVE UTILITIES WILL BE SCREENED WITH VEGETATION.

## LANDSCAPE NOTES

- 1. SITE-SPECIFIC AGRONOMIC SOILS REPORT TO BE PROVIDED.
- 2. PLANTS SCREENING UTILITY ENCLOSURES AND BACKFLOW PREVENTERS
- SHALL BE 15 GAL CONTAINER SIZE.

PLANTING DESIGN CRITERIA

3. LANDSCAPE ARCHITECT SHALL PROVIDE A MINIMUM OF (2) FIELD OBSERVATION VISITS.

A WEATHER SENSING, 'SMART CONTROLLER' WILL BE USED TO MONITOR THE IRRIGATION WATER AND MANAGE DAILY WATER CONSUMPTION TO THE MINIMUM REQUIREMENTS FOR EACH HYDROZONE.

ALL TREES, POTTERY, SHRUB AND GROUNDCOVER AREAS WILL BE IRRIGATED ON SEPARATE HYDROZONES WITH DRIP OR BUBBLER IRRIGATION, SO THAT ONCE ESTABLISHED, WATER CAN BE REGULATED IN A MORE EFFICIENT MANNER.

I CERTIFY THAT THIS PLANT PALETTE COUPLED WITH THE IRRIGATION SYSTEM DESCRIBED ABOVE WILL MEET OR EXCEED THE STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWELO).



IRRIGATION DESIGN CRITERIA

#### LANDSCAPE KEY

- OUTDOOR FIREPLACE WITH BENCH SEATING
- SANDSTONE PAVERS IN ASHLAR PATTERN
- (3) LINEAR TILE PAVERS IN HERRINGBONE PATTERN
- 4 ) LINEAR FOUNTAIN
- (5) (E) VINE ARCH TO REMAIN
- ANTIQUE STONE BASIN WITH WALL-MOUNTED **SCUPPERS**
- FLAG POLE
- ELECTRIC VEHICLE CHARGING STATION
- BIKE RACK

- Senecio mandraliscae / Blue chalk sticks Senecio cylindricus / Narrow-leaf chalk sticks Carex praegracilis / California field sedge Erigeron glaucus / Seaside daisy Dymondia margaretae / Silver carpet Festuca 'elijah blue' / Blue fescue Crassula 'jade blue' / Blue hale jade

PLANTING SCHEDULE

BOTANICAL NAME / COMMON NAME

(E) Syagrus romanzoffiana / Queen palm

(E) Phoenix roebelenii/ Pygmy date palm

(E) Yucca gloriosa / Spanish knife

Citrus x Limon / Lemon

Olea europaea / Olive

ESPALIERED FRUIT TREES
Figus 'mission' / Mission Fig

LARGE ACCENT PLANT
Agave americana / Century plant

Euphorbia Rigida / Yellow Spurge

Dianella 'cassa blue' / Flax
Juncus 'elk blue' / Elk Blue Juncus
Aspidistra elatior / Cast Iron Plant

Muhlenbergia rigens / Deer grass Lomandra 'breeze' / Lomandra

LOW GROUNDCOVER

Aloe striata / Coral Aloe

MEDIUM SIZE SUCCULENT/ACCENT
Agave 'blue flame' / Blue Flame Agave
Agave attenuata / Foxtail Agave
Astelia 'silver spear' / Silver Spear

SMALL SIZE SUCCULENT
Agave 'blue glow' / Blue Glow Agave

Calandrinia grandiflora / Rock Purslane

Beaucarnea Recurvata / Pony Tail Palm

Aeonium X 'Žwartkop' / Zwartkop Aeonium

<u>UPRIGHT ACCENT PLANT</u> Chondropetalum tectorum / Small Cape Rush

MEDIUM HEIGHT GRASS Leymus 'canyon prince' / Canyon Prince wild rye

MEDIUM HEIGHT SHRUB
Olea 'little ollie' / Little Ollie
Rosmarinus 'roman beauty' / Roman Beauty
Artemisia 'powis castle' / Wormwood
Trachelospermum jasminoides / Star Jasmine
Teucrium 'azureum' / Bush germander
Lavandula stoechas / Lavender

Citrus spp. / Citrus

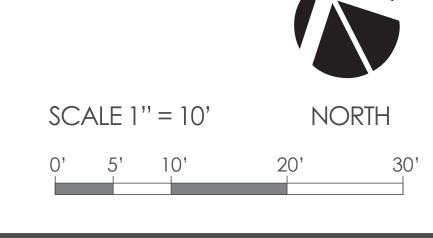
(E) Archontophoenix cunninghamiana / King Palm

(E) Phoenix canariensis / Canary Island date palm

(E) Castanospermum australe / Moreton Bay Chestnut

- SMALL SHRUBS AND GRASSES
  Bouteloua gracilis / Blue grama Westringia fruticosa 'grey box' / Coastal Rosemary
  - Mentha spp. / Mint Thymus spp. / Thyme Origanum spp./ Oregano
  - **CLIMBING VINES** Bougainvillea 'Jamaican white' / Bougainvillea Vitis californica / California wild grape Passiflora / Passion flower





CONT.

N/A

N/A

N/A

**TRANSPLANT** 

**TRANSPLANT** 

36" box

36" box

15 gal

5 gal

5 gal

5 gal

5 gal

5 gal

5 gal

1 gal

1 gal

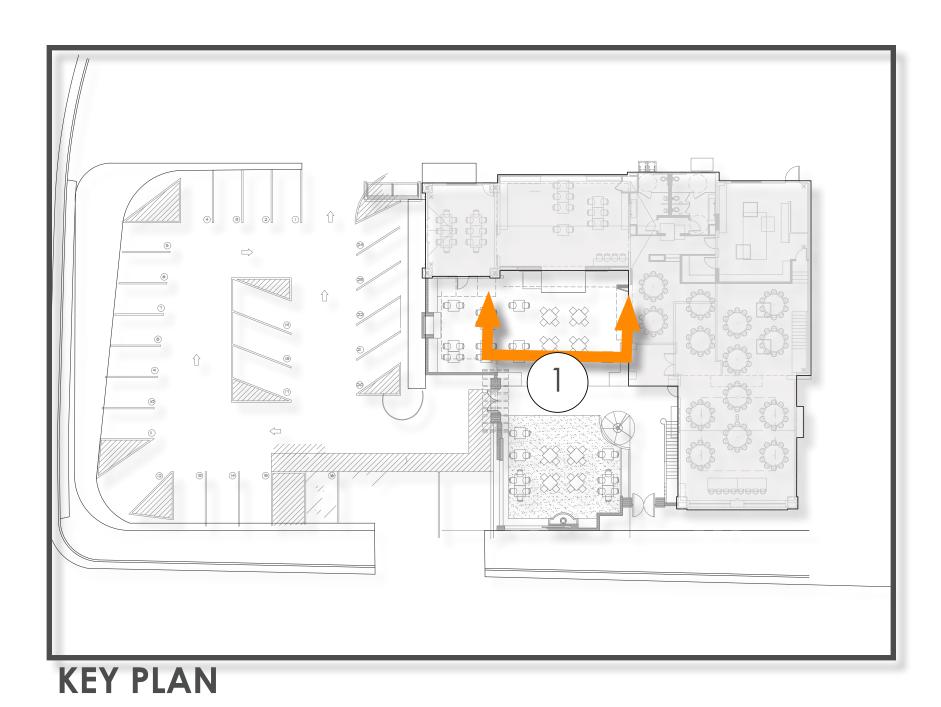
1 gal

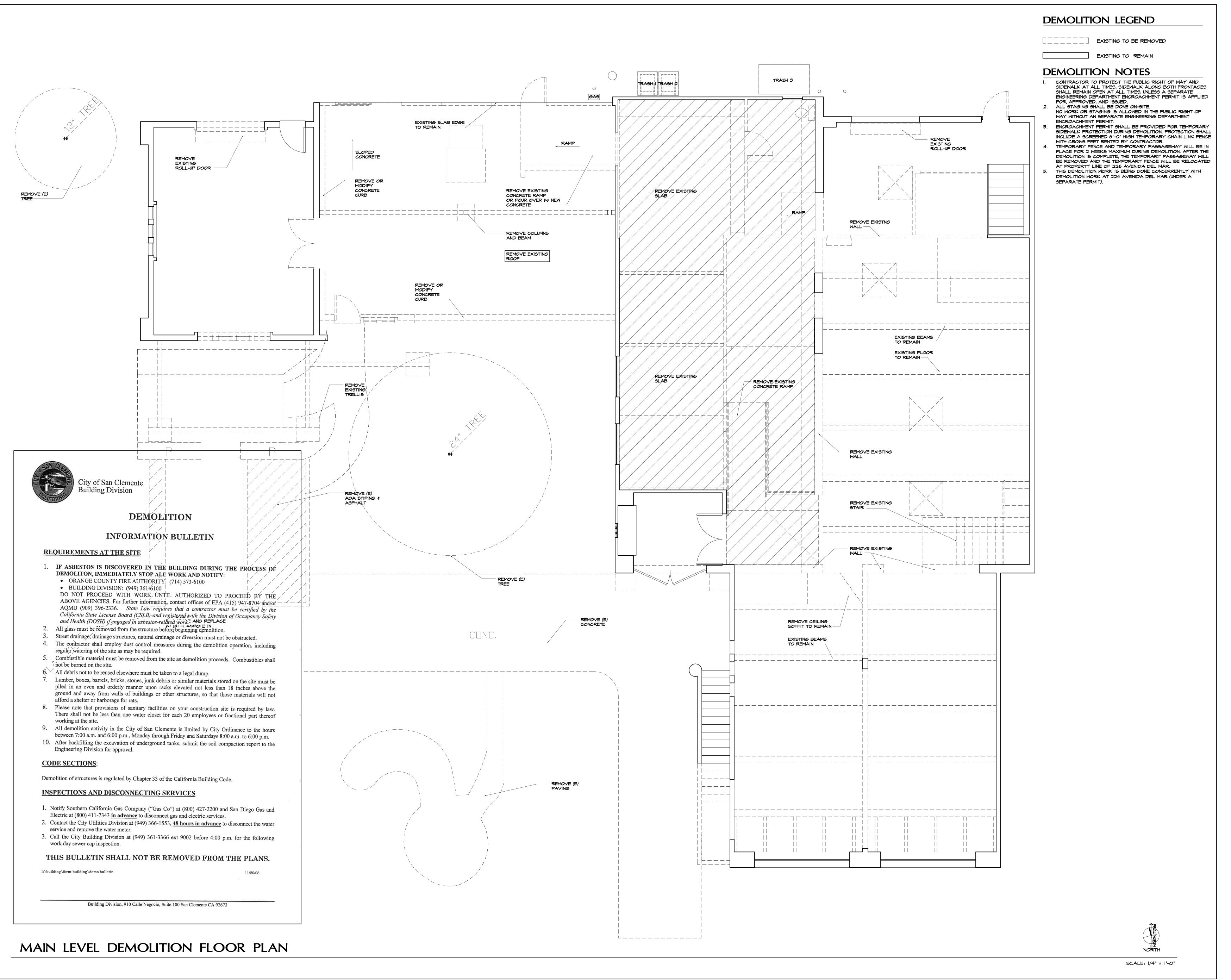
5 gal

**WULCOLS** 



# SOUTH COURTYARD



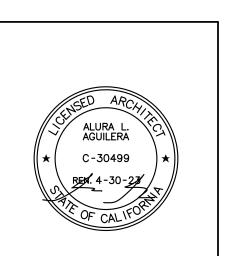


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PROJECT TITLE

Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672

SHEET TITLE:

Main Level Demolition Plan

REVISIONS: BY:

#### FOLDING & SLIDING DOOR NOTES

PER 2019 CBC, SECTION 1010.1.4.3 SPECIAL PURPOSE HORIZONTAL SLIDING, ACCORDION OR FOLDING DOORS, DOORS TO OUTDOOR PATIOS SHALL COMPLY AS \*NOTE: SPECIAL PURPOSE HORIZONTAL SLIDING, ACCORDION OR FOLDING DOOR ASSEMBLIES PERMITTED TO BE A COMPONENT OF A MEANS OF EGRESS IN ACCORDANCE WITH EXCEPTION 6 TO SECTION 1010.1.2 SHALL COMPLY WITH ALL OF THE FOLLOWING CRITERIA:

- THE DOORS SHALL BE POWER OPERATED AND SHALL BE CAPABLE OF BEING OPERATED MANUALLY IN THE
- EVENT OF POWER FAILURE.

  THE DOORS SHALL BE OPENABLE BY A SIMPLE METHOD
  FROM BOTH SIDES WITHOUT SPECIAL KNOWLEDGE OR
- THE FORCE REQUIRED TO OPERATE THE DOOR SHALL NOT EXCEED 30 POUNDS (133 N) TO SET THE DOOR IN MOTION AND 15 POUNDS (67 N) TO CLOSE OR OPEN THE
- DOOR TO THE MINIMUM REQUIRED WIDTH. 4. THE DOOR SHALL BE OPENABLE WITH A FORCE NOT TO EXCEED 15 POUNDS (67 N) WHEN A FORCE OF 250 POUNDS (1100 N) IS APPLIED PERPENDICULAR TO THE DOOR ADJACENT TO THE OPERATING DEVICE.
  THE DOOR ASSEMBLY SHALL COMPLY WITH THE APPLICABLE FIRE PROTECTION RATING AND, WHERE RATED, SHALL BE SELF-CLOSING OR AUTOMATIC CLOSING BY SMOKE DETECTION IN ACCORDANCE WITH SECTION 716.5.9.3, SHALL BE INSTALLED IN ACCORDANCE WITH NEPA 80 AND SHALL COMPLY WITH
- SECTION 716.

  THE DOOR ASSEMBLY SHALL HAVE AN INTEGRATED STANDBY POWER SUPPLY.
- 6. THE DOOR ASSEMBLY POWER SUPPLY SHALL BE ELECTRICALLY SUPERVISED. THE DOOR SHALL OPEN TO THE MINIMUM REQUIRED WIDTH WITHIN 10 SECONDS AFTER ACTIVATION OF THE OPERATING DEVICE.
- 8. FOR ALL EXIT DOORS: ALL HAND-ACTIVATED DOOR OPENING HARDWARE SHALL MEET THE FOLLOWING REQUIREMENTS, PER C.B.C. SECTION 1133B.2.5.2: A) LATCHING, OR LOCKING DOORS IN A PATH OF TRAVEL ARE OPERATED WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, BY PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP
- THE OPENING HARDWARE. B) IS TO BE CENTERED ≥ 30" BUT ≤ 44" ABOVE FLOOR.
- 9. ALL DOORWAYS LEADING TO SANITARY FACILITIES
- IDENTIFIED, PER SECTION 1115B.6 AS FOLLOWS: A) AN EQUILATERAL TRIANGLE 1/4" THICK WITH EDGES 12" LONG AND A VORTEX POINTING UPWARD AT MEN'S
- RESTROOMS. B) A CIRCLE 1/4" THICK, 12" IN DIAMETER AT WOMEN'S
- RESTROOMS. C) A 12" DIAMETER CIRCLE WITH A TRIANGLE
- SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12" DIAMETER AT UNISEX RESTROOMS.
- D) THE REQUIRED SYMBOLS SHALL BE CENTERED ON THE DOOR AT A HEIGHT OF 60". E) BRAILLE SIGNAGE SHALL ALSO BE LOCATED ON THE WALL <u>ADJACENT TO</u> THE LATCH OUTSIDE OF THE DOORWAYS LEADING TO THE SANITARY FACILITIES, PER
- SECTION 1117B.5.1.

  10. THE RATING OF ALL DOORS AND RATED DOOR
  ASSEMBLIES SHALL BE EQUIPPED WITH SMOKE
  GASKETS AND BE SELF-OR AUTOMATIC-CLOSING.

  11. DOORS SHALL BE EQUIPPED ONLY WITH
  NO-KNOWLEDGE, SINGLE-ACTION HARDWARE. LOCKS
  THAT REQUIRE KEYS OR ADDITIONAL ACTIONS TO
- OPERATE (SUCH AS MANUAL BOLTS) ARE NOT PERMITTED. CBC. 1008.1.9.4, 1008.1.9.5). \*NOTE: PANIC HARDWARE MAY BE OMITTED FROM A SINGLE DOOR OR SET OF DOUBLE DOORS SERVING AS MAIN ENTRY FOR AN A OCCUPANCY WITH 300 OR LESS OCCUPANTS IF A SIGN READING "THESE DOORS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" IS PLACED IN A CONSPICUOUS LOCATION NEAR THE DOOR.

#### OCFA NOTES

- FIRE ALARM SYSTEM (SERVICE CODE PR500-PR530) -FIRE ALARM SYSTEM W/ NOTIFICATION THROUGHOUT IS REQUIRED IF THE TOTAL OCCUPANT LOAD OF ALL GROUP A OCCUPANCIES IS 300 OR GREATER, OR IF THE OCCUPANT LOAD IS GREATER THAN IOO IN THE BASEMENT OR 2ND STORY. EXISTING FIRE SPRINKLER SYSTEM TO REMAIN.
- 3. HOOD AND DUCT EXTINGUISHING SYSTEM SHALL BE PROVIDED (SERVICE CODE PR335).

#### RESTROOM PLUMBING FIXTURE COUNT (PER CPC TABLE 422.I

-						
4-2 OCCUPANCY	WATER CLOSETS		LAVATORIES		URINALS	SERVICE SINK
	MALE	FEMALE	MALE	FEMALE	MALE	
REQUIRED	3 (151-3 <i>00</i> )	4 (101-200)	2 (151-200)	2 (151-200)	 (1-200)	1
PROVIDED	3	4	2	2	I	I

B OCCUPANCY	WATER CLOSETS		LAVATORIES		URINALS	
	MALE	FEMALE	MALE	FEMALE	MALE	
REQUIRED	 (1 <b>-5</b> 0)	 (I-I5)	 (1-75)	 (1-50)	(I-100)	
PROVIDED	I SINGLE U (EXISTING	SER HISTORIC)	I SINGLE U (EXISTING	ISER HISTORIC)	O (EXISTING	HISTORIC)

\*NOTE: EXISTING HISTORIC RESTROOM AT B OCCUPANCY TO REMAIN IN ITS CURRENT LOCATION AND CONFIGURATION AND IS NOT AN ACCESSIBLE LEVEL. EXISTING STAIRCASE IS A CHARACTER DEFINING FEATURE OF HISTORIC STRUCTURE AND WORK AT THIS LEVEL IS COSMETIC ONLY (I.E. PAINT, FLOORING REFINISHING, BASEBOARD, AND CASING) TO KEEP HISTORIC INTEGRITY.

#### EXITING ANALYSIS

EXITING ANALYSIS (OLF ) BASEMENT LEVEL: KITCHEN = 200 GROSS OL = 995 / 200 = 5 MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE (FEET) 75'-0" (TABLE 1006.2.1) WITH SPRINKLER SYSTEM

PROVIDED: 53'-8 1/2" I EXIT REQ'D., I EXIT PROVIDED (STAIRCASE) (BLDG. SPRINKLERED)

#### MAIN LEVEL: BEAR ROOM = 15 NET OL = 2225/15 = 150

COMMON PATH OF EGRESS TRAVEL DISTANCE (FEET) PROVIDED: 53'-8 1/2" I/3 TRAVEL DISTANCE = 26.72' MIN.

CAFE AND PRIVATE DINING = 15 NET OL = 1031 / 15 = 69 MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE (FEET) 75'-O" (TABLE 1006.2.1) WITH SPRINKLER SYSTEM

2 EXITS REQ'D., 2 MIN. EXITS PROVIDED > 26.72' (END DOOR AT BI-FOLDS, NEW DOOR TO

PROVIDED: 58'-10" I EXIT REQ'D., I MIN. EXIT PROVIDED (DOOR TO ALLEY). KITCHEN = 200 GROSS OL = TT2 / 200 = 4 MAX. OCCUPANT LOAD

MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE PROVIDED 31'-11" I EXIT PROVIDED (DOOR TO ALLEY), I RAMP TO BEAR ROOM, I DOOR TO HALL

HISTORIC STAIRCASE - EXISTING TO REMAIN)

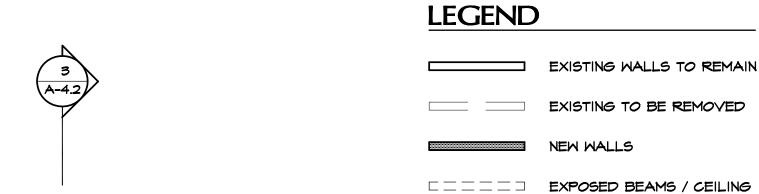
OFFICE = 100 GROSS OL = 1134 / 100 = 12 M COMMON PATH OF EGRESS TRAVEL DISTANCE (FEET) 100'-0" (TABLE 1006.2.1) WITH SPRINKLER SYSTEM, PROVIDED 45'-9 1/2" I EXIT REQ'D., I EXIT PROVIDED (NOT ACCESSIBLE. THIS IS HISTORIC STRUCTURE AND

#### CAFE / EVENTS SEATING CALCULATION

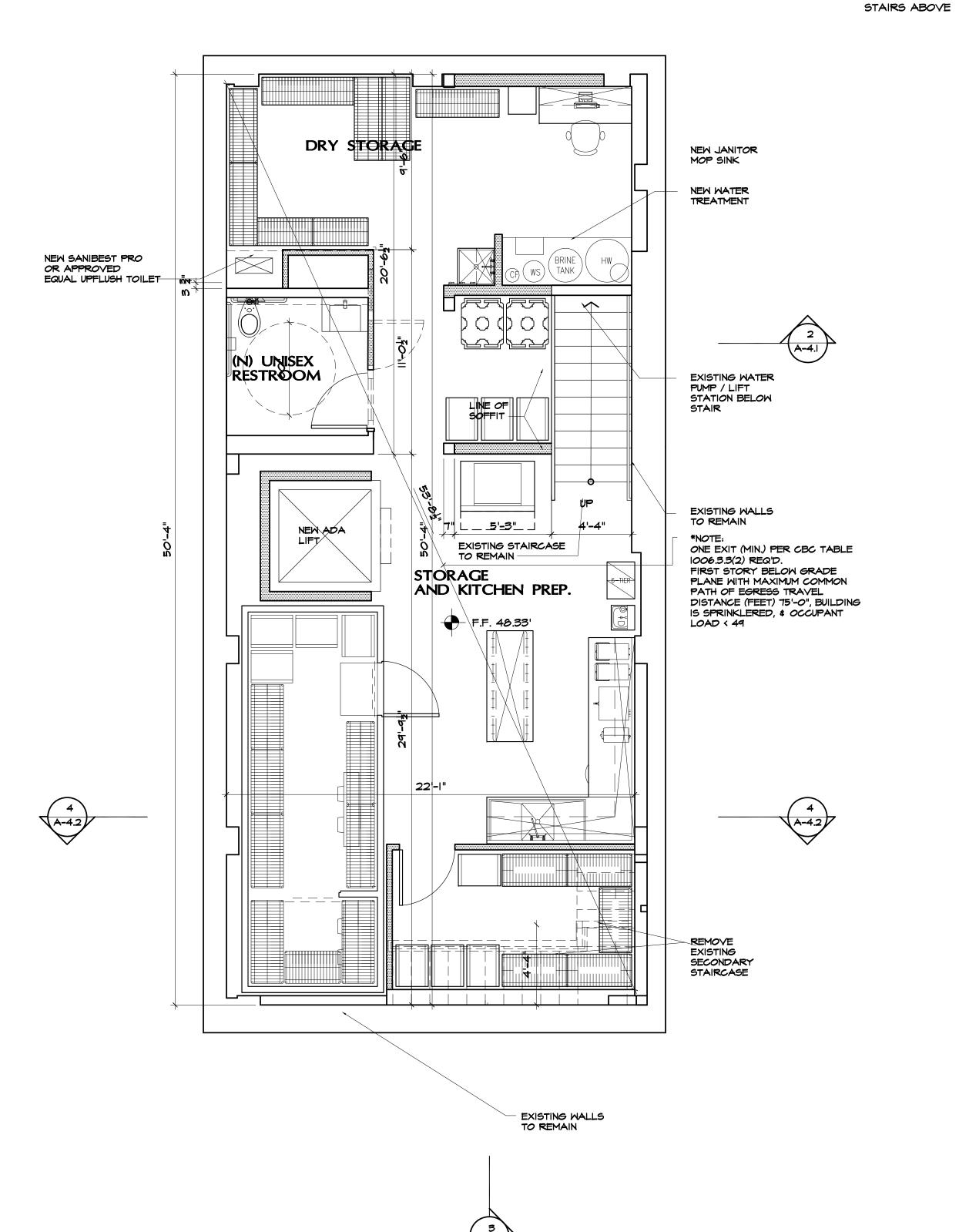
	CAFE SEATING (7AM-2PM) MON-FRI		EVENTS SEATING (3PM-IIPM) MON-FRI	
INDOOR SEATING	CAFE \$ FLEX SPACE	34 SEATS	EVENTS DINING (IND <i>OO</i> R <i>O</i> R	150 SEATS
OUTDOOR SEATING	OUTDOOR COURTYAR	66 SEATS	OUTDOOR)	
TOTAL	IOO SEATS		I50 SEATS	

	CAFE SEATING (7AM-2PM) SATURDAY		EVENTS SEATING (3PM-IIPM) SATURDAY	
INDOOR SEATING	CAFE & FLEX SPACE	34 SEATS	BEAR ROOM OR GARDEN COURTYARD	150 SEATS
OUTDOOR SEATING	OUTDOOR COURTYAR	66 SEATS		
TOTAL	IOO SEATS		150 SEATS	

	CHURCH SEATING (7AM-12PM) SUNDAY		EVENTS SEATING (IPM-IIPM) SUNDAY	
INDOOR OR OUTDOOR SEATING	BEAR ROOM OR GARDEN COURTYARI	80 SEATS	EVENTS DINING (INDOOR OR OUTDOOR)	I50 SEATS
TOTAL	80 SEATS		I50 SEATS	



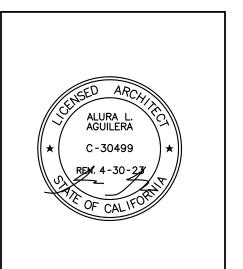
TREATMENTS ABOVE, SOFFITS,



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PROJECT TITLE:

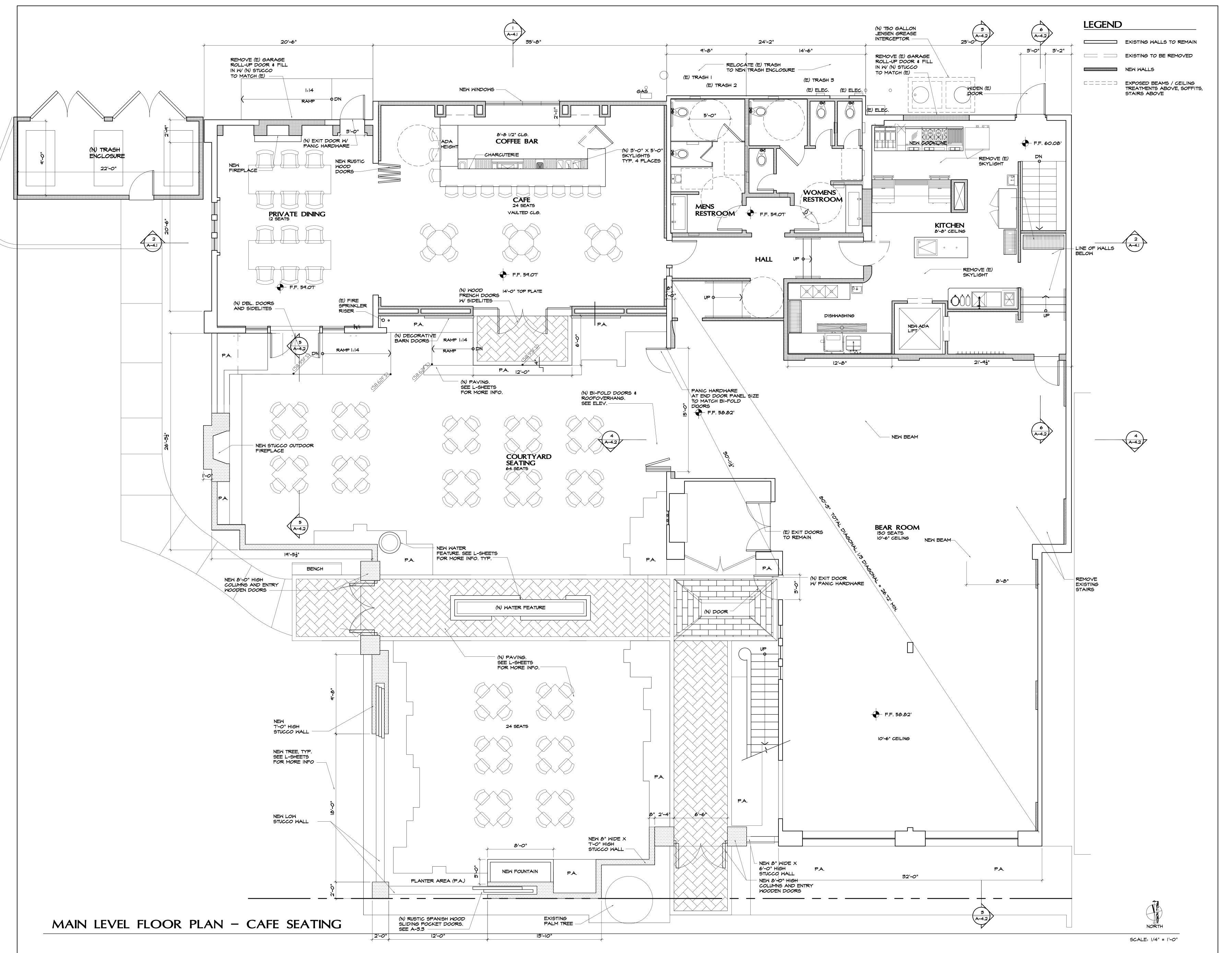
SHEET TITLE:

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BASEMENT LEVEL FLOOR PLAN

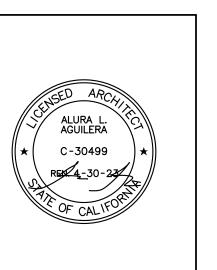
SCALE: 1/4" = 1'-0"



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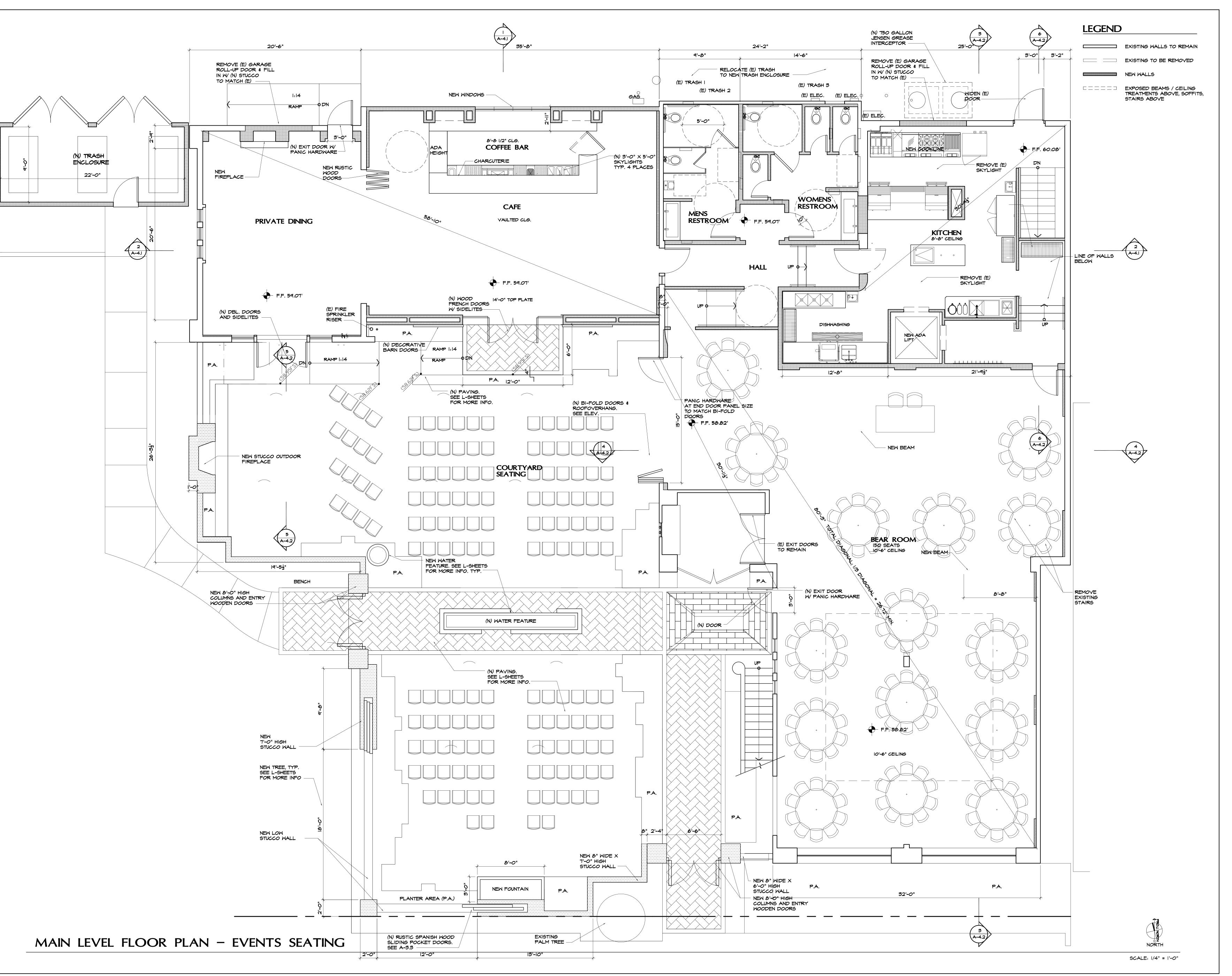
PROJECT TITLE:

Fublik House II

Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672

SHEET TITLE:

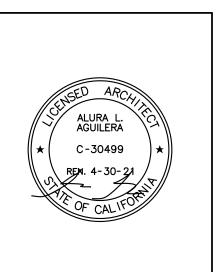
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ß	DRSC 3/22/2	AA



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PROJECT TITLE:

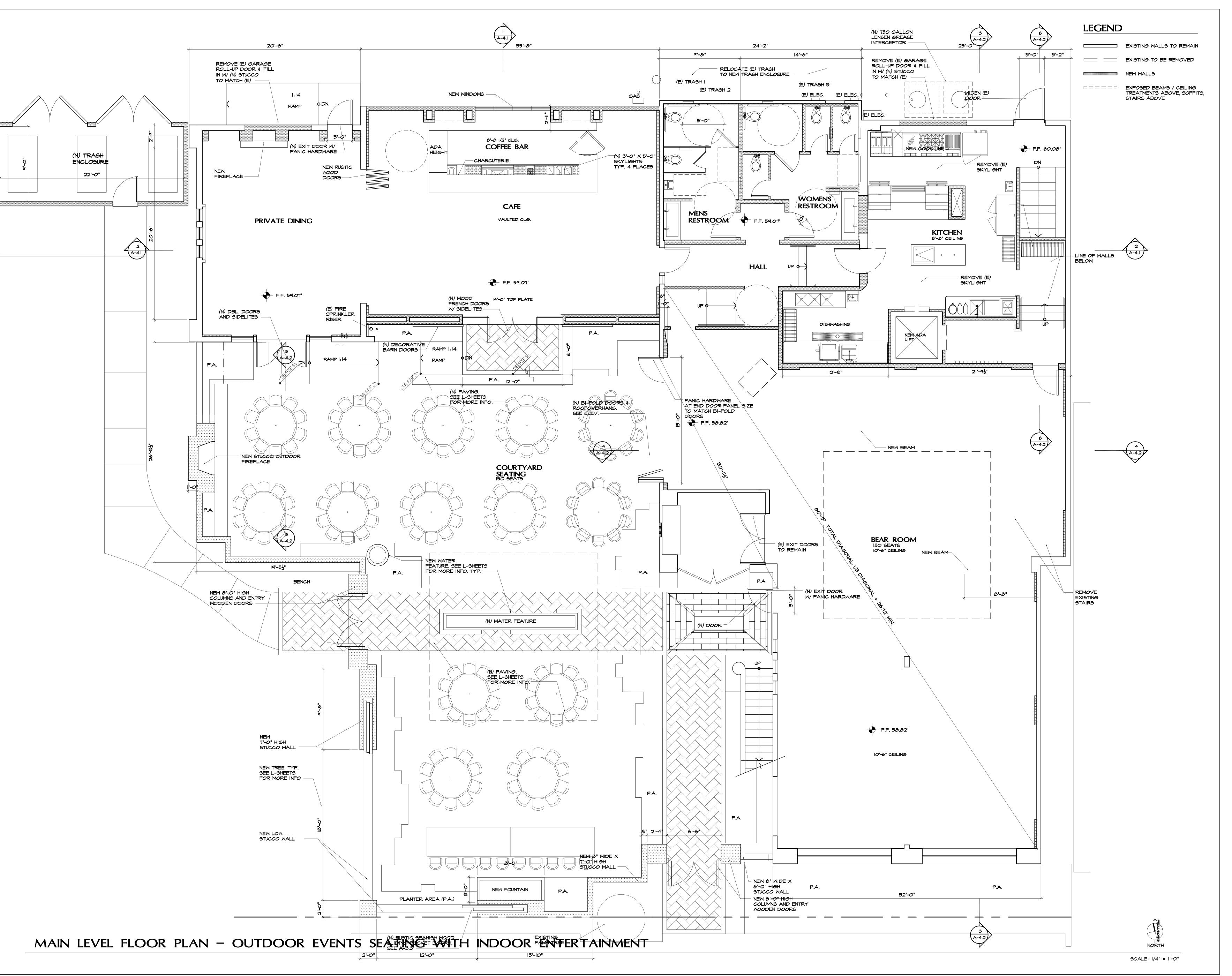
Publik House III
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672

SHEET TITLE:

Main Level Floor Plan

REVISIONS:	BY:

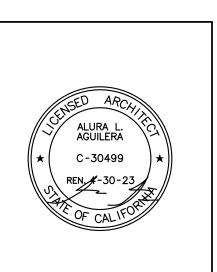
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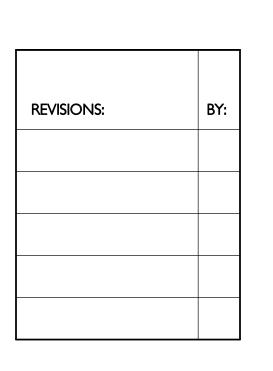
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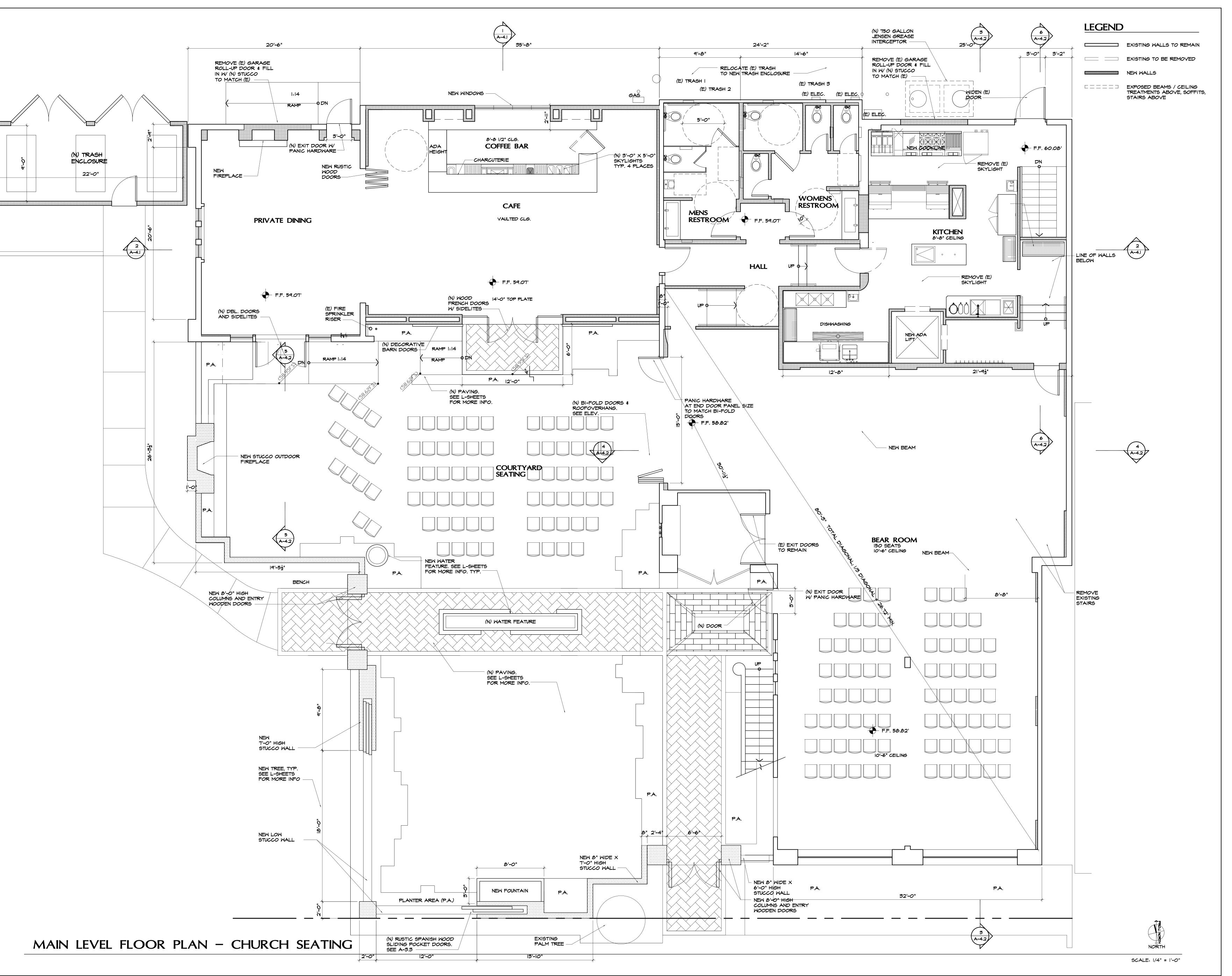
PROJECT TITLE:

Publik House II Events Center and Cafe 1531 N. El Camino Real San Clemente, Ca 92672

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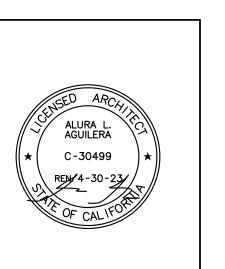
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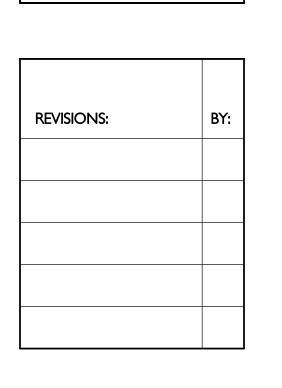
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Publik House II

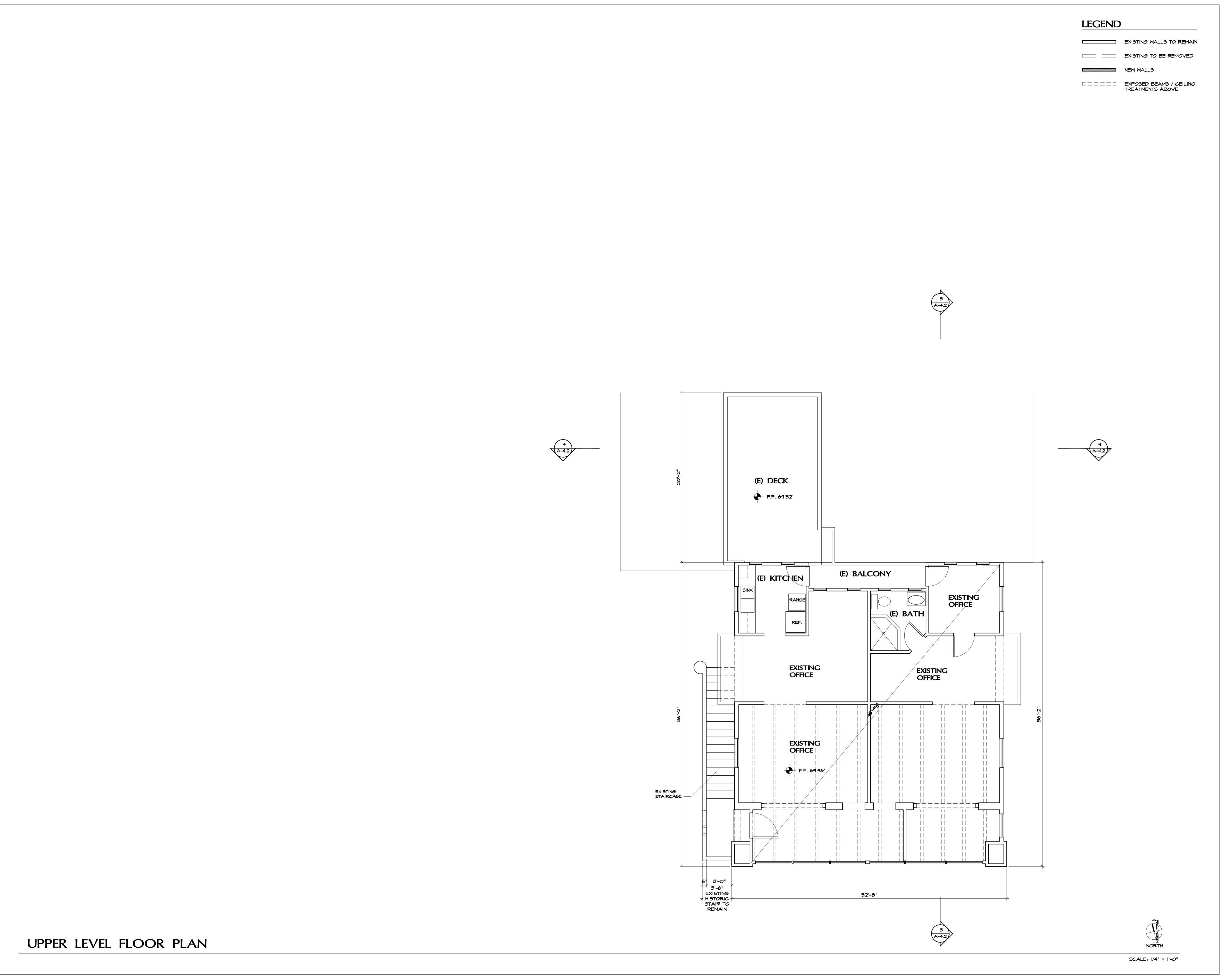
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672

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| Wain Level |
| Floor Plan



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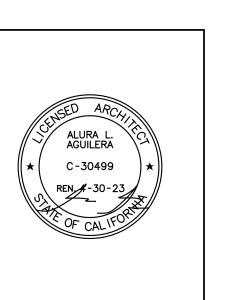


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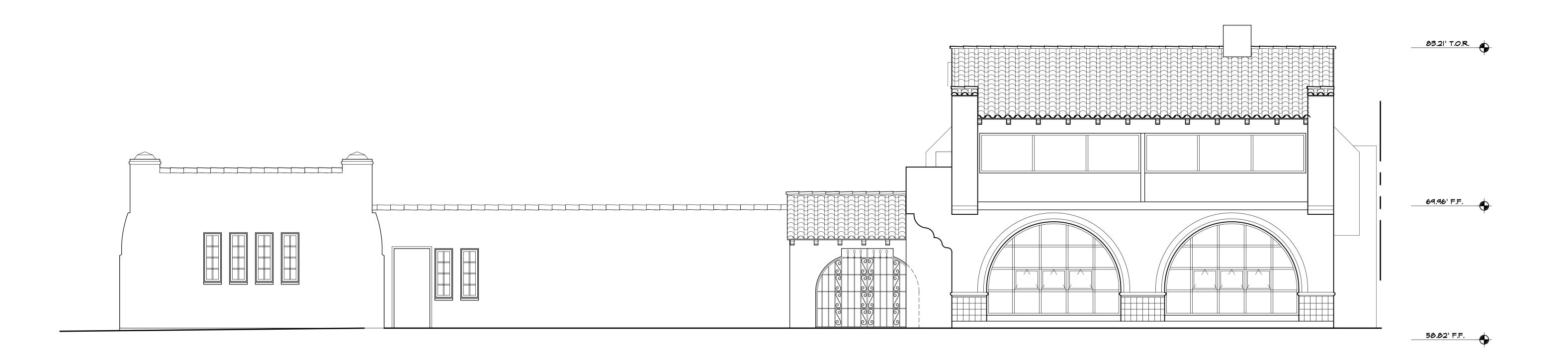
vents Center and Cafe 1531 N. El Camino Real San Clemente, Ca 92672 (949) 584-9384

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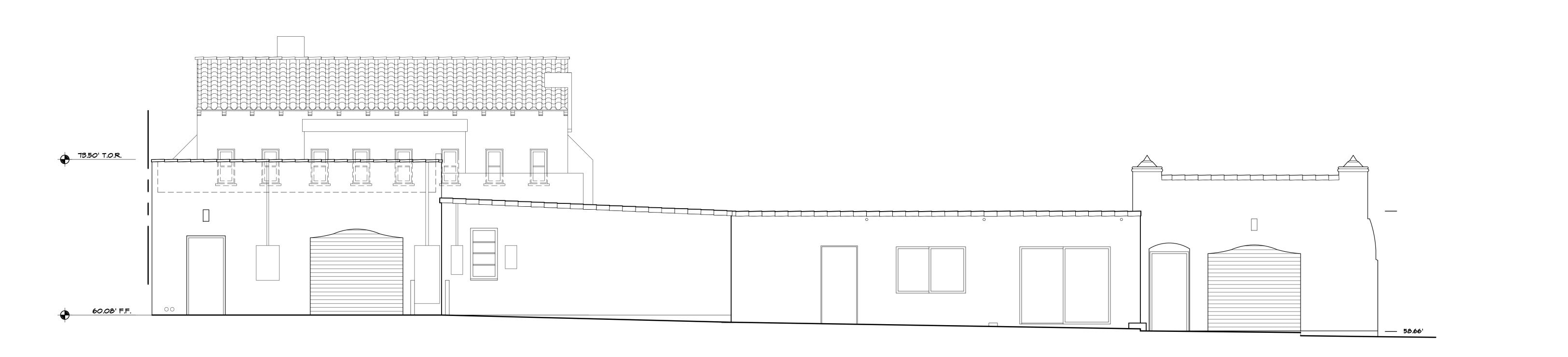
REVISIONS: BY:

DMT REVIEW
10/11/20





EXISTING SOUTH ELEVATION



EXISTING NORTH ELEVATION

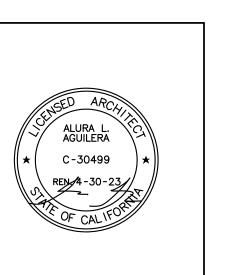
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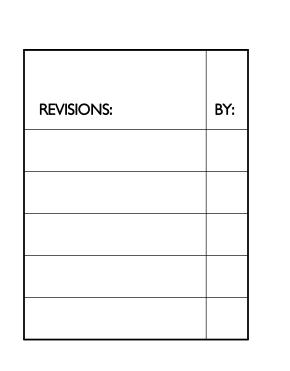


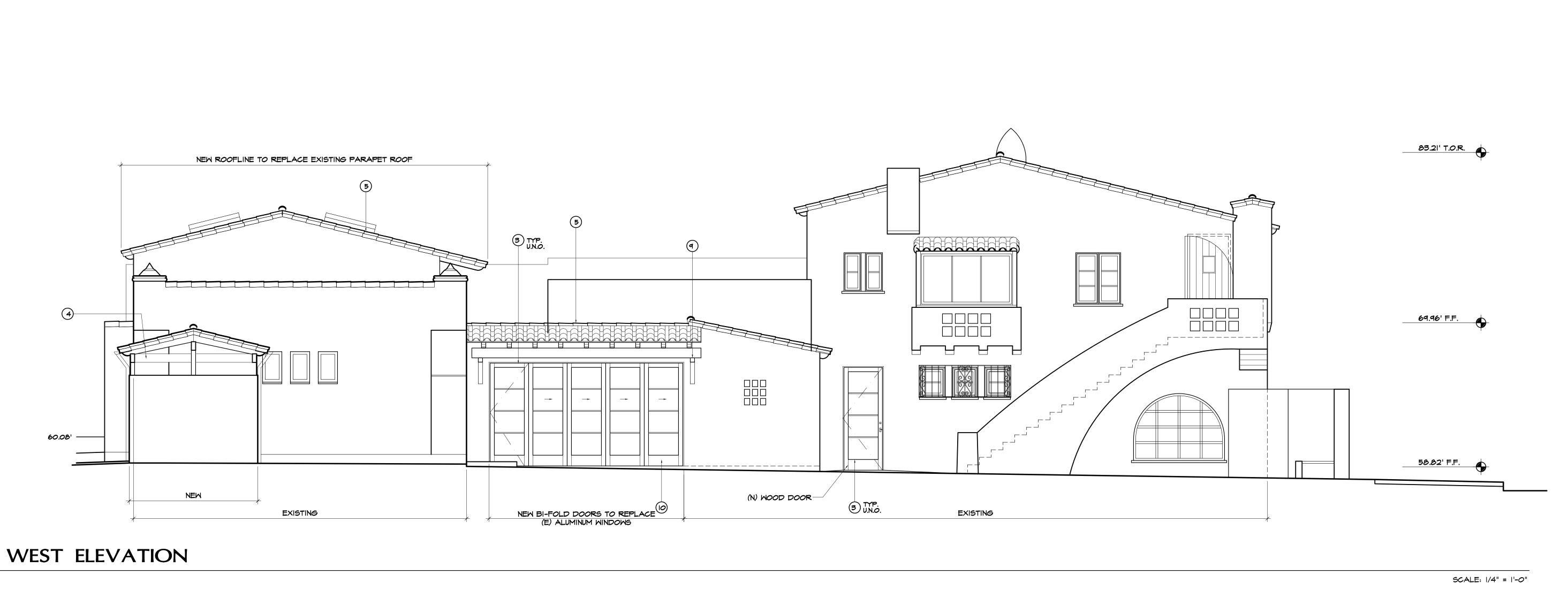
PROJECT TITLE:

Fublik House II Events Center and Cafe 1531 N. El Camino Real San Clemente, Ca 92672

Existing Exterior Elevations

SCALE: 1/4" = 1'-0"





#### ELEVATION NOTES

- MISSION FINISH STUCCO; LA HABRA STUCCO COLOR: CRYSTAL WHITE

  \*NOTE: STUCCO WALLS WITH A 'STEEL, HAND TROWEL'
  (NO MACHINE APPLICATION), SMOOTH MISSION FINISH AND SLIGHT UNDULATIONS (APPLIED DURING BROWN COAT) AND BULL-NOSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE) WITH NO CONTROL/EXPANSION JOINTS. [CITATION CITY OF SAN CLEMENTE DESIGN GUIDELINES, NOVEMBER 1991]
- 2 HAMMERED ANTIQUE BRONZE WROUGHT IRON DECORATIVE ACCENTS TO MATCH EXISTING
- (N) WOOD WINDOWS & DOORS TO MATCH EXISTING. EXTERIOR PAINT COLOR: BENJAMIN MOORE HC-162 @BREWSTER GRAY TYP. U.N.O.
- (N) TRASH ENCLOSURE W/ STUCCO WALLS & CLAY TILE ROOFING TO MATCH EXISTING WALLS &
- ROOFING

  TWO-PIECE CLASS "A" CLAY ROOF TILES BY REDLAND CLAY TILE TO MATCH EXISTING.
  TWO-PIECE MISSION 2000 SERIES, COLOR:
  PALMILLA BLEND #22111. ICC: ESR-1489

\*NOTE: TWO-PIECE CLAY TILE ROOFING SHALL BE USED WITH BOOSTER TILES ON THE EDGES AND RIDGES AND RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGE- LINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE. [CITATION - CITY OF SAN

6 DARK BROWN ALUMINUM HALF ROUND GUTTERS AND DOWNSPOUTS

CLEMENTE DESIGN GUIDELINES, NOVEMBER 1991]

- SHAPED WOOD OUTLOOKERS SANDED AND STAINED DARK BROWN TO MATCH EXISTING. (E) AND (N) T&G AT UNDERSIDE SHALL BE PAINTED DARK BROWN TO MATCH WOOD OUTLOOKERS
- 8 RUSTIC STAIN GRADE WOOD DECORATIVE BARN DOORS WITH BRONZE CLAVOS & RUSTIC HINGES.
- EXTEND ROOF W 2 PIECE CLAY TILE ROOFING TO MATCH (E). ADD WOOD OUTLOOKERS AND SHAPED WOOD KNEE BRACES
- (N) BIFOLD DOORS TO REPLACE (E) ALUMINUM AND VINYL WINDOW
- ANTIQUE BRONZE METAL TRELLIS W/ SPANISH ORNAMENTATION

  (12) BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS IN A POSITION THAT IS PLAINLY VISIBLE FROM THE STREET FRONTING THE PROPERTY.
- NUMBERS SHALL CONTRAST WITH THEIR
  BACKGROUND. ADDRESS NUMBERS SHALL BE A
  MIN. 4" HIGH AND 1/2" STROKE WIDTH.

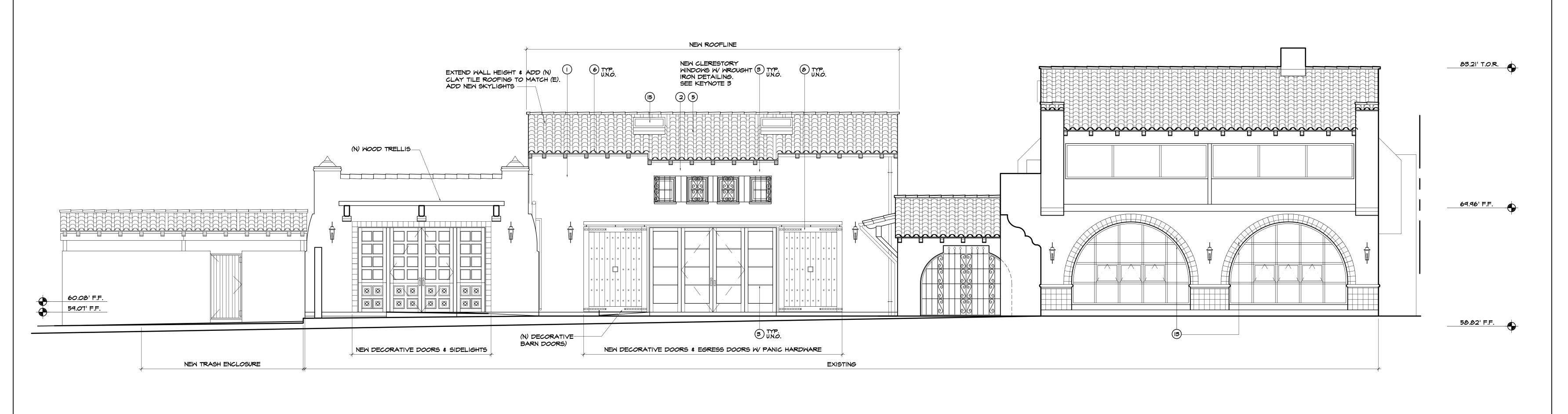
  (13) REPLACE (E) BROWN PAINTED STUCCO WITH (N)
  MEXICAN TILES AT WAINSCOTING, AROUND ARCH,
- NEW EXTERIOR LIGHTING

  \*NOTE: EXTERIOR LIGHTING SHALL BE
  ENERGY-EFFICIENT AND SHIELDED SO THAT DIRECT
  GLARE AND REFLECTIONS ARE CONTAINED WITHIN THE
  BOUNDARIES OF THE PARCEL, AND SHALL BE
  DIRECTED DOWNWARD AND AWAY FROM ADJOINING
  PROPERTIES AND PUBLIC RIGHT-OF-WAY. NO LIGHTING
  SHALL BLINK, FLASH, OR BE OF UNUSUALLY HIGH
  INTENSITY OR BRIGHTNESS. ALL LIGHTING FIXTURES
  SHALL BE APPROPRIATE IN SCALE, INTENSITY, AND
  HEIGHT TO THE USE. SECURITY LIGHTING SHALL BE
  PROVIDED AT ALL ENTRANCES/EXITS. ALL EXTERIOR
  LIGHTING SHALL COMPLY THE THE CITY OF SAN
  CLEMENTE LIGHTING ORDINANCE (SCMC 17.24.130) AND
  SHALL BE NIGHT SKIES COMPATIBLE.
  ALL LIGHT FIXTURES MUST BE REVIEWED BY PLANNING
  STAFF PRIOR TO PURCHASE AND INSTALLATION, TO
  ENSURE COMPLIANCE WITH DESIGN AND DARK SKY
  STANDARDS.

SCALE: 1/4" = 1'-0"

AND WITHIN ARCH AT PERPENDICULAR ARCHED

(15) NEW SKYLIGHT



SOUTH ELEVATION

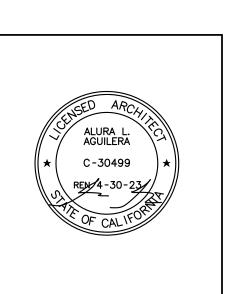
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PROJECT TITLE:

Publik House II lents Center and Cafe 1531 N. El Camino Real San Clemente, Ca 92672 (949) 584-9384

SHEET TITLE:

REVISIONS: BY:

#### **ELEVATION NOTES**

- MISSION FINISH STUCCO; LA HABRA STUCCO COLOR: CRYSTAL WHITE

  \*NOTE: STUCCO WALLS WITH A 'STEEL, HAND TROWEL'
  (NO MACHINE APPLICATION), SMOOTH MISSION FINISH AND SLIGHT UNDULATIONS (APPLIED DURING BROWN COAT) AND BULL-NOSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE) WITH NO CONTROL/EXPANSION JOINTS. [CITATION CITY OF SAN CLEMENTE DESIGN GUIDELINES, NOVEMBER 1991]
- 2 HAMMERED ANTIQUE BRONZE WROUGHT IRON DECORATIVE ACCENTS TO MATCH EXISTING
- (N) WOOD WINDOWS & DOORS TO MATCH EXISTING. EXTERIOR PAINT COLOR: BENJAMIN MOORE HC-162 @BREWSTER GRAY TYP. U.N.O.
- (N) TRASH ENCLOSURE W/ STUCCO WALLS & CLAY TILE ROOFING TO MATCH EXISTING WALLS &

# ROOFING TWO-PIECE CLASS "A" CLAY ROOF TILES BY REDLAND CLAY TILE TO MATCH EXISTING. TWO-PIECE MISSION 2000 SERIES, COLOR: PALMILLA BLEND #22111. ICC: ESR-1489

\*NOTE: TWO-PIECE CLAY TILE ROOFING SHALL BE USED WITH BOOSTER TILES ON THE EDGES AND RIDGES AND RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGE- LINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE. [CITATION - CITY OF SAN CLEMENTE DESIGN GUIDELINES, NOVEMBER 1991]

- 6 DARK BROWN ALUMINUM HALF ROUND GUTTERS AND DOWNSPOUTS
- SHAPED WOOD OUTLOOKERS SANDED AND STAINED DARK BROWN TO MATCH EXISTING. (E) AND (N) T&G AT UNDERSIDE SHALL BE PAINTED DARK BROWN TO MATCH WOOD OUTLOOKERS
- B RUSTIC STAIN GRADE WOOD DECORATIVE BARN DOORS WITH BRONZE CLAVOS & RUSTIC HINGES.
- EXTEND ROOF W/ 2 PIECE CLAY TILE ROOFING TO MATCH (E). ADD WOOD OUTLOOKERS AND SHAPED WOOD KNEE BRACES
- (N) BIFOLD DOORS TO REPLACE (E) ALUMINUM AND VINYL WINDOW

BACKGROUND. ADDRESS NUMBERS SHALL BE A MIN. 4" HIGH AND 1/2" STROKE WIDTH.

- ANTIQUE BRONZE METAL TRELLIS W SPANISH ORNAMENTATION

  (12) BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS IN A POSITION THAT IS PLAINLY VISIBLE FROM THE STREET FRONTING THE PROPERTY.
- REPLACE (E) BROWN PAINTED STUCCO WITH (N)
  MEXICAN TILES AT WAINSCOTING, AROUND ARCH,
  AND WITHIN ARCH AT PERPENDICULAR ARCHED
  SURFACE

NUMBERS SHALL CONTRAST WITH THEIR

- NEW EXTERIOR LIGHTING

  \*NOTE: EXTERIOR LIGHTING SHALL BE
  ENERGY-EFFICIENT AND SHIELDED SO THAT DIRECT
  GLARE AND REFLECTIONS ARE CONTAINED WITHIN THE
  BOUNDARIES OF THE PARCEL, AND SHALL BE
  DIRECTED DOWNWARD AND AWAY FROM ADJOINING
  PROPERTIES AND PUBLIC RIGHT-OF-WAY. NO LIGHTING
  SHALL BLINK, FLASH, OR BE OF UNUSUALLY HIGH
  INTENSITY OR BRIGHTNESS. ALL LIGHTING FIXTURES
  SHALL BE APPROPRIATE IN SCALE, INTENSITY, AND
  HEIGHT TO THE USE. SECURITY LIGHTING SHALL BE
  PROVIDED AT ALL ENTRANCES/EXITS. ALL EXTERIOR
  LIGHTING SHALL COMPLY THE THE CITY OF SAN
  CLEMENTE LIGHTING ORDINANCE (SCMC 17.24.130) AND
  SHALL BE NIGHT SKIES COMPATIBLE.
  ALL LIGHT FIXTURES MUST BE REVIEWED BY PLANNING
  STAFF PRIOR TO PURCHASE AND INSTALLATION, TO
  ENSURE COMPLIANCE WITH DESIGN AND DARK SKY
  STANDARDS.
- (15) NEW SKYLIGHT

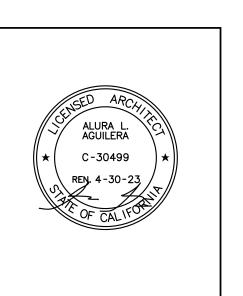
a2 desig

Architecture

1220 Avenida De La Estrella San Clemente, ca 92672

Phone: 949.218.6472

Email: a2arc@cox.net



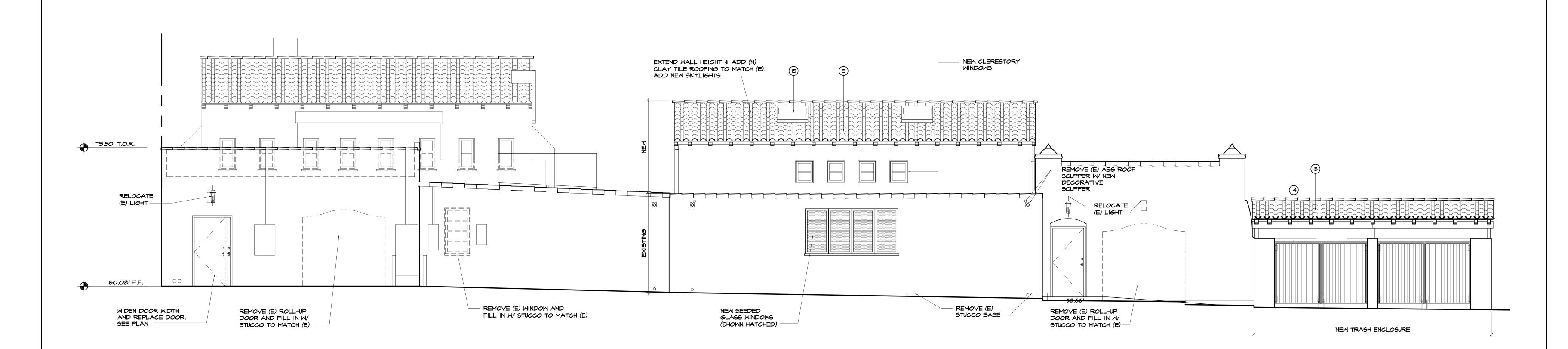
PROJECT TITLE:

of Center and Cafe 1531 N. El Camino Real an Clemente, Ca 92672

SHEET TITLE:

EXTERIOR EIGNORIONS

REVISIONS: BY:





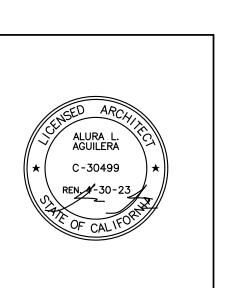
WEST COURTYARD WALL ELEVATION - DOORS CLOSED

NEW STUCCO ENTRY ELEMENT NEW WHITE STUCCO WALLS TO MATCH EXISTING TYP. U.N.O. NEW RUSTIC WOOD DOORS DARK BROWN W DECORATIVE DARK BROWN W/ DECORATIVE CLAVOS AND HINGES WALLS TO MATCH EXISTING TYP. U.N.O. CLAVOS AND HINGES -NEW BLACK WROUGHT IRON DETAILING

SOUTH COURTYARD WALL ELEVATION - DOORS CLOSED

Architecture

1220 Avenida De La Estrella San Clemente, ca 92672 Phone: 949 . 218 . 6472 Email: a2arc@cox.net

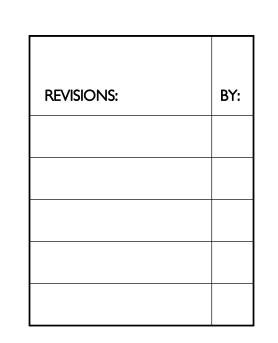


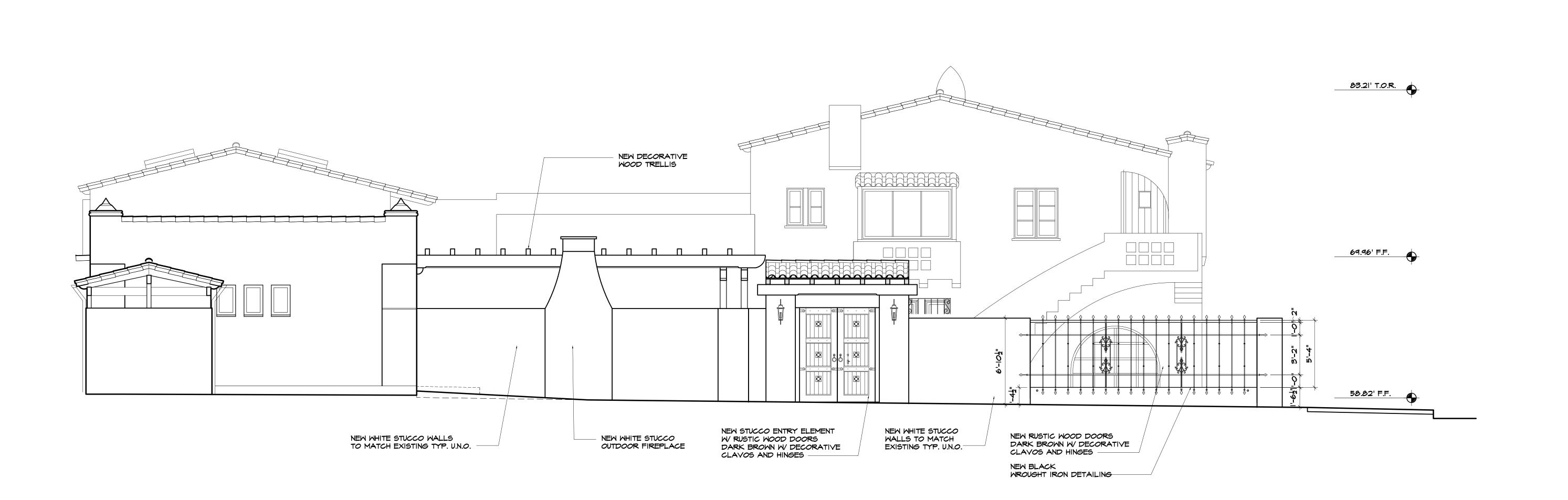
PROJECT TITLE:

SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

SHEET TITLE:





WEST COURTYARD WALL ELEVATION - DOORS OPEN

MACE IN THE SECOND PROPERTY OF THE SECOND PRO

SOUTH COURTYARD WALL ELEVATION - DOORS OPEN

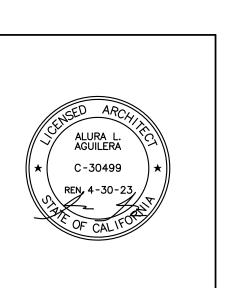
a2 design

Architecture

1220 Avenida De La Estrella
San Clemente, ca 92672

Phone: 949.218.6472

Email: a2arc@cox.net



PROJECT TITLE:

Publik House II
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672

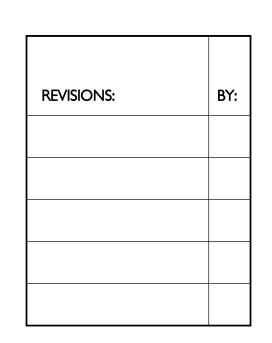
SCALE: 1/4" = 1'-0"

SCALE: 1/4" = 1'-0"

Exterior

Ourtyard Wall

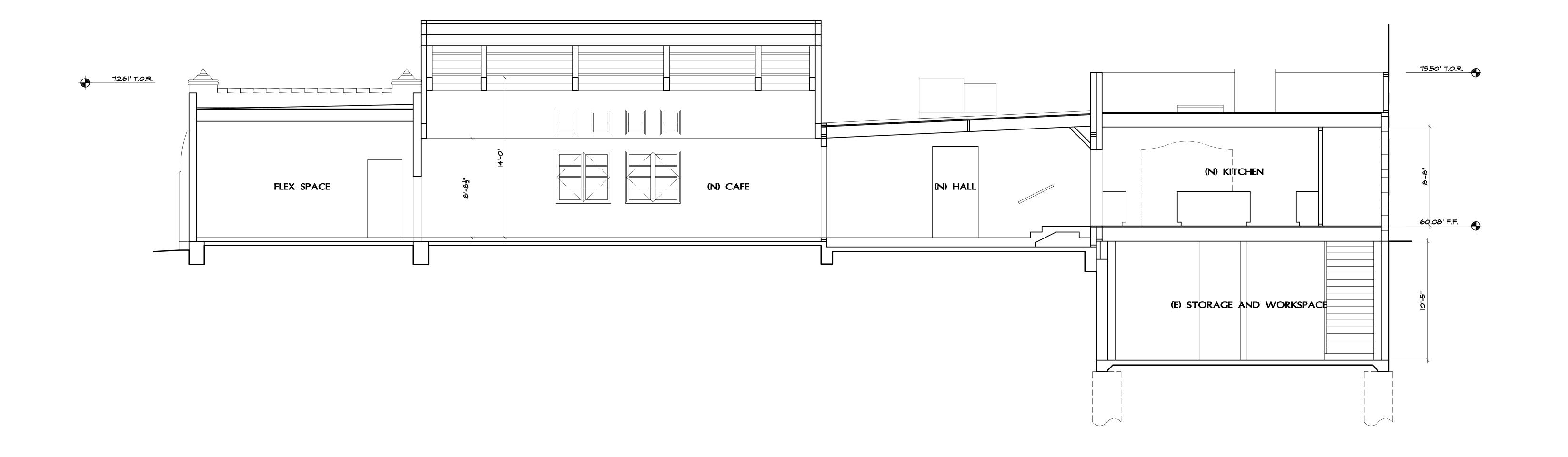
Elevations





SECTION 1

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SECTION 2

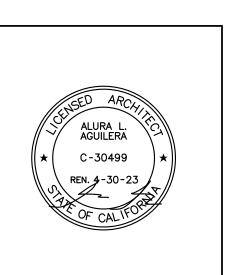
a2 design

Architecture

1220 Avenida De La Estrella
San Clemente, ca 92672

Phone: 949.218.6472

Email: a2arc@cox.net



PROJECT TITLE:

Publik House II /ents Center and Cafe 1531 N. El Camino Real San Clemente, Ca 92672

SHEET TITLE:

REVISIONS:	BY:
DMT REVIEW	AA

DRAWN:

CHECKED:

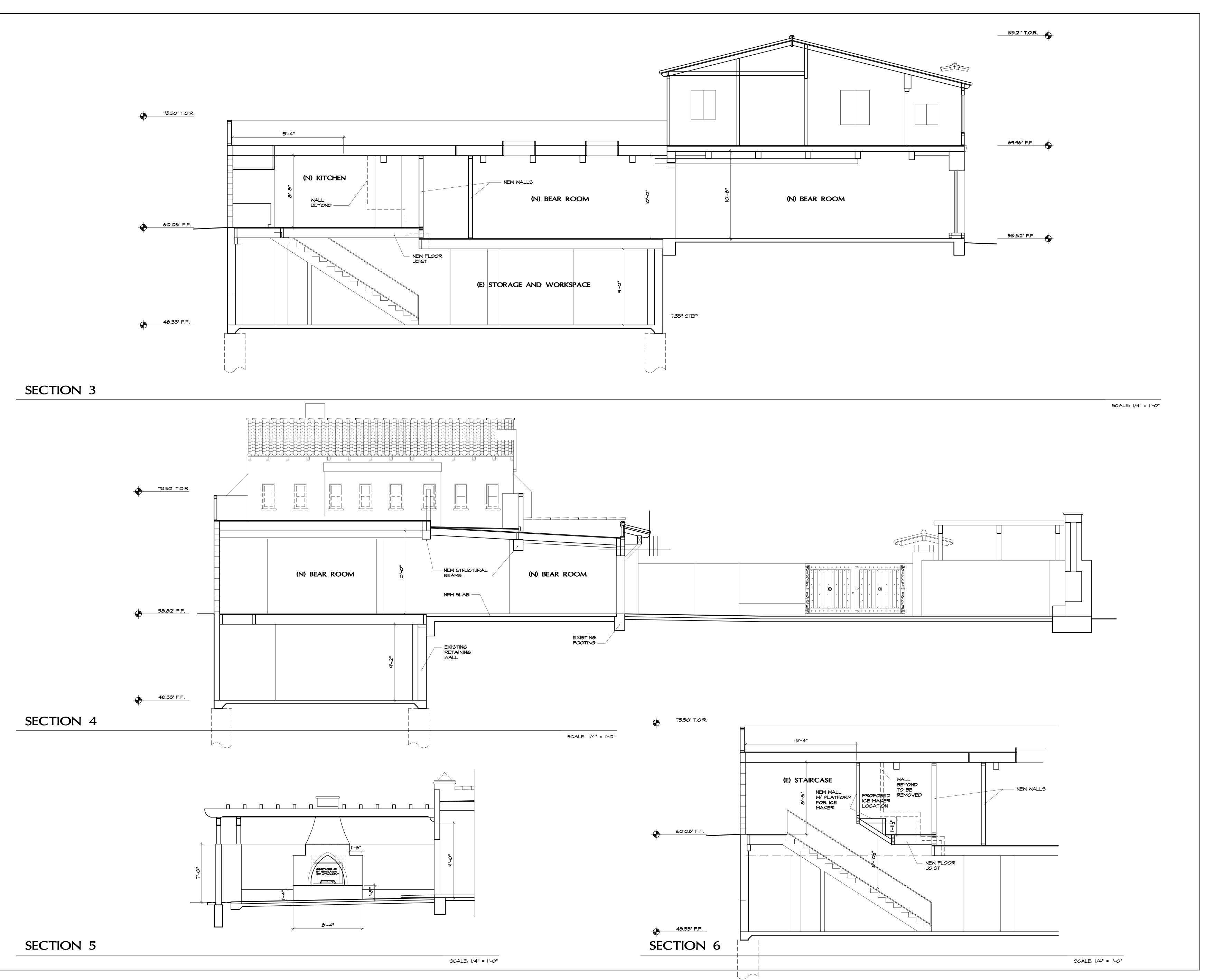
DATE: 5/11/21

SCALE: AS SHOWN

JOB #: ROSE/BOWMAN

SHEET #:

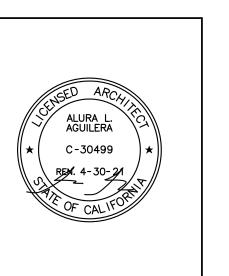
SCALE: 1/4" = 1'-0"



Architecture

1220 Avenida De La Estrella
San Clemente, ca 92672

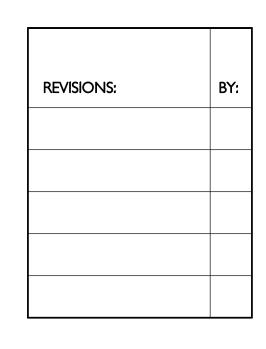
Phone: 949.218.6472
Email: a2arc@cox.net



PROJECT TITLE:

Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE:





#### Section 1 - Project Information The Publik House, LLC Applicant Name: Eric Bowman and Eric Rose Phone Number: 949-584-9387 (Rose) Email Address: BoogRose@gmail.com Project Name: Publik House Event Center - Parking Lot & TI Project Address: 1531 N. El Camino Real San Clemente, CA 92672 Total Parcel Area (acres/sq ft): 19,930 sf 057-170-62 (lots 1,2,3) Assessor Parcel Number(s): Existing Project Impervious Area (acres/sq ft): 15,242 sf (76% imp) 057-170-28 (lot 4) Parking and courtyard improvements Project Description: related to Tenant Improvements Proposed Project Impervious Area (acres/sq ft): 16,961 sf (85% imp) Section 2 – Identify Project Type ■ New development Project Re-Development Project 4,792 sf new/replaced impervious, draining to landscape areas None of the above Section 3 – Low Impact Development Modifications Indicate in the box next to each requirement: "Yes" if implemented, "Inf" if infeasible, or "N/A" if not applicable. a. General Requirements Stormwater BMPs\* are implemented onsite, close to pollution sources. Stormwater BMPs\* are designed and implemented with measures to avoid vector issues. (e.g. mosquitos, rodents, etc.) b. Source Control BMP Requirements Systems are in place to prevent water runoff (other than rainwater) to the storm drain system. Stenciling or signage is in place on property storm drains. Outdoor material storage areas protect from rainfall, run-on, runoff, and wind dispersal. Trash storage areas are protected from rainfall, run-on, runoff, and wind. c. Low Impact Development (LID) BMP Requirements Natural storage reservoirs and drainage corridors are maintained or restored. Buffer zones are in place for natural water bodies. Natural areas are conserved (including existing trees, vegetation and soils). Impervious footprint is minimized. Soil compaction to landscaped areas is minimized. Impervious surfaces are disconnected through distributed pervious areas. c. Low Impact Development (LID) BMP Requirements (continued) Landscape and impervious surface areas are designed to effectively receive and infiltrate, retain and/or treat water runoff from impervious areas. Small water collection strategies are in place that are in close proximity to the place where runoff would impact the ground. Permeable materials are used for low traffic areas and appropriate soil conditions. Native or drought tolerant landscaping is used. Rainwater harvesting and use strategies are incorporated in the project. Section 5 – Application Certification Phone Number: ERIC BOWNES 949-494-5712 Fax Number: Applicant Signature: 5-10-21

Stormwater BMPs = Best Management Practices used to control water runoff and pollution from properties, Regulations are required rsuant to Municipal NPDES Stormwater Permit Order No. R9-2013-0001 As amended by Order No. R9-2015-0001 and Order No. R9-

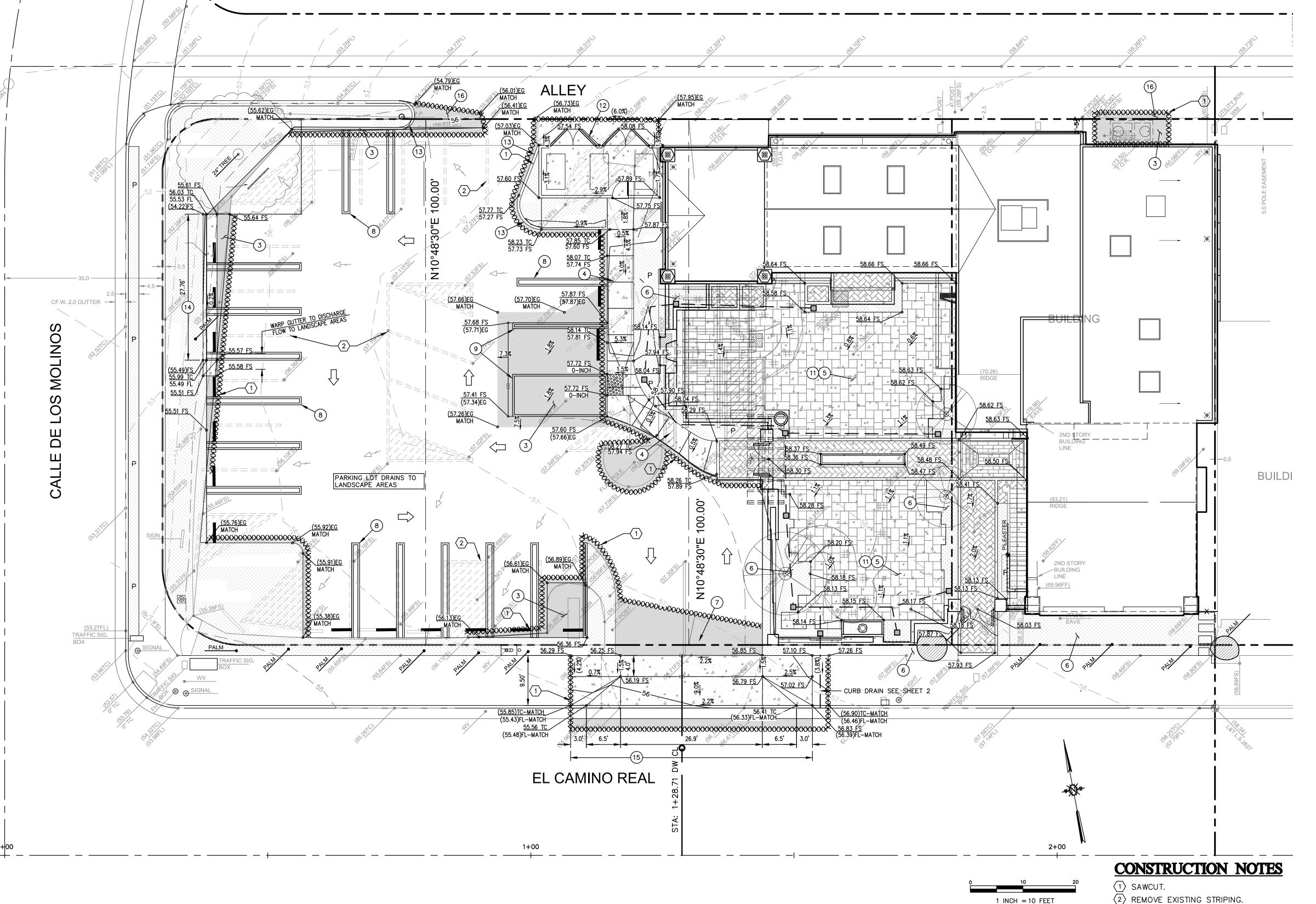
4,792 SF

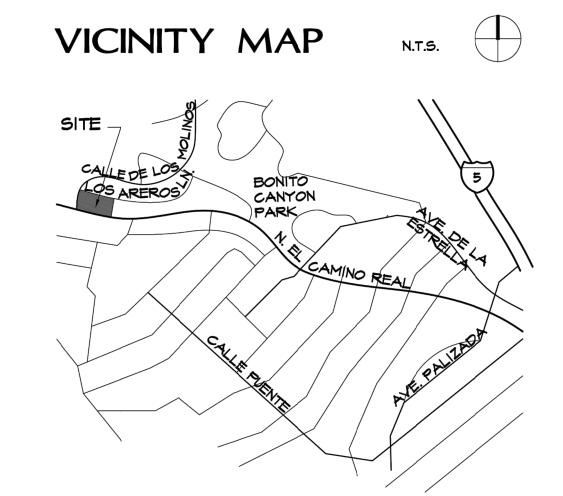
NON-PRIORITY PROJECT WQ CHECKLIST

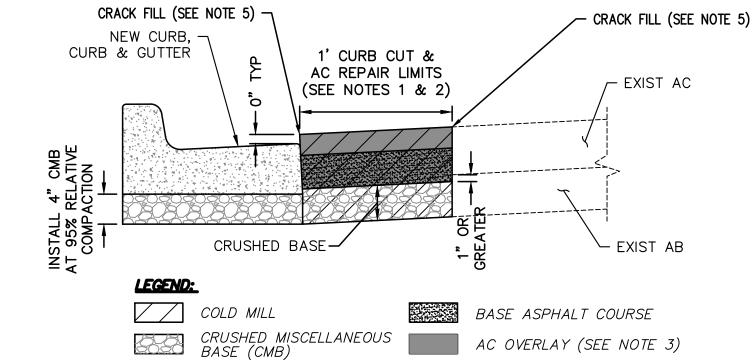
PAVING SHALL BE DIRECTED TO EXISTING AND PROPOSED LANDSCAPE AREAS TRASH ENCLOSURE SHALL BE COVERED PER ARCHITECTURAL PLANS

# PUBLIK HOUSE T.I. - PAVING AND DRAINAGE PLAN 1531 N. EL CAMINO REAL

CITY OF SAN CLEMENTE, CALIFORNIA







1. PAVEMENT REPAIR FOR CURB AND DRIVEWAY CONSTRUCTION WITHIN RIGHT OF WAY SHALL BE PER CITY STANDARDS 2. REMOVE EXISTING AC/AB 1 FOOT BEYOND THE LIP OF GUTTER TO DEPTH INDICATED HEREIN.

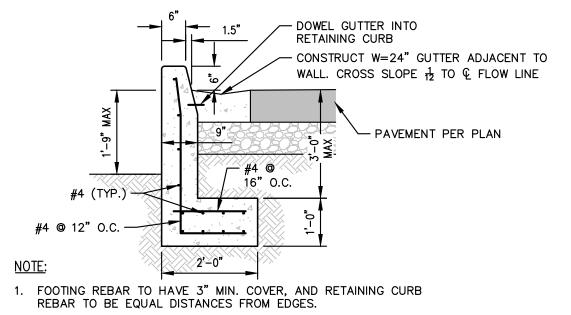
3. AC REPAIR LIMIT SHALL BE A MINIMUM OF 1 FEET BEYOND THE CURB CUT LIMIT, UNLESS OTHERWISE APPROVED BY THE ENGINEER. 4. AC GRIND & OVERLAY LIMIT SHALL BE EXTENDED A MINIMUM OF 1 FOOT BEYOND AC REPAIR LIMITS, UNLESS OTHERWISE APPROVED BY THE ENGINEER. AC PAVEMENT OVERLAY MATERIAL 5. CONCRETE REMOVALS SHALL BE MADE TO THE NEAREST SCORE JOINT OR SAW CUT, IF SAID

6. ALL CRACKS SHALL BE COMPLETELY REMOVED, CLEANED, AND WEED KILLER APPLIED PRIOR

SLOT CUT - ASPHALT REPAIR

JOINT IS LESS THAN 4 FEET FROM WORK LIMITS.

TO PLACING PAVING FABRIC.



A1 - 8(200)

THE LAST NUMBER IN THE DESIGNATION IS THE CURB FACE (CF) HEIGHT, INCHES (mm 2. GUTTER WIDTH, W. IS 24" (600 mm) UNLESS OTHERWISE SPECIFIED. TYPES A1, A2, A3 AND C1 SHALL BE CONSTRUCTED FROM PCC. TYPE D1 CURB SHALL BE CONSTRUCTED FROM ASPHALT CONCRETE. TYPE C1 CURB SHALL BE ANCHORED WITH STEEL DOWELS AS SHOWN OR WITH AN EPOXY APPROVED BY THE ENGINEER. 6. ALL EXPOSED CORNERS ON PCC CURBS AND GUTTERS SHALL BE ROUNDED WITH A 1/2" (15 mm) RADIUS.

1 INCH = 10 FEET

CONSTRUCT A1-6, 6" CURB PER SPPWC 120-2, SEE DETAIL 3, THIS SHEET. SLOT CUT REPAIR SHALL BE PER DETAIL 1 THIS SHEET CONSTRUCT RETAINING CURB WITH ADJACENT GUTTER PER DETAIL 2, THIS SHEET

4" CURB FACE.

# Cannon 16842 Von Karman Avenue, Suite 150 Irvine, CA 92606 P 949.753.8111 F 949.753.0775

(3) CONSTRUCT ASPHALT. MATCH EX. PAVEMENT SECTION.

(4) CONSTRUCT SIDEWALK PER ARCH PLANS. CONSTRUCT

WITH TURN DOWN EDGE AT ASPHALT TO PROVIDE TYP

(7) SITE ACCESSIBLE ENTRANCE. GATE PER BUILDING PLANS.

(10) "UNAUTHORIZED PARKING" SIGNAGE PER ARCH PLANS.

(12) TRASH ENCLOSURE, APRON PER ARCH PLANS.

(11) COURTYARD IMPROVEMENTS, ACCESS, PER ARCH PLANS.

WHERE ASPHALT DIRECTLY ABUTS LANDSCAPING,

PLACE ASPHALT AGAINST REDWOOD HEADER.

(5) CONSTRUCT PAVING PER ARCH PLANS.

(8) PARKING STRIPING PER BUILDING PLANS.

(6) LANDSCAPE PER BUILDING PLANS.

#### ENGINEER'S NOTES TO CONTRACTOR

- 1. SEDIMENT IS A POTENTIAL POLLUTANT AND THE BMPS WERE SELECTED AND PLACED FOR OPTIMAL EROSION AND
- 2. THE NEED FOR EROSION CONTROL DEVICES WILL VARY ACCORDING TO THE SEASON DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE BMPS WHEREVER NECESSARY TO PREVENT EROSION AND
- 3. TEMPORARY EROSION CONTROL DEVICES ARE TO BE MAINTAINED BY THE CONTRACTOR AND KEPT IN OPERATION UNTIL SUBSEQUENT PROJECT WORK ELIMINATES THEIR NEED. IT MAY BE NECESSARY TO MOVE, ADJUST, REPLACE, OR CHANGE THE SHAPE OF THE EROSION CONTROL DEVICES DURING THE COURSE OF THE PROJECT. EROSION CONTROL MEASURES SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER OR INSPECTOR.
- 4. THE CONTRACTOR WILL BE RESPONSIBLE FOR CMAINTENANCE OF BMPS. ALL CONTRACTORS AND THEIR PERSONNEL WHOSE WORK CAN CONTRIBUTE TO OR CAUSE POLLUTION OF STORM WATER SHOULD BE MADE FAMILIAR WITH THE
- CHANGES IN CONSTRUCTION OR IN A CONDITION WHICH ARE NOT COVERED BY THIS PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE EROSION AND SEDIMENTATION CONTROL PLAN AS REQUIRED TO ADDRESS THE CHANGING SITE CONDITIONS.
- 6. ALL PROTECTIVE DEVICES DIRECTED TO BE INSTALLED SHALL BE IN PLACE AT THE END OF EACH WORK DAY WHEN THE FIVE DAY RAIN PROBABILITY EXCEEDS 40%.

#### POLLUTION CONTROL NOTES

1. LOCATE CONCRETE WASHOUT AS DETERMINE IN FIELD BY CONTRACTOR. CONCRETE WASHOUT SHALL BE INSTALLED PER CASQA WM-8 2. LOCATION OF DEBRIS RECEPTACLES, VEHICLE STAGING AREA AND MATERIALS STORAGE AREA TO BE DETERMINED BY CONTRACTOR, INSTALLED PER CASQA WM-5, WM-9. PETROLEUM PRODUCTS, CHEMICALS, AND OTHER POTENTIAL POLLUTANT MATERIAL KEPT ON-SITE IN MINOR QUANTITIES WILL BE STORED IN WATERPROOF CONTAINERS AND CONTINUALLY MONITORED TO PREVENT LEAKS OR

#### EROSION AND SEDIMENTATION CONTROL NOTES

- 1. CONTRACTOR WILL INSTALL FIBER ROLLS (SE-5) OR SAND/GRAVEL BAGS (SE-6,8) ALONG PROJECT PERIMITER PRIOR TO GRADING OPERATIONS THAT COULD DISPLACE SEDIMENT. CONTRACTOR WILL 2. PRIOR TO ALL RAIN EVENTS, CONTRACTOR WILL INSTALL A SAND/GRAVEL BAG BERM ACROSS EACH DRIVEWAY
- AND MANAGE SITE TO PREVENT SEDIMENT FROM DISCHARGING OFFSITE 3. AFTER A RAIN STORM ALL SILT AND DEBRIS SHALL BE REMOVED FROM GRAVEL BAG CHEVRONS, INLET
- PROTECTION DEVICES, CHECK DAMS, DESILTING BASINS, AND/OR OTHER SEDIMENT CONTROL DEVICES. STREETS ADJACENT TO THE PROJECT SITE WILL BE SWEPT AS NEEDED TO REMOVE DIRT, DUST, MUD AND
- CONSTRUCTION DEBRIS WHICH MAY HAVE ACCUMULATED FROM CONSTRUCTION ACTIVITIES. 5. REASONABLE CARE WILL BE TAKEN WHEN HAULING ANY EARTH, SAND, GRAVEL, STONE, DEBRIS OR ANY
- HAZARDOUS SUBSTANCE OVER ANY PUBLIC STREET, ALLEY OR OTHER PUBLIC PLACE. SHOULD ANY MATERIAL BLOW, SPILL, OR TRACK OVER AND UPON SAID PUBLIC OR ADJACENT PRIVATE PROPERTY, IMMEDIATE CLEAN UP
- 6. DURING CONSTRUCTION, THE CONTRACTOR MUST POND ALL RUNOFF TO NON-ERODIBLE LOCATIONS THROUGH THE
- USE OF DIKES OR WATTLES TO PREVENT EROSION. 7. THE CONTRACTOR WILL CONSTRUCT TEMPORARY EROSION CONTROL MEASURES AS NEEDED TO CONTROL DRAINAGE
- WHICH HAS BEEN AFFECTED BY GRADING AND/OR TRENCHING OPERATIONS. 8. THE CITY BUILDING OR GRADING INSPECTOR MAY REQUIRE THE DEVELOPER AT ANY TIME TO INSTALL AND/OR

#### **DUST CONTROL NOTES**

1. ALL MATERIAL EXCAVATED OR GRADED SHALL BE SUFFICIENTLY WATERED TO PREVENT EXCESSIVE AMOUNTS OF DUST. WATERING SHALL OCCUR AT LEAST TWICE DAILY WITH COMPLETE COVERAGE, PREFERABLY IN THE LATE MORNING AND AFTER WORK IS FINISHED FOR THE DAY.

CONSTRUCT ADDITIONAL BMPs AS NECESSARY TO PREVENT OR CONTROL EROSION.

- 2. ALL CLEARING, GRADING, EARTH MOVING, OR EXCAVATION ACTIVITIES SHALL CEASE DURING PERIODS OF HIGH WINDS SO AS TO PREVENT EXCESSIVE AMOUNTS OF DUST OR VISIBLE SITE DISTURBANCE.
- 3. ALL MATERIAL TRANSPORTED OFF-SITE SHALL BE EITHER SUFFICIENTLY WATERED OR SECURELY COVERED TO
- PREVENT EXCESSIVE AMOUNTS OF DUST. 4. THE AREA DISTURBED BY CLEARING, GRADING, EARTH MOVING, OR EXCAVATION OPERATIONS SHALL BE MINIMIZED
- SO AS TO PREVENT EXCESSIVE AMOUNTS OF DUST. 5. PERMANENT DUST CONTROL MEASURES DESCRIBED HEREIN SHALL BE IMPLEMENTED AS SOON AS POSSIBLE
- FOLLOWING COMPLETION OF ANY SOIL DISTURBING ACTIVITIES. 6. ON-SITE VEHICLE SPEED SHALL BE LIMITED TO 15 MPH FOR ANY UNPAVED SURFACE.
- 7. ALL UNPAVED AREAS WITH VEHICLE TRAFFIC SHALL BE WATERED AT LEAST TWICE PER DAY USING NON-POTABLE

LEGEND

STREETS ADJACENT TO THE PROJECT SITE SHALL BE SWEPT DAILY TO REMOVE SILT WHICH MAY HAVE ACCUMULATED FROM CONSTRUCTION ACTIVITIES SO AS TO PREVENT EXCESSIVE AMOUNTS OF DUST FROM LEAVING

DESCRIPTION (123.45) | MEAS. ELEVATIONS REC. BRG. & DIST. BRICK **DECK** WALL WALL BUILDING PROPERTY LINE **FENCE BENCH MARK ASPHALT CURB FACE** CONCRETE CONTROL POINT FINISH FLOOR FLOWLINE FINISH SURFACE **GARAGE FLOOR** G.F. LEAD & TAG MAN-HOLE NATURAL GRADE **PLANTER POWER POLE TOP OF CURB** T.G. **TOP-GRATE** T.O.R. TOP OF ROOF **SPIKE & WASHER** 

#### **EARTHWORK:**

TOTAL ESTIMATED EARTHWORK: 35 C.Y. NET IMPORT:

WATER METER

EARTH WORK QUANTITIES ARE RAW ESTIMATES ONLY, FROM 3" BELOW THE EXISTING SURFACE TO 9" BELOW THE PROPOSED SURFACE. PAVEMENT SECTIONS ARE ASSUMED. NO MATERIAL SHRINKAGE OR EXPANSION FACTOR INCLUDED IN THIS ESTIMATE AND DOES NOT REFLECT SUBSIDENCE, OR ANY MATERIAL GENERATED BY UTILITY TRENCHING AND BUILDING FOOTINGS. QUANTITIES SHOWN ABOVE ARE INTENDED FOR USE IN RESPONSIBLE FOR DETERMINING THE QUANTITIES FOR BID

ESTABLISHING GOVERNING AGENCY FEES. CONTRACTOR SHALL E PURPOSES. ANY EXPORT OR IMPORT REQUIRE TO BALANCE THE SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR

(9) ACCESSIBLE PARKING, ACCESS AISLE, SIGNAGE PER ARCH PLANS.

(PER SEPARATE ENCROACHMENT PERMIT) (15) REMOVE EXISTING DRIVEWAY. CONSTRUCT NEW

ACCESSIBLE DRIVEWAY PER CITY STD. - SEE DETAIL 3, SHEET 2. SLOT CUT REPAIR SHALL BE PER DETAIL (16) CONSTRUCT ASPHALT ALLEY REPAIR (RESULTING FROM

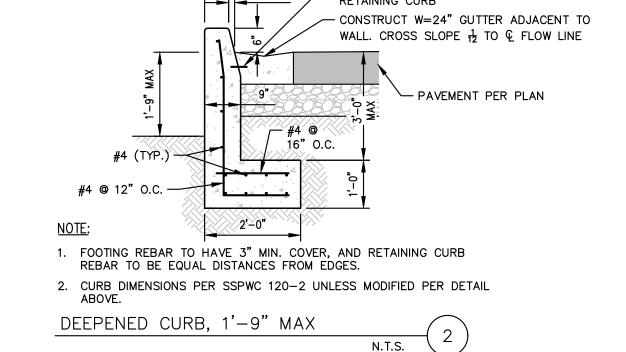
INSTALLATION OF GREASE INTERCEPTOR ON PRIVATE PROPERTY) IN ACCORDANCE WITH CITY STANDARDS AND SPECIFICATIONS

PUBLIK HOUSE TENENT IMPROVEMENT

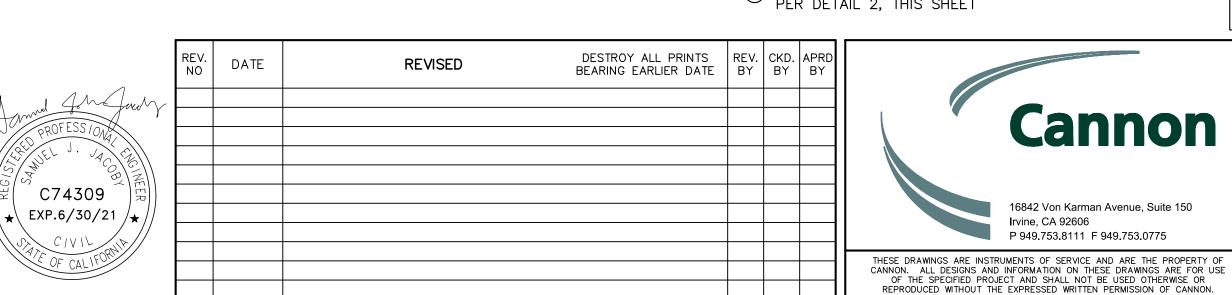
SAN CLEMENTE, CALIFORNIA

PAVING AND DRAINAGE PLAN

CA JOB NO. DRAWN BY 5/24/2021 210149 HECKED BY SCALE 1" = 10' C1 OF 2



CURB DETAIL SPPWC 120-2



CITY OF SAN CLEMENTE GENERAL NOTES FOR GRADING 1. ALL WORK SHALL BE IN ACCORDANCE WITH THE GRADING ORDINANCE AND MANUAL OF THE CITY OF SAN CLEMENTE AND ANY SPECIAL REQUIREMENTS OF THE PERMIT. NO CRADING SHALL RE STARTED WITHOLT FIRST NOTIFYING THE CITY ENGINEER A PRE-GRADE MEETING IS REQUIRED BEFORE START OF GRADING WITH THE FOLLOWING PEOPLE PRESENT: OWNER, GRADING CONTRACTORS, DESIGN CIVIL ENGINEER, SOILS ENGINEER, GEOLOGIST, CITY GRADING INSPECTOR OR THEIR REPRESENTATIVES, AND WHEN REQUIRED, THE ARCHAEOLOGIST. PALEONTOLOGIST AND/OR OTHER UTILITY REPRESENTATIVES. . THE PERMITTEE OR HIS AGENT SHALL NOTIFY THE ENGINEERING DIVISION WHEN THE GRADING OPERATION IS READY FOR EACH OF THE FOLLOWING INSPECTIONS. A. INITIAL INSPECTION: WHEN THE PERMITTEE IS READY TO BEGIN WORK, BUT NOT LESS THAN TWO DAYS BEFORE ANY GRADING OR BRUSHING IS STARTED.

B. TOE INSPECTION: AFTER THE NATURAL GROUND OR BEDROCK IS EXPOSED AND PREPARED TO RECEIVE FILL, BUT NOT BEFORE THE FILL IS PLACED. EXCAVATION INSPECTION: AFTER THE EXCAVATION IS STARTED, BUT BEFORE THE VERTICAL DEPTH OF THE EXCAVATION EXCEEDS TEN FEET D. FILL INSPECTION: AFTER THE FILL PLACEMENTS STARTED, BUT BEFORE THE VERTICAL HEIGHT OF THE FILL EXCEEDS TEN FEET E. DRAINAGE DEVICE INSPECTION: AFTER FORMING OF TERRACE DRAINS, DOWNDRAINS, OR AFTER PLACEMENT OF PIPE IN SUBDRAINS, BUT BEFORE ANY CONCRETE OR FILTER MATERIAL ADJACENT STRUCTURES UPON COMPLETION. ALL CHANGES SHALL BE ADDRESSED IN THE

F. ROUGH GRADING: WHEN ALL ROUGH GRADING HAS BEEN COMPLETED. THIS INSPECTION MAY BE CALLED FOR AT THE COMPLETION OF ROUGH GRADING. FINAL: WHEN ALL WORK INCLUDING INSTALLATION OF ALL DRAINAGE STRUCTURES AND OTHER PROTECTIVE DEVICES HAS BEEN COMPLETED AND THE AS-GRADED PLAN, PROFESSIONAL CERTIFICATIONS AND THE REQUIRED REPORTS HAVE BEEN SUBMITTED 4. CUT SLOPES SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL 5. FILL SLOPES. SHALL BE NO STEEPER THAN 2 HORIZONTAL TO 1 VERTICAL AND SHALL HAVE NOT LESS THAN 90% COMPACTION OUT TO THE FINISHED SURFACE.

6. FILLS SHALL BE COMPACTED THROUGHOUT TO A MINIMUM OF 90% RELATIVE DENSITY. MAXIMUM DENSITY TO BE DETERMINED BY ASTM-D1557 (FIVE (5) LAYER TEST) OR APPROVED EQUIVALENT, AND FIELD DENSITY BY UNIFORM BUILDING CODE STANDARD NO. 70-2, OR AREAS TO RECEIVE FILL SHALL BE PROPERLY PREPARED AND APPROVED BY THE SOILS ENGINEER AND/OR ENGINEERING GEOLOGIST PRIOR TO PLACING OF FILL. FILLS SHALL BE BENCHED INTO COMPETENT MATERIAL AS PER DETAIL ON PLAN. . ALL EXISTING FILLS SHALL BE APPROVED BY THE SOILS ENGINEER OR REMOVED BEFORE ANY 10. THE EXISTING IRRIGATION LINES, SUBGRADE STRUCTURES, SEPTIC TANKS, AND CISTERNS SHALL BE REMOVED, OR CRUSHED IN PLACE AND BACKFILLED, AND APPROVED BY THE CITY INSPECTOR AND SOILS ENGINEER. . THE STOCKPILING OF EXCESS MATERIAL SHALL BE APPROVED BY THE CITY ENGINEER PRIOR 12. THE DESIGN CIVIL ENGINEER, PRIOR TO ROUGH GRADE APPROVAL, SHALL PROVIDE THE MINIMUM OF ONE BLUE TOP PER LOT, SET AT THE HIGHEST POINT IN THE FINISHED DRAINAGE

13. ALL TRENCH BACKFILLS SHALL BE TESTED AND APPROVED BY THE SITE SOILS ENGINEER

PER THE GRADING CODE.

14. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER SHALL, AFTER CLEARING AND PRIOR TO 30. EXPORT SOIL MUST GO TO A LEGAL DUMP OR TO A PERMITTED SITE APPROVED BY TH THE PLACEMENT OF FILL IN CANYONS, OBSERVE AND REVIEW EACH CANYON FOR AREAS OF ADVERSE STABILITY AND TO DETERMINE THE PRESENCE OR ABSENCE OF SUBSURFACE WATER OR SPRING FLOW. IF NEEDED, DRAINS (IN ADDITION TO THOSE DEPICTED ON THIS PLAN) WILL BE DESIGNED AND CONSTRUCTED PRIOR TO THE PLACEMENT OF FILL IN EACH RESPECTIVE CANYON. ANY ADDITIONS SHALL BE NOTED ON THE "AS-BUILT" PLANS. 15. SUBDRAIN OUTLETS SHALL BE COMPLETED AT THE BEGINNING OF THE SUBDRAIN

16. THE EXACT LOCATION OF THE SUBDRAINS SHALL BE SURVEYED IN THE FIELD FOR LINE AND GRADE AND NOTED AND SHOWN ON THE "AS-BUILT" PLANS. 17. ALL CUT SLOPES SHALL BE INVESTIGATED BOTH DURING AND AFTER GRADING BY AN ENGINEERING GEOLOGIST TO EVALUATE THE STABILITY OF EACH SLOPE SHOULD EXCAVATION DISCLOSE ANY GEOLOGICAL HAZARDS OR POTENTIAL GEOLOGICAL HAZARDS, THE ENGINEERING GEOLOGIST SHALL RECOMMEND NECESSARY TREATMENT TO THE CITY ENGINEER FOR APPROVAL. ALL APPROVAL TO BE GRANTED ON THE BASIS OF DETAILED GEOLOGICAL MAPPING 18. WHERE SUPPORT OR BUTTRESSING OF CUT AND NATURAL SLOPES IS DETERMINED TO BE NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER, THE SOILS ENGINEER WILL SUBMIT DESIGN, LOCATIONS AND CALCULATIONS TO THE CITY ENGINEER PRIOR TO CONSTRUCTION. THE ENGINEERING GEOLOGIST AND SOILS ENGINEER WILL OBSERVE THE CONSTRUCTION OF THE BUTTRESSING AND COMMENT ON THE STABILITY OF THE SLOPE AND

19. WHEN CUT PADS ARE BROUGHT TO NEAR GRADE. THE ENGINEERING GEOLOGIST SHALL DETERMINE IF THE BEDROCK IS EXTENSIVELY FRACTURED OR FAULTED AND WILL READILY TRANSMIT WATER. IF CONSIDERED NECESSARY BY THE ENGINEERING GEOLOGIST AND SOILS ENGINEER. A COMPACTED FILL BLANKET WILL BE PLACED. 20. THE ENGINEERING GEOLOGIST OR HIS REPRESENTATIVE SHALL BE ON SITE FOR OBSERVATION AND TESTING, AS NECESSARY, AND SUBMIT A COMPLETE REPORT AND MAP UPON COMPLETION OF THE ROUGH GRADING. . THE FINAL COMPACTION REPORT AND APPROVAL FROM THE SOILS ENGINEER SHALL

CONTAIN THE TYPE OF FIELD TESTING PERFORMED, EACH TEST SHALL BE IDENTIFIED WITH THE

METHOD OF OBTAINING THE IN-PLACE DENSITY. WHETHER SAND CONE OR DRIVE RING. AND SHALL BE SO NOTED FOR EACH TEST, SUFFICIENT MAXIMUM DENSITY DETERMINATIONS SHALL BE PERFORMED TO VERIFY THE ACCURACY OF THE MAXIMUM DENSITY CURVES USED BY THE 22. THE SOILS ENGINEER AND ENGINEERING GEOLOGIST SHALL PROVIDE OBSERVATION AND TESTING. SERVICES. AS NECESSARY. AND BE AVAILABLE DURING GRADING TO VERIFY COMPLIANCE WITH THE PLANS. SPECIFICATIONS, AND CODE WITHIN THEIR PURVIEW. 23. THE DESIGN CIVIL ENGINEER SHALL EXERCISE SUFFICIENT CONTROL DURING GRADING AND

CONSTRUCTION TO INSURE COMPLIANCE WITH THE PLANS, SPECIFICATIONS, AND CODE WITHIN 24. DUST SHALL BE CONTROLLED BY WATERING. . SANITARY FACILITIES SHALL BE MAINTAINED ON THE SITE. 6. THE LOCATION AND PROTECTION OF ALL UTILITIES ARE THE RESPONSIBILITY OF THE '. APPROVED PROTECTIVE MEASURES AND TEMPORARY DRAINAGE PROVISIONS MUST BE USED TO PROTECT ADJOINING PROPERTIES DURING THE GRADING PROJECT. 28. PRIOR TO FINAL APPROVAL, THE DESIGN CIVIL ENGINEER SHALL CERTIFY TO THE

ENGINEERING DIVISION THE NUMBER OF YARDS TO CUT, FILL AND IMPORT MOVED DURING THE

29. ALL CONCRETE STRUCTURES THAT COME IN CONTACT WITH THE ON-SITE SOILS SHALL BE

CONSTRUCTED WITH TYPE 5 CEMENT UNLESS OTHERWISE APPROVED BY THE CITY ENGINEER.

CITY OF SAN CLEMENTE GENERAL NOTES **EROSION CONTROL** 

1. IN CASE OF EMERGENCY CALL: **WORK TELEPHONE NO.:** HOME TELEPHONE NO.:

2. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. NECESSARY MATERIALS SHALL BE AVAILABLE ON SITE AND STOCKPILED AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.

3. EROSION CONTROL DEVICES SHALL NOT BE MOVED OR MODIFIED WITHOUT THE APPROVAL OF THE **BUILDING OFFICIAL OR CITY ENGINEER.** 

4. ALL REMOVABLE EROSION PROTECTIVE DEVICES SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE 5-DAY RAIN PROBABILITY FORECAST EXCEEDS 40%.

5. AFTER A RAINSTORM ALL SILT AND DEBRIS SHALL BE REMOVED FROM STREETS. CHECK BERMS

6. GRADED AREAS ON THE PERMITTED AREA PERIMETER MUST DRAIN AWAY FROM THE FACE OF SLOPES AT THE CONCLUSION OF EACH WORKING DAY. DRAINAGE TO BE DIRECTED TOWARD DESILTING FACILITIES.

7. THE PERMITTEE SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATER CREATES A HAZARDOUS CONDITION.

8. ALL TEMPORARY GRADING HAUL ROADS WITHIN AREAS WHICH ARE TO REMAIN UNDEVELOPED AND NATURAL SHALL BE RESTORED TO NATURAL CONDITIONS AND REVEGETATED WITH NATIVE **GRASSES UPON COMPLETION OF GRADING OPERATIONS.** 

9. ALL CONSTRUCTION VEHICLES OR EQUIPMENT, FIXED OR MOBILE OPERATED WITHIN 1000' OF A DWELLING SHALL BE EQUIPPED WITH PROPERLY OPERATING AND MAINTAINED MUFFLERS.

10. ALL OPERATIONS SHALL COMPLY WITH ORANGE COUNTY CODIFIED ORDINANCE DIVISION 6 (NOISE

11. STOCKPILING AND/OR VEHICLE STAGING AREAS SHALL BE LOCATED AS FAR AS PRACTICABLE FROM DWELLINGS.

12. EROSION CONTROL DEVICES WILL BE MODIFIED AS NEEDED AS THE PROJECT PROGRESSES, AND PLANS OF THESE CHANGES SUBMITTED FOR PLAN CHECK AS REQUIRED.

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13. THE PLACEMENT OF ADDITIONAL DEVICES TO REDUCE EROSION DAMAGE WITHIN THE SITE IS LEFT

TO THE DISCRETION OF THE FIELD ENGINEER.

31. SLOPES EXCEEDING FIVE FEET IN HEIGHT MUST BE PLANTED WITH A PLANT MATERIAL DESIGNED BY A REGISTERED LANDSCAPE ARCHITECT AND APPROVED BY THE CITY AND MUST BE PROVIDED WITH AN APPROVED IRRIGATION SYSTEM. 2. PRIOR TO FINAL APPROVAL, THE GRADING CONTRACTOR SHALL SUBMIT A STATEMENT ( COMPLIANCE FOR THE APPROVED GRADING PLAN. 33. FOR GRADING PERMITS ISSUED BEFORE AUGUST 15, EROSION CONTROL PLANS, IF NECESSARY, SHALL BE REQUIRED AND SHALL BE SUBMITTED TO AND APPROVED BY THE CITY ENGINEER BY SEPTEMBER 15. FOR GRADING PERMITS WHICH ARE ISSUED AFTER AUGUST 15, AND WHERE GRADING IS NOT EXPECTED TO BE COMPLETED BY OCTOBER 15, EROSION CONTROL PROVISIONS SHALL BE REQUIRED. 34. THE APPROVED SOIL ENGINEERING REPORT PREPARED BY

AND ALL REVISIONS ARE TO BE CONSIDERED PART OF THE PLANS, AND THE RECOMMENDATIONS CONTAINED THEREIN ARE TO BE ADHERED TO. 35. CONCRETE FOR SIDEWALK, CURB & GUTTER, ACCESS RAMPS, AND DRIVE APPROACHES SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS OF 3250 PSI. CONCRETE MAY BE PNEUMATICALLY PLACED AND SHALL CONFORM TO SECTION 201 OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (GREENBOOK). 36. CONCRETE FOR EXTERIOR RETAINING WALLS AND STRUCTURAL FOUNDATIONS SHALL HAVE A MINIMUM ULTIMATE COMPRESSIVE STRENGTH AT 28 DAYS OF 4500 PSI WITH A WATER-CEMENT RATIO OF 0.45. 37. CONCRETE REINFORCING SHALL BE 6" X 6 - W 1.4 WELDED WIRE MESH (W.W.M.) OR 38. GROUND SHALL BE PREWETTED TO THE SATISFACTION OF THE CITY INSPECTOR OR THE

SOILS ENGINEER PRIOR TO PLACEMENT OF CONCRETE. MOISTURE LOSS RETARDANT SHALL BE USED WHEN REQUIRED BY THE SOILS ENGINEER. 39. FOR COMPACTED FILL

A. A MINIMUM FOUNDATION BEARING VALUE OF 1500 P.S.F. IS REQUIRED UNLESS MODIFIED BY THE SOILS REPORT. B. NUMBER OF TESTS TO BE MADE SHALL BE: 1 TEST FOR EACH 2 FEET OF FILL OR 1 TEST FOR EACH 1,000 CUBIC YARDS (WHICHEVER IS GREATER).

40. THE UNDERSIGNED CIVIL ENGINEERS WILL BE RESPONSIBLE FOR THE MINIMUM PROFESSIONAL

INSPECTIONS IN ACCORDANCE WITH SUBARTICLE 14 OF THE CITY OF SAN CLEMENTE'S GRADING ORDINANCE & GRADING MANUAL. 1. DETRIMENTAL AMOUNTS OF ORGANIC MATERIAL SHALL NOT BE PERMITTED IN FILLS. EXCEPT AS OUTLINED BELOW, NO ROCK OR SIMILAR IRREDUCIBLE MATERIAL WITH A MAXIMUM DIMENSION GREATER THAN TWELVE (12) INCHES SHALL BE BURIED OR LACED IN FILLS. A. THE SOILS ENGINEER MAY PERMIT PLACEMENT OF LARGER ROCK WHEN THE SOILS ENGINEER PROPERLY DEVISED A METHOD OF PLACEMENT, CONTINUOUSLY INSPECTS PLACEMENT, AND APPROVES THE FILL STABILITY AND COMPETENCY. THE FOLLOWING CONDITIONS SHALL ALSO B. PRIOR TO ISSUANCE OF THE GRADING PERMIT, POTENTIAL ROCK DISPOSAL AREA(S) SHALL

C. ROCK SIZES GREATER THAN TWELVE (12) INCHES IN MAXIMUM DIMENSION SHALL BE TEN

(10) FEET OR MORE BELOW GRADE, MEASURED VERTICALLY. THIS DEPTH MAY BE REDUCED

BE DELINEATED ON THE GRADING PLAN.

UPON RECOMMENDATION OF THE SOILS ENGINEER AND APPROVAL OF THE BUILDING OFFICIAL PROVIDING THAT THE PERMITTED USE OF THE PROPERTY WILL NOT BE IMPAIRED. ). ROCKS GREATER THAN TWELVE (12) INCHES SHALL BE PLACED SO AS TO BE COMPLETELY SURROUNDED BY SOILS: NO NESTING OF ROCKS WILL BE PERMITTED. E. ALL RECOMMENDATIONS SHALL BE REVIEWED AND APPROVED BY THE CITY. 42. GRADING OPERATIONS AND MAINTENANCE OF EQUIPMENT WITHIN ONE HALF MILE OF HUMAN OCCUPANCY SHALL NOT BE CONDUCTED BETWEEN THE HOURS OF 5:30 P.M. AND 7:30 A.M. OR ANY TIME ON A SATURDAY, SUNDAY OR A CITY HOLIDAY. 43. THE DESIGN ENGINEER SHALL CERTIFY ALL HORIZONTAL LINES AND VERTICAL GRADES PRIOR TO RELEASE OF GRADING. 44. CONSTRUCTION SITES SHALL BE MAINTAINED IN SUCH A CONDITION THAT AN ANTICIPATED STORM DOES NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. A. ALL EROSION PROTECTION DEVICES MUST BE IN PLACE EACH DAY THE RAIN PROBABILITY

AND REPAIRED/CLEANED AS NEEDED TO ENSURE PROPER FUNCTION. B. DISCHARGES OF MATERIAL OTHER THAN STORMWATER ("NON-STORMWATER" DISCHARGES) ARE ALLOWED ONLY WHEN NECESSARY FOR PERFORMANCE AND COMPLETION OF CONSTRUCTION PRACTICES AND WHERE THEY DO NOT: CAUSE OR CONTRIBUTE TO A VIOLATION OF ANY WATER QUALITY STANDARD; CAUSE OR THREATEN TO CAUSE POLLUTION, CONTAMINATION, OR NUISANCE: OR CONTAIN A HAZARDOUS SUBSTANCE IN A QUANTITY REPORTABLE UNDER FEDERAL REGULATIONS 40 CFR PARTS 117 AND 302. SITE SHALL INCLUDE BEST MANAGEMENT PRACTICES (BMPS) TO REDUCE THE QUANTITY (AMOUNT AND NUMBER OF INCIDENCES) OF NON-STORMWATER DISCHARGES AND TO IMPROVE THE QUALITY OF ANY NON-STORMWATER

FORECAST IS EQUAL TO OR GREATER THAN 40%. AFTER A RAIN EVENT (OR DURING AN EXTENDED EVENT IF NECESSARY), ALL EROSION PROTECTION DEVICES SHALL BE INSPECTED

C. STORMWATER AND NON-STORMWATER DISCHARGES SHALL NOT CARRY WASTES OR POLLUTANTS OFF THE SITE. POTENTIAL POLLUTANTS INCLUDE BUT ARE NOT LIMITED TO: SOLID OR LIQUID CHEMICAL SPILLS: WASTES FROM PAINTS, STAINS, SEALANTS, GLUES, LIMES, PESTICIDES. HERBICIDES. WOOD PRESERVATIVES AND SOLVENTS: ASBESTOS FIBERS. PAINT FLAKES OR STUCCO FRAGMENTS; FUELS, OILS, LUBRICANTS, AND HYDRAULIC, RADIATOR OR BATTERY FLUIDS; FERTILIZERS, VEHICLE/EQUIPMENT WASH WATER AND CONCRETE WASH WATER: CONCRETE. DETERGENT OR FLOATABLE WASTES: WASTES FROM ANY ENGINE/EQUIPMENT STEAM CLEANING OR CHEMICAL DEGREASING; AND SUPERCHLORINATED POTABLE WATER LINE FLUSHINGS

D. DURING CONSTRUCTION, DISPOSAL OF SUCH MATERIALS SHOULD OCCUR IN A SPECIFIED AND

CONTROLLED TEMPORARY AREA ON-SITE, PHYSICALLY SEPARATED FROM POTENTIAL STORM WATER AND NON-STORMWATER RUN-OFF, WITH ULTIMATE DISPOSAL IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REQUIREMENTS. . THE PERMITTEE SHALL NOTIFY ALL GENERAL CONTRACTORS, SUBCONTRACTORS, MATERIAL SUPPLIERS, LESSEES AND PROPERTY OWNERS THAT THE DISCHARGE OF POLLUTANTS INTO THE STORM DRAIN SYSTEM OR OTHER WATERSHED DRAINAGE FEATURES IS PROHIBITED 45. DEWATERING OF CONTAMINATED GROUNDWATER OR DISCHARGING CONTAMINATED SOILS VIA SURFACE EROSION IS PROHIBITED. DEWATERING OF NON-CONTAMINATED GROUNDWATER REQUIRES A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM PERMIT FROM THE RESPECTIVE STATE REGIONAL WATER QUALITY CONTROL BOARD. 46. PRIOR TO CONSTRUCTION, ALL SURVEY MONUMENTS AND CENTERLINE TIES ARE TO BE LOCATED IN THE FIELD. UPON COMPLETION OF CONSTRUCTION, ALL DAMAGED OR DESTROYED CENTERLINE TIES AND SURVEY MONUMENTS ARE TO BE RESET AND "CORNER RECORDS" PREPARED FOR SURVEY MONUMENTS FOR SUBMISSION TO THE CITY'S ENGINEERING DIVISION AND FILING WITH THE COUNTY SURVEYOR IN COMPLIANCE WITH AB1414. THIS MUST BE COMPLETED PRIOR TO CERTIFYING COMPLETION OF THE PROJECT. ALL RESTORATIONS OF SURVEY MONUMENTS SHALL BE CERTIFIED BY THE DESIGN REGISTERED ENGINEER IN ACCORDANCE WITH SECTION 8771 OF THE BUSINESS AND PROFESSIONS CODE. 47. PRIOR TO GRADING, HYDRO AUGERS ARE TO BE INSTALLED AT THE TOE OF SLOPE FACE

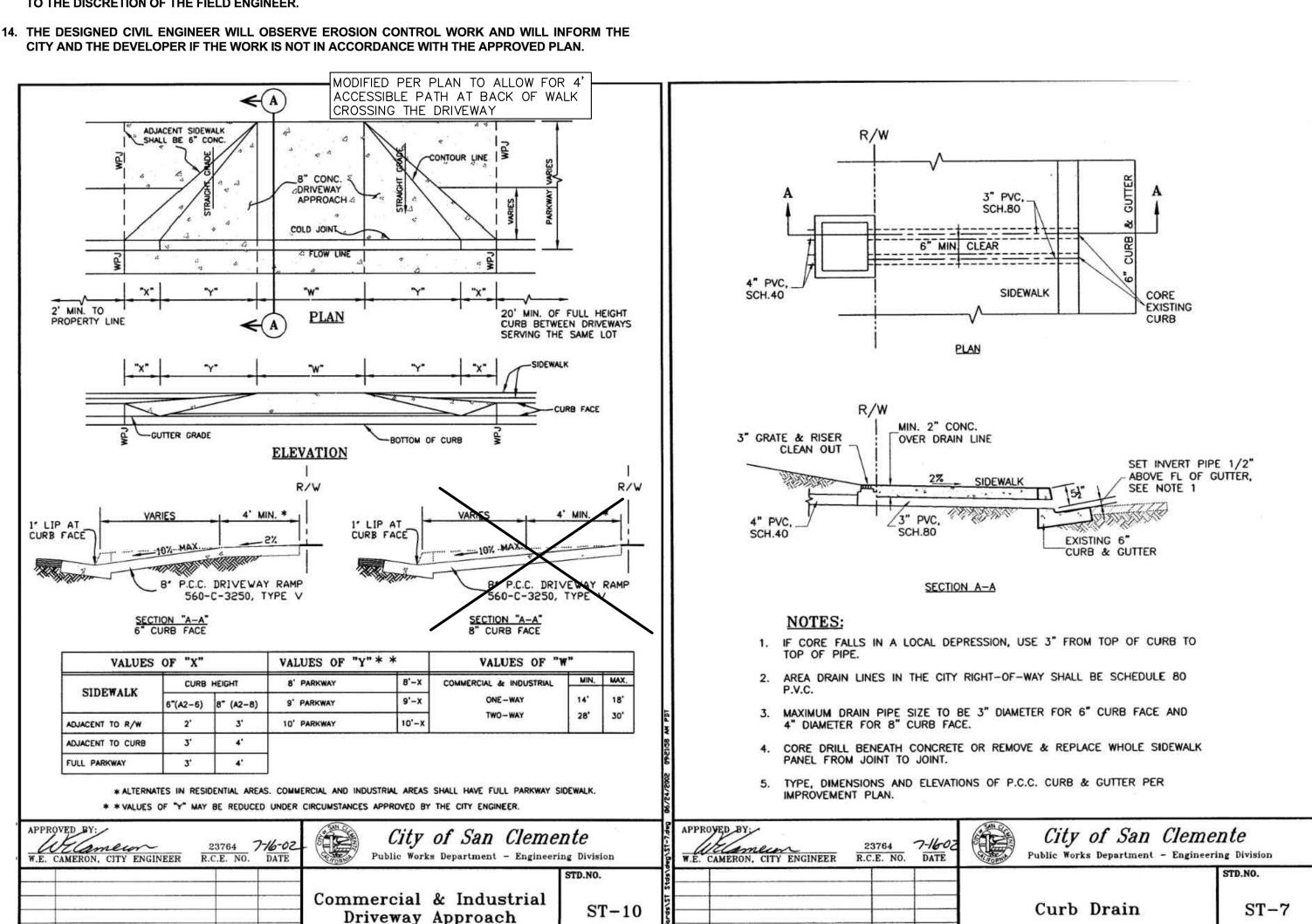
(IF APPLICABLE). ACTUAL LOCATIONS WILL BE DETERMINED BY SOILS ENGINEER IN THE FIELD. 48. A CITY OF SAN CLEMENTÉ ENCROACHMENT PERMIT WILL BE REQUIRED PRIOR TO ANY GRADING OR WORK IN CITY'S PUBLIC RIGHT-OF-WAY.

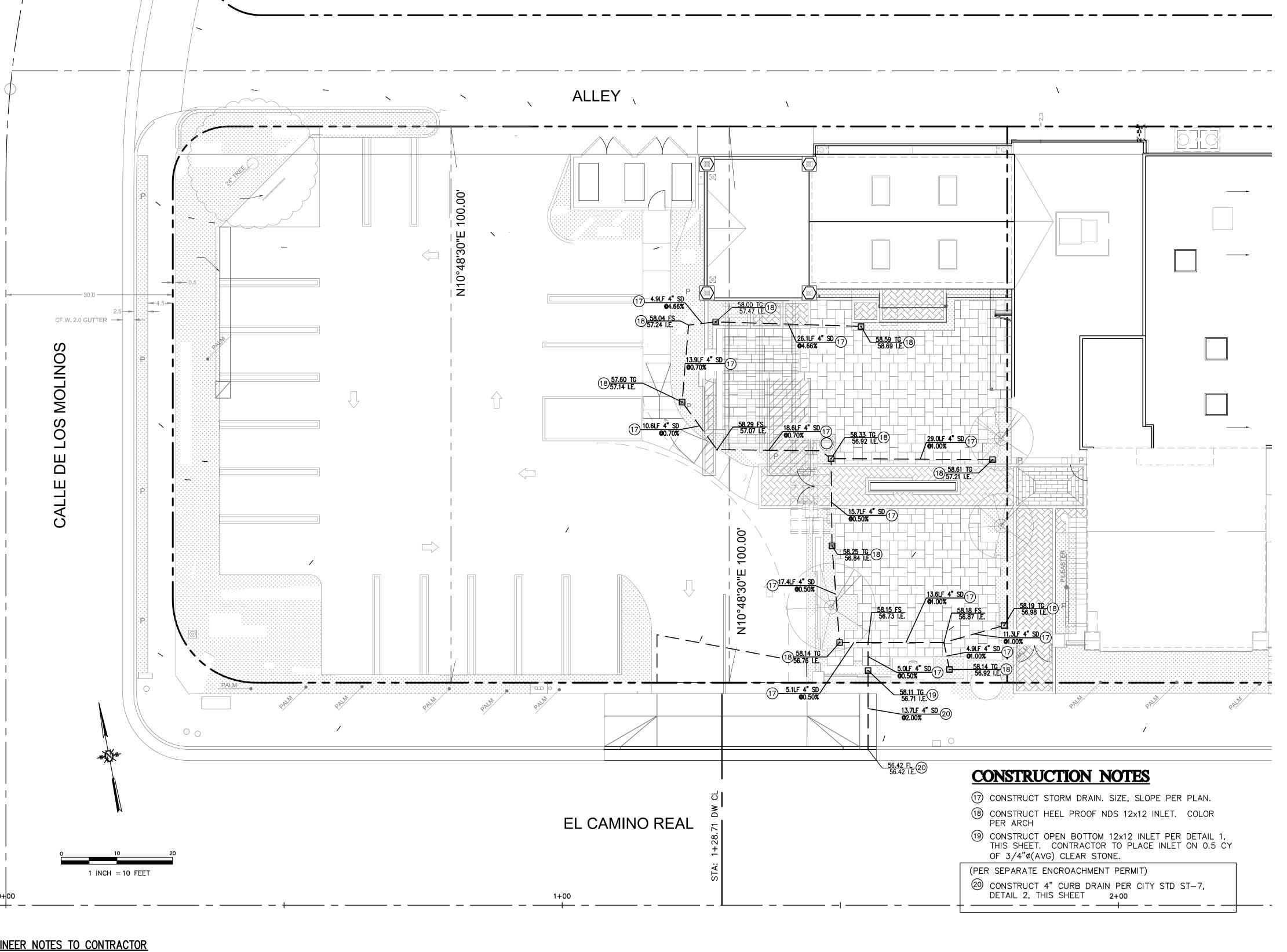
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REVISIONS





#### ENGINEER NOTES TO CONTRACTOR

B. THESE APPROVED PLANS AND DETAILS.

CITY TRANSPORTATION DEPARTMENT.

THESE PLANS DO NOT AUTHORIZE SITE DISTURBANCE BEYOND THE LIMITS OF CONSTRUCTION

THE CONTRACTOR SHALL OBTAIN AN ENCROACHMENT WORK PRIOR TO COMMENCING WORK WITHIN THE RIGHT OF WAY.

PREPARED BY RDM SURVEYING, LAGUNA HILLS, CA. DATED 4/7/2020. WORK WILL BE PERFORMED TO CONFORM WITH THE FOLLOWING SPECIFICATIONS. WHERE CONFLICTS EXIST BETWEEN ANY OF THESE, THE ENGINEER WILL CLARIFY WHICH SPECIFICATION GOVERNS A. THE REQUIREMENTS OF ALL PERMITS ISSUED FOR WORK BY THE CITY OF SAN

EXISTING FEATURES WITHIN THIS PLAN SET ARE TAKEN FROM TOPOGRAPHIC SURVEY

C. THE APPLICABLE SECTIONS OF THE LATEST EDITIONS OF THE STATE OF CALIFORNIA BUILDING STANDARDS CODE AND THE CALIFORNIA ACCESS COMPLIANCE ADVISORY REFERENCE MANUAL. D. THE APPLICABLE SECTIONS OF THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION (THE "GREENBOOK"). 3. IT WILL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SECURE ALL THE PERMITS

NECESSARY TO PERFORM WORK PRIOR TO COMMENCING WORK, INCLUDING BUT NOT LIMITED TO WORK WITHIN THE PUBLIC RIGHT-OF-WAY, GRADING, TREE REMOVAL, AND UTILITY MODIFICATIONS 4. THE CONTRACTOR MUST SUPPLY ALL EQUIPMENT, LABOR, AND MATERIALS NECESSARY TO PERFORM THE WORK AS SHOWN ON THE APPROVED PLANS.

5. IT WILL BE THE RESPONSIBILITY OF THE VARIOUS CONTRACTORS TO COORDINATE THEIR WORK SO AS TO ELIMINATE CONFLICTS AND WORK TOWARD THE GENERAL GOOD AND COMPLETION OF THE ENTIRE PROJECT. 3. ALL CONSTRUCTION ACTIVITY THAT DISRUPTS THE SMOOTH FLOW OF TRAFFIC OVER PUBLIC ROADS WILL REQUIRE A TRAFFIC CONTROL PLAN AS SPECIFIED IN THE PROJECT SPECIFICATIONS. TRAFFIC CONTROL SHALL CONFORM TO THE REQUIREMENTS SET FORTH IN

HE CALIFORNIA MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES AND THE PLAN SHALL

BE SUBMITTED FIVE WORKING DAYS PRIOR TO IMPLEMENTATION FOR APPROVAL BY THE

ALL WORKMANSHIP AND MATERIALS FURNISHED BY THE CONTRACTOR MUST BE THE KIND AND QUALITY DESCRIBED IN THE SPECIFICATIONS AND SHALL BE FIRST CLASS THROUGHOUT. NEITHER FINAL ACCEPTANCE NOR FINAL PAYMENT BY THE OWNER WILL RELIEVE THE CONTRACTOR OF RESPONSIBILITY FOR FAULTY MATERIALS OR WORKMANSHIP 3. IN THE EVENT OF ANY CONFLICT OF INFORMATION SHOWN ON THE APPROVED PLANS OR ANY CONFLICT BETWEEN THE APPROVED PLANS AND THE INTENT OF A CONSISTENT AND FUNCTIONAL PRODUCT THE CONTRACTOR SHALL NOTIFY THE OWNER AND DESIGN ENGINEER IN WRITING. UPON THIS NOTICE, THE OWNER AND DESIGN ENGINEER WILL AGREE UPON A RESOLUTION TO THE CONFLICT AND ISSUE THE RESOLUTION WITH A WRITTEN ORDER. REVISED PLANS, OR BOTH. THE CONTRACTOR MUST BEAR THE FULL COST AND

RESPONSIBILITY FOR WORK AFFECTED BY SUCH CONFLICTS THAT IS PERFORMED BY THE

CONTRACTOR PRIOR TO SUCH NOTICE AND ISSUANCE OF SUCH ORDER AND/OR REVISED

9. THE CONTRACTOR MUST MAINTAIN THE WORK AREA IN A NEAT, SAFE, CLEAN, AND SANITARY CONDITION AT ALL TIMES TO THE SATISFACTION OF THE AGENCY HAVING JURISDICTION OVER THE AREA. STREETS MUST BE KEPT CLEAN OF DEBRIS, WITH DUST AND OTHER NUISANCES BEING CONTROLLED AT ALL TIMES. THE CONTRACTOR IS RESPONSIBLE FOR DUST CONTROL MEASURES AND COMPLIANCE WITH ALL SOUTH COAST AIR QUALITY MANAGEMENT DISTRICT (AQMD) RULES AND REGULATIONS. ALL GRADING OPERATIONS MUST 20. SEPARATE DEMOLITION PERMITS MAY BE REQUIRED FOR ANY EXISTING STRUCTURES AND BE SUSPENDED DURING SECOND STAGE (OR WORSE) SMOG ALERTS BY AQMD. THE CONTRACTOR MUST ALSO BE RESPONSIBLE FOR ANY CLEANUP ON ADJACENT STREETS THAT ARE AFFECTED BY CONSTRUCTION. THE CONTRACTOR WILL PERIODICALLY OPERATE

STREET SWEEPERS ON PAVED AREAS ADJACENT TO THE SITE. 10. WATER WILL BE APPLIED TO THE SITE TWICE DAILY DURING GRADING OPERATIONS I COMPLIANCE WITH AQMD RULES FOR FUGITIVE DUST EMISSIONS. 11. THE CONTRACTOR MUST EXERCISE ALL NECESSARY CAUTION TO AVOID DAMAGE TO ANY EXISTING TREES, SURFACE IMPROVEMENTS, DRAINAGE STRUCTURES, WATER STRUCTURES, SEWER CLEANOUTS, MANHOLES, OR JUNCTION BOXES FOR UNDERGROUND ELECTRIC, GAS, TELEPHONE, CABLE, STORM, SANITARY, WATER, OR OTHER UTILITIES WHICH ARE TO REMAIN
23. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO MAINTAIN A MINIMUM SURFACE GRADE IN PLACE, AND MUST BEAR FULL RESPONSIBILITY FOR ANY DAMAGE THERETO. 12. THE UTILITIES INDICATED ON THESE PLANS ARE BASED ON SURVEY BY RDM SURVEYING. CANNON MAKES NO GUARANTEES TO THEIR ACCURACY OR COMPLETENESS.

13. EXISTING IRRIGATION LATERALS AND WIRING FOR LIGHTS, SIGNALS, AND MECHANICAL EQUIPMENT ARE NOT SHOWN ON THESE PLANS. THE CONTRACTOR WILL DETERMINE THE LOCATIONS OF THE AFOREMENTIONED PRIOR TO COMMENCING WORK AND SHALL REPAIR OR REPLACE DAMAGED ITEMS IMMEDIATELY. 14. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OR PROPER RESETTING OF ALL EXISTING MONUMENTS AND OTHER SURVEY MARKERS. ANY SURVEY MONUMENTS DESTROYED BY THE CONTRACTOR MUST BE REPLACED IN ACCORDANCE WITH THE STATE LAND SURVEYORS' ACT.

5. THE CONTRACTOR WILL HIRE A LICENSED LAND SURVEYOR TO PROVIDE CONSTRUCTION

INDICATED ON THE APPROVED PLANS. 16. THE CONTRACTOR IS RESPONSIBLE FOR THE COORDINATION OF THE REQUIRED INSPECTIONS 28. ALL PROPOSED PAVEMENT AND CONCRETE JOINING EXISTING SHALL BE FLUSH AT WITH THE APPROPRIATE AGENCIES AND UTILITY COMPANIES, PER CITY STANDARDS. . IN CONFORMANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, THE CONTRACTOR WILL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOBSITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT MUST APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONTRACTOR WILL INDEMNIFY AND HOLD HARMLESS BOTH THE OWNER AND THE ENGINEER FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING

THE CONTRACTOR MUST HAVE COPIES OF THE PLANS AND SPECIFICATIONS FOR THIS PROJECT ON-SITE AT ALL TIMES. THE CONTRACTOR MUST MAINTAIN A CURRENT, COMPLETE, AND ACCURATE RECORD OF ALL CHANGES WHICH DEVIATE FROM THE CONSTRUCTION AS PROPOSED IN THESE PLANS AND SPECIFICATIONS. THE CONTRACTOR MUST PROVIDE AS-BUILT INFORMATION AS TO THE EXACT LOCATION OF CHANGES FOR THE PURPOSE OF PROVIDING THE ENGINEER WITH A BASIS FOR RECORD DRAWINGS. NO CHANGES MUST BE MADE WITHOUT THE PRIOR APPROVAL OF THE ENGINEER AND THE AGENCIES HAVING JURISDICTION.

LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER OF

19. NO CONSTRUCTION WILL START WITHOUT PLANS AND PERMITS APPROVED BY THE REGULATORY AGENCIES HOLDING JURISDICTION OVER THE PROJECT WORK. ALL AGENCIES WILL BE NOTIFIED AT LEAST TWO WORKING DAYS PRIOR TO STARTING CONSTRUCTION. ANY CONSTRUCTION DONE WITHOUT APPROVED PLANS AND PERMITS AND PRIOR NOTIFICATION WILL BE REJECTED AT THE CONTRACTOR'S RISK AND EXPENSE.

INFRASTRUCTURE TO BE REMOVED. DEBRIS CREATED BY DEMOLITION AND REMOVAL OPERATIONS WILL BECOME THE PROPERTY OF THE CONTRACTOR, UNLESS OTHERWISE NOTED, AND MUST BE DISPOSED OF AWAY FROM THE JOBSITE IN A MANNER AND AT A LOCATION ACCEPTABLE TO ALL RELEVANT AGENCIES. 1. EXISTING PAINTED RED CURB THAT IS REMOVED AND REPLACED MUST BE PAINTED RED PER THE LOCAL FIRE AUTHORITY REQUIREMENTS. 22. UNLESS OTHERWISE NOTED, THE CONTRACTOR SHALL ADJUST ALL STORM DRAIN INLETS,

VALVE BOXES, MANHOLE RIMS, CLEANOUTS, AND OTHER UTILITY BOXES TO MATCH THE NEW FINISH SURFACE. FOR POSITIVE DRAINAGE IN ALL PROPOSED PAVED AREAS. THE MINIMUM GRADE FOR ASPHALT IS 1.0% AND THE MINIMUM GRADE FOR CONCRETE IS 0.5%, UNLESS NOTED CONTRACTOR WILL VERIFY GRADE AND SLOPE OF ACCESSIBLE ROUTES AND PARKING

AREAS PRIOR TO PAVING. CONTRACTOR WILL NOTE ANY DISCREPANCIES AND INFORM ENGINEER IN WRITING PRIOR TO PAVING FOR POSSIBLE REDESIGN. CONTRACTOR WILL PAVE IN ACCORDANCE WITH ACCESSIBILITY REQUIREMENTS. 25. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO DETERMINE THE GRADING QUANTITIES FOR THE ACTUAL LAND BALANCE, INCLUDING UTILITY TRENCH SPOIL. THE CONTRACTOR WILL IMPORT OR EXPORT MATERIAL AS NECESSARY TO COMPLETE THE PROJECT. 26. THE CONTRACTOR IS RESPONSIBLE FOR REMOVING ANY EXISTING PAVEMENT MARKINGS INDICATED FOR REMOVAL VIA SANDBLASTING AND/OR HIGH-PRESSURE POWER WASHING. STAKING IN ORDER TO ENSURE THE PROJECT IS CONSTRUCTED TO THE LINES AND GRADES 27. SAW-CUT LINES FOR CONCRETE ARE APPROXIMATE. THE CONTRACTOR WILL REMOVE

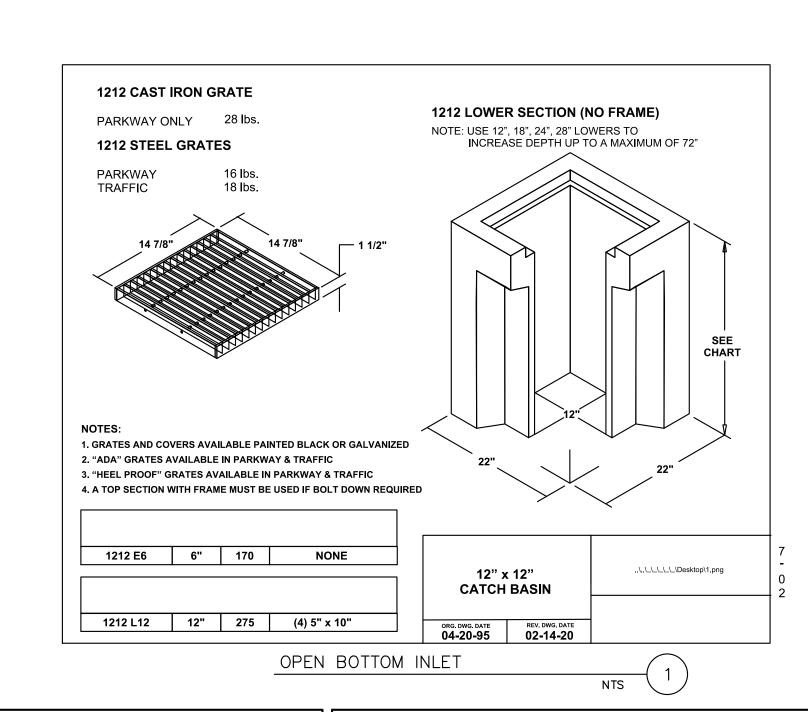
CONCRETE TO THE NEAREST EXPANSION JOINT. TRANSITIONS, WITH NO VERTICAL EDGES, UNLESS NOTED OTHERWISE ON THE PLANS. 29. THE CONTRACTOR MUST PRESERVE ALL EXISTING SIGNS, MARKINGS, AND OTHER TRAFFIC CONTROL DEVICES WITHIN THE PUBLIC RIGHT OF WAY. IN THE EVENT THAT THEY ARE DAMAGED BY CONSTRUCTION, IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REPLACE "IN KIND" SAID DEVICES TO THE SATISFACTION OF THE AGENCY HAVING JURISDICTION OVER THE ROADWAY, IF WORD, SYMBOL, OR ARROW MARKINGS ARE PARTIALLY DAMAGED, THE

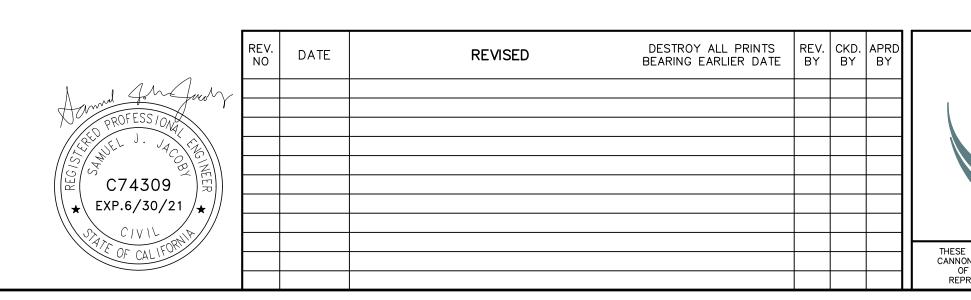
ENTIRE MARKING MUST BE REPLACED. 30. THE CONTRACTOR WILL RECYCLE MATERIALS AS FEASIBLE AND IN ACCRDANCE WITH THE CALIFORNIA BUILDING CODE AND THE LOCAL GOVERNING AGENCY. 1. ALL MATERIALS, HANDLING, AND PLACEMENT OF CEMENT CONCRETE AND AGGREGATE BASE WITHIN THE RIGHT OF WAYMUST BE IN ACCORDANCE WITH THE CITY OF SAN CLEMENTE

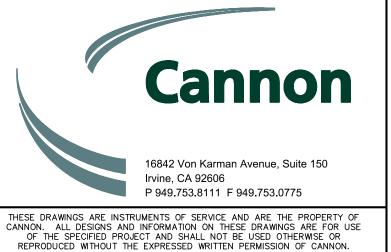
32. THE CONTRACTOR MUST IMMEDIATELY NOTIFY THE CITY AND THE UTILITY OWNER IF ANY EXISTING UTILITY IS DISTURBED OR DAMAGED DURING THE COURSE OF THE WORK. THE CONTRACTOR MUST BEAR THE COSTS OF REPAIR OR REPLACEMENT OF ANY MARKED UTILITY WHERE DAMAGE WAS CAUSED BY THE CONTRACTOR'S ACTIVITIES. 33. UTILITIES AND UTILITY STRUCTURES WILL BE INSTALLED PER PLAN AND PER

STANDARD SPECIFICATIONS AND THESE PLANS AND DETAILS.

MANUFACTURER'S RECOMMENDATIONS, WITH WATERTIGHT JOINTS.

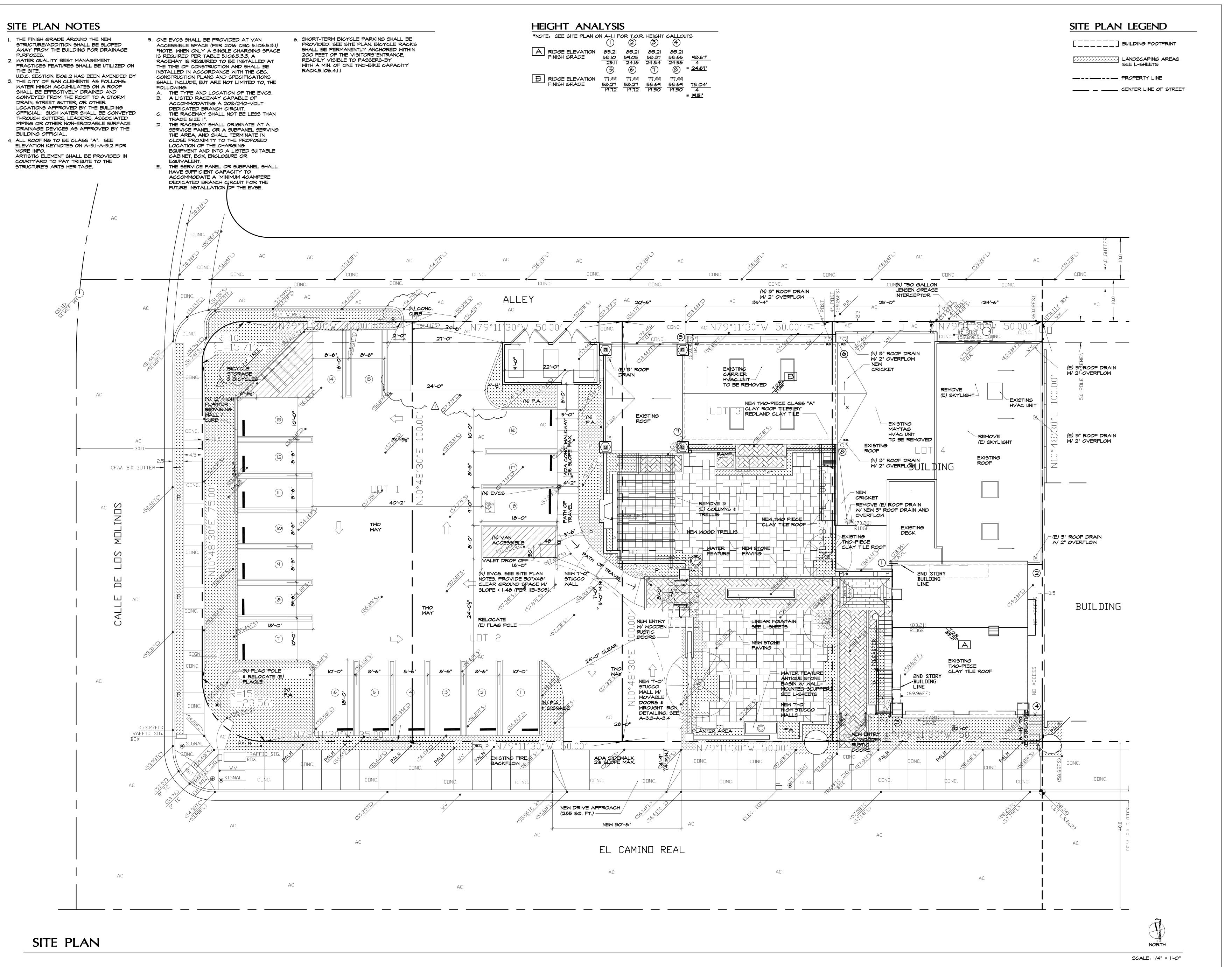






PUBLIK HOUSE TENENT IMPROVEMENT DRAINAGE IMPROVEMENTS AND NOTES SAN CLEMENTE, CALIFORNIA

DRAWN BY CA JOB NO. 5/24/2021 210149 HECKED BY SCALE 1" = 10' C2 OF 2

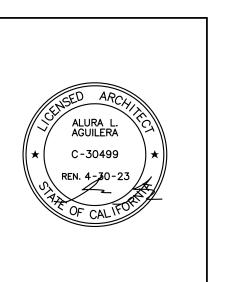


Architecture

1220 Avenida De La Estrella
San Clemente, ca 92672

Phone: 949.218.6472

Email: a2arc@cox.net



PROJECT TITLE:

Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

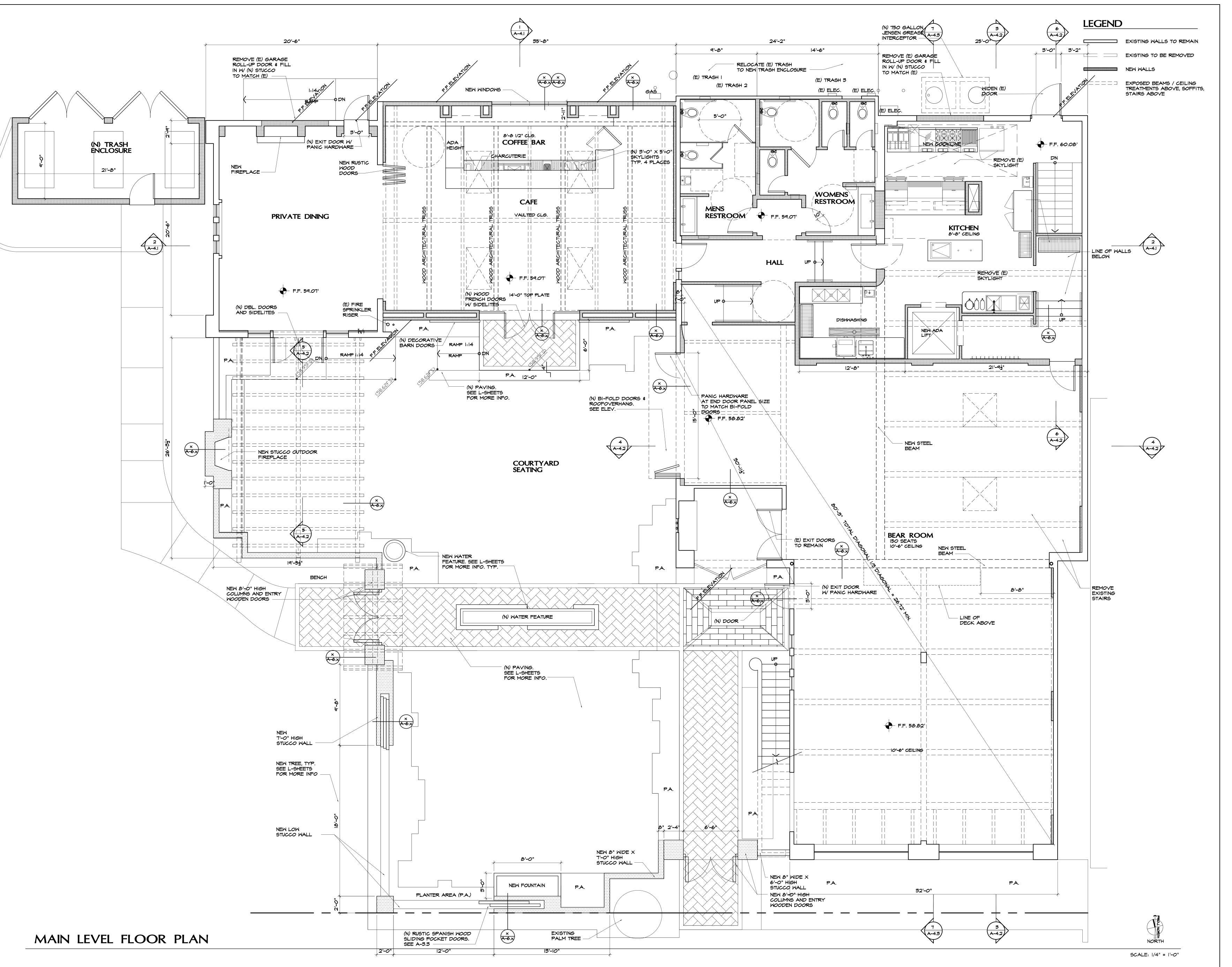
SHEET TITLE:

REVISIONS:

BY:

AA

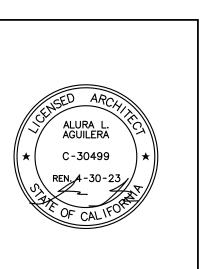
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Architecture

1220 Avenida De La Estrella
San Clemente, ca 92672

Phone: 949.218.6472
Email: a2arc@cox.net



PROJECT TITLE:

Publik House II

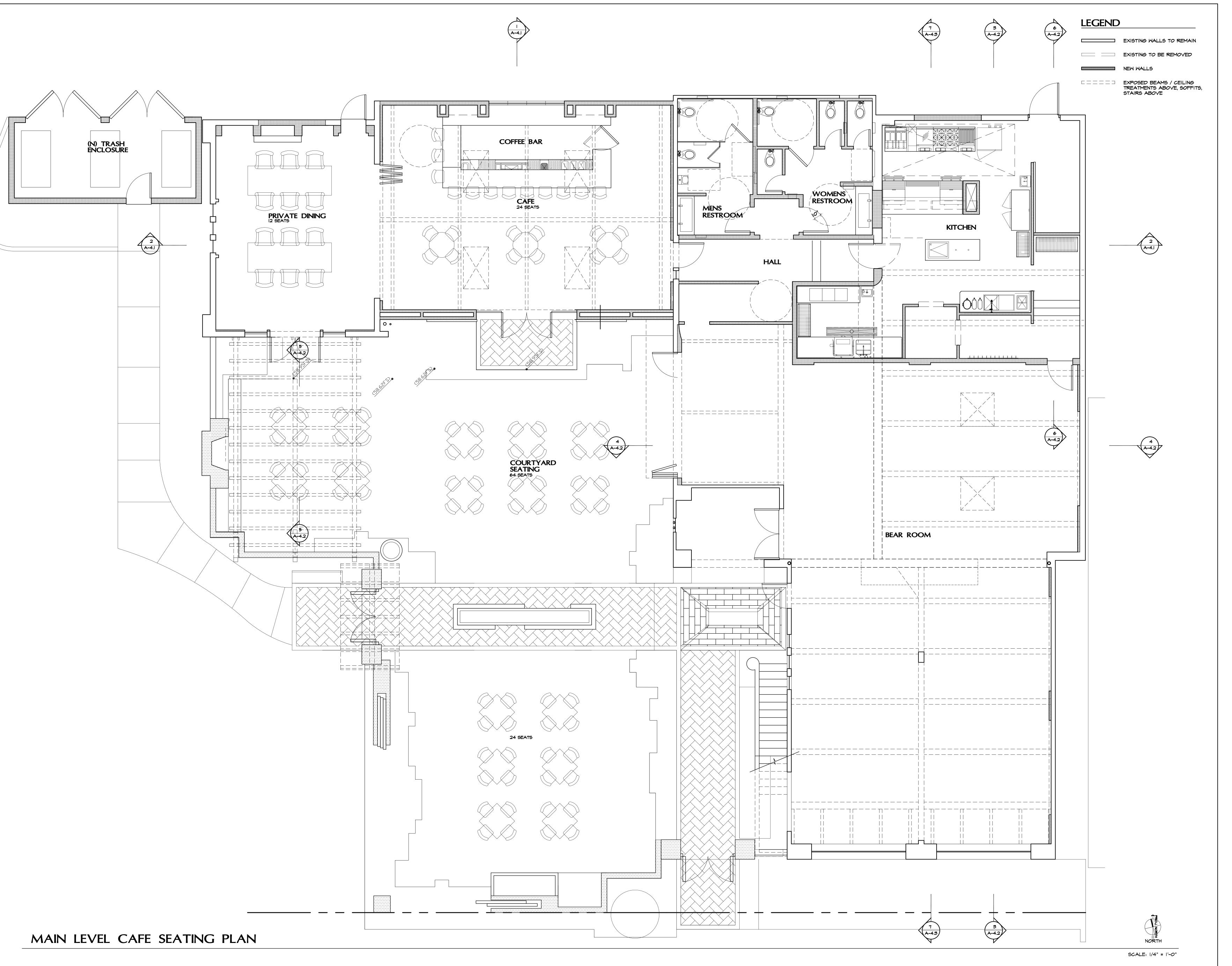
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672

SHEET TITLE:

Main Lev Floor Plai

REVISIONS:	BY:
DMT REVIEW 10/71/20	AA
DMT REVIEW 12/1/20	AA
DRSC 3/22/21	AA

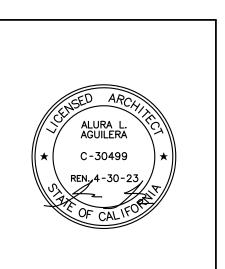
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Architecture

1220 Avenida De La Estrella
San Clemente, ca 92672

Phone: 949.218.6472
Email: a2arc@cox.net

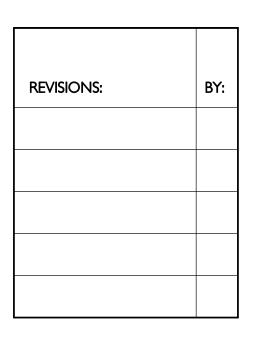


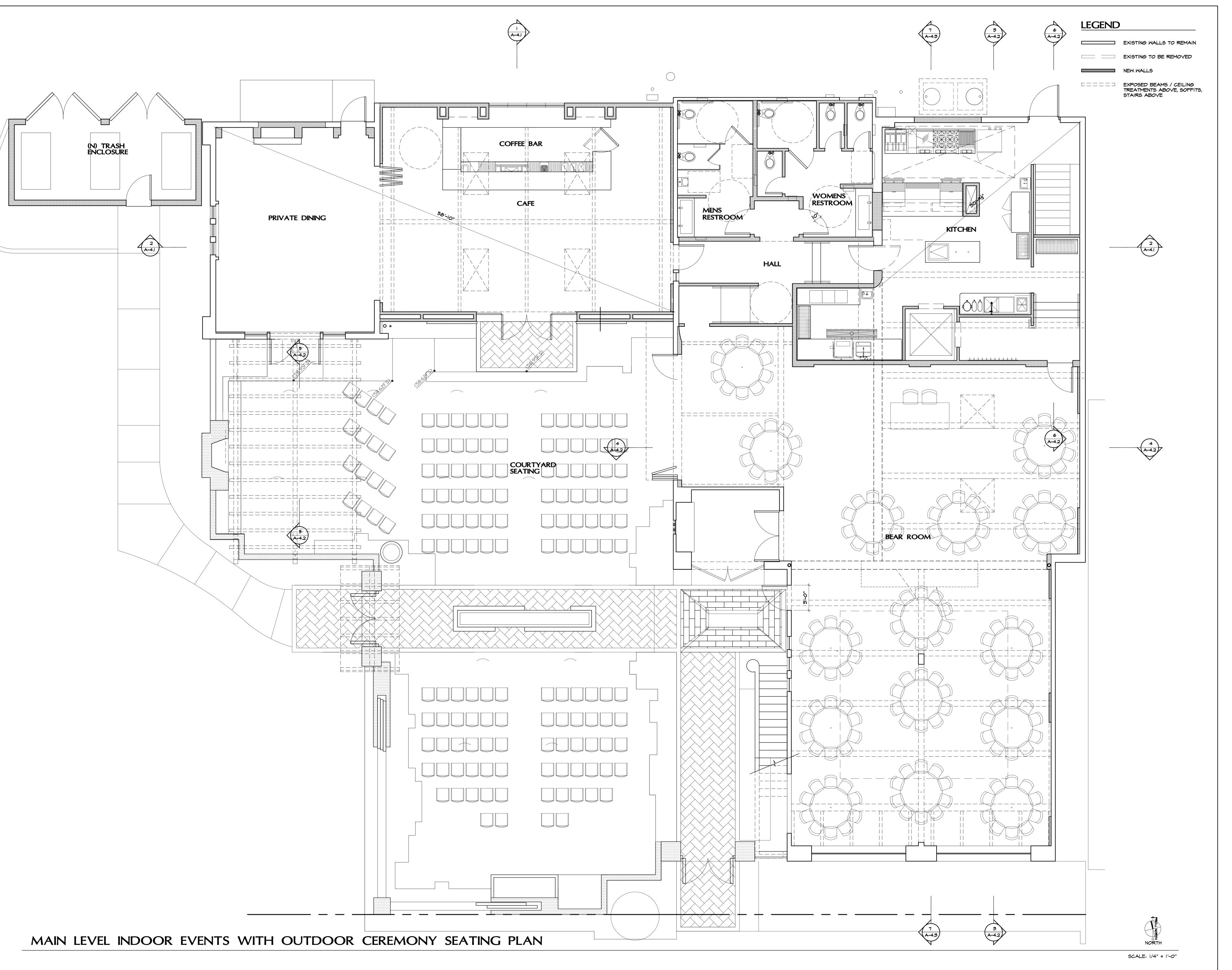
PROJECT TITLE:

Publik House II

Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672

Main Level
Cafe
Seating Plan

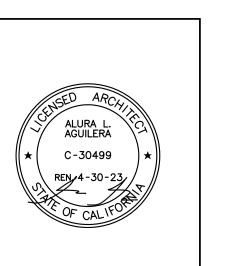




Architecture

1220 Avenida De La Estrella
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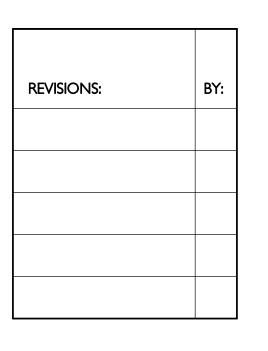


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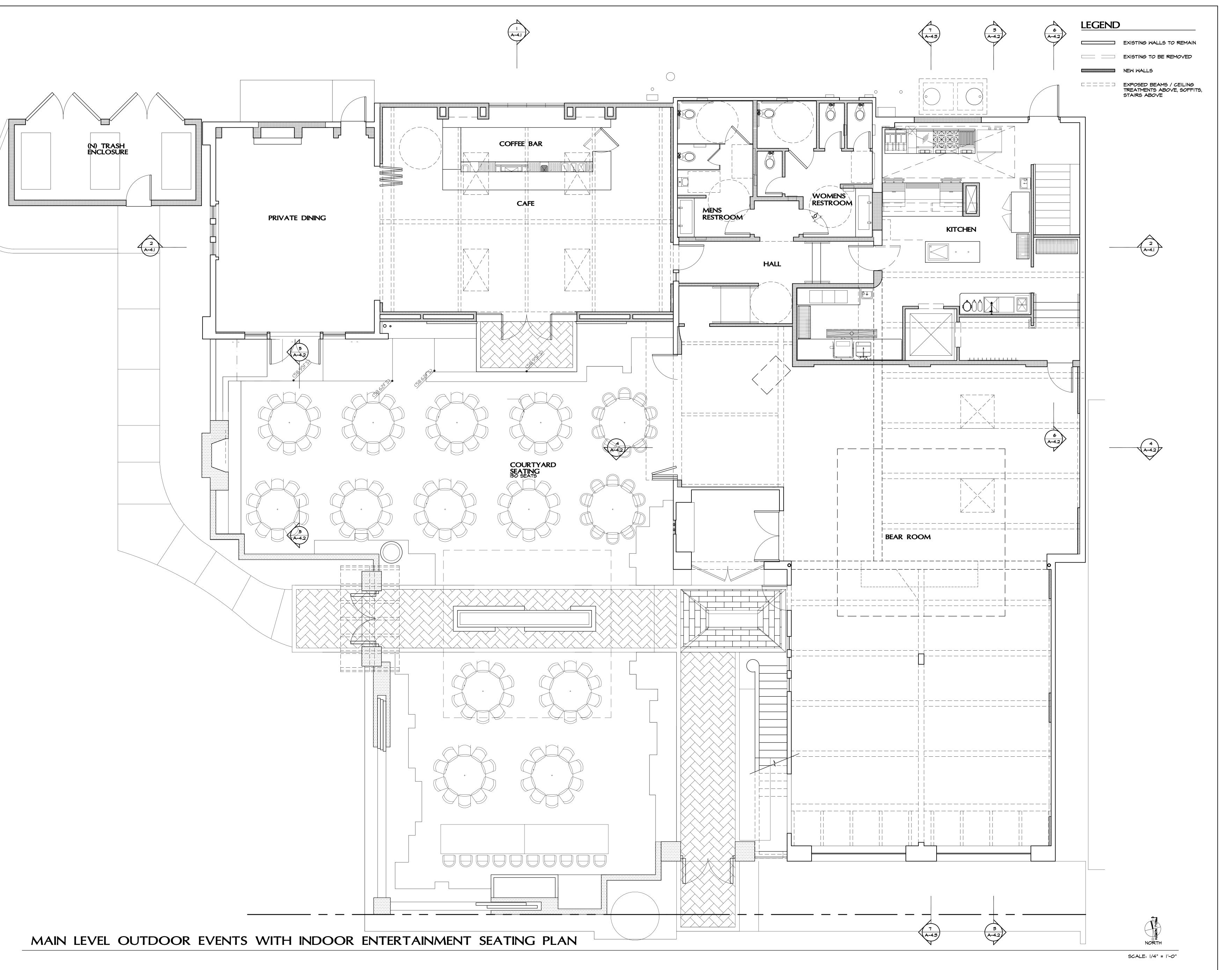
Publik House II Events Center and Cafe 1531 N. El Camino Real San Clemente, Ca 92672

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Main Level ndoor Events



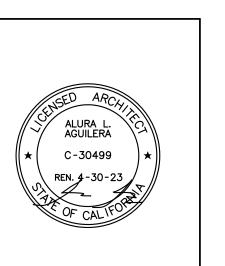
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Architecture

1220 Avenida De La Estrella
San Clemente, ca 92672

Phone: 949.218.6472
Email: a2arc@cox.net

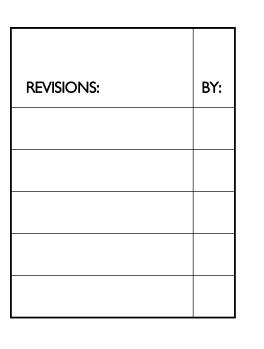


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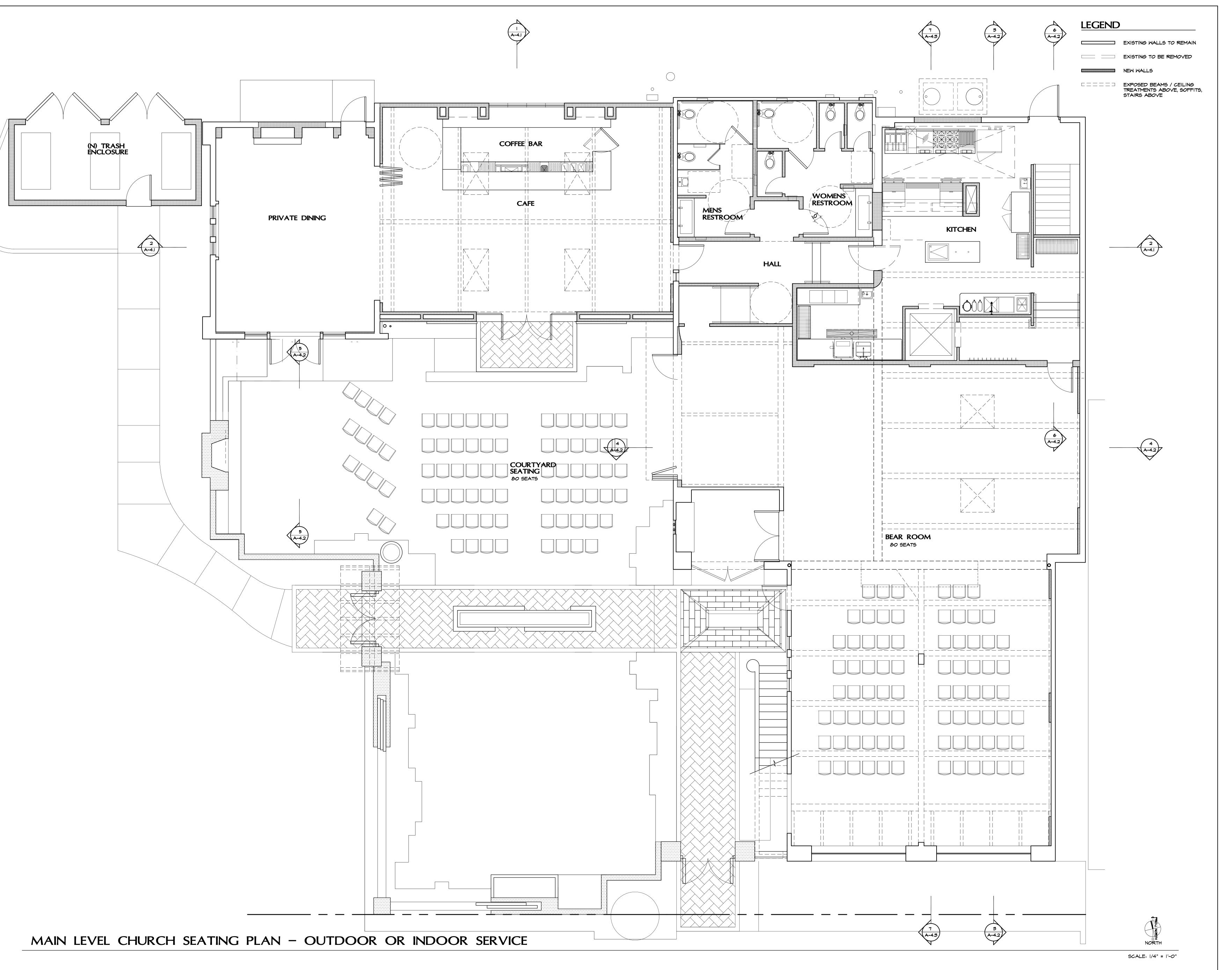
Fublik House II

Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672

Main Level Jufdoor Events Seating Plan



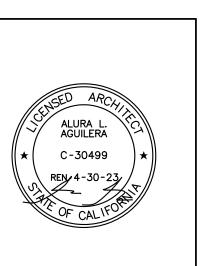
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JOB #:	ROSE/BOWMAN
SHEET #:	
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Architecture

1220 Avenida De La Estrella
San Clemente, ca 92672

Phone: 949.218.6472
Email: a2arc@cox.net



PROJECT TITLE:

Fublik House II

Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672

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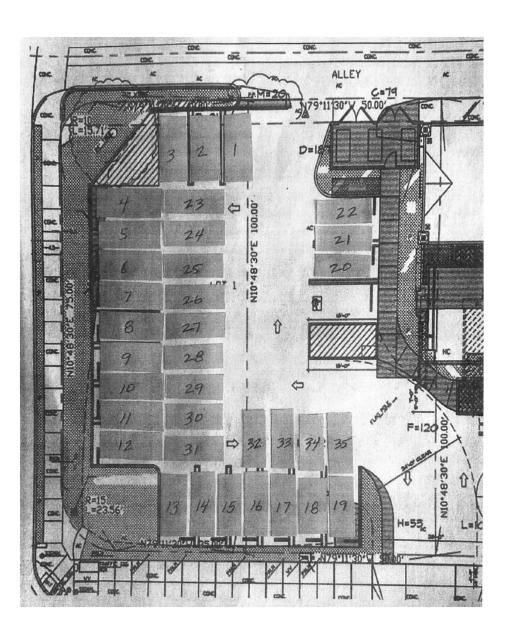
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Non-Valet = 18 spaces

Used with the daytime uses (café Mon – Sat; church - Sun

5-21-0120 Publik House Exhibit 4



#### **Proposed Project Parking – With Valet**

Special Events Valet Parking: **35 spaces on-site** (evenings, after 5 pm)

5-21-0120 Publik House Exhibit 5

#### PARKING ANALYSIS

PARKING CALC.	S/F / # SEATS PROPOSED DURING HOURS OF OPERATION	HOURS OF OPERATION	# PARKING SPACES REQUIRED	# PARKING SPACES PROVIDED	
DAYTIME					
5 SEATS PER SPACE + 16 OUTDOOR SEATS	96 SEATS	7AM-2PM MON-FRI	16 SPACES	16 SPACES	
IN MU ZONES WITHIN THE CB OVERLAY: I PER 350 S.F. II34/350=3.24	1134 SF	8AM-5PM MON-FRI	4 SPACES	2 SPACES	
		7AM-SPM 7 DAYS PER WEEK	20 SPACES	IS SPACES	
MONDAY-FRIDAY EVENING					
5 SEATS PER PARKING SPACE FOR 150 SEATS 150/5 = 30 REQ'D. SPACES	ISO SEATS	SPM-IIPM MON-FRI	30 SPACES	IÐ SPACES	
		SPM-IIPM MON-FRI	30 SPACES	IS SPACES	
	DAYTIME  5 SEATS PER SPACE + 16 OUTDOOR SEATS IN MU ZONES WITHIN THE CB OVERLAY, 1 PER 350 9.F. II34/350=5.24  EVENING 5 SEATS PER PARKING SPACE FOR 150 SEATS	PROPOSED DURING HOURS OF OPERATION  DAYTIME  5 SEATS PER SPACE + 16 OUTDOOR SEATS IN MU ZONES WITHIN THE CB OVERLAY, 1 PER 350 S.F. II34 SF II34/350=3.24  EVENING  5 SEATS PER PARKING SPACE FOR 150 SEATS	PROPOSED DURING HOURS OF OPERATION  DAYTIME  5 SEATS PER SPACE 16 OUTDOOR SEATS IN MU ZONES WITHIN THE CB OVERLAY, I PER 350 S.F.  IIS4/350=3.24  TAM-2PM MON-FRI  TAM-3PM T DAYS PER MEEK  EVENING  5 SEATS  SPM-IIPM MON-FRI  150 SEATS  3PM-IIPM MON-FRI  3PM-IIPM	PROPOSED DURING HOURS OF OPERATION SPACES REQUIRED DURING HOURS OF OPERATION  DAYTIME  5 SEATS PER SPACE 16 OUTDOOR 5EATS 1 NMJ ZONES WITHIN THE CB OVERLAY, I PER 350 S.F. 1134/350=3.24  TAM-3PM TOAYS PER WEEK  EVENING 5 SEATS PER PARCING SPACE FOR 150 SEATS 150 SEATS 5 SEATS 5 PM-IIPM 50 SPACES  5 PM-IIPM 50 SPACES  5 PM-IIPM 50 SPACES  5 PM-IIPM 50 SPACES	

SATURDAY DAYTI	ME				
CAFE	5 SEATS PER SPACE + 16 OUTDOOR SEATS	IOO SEATS	TAM-2PM SAT	20 SPACES	IB SPACES
TOTAL SATURDAY			7AM-2PM SAT	20 SPACES	IB SPACES
SATURDAY EVENIN	6				
	5 SEATS PER PARKING SPACE FOR 150 SEATS 150/5 = 30 REQ'D. SPACES	ISO SEATS	SPM-IIPM SATURDAY	50 SPACES	IB SPACES
TOTAL SATURDAY			SPM-IIPM SATURDAY	30 SPACES	IS SPACES
SUNDAY - DAYTIM	E				
CHURCH	4 SEATS PER PARKING SPACE 80 SEATS	80 SEATS	7AM-12PM SUNDAY	20 SPACES	IB SPACES
TOTAL SUNDAY DAYTIME			TAM-12PM SUNDAY	20 SPACES	IB SPACES
SUNDAY EVENING					
EVENT SPACE	5 SEATS PER PARKING SPACE FOR 150 SEATS 150/5 = 30 REQ'D. SPACES	ISO SEATS	IPM-IIPM SUNDAY	50 SPACES	IS SPACES
TOTAL SUNDAY EVENING			IPM-IIPM SUNDAY	30 SPACES	IS SPACES

Uses, hours & parking as approved by the City of San Clemente and Proposed by the Applicant

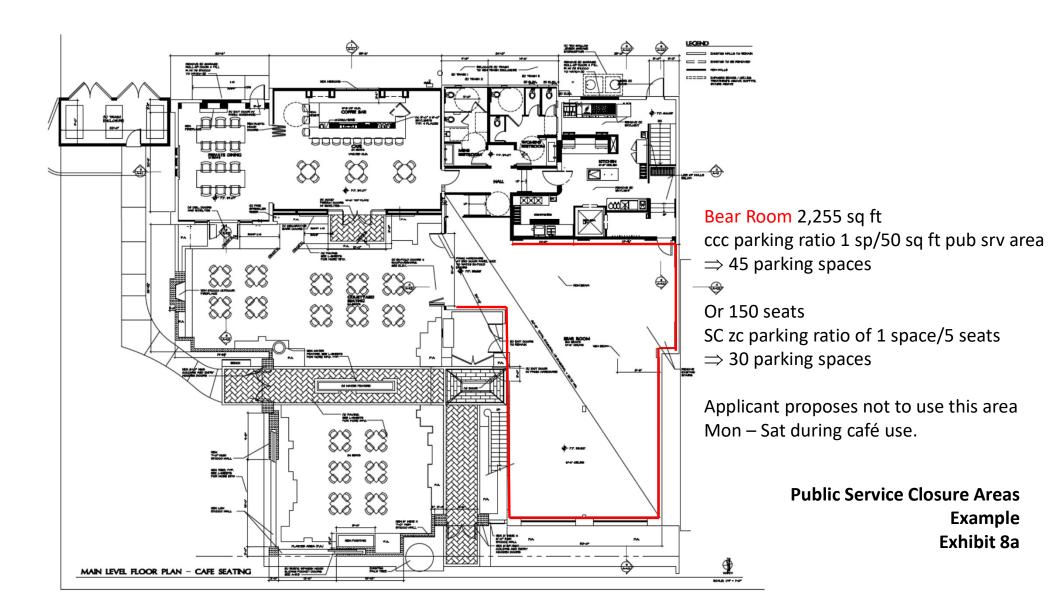
5-21-0120 Publik House City Approved Parking Exhibit 6

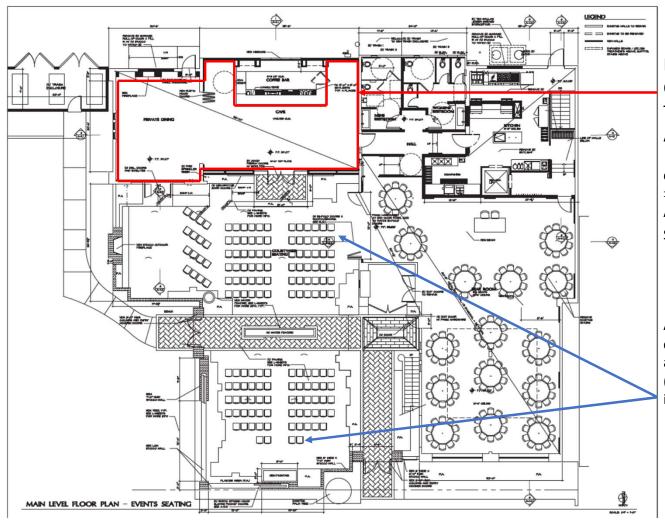
#### **Parking Demand Comparison**

	Seats Parking Req	Parking Req'd by	Public svc area	Parking Req'd	# spaces required	Total Public Svc Area*	Prkg
		# of seats	Sq ftg	By sq ftg/use			spcs
		(City)	(CCC)				prvd'd
						5545 sq ft	
Café	96 (M-F)	1 sp/5 seats 19.2 => 20 spaces	569 - café indoor 462 - private dining 2259 - Courtyard 3290 – Total pub svc area	1 sp/50 sq ft of pub svc area	Café indoor = 11.38 => 12 Private dng = 9.24 => 10 Courtyard = 45.18 => 46 Total = 68	110.9 => 111 parking spaces for total public service area including indoor Bear Room	18
						(1 space/50 sq ft pub svc area)  Note: not all pub svc area prop'd  to be used at once	
	100 (Sat)	20 seats					
church	80	1 sp/4 seats (City) 20 seats 1 sp/3 seats (CCC)	2259 – courtyard 2255 – Bear Room 4514 total church	1 sp/21 sq ft of seating area	Courtyard = 107.5 => 108 Bear Room = 107.3 => 108 Total = 216	264 parking spaces 1 space/ 21 sq ft Note: not all seating area is proposed to be used at once	18
		27 seats					
Event	100	1 sp/5 seats 20 seats	2259 - Courtyard 2255 - Bear Room 4514 – Total pub svc area	1 sp/50 sq ft of Public svc area	Courtyard = 45.18 => 46 Bear Room = 45.1 => 46 Total = 92		18
	150	1 sp/5 seats 30 seats					35 w/ vale
office	n/a		1134 sq ft office space	1 sp/350 sq ft City	3.24 => 4 spaces		
				1 sp/250 sq ft ccc	4.5 => 5 spaces		

Parking Demand Comparison Chart Exhibit 7

5-21-0120 Publik House





Private Dining = 462 sq ft
Café Indoor Dining = 569 sq ft
Total sq ft = **1,039 sq ft**Area to be unavailable for evening events

ccc parking ratio 1 sp/50 sq ft public service area

⇒ 21 parking spaces

Applicant proposes not to use this area

Sun – Sat during evening event use.

Also, appears that rows of seats in patio, could potentially be used for dining area in addition to the max 150 seats shown (once wedding ceremony or other event is concluded).

Public Service Closure Areas Example Exhibit 8b

Figure 1 – Vicinity Map Subject Site 2 o 87.5 175 350 Feet 9 City of San Clemente's North Beach Study Area North Beach Parking Study Figure 1 Exhibit 9 Beach



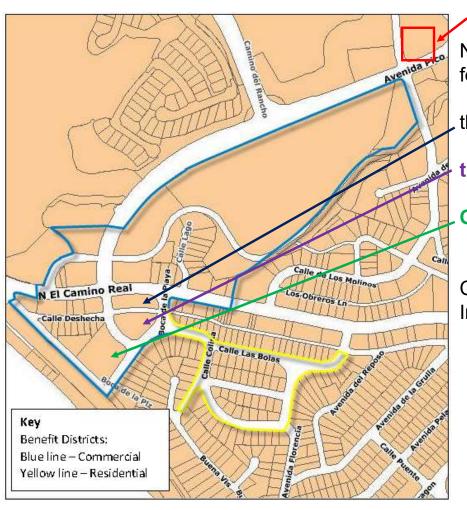
Proximity of Site to Hotel & Trolley Stops Exhibit 10



San Clemente Free Trolley Routes

Subject Site

San Clemente Free Summer Trolley
Routes Map
Exhibit 11



## Subject Site

Nearby historic structures approved by City & CCC with the following parking deficiencies:

the Miramar Theater – 94 spaces;

the Casino – 62 spaces;

Ole Hanson Beach Club - public facility that uses public parking lot.

City approvals included Historic Property Parking Waiver Incentive Agreements (HPPWIAs).

Location of Approved Historic Structures In North Beach Area Exhibit 12

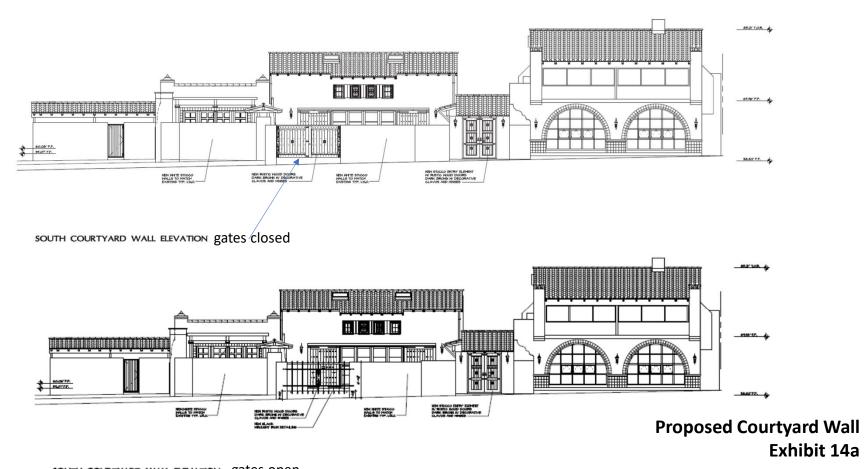


Even if driveway on No. El Camino Real were closed, area would still need to be red to accommodate both travel lanes and median for northbound left turn lane. So no additional parking spaces could be added there.

Left Turn Land & Medians

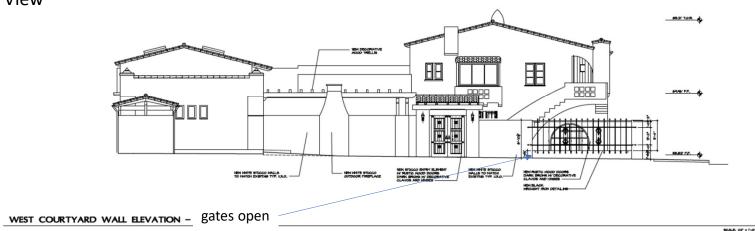
North El Camino Real Exhibit 13

## View from N. El Camino Real (south elevation)



south courtyard wall elevation gates open \_\_\_\_\_

## **West View**





Proposed Courtyard Wall Exhibit 14b

WEST COURTYARD WALL ELEVATION gates closed

Figure 2 – El Camino Real Street Views (Southbound Traffic)





Proposed Courtyard Wall Exhibit 14c

3/26/2021 email from Larry Culbertson re 5-21-0128 Publik House

Ms. Vaughn,

Your email got lost in the shuffle.

Regarding your question about whether the vegetation at the site already interferes with the view: Yes it does, but that hardly seems to be justification for allowing a seven foot concrete wall which cannot be trimmed back. Until the last two years the foliage in question was well maintained. Its height and density was controlled so that the historic resource was easily seen. I requested of our Planning Department that they require the applicant to trim back the foliage but that was not done. The applicant seemed to be suggesting, during the discretionary process, that the City would need to allow the wall for the foliage to be trimmed back.

Another concern is the aesthetics of a seven foot wall directly on the front property line. It is unprecedented in this type of area. Residential and pedestrian/automobile areas are suppose to be pedestrian friendly. A person walking on the sidewalk in front of that wall will not be able to see over it or around it. This is in direct conflict with the City's Design Guidelines which encourage "low garden walls" as an attractive pedestrian friendly feature. This creates a feel of exclusion and is not conducive to encouraging pedestrian traffic, which this district is suppose to be doing.

Another concern is the traffic congestion this project would produce. In the 90 years this historic resource has existed there has never been such intensive usage as they are proposing. The event center would most likely produce a traffic nightmare for the surrounding businesses and residences.

Another concern is noise. The very reason the applicant wants that seven foot wall is to keep street noise out and to contain the noise created in the patio behind that wall. There is a three story resident across the street from the wall. That wall will not contain the noise.

I might remind you that the City just obtained National Register Historic District status for North Beach Historic District. That is just one block away. The City is trying to improve the look and feel of the greater North Beach neighborhood. This project will not help that goal.

We love the idea of a coffee shop and even a SMALL event center. But the people, automobiles, and noise need to be contained onsite.

A quiet outdoor patio, surrounded by a low garden wall would be delightful. But a seven foot wall would do lasting damage to an important San Clemente landmark building and harm the entire neighborhood.

Thank You Larry



Photo of Historic Structure Submitted with Objection Stating that until the last two years the vegetation was maintained and allowed views from the street of the historic structure.

1531 North El Camino Real

Site shown without Courtyard Wall Exhibit 15b

Figure 1 – South Elevation (Facing El Camino Real)





Proposed Building Height Increase Exhibit 16

**New Enclosed Courtyard**