

CALIFORNIA COASTAL COMMISSION

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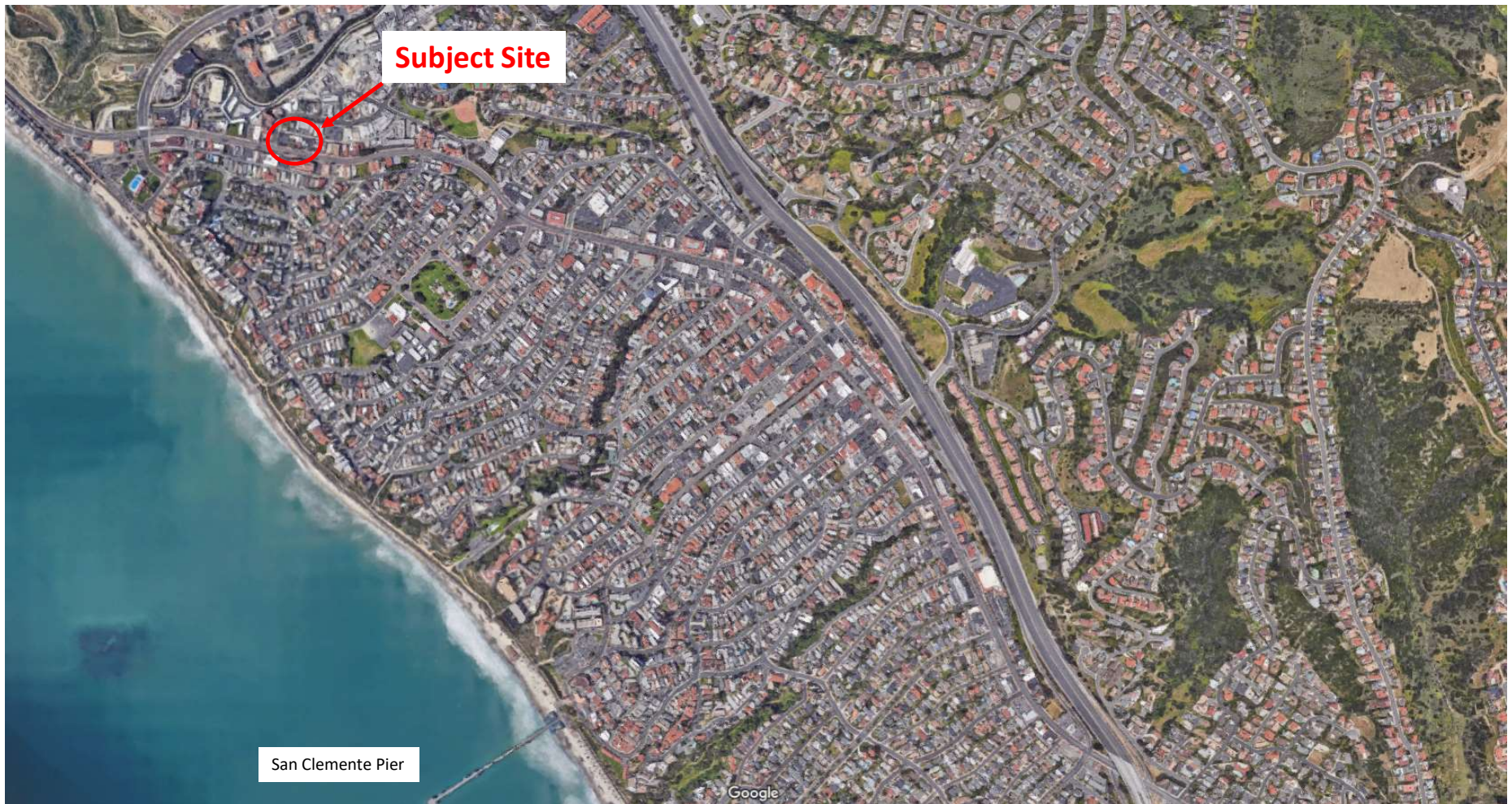


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5-21-0128 (Publik House LLC & San Clemente Arts LLC) September 9, 2021

EXHIBITS

- Exhibit 1 – Vicinity Map
- Exhibit 2 – Photos of Existing Structure
- Exhibit 3 – Project Plans
- Exhibit 4 – Proposed Parking No Valet
- Exhibit 5 – Proposed Parking with Valet
- Exhibit 6 – City Approved Parking Chart
- Exhibit 7 – Parking Demand Comparison Chart
- Exhibit 8 – Public Service Area Closure Examples
- Exhibit 9 – 2018 North Beach Parking Study Figure 1
- Exhibit 10 – Proximity of Hotel & Trolley Stops to Subject Site
- Exhibit 11 – Free Trolley Route Map
- Exhibit 12 – Map Showing Site Relative to Approved Historic Structures
- Exhibit 13 – Photo of North El Camino Real Left Turn Lane
- Exhibit 14 – Proposed Courtyard Wall
- Exhibit 15 - Letter of Objection Received (Larry Culbertson, 3/26/2021)
- Exhibit 16 – Proposed Building Height Increase



5-21-0128 Publik House
1531 & 1533 No. El Camino Real, San Clemente

Vicinity Map
Exhibit 1a



5-21-0128 Publik House LLC

1531 & 1533 No. El Camino Real, San Clemente

Vicinity Map
Exhibit 1b

5-21-0128 Publik House



Vicinity Map
Exhibit 1c



Existing Structure as seen from No. El Camino Real

**5-21-0120 Publik House
Photos of Existing Structure
Exhibit 2a**



Existing Structure as seen from No. El Camino Real
Parking lot entrance.

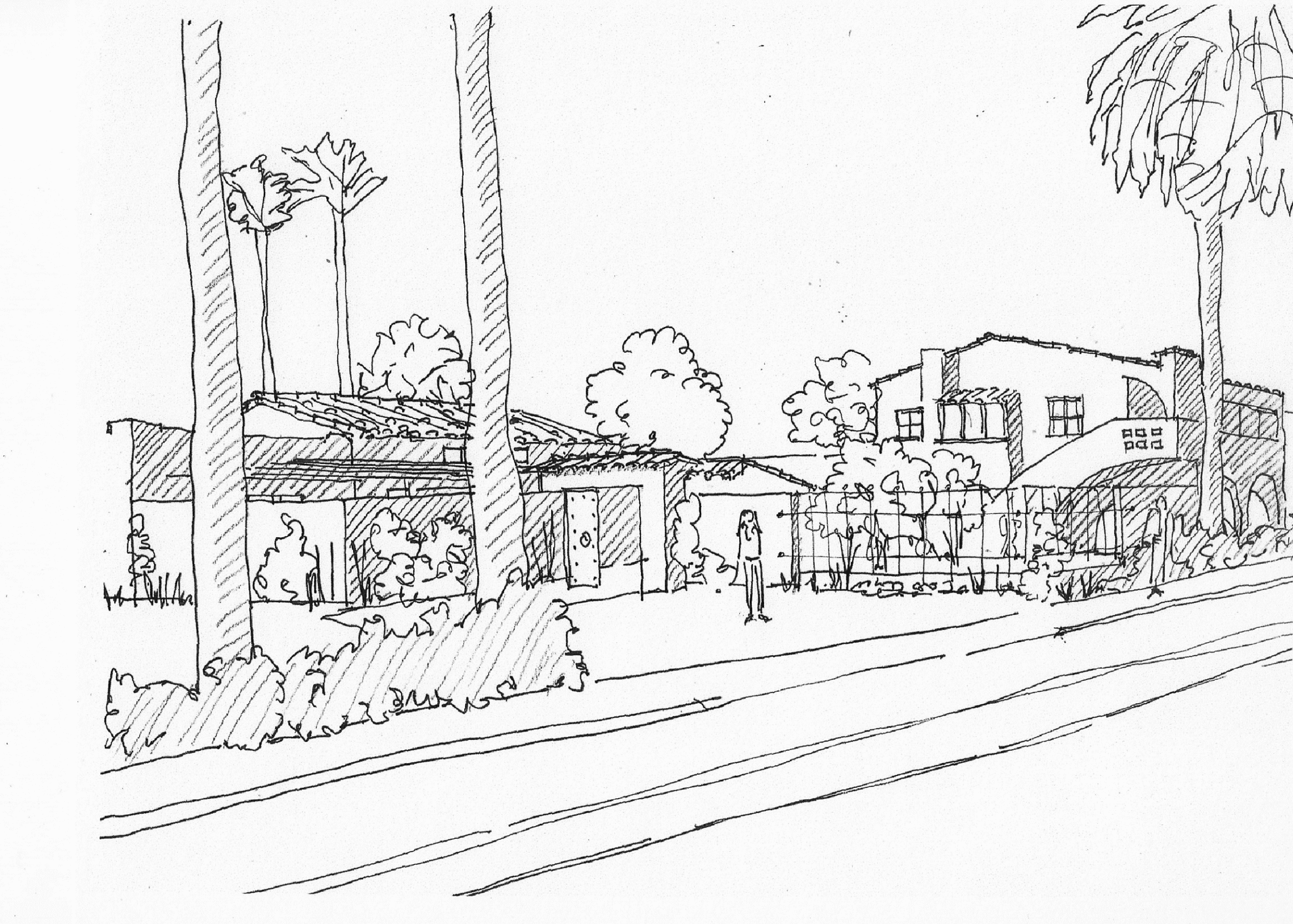
**5-21-0120 Publik House
Photos of Existing Structure
Exhibit 2b**

Publik House Tenent Improvement

Events Center and Cafe

1531 N. El Camino Real

San Clemente, CA 92672



GENERAL NOTES

- THIS PROJECT SHALL COMPLY WITH THE 2019 CALIFORNIA STANDARDS CODE AND LOCAL ORDINANCES.
CALIFORNIA RESIDENTIAL CODE (CRC) BASED ON THE 2018 EDITION OF THE INTERNATIONAL RESIDENTIAL CODE (IRC)
CALIFORNIA BUILDING CODE (CBC) BASED ON THE 2018 EDITION OF THE INTERNATIONAL BUILDING CODE (IBC)
CALIFORNIA PLUMBING CODE (CPC) BASED ON THE 2018 UNIFORM PLUMBING CODE (UPC)
CALIFORNIA MECHANICAL CODE (CMC) BASED ON THE 2018 UNIFORM MECHANICAL CODE (UMC)
CALIFORNIA ELECTRICAL CODE (CEC) BASED ON THE 2019 NATIONAL ELECTRICAL CODE (NEC)
CALIFORNIA ENERGY CODE 2019 EDITION
CALIFORNIA GREEN BUILDING STANDARDS CODE 2018 EDITION
- ON-SITE VERIFICATION OF ALL DIMENSIONS IS THE RESPONSIBILITY OF THE CONTRACTOR. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALE.
- DO NOT SCALE DRAWINGS. NOTES SHALL GOVERN OVER DIMENSIONS. LARGE SCALE DRAWINGS SHALL GOVERN OVER SMALLER SCALE DRAWINGS.
- CONTRACTOR SHALL VERIFY ALL PROJECT CONDITIONS AND DIMENSIONS, AND NOTIFY THE ARCHITECT OF ANY CONFLICTS PRIOR TO STARTING CONSTRUCTION.
- ALL OMISSIONS OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR DRAWINGS SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING W/ WORK.
- ALL DETAILS, SECTIONS AND NOTES SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL APPLY TO SIMILAR SITUATIONS ELSEWHERE UNLESS OTHERWISE SPECIFIED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATION OF ALL WORK AND MATERIALS INCLUDING THOSE FURNISHED BY THE SUBCONTRACTORS.
- THE DETAILS SHALL BE USED WHENEVER APPLICABLE UNLESS OTHERWISE NOTED ON THE PLANS.
- IF CONSTRUCTION MATERIALS ARE STACKED ON ROOF OR FLOOR FRAMING, THE LOAD SHALL BE DISTRIBUTED AND SHALL NOT EXCEED DESIGN LIVE LOAD PER SQUARE.
- (N.I.C.) DENOTES WORK NOT IN CONTRACT.
- OWNER / CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL REQUIRED PERMITS FOR THE PROJECT.
- ALL CONSTRUCTION TECHNIQUES, MATERIALS AND FINISHES SHALL BE AS REQUIRED BY THE APPROPRIATE CODE AUTHORITIES. INSTALLATION SHALL FOLLOW THE CODE STANDARDS IN ADDITION TO MEETINGS OR EXCEEDING THE DESIGN STANDARDS.
- THE CONTRACTOR SHALL PROVIDE ADEQUATE BACKING AND/OR SUPPORT FOR ALL WALL OR CEILING MOUNTED ITEMS INCLUDING OWNER FURNISHED EQUIPMENT AND ALL NECESSARY SUPPORT AND CONNECTIONS FOR ELECTRICAL, GAS, WATER, ETC., WHERE REQUIRED.
- ENLARGED PLANS: WHERE ENLARGED PLANS OR PARTIAL PLANS ARE REFERENCED, DIMENSIONS AND SPECIAL DETAILING OR FINISH REQUIREMENTS ARE NOTED ON THE ENLARGED PLANS AND OMITTED ON THE SMALLER SCALE OR OVERALL AREA PLANS. THE ARCHITECT SHALL NOT HAVE CONTROL OVER OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, PROCEDURES, TIMELINES, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH WORK.
- PROVIDE P/F ALL WEATHER ACCESS TO ALL OPENINGS AS REQUIRED AND COMPLY WITH 2016 CBC.
- SUBMITTAL DOCUMENTS FOR DEFERRED SUBMITTAL ITEMS SHALL BE SUBMITTED TO THE ARCHITECT OR ENGINEER OF RECORD WHO SHALL REVIEW THEM AND FORWARD THEM TO THE BUILDING OFFICIAL WITH A NOTATION INDICATING THAT THE DEFERRED SUBMITTAL DOCUMENTS HAVE BEEN REVIEWED AND THAT THEY HAVE BEEN FOUND TO BE IN GENERAL CONFORMANCE WITH THE DESIGN OF THE BUILDING. THE DEFERRED SUBMITTAL ITEMS SHALL NOT BE INSTALLED UNTIL THEIR DESIGN AND SUBMITTAL DOCUMENTS HAVE BEEN APPROVED BY THE BUILDING OFFICIAL.
- THE DISCHARGE OF POLLUTANTS TO ANY STORM DRAINAGE SYSTEM IS PROHIBITED. NO SOLID WASTE, PETROLEUM BYPRODUCTS, SOIL PARTICULATE, CONSTRUCTION WASTE, MATERIALS, OR WASTEWATER GENERATED ON CONSTRUCTION SITES OR BY CONSTRUCTION ACTIVITIES SHALL BE PLACED, CONVEYED OR DISCHARGED INTO THE STREET, GUTTER OR STORM DRAIN SYSTEM.
- MANUFACTURER'S PRODUCT INSTALLATION MANUALS SHALL BE AVAILABLE ON THE JOB SITE AT TIME OF INSPECTION. (CHAPTER 1, DIVISION 1), SECTION 0106.1.2).
- FERROUS MATERIAL IS NOT PERMITTED IN THE GROUND UNLESS SPECIFIED IN A GEOTECHNICAL REPORT PER ORD. 15.20.020.
- ALL EXTERIOR LIGHTING SHALL BE ENERGY-EFFICIENT AND SHIELDED SO THAT DIRECT GLARE AND REFLECTIONS ARE CONTAINED WITHIN THE BOUNDARIES OF THE PARCEL, AND SHALL BE DIRECTED DOWNWARD AND AWAY FROM ADJOINING PROPERTIES AND PUBLIC RIGHT-OF-WAY. NO LIGHTING SHALL BLINK, FLASH, OR BE OF UNUSUALLY HIGH INTENSITY OR BRIGHTNESS. ALL LIGHTING FIXTURES SHALL BE APPROPRIATE IN SCALE, INTENSITY, AND HEIGHT TO THE USE. SECURITY LIGHTING SHALL BE PROVIDED AT ALL ENTRANCES/EXITS. ALL EXTERIOR LIGHTING SHALL COMPLY THE THE CITY OF SAN CLEMENTE LIGHTING ORDINANCE (SCMC 17.24.130).
- REFER TO THE SOILS REPORT FOR ANY QUESTIONS REGARDING SOILS REQUIREMENTS.
- SUBSTITUTION OF MATERIALS, EQUIPMENT, PRODUCTS, AND CONSTRUCTION DETAILS OTHER THAN THOSE SHOWN ON THE DRAWINGS OR SPECIFICATIONS MAY BE CONSIDERED BY THE OWNER FOR USE ON THE PROJECT, PROVIDED WRITTEN APPROVAL IS OBTAINED FROM THE RESPONSIBLE DESIGN PROFESSIONAL.
- ALL CONTRACTORS SHALL COORDINATE THEIR WORK AND SUPERVISION SO THAT THE WORK SHALL NOT BE MATERIALLY IMPEDED THEREBY.
- CONTRACTOR SHALL SUBMIT REQUIRED SHOP DRAWINGS FOR REVIEW NOT LESS THAN THIRTY (30) DAYS PRIOR TO PURCHASE AND/OR ON-SITE DELIVERY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO UNDERGROUND UTILITIES ENCOUNTERED IN AREAS WHERE EXCAVATIONS ARE INDICATED AND SHALL REPAIR ANY SUCH DAMAGE. WHERE UTILITY LINES MUST BE MAINTAINED UNDER THE BUILDING, THEY SHALL BE PROPERLY SLEEVED THROUGH FOUNDATION WALLS. FOOTINGS SHALL BE DROPPED TO A DEPTH BELOW UTILITY AS REQUIRED BY DETAILS ON DRAWINGS, I.E. PRESSURE ZONE PROXIMITY, SLEEVE LOCATIONS, STEPS, REINFORCING, ETC.
- CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND COMPARE DRAWINGS TO FIELD CONDITIONS. CONTRACTOR TO INSPECT RELATED WORK AND ADJACENT SURFACES AND REPORT TO ARCHITECT IN WRITING ANY CONDITIONS WHICH PREVENT ADEQUATE EXECUTION OF THE WORK.

METALS

- ORNAMENTAL METAL - ALL JOINTS SHALL BE WELDED WITH GRINDING AND SANDING FOR A SMOOTH SURFACE. ALL CONCEALED METAL SHALL BE DELIVERED TO THE JOB SITE FREE OF RUST, GREASE, ETC. ALL METAL SHALL BE METALLIZED AND POWDER COATED TYP. UNO.
- ARCHITECT TO REVIEW ORNAMENTAL METAL SHOP DRAWINGS TO CONFORMANCE WITH DRAWINGS AND DESIGN INTENT NOT LESS THAN 30 DAYS PRIOR TO ORDERING AND/OR ON-SITE DELIVERY.

MOISTURE PROTECTION & DRAINAGE

- WEATHER-STRIP ALL DOORS AND WINDOWS EXPOSED TO THE EXTERIOR. ALL DOORS AND WINDOWS TO BE CERTIFIED.

- REFER TO THE SOILS REPORT FOR ANY QUESTIONS REGARDING SOILS REQUIREMENTS.
- SUBSTITUTION OF MATERIALS, EQUIPMENT, PRODUCTS, AND CONSTRUCTION DETAILS OTHER THAN THOSE SHOWN ON THE DRAWINGS OR SPECIFICATIONS MAY BE CONSIDERED BY THE OWNER FOR USE ON THE PROJECT, PROVIDED WRITTEN APPROVAL IS OBTAINED FROM THE RESPONSIBLE DESIGN PROFESSIONAL.
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- CONTRACTOR TO VERIFY ALL FIELD CONDITIONS AND COMPARE DRAWINGS TO FIELD CONDITIONS. CONTRACTOR TO INSPECT RELATED WORK AND ADJACENT SURFACES AND REPORT TO ARCHITECT IN WRITING ANY CONDITIONS WHICH PREVENT ADEQUATE EXECUTION OF THE WORK.
- METAL PLASTER GROUND WITH KEEF HOLES SHALL BE INSTALLED AT THE EXTERIOR OF THE BUILDING AT THE INTERSECTION OF THE MUDSILL AND CONCRETE SLAB UNLESS OTHERWISE SPECIFIED ON THE PLANS. KEEF SCREED TO BE 26 GAUGE CORROSION RESISTANT METAL WITH 1/4" ROUND HOLES AT 3" O.C. UNO.
- ALL FLASHING, COUNTERFLASHING, AND COPING WHEN OF METAL SHALL BE OF NOT LESS THAN NO. 24 U.S. GAUGE CORROSION-RESISTANT METAL.
- FLASH AND COUNTERFLASH AT ALL ROOF TO WALL CONDITIONS. G.I. FLASHING AND GULCH WOOD BEAMS AND OUTLOOKERS PROJECTING THROUGH EXTERIOR WALLS OR ROOF SURFACES.
- PROVIDE VENTS FROM ALL EXHAUST FANS IN ACCORDANCE WITH FAN MANUFACTURER'S REQUIREMENTS. VENTS IN WALLS SHALL BE ASBESTOS WRAPPED, INSTALLED ABOVE GABLE AND DORMER VENTS AS REQUIRED. BREAK VENTS TO REAR OF RIDGE, (IF APPLICABLE.)
- CONTRACTOR TO FURNISH ALL WATERPROOFING MATERIALS, EQUIPMENT AND LABOR REQUIRED TO EXECUTE THE WORK AS INDICATED ON THE DRAWINGS AND SPECIFIED AND AS NECESSARY TO COMPLETE THE CONTRACT, INCLUDING BUT NOT LIMITED TO: WATERPROOFING, PROTECTION, INSPECTION AND TESTING.
- WATERPROOFING APPLICATOR MUST SUBMIT CERTIFICATION THAT HE IS APPROVED BY MANUFACTURER AND THAT THE WORK HAS BEEN INSTALLED IN ACCORDANCE WITH SPECIFICATIONS AND MANUFACTURER'S INSTRUCTIONS.
- DELIVER ALL MATERIALS IN THE ORIGINAL CONTAINERS WITH SEALS UNBROKEN AND WITH MANUFACTURER'S NAME AND PRODUCT IDENTIFICATION CLEARLY LEGIBLE. STORE SO AS TO PRECLUDE ENTRY OF MOISTURE OR DAMAGE FROM ANY SOURCE.
- WATERPROOFING APPLICATOR SHALL ACQUAINT HIMSELF WITH THE WORK OF OTHER TRADES WHOSE WORK AFFECTS, JOINS, OR IS IN ANY MANNER AFFECTED BY WORK UNDER THIS SECTION. CONSULT THE DRAWINGS OF OTHER TRADES AND COORDINATE THEIR WORK WITH THE WORK UNDER THIS SECTION TO AVOID OMISSIONS AND DELAYS.
- CONTRACTOR TO SET DRAINS IN AN ADDITIONAL LAYER OF WATERPROOFING MEMBRANE, OR LEAD FLANGE WITH MEMBRANE OVER IT IN ADHESIVE.
- VERTICAL MEMBRANE PROTECTION: THE PROTECTION BOARD SHALL BE INSTALLED IMMEDIATELY AFTER FINISHING WATERPROOFING AND THE CONTRACTOR SHALL INSTALL BRACINGS NECESSARY TO HOLD PANELS IN PLACE DURING BACKFILL OPERATION. BACKFILL TO BE DONE IN A MANNER AS TO PREVENT DAMAGE TO THE WATERPROOFING MEMBRANE. ANY DAMAGE SHALL BE REPORTED TO ALLOW THE REPAIR OF THE MEMBRANE PRIOR TO COMPLETION OF THE BACKFILL.

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PARKING ANALYSIS

USE	PARKING CALC.	S/F / # SEATS PROPOSED DURING HOURS OF OPERATION	HOURS OF OPERATION	# PARKING SPACES REQUIRED	# PARKING SPACES PROVIDED
MONDAY-FRIDAY DAYTIME					
CAFE	5 SEATS PER SPACE + 16 OUTDOOR SEATS	96 SEATS	7AM-2PM MON-FRI	16 SPACES	16 SPACES
OFFICE	IN MU ZONES WITHIN THE CB OVERLAY 1 PER 550 S.F. 1134/550=2.05	1134 SF	8AM-5PM MON-FRI	4 SPACES	2 SPACES
TOTAL DAYTIME			7AM-3PM T DAYS PER WEEK	20 SPACES	18 SPACES
MONDAY-FRIDAY EVENING					
EVENT SPACE	5 SEATS PER PARKING SPACE FOR 150 SEATS 150/5 = 30 REQ'D. SPACES	150 SEATS	5PM-11PM MON-FRI	30 SPACES	18 SPACES
TOTAL EVENING			5PM-11PM MON-FRI	30 SPACES	18 SPACES

SATURDAY DAYTIME					
CAFE	5 SEATS PER SPACE + 16 OUTDOOR SEATS	100 SEATS	7AM-2PM SAT	20 SPACES	18 SPACES
TOTAL SATURDAY DAYTIME			7AM-2PM SAT	20 SPACES	18 SPACES
SATURDAY EVENING					
EVENT SPACE	5 SEATS PER PARKING SPACE FOR 150 SEATS 150/5 = 30 REQ'D. SPACES	150 SEATS	5PM-11PM SATURDAY	30 SPACES	18 SPACES
TOTAL SATURDAY EVENING			5PM-11PM SATURDAY	30 SPACES	18 SPACES
SUNDAY - DAYTIME					
CHURCH	4 SEATS PER PARKING SPACE 80 SEATS	80 SEATS	7AM-12PM SUNDAY	20 SPACES	18 SPACES
TOTAL SUNDAY DAYTIME			7AM-12PM SUNDAY	20 SPACES	18 SPACES
SUNDAY EVENING					
EVENT SPACE	5 SEATS PER PARKING SPACE FOR 150 SEATS 150/5 = 30 REQ'D. SPACES	150 SEATS	1PM-11PM SUNDAY	30 SPACES	18 SPACES
TOTAL SUNDAY EVENING			1PM-11PM SUNDAY	30 SPACES	18 SPACES

SCOPE OF WORK

- PROVIDE NEW CAFE FOR BREAKFAST/LUNCH OPERATING HOURS.
- PROVIDE INTERIOR EVENT SPACE.
- REMOVE INTERIOR WALLS TO OPEN UP INTERIOR SPACE.
- ENLARGE RESTROOM AND ADD SECOND RESTROOM.
- ADD NEW COMMERCIAL KITCHEN.
- ADD NEW WATER FEATURES AND OUTDOOR FIREPLACE.
- REMODEL HANDSCAPING, PAVING, AND LANDSCAPING.
- PROVIDE STUCCO WALLS AND ENTRY GATES AT COURTYARD.
- CHANGE CAFE FLAT ROOF TO GABLE ROOF WITH 2 PIECE CLAY TILE ROOFING TO MATCH EXISTING HISTORIC ROOFING WITH SPANISH COLONIAL REVIVAL DESIGN ARTICULATION.
- ADD NEW TRASH ENCLOSURE AND PROVIDE ROOF COVERING.
- NEW LIGHTING, FLOORING, CEILING TREATMENTS THROUGHOUT AND NEW WOOD DOORS AND WINDOWS AT AREA OF WORK TO MATCH EXISTING.
- REMODEL PARKING LOT FOR ADA COMPLIANCE, ADD NEW LANDSCAPING, AND WIDEN ALLEY ACCESS.

OCCUPANT LOAD CALCULATION

ASSEMBLY WITHOUT FIXED SEATS (PER CBC TABLE 1004.5)

FUNCTION OF SPACE	OCCUPANT LOAD FACTOR	S.F.	OCCUPANT LOAD	EXIT WIDTH MIN (INCHES)
BASEMENT LEVEL				
KITCHEN SECONDARY	200 GROSS	945	5	44" MIN. @ STAIR
MAIN LEVEL				
UNCONCENTRATED (TABLES & CHAIRS)	15 NET	1031	69	64X2=128" (36" MIN)
UNCONCENTRATED (TABLES & CHAIRS)	15 NET	2255	150	150X2=300" (36" MIN)
KITCHEN PRIMARY	200 GROSS	712	4	1" (36" MIN)
CAFE EMPLOYEE SERVING COUNTER	200 GROSS	252	1	
COURTYARD	15 NET	2254	151	
UPPER LEVEL				
BUSINESS (OFFICE)	100 GROSS	1154	12	3'3" MIN. HISTORIC, NO CHANGE TO OFFICE EXIT
TOTAL			342	

ALLOWABLE NUMBER OF STORIES AND AREA

(PER CBC 2016 TABLE 504.4 AND 506.2)

OCCUPANCY	2 STORIES, AUTOMATIC FIRE SPRINKLERS	TYPE VB
A-2	5 (WITHOUT AREA INCREASE)	2 STORIES, 40'-0"
A-2	SM	18,000 SQ. FT.

*NOTE: BASEMENT LEVEL AND UPPER LEVEL DO NOT STACK. STRUCTURE DOES NOT EXCEED 2 STORIES IN HEIGHT

LANDSCAPING AND URBAN OPEN SPACE			
REQUIRED	PROVIDED		%
20% (MIN) OF NET LOT AREA TO BE URBAN OPEN AREA (PROVIDED ON STREET LEVEL)	LANDSCAPING	2521 SF	
	STONE PAVING AT PARKING LOT	250 SF	5244/19194=
	PEDESTRIAN WALKWAYS	872 SF	27%
	OUTDOOR SEATING	1643 SF	
	TOTAL	5244 SF	
25% (MIN) OF URBAN OPEN AREA TO BE PROVIDED IN LANDSCAPING	LANDSCAPING	2521 SF	2521/5244=
	TOTAL	5244 SF	48%

PUBLIC SERVICE AREAS

PUBLIC SERVICE AREAS	SQUARE FOOTAGE
CAFE INDOOR	564
PLATE DINING INDOOR	462
BEAR ROOM INDOOR EVENTS	2255
COURTYARD OUTDOOR CAFE / EVENTS	2254
CHURCH INDOOR	2255
CHURCH OUTDOOR	2254

PROJECT DIRECTORY

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PROJECT ANALYSIS

PROJECT ADDRESS: 1531 N. EL CAMINO REAL
SAN CLEMENTE, CA 92672
ZONE: M12-A-CB-CZ
ACCESSOR'S PARCEL#: 051 170 62 (LOTS 1, 2, & 3)
LEGAL DESCRIPTION: N TR 1/4 BLK 2 LOT 1 TR 1/4 BLK 2
AND LOTS 2/3 ALL IN BLK 2
OCCUPANCY: A-2
CONSTRUCTION TYPE: TYPE V-B
FIRE SPRINKLERS: YES

STANDARD	ZONING ORDNANCE	PROPOSED	COMPLIES WITH CODE
SETBACKS:			
FRONT	0'-0"	6'-4 1/2"	YES
SIDE (EACH)	0'-0"	0'/4'-3 1/2"	YES
REAR	0'-0"	2'-4"	YES
LOT COVERAGE (MAXIMUM):			
	50%	5152/19,474	
	26%		YES
FLOOR AREA RATIO (MAXIMUM):			
	0.50 / 15	0.38	YES
BUILDING HEIGHT (MAXIMUM):			
FLAT	26'-0"	14'-8"	YES
TOP OF ROOF	35'-0"	24'-6"	YES
PARKING (MINIMUM):			
PARKING SPACES	16 SPACES	16 SPACES	
SEATS	100 + 16 = TOTAL 116	150 EVENTS / 100 CAFE 2 OFFICE	NA/VER REGD.
LANDSCAPE AREA:			
PARKING LOT	10%	18%	YES
URBAN OPEN AREA	20% (MIN)	24%	YES

PROJECT AREA	DESCRIPTION	SQUARE FOOTAGE
SITE AREA:		
19,474 SQ. FT.		
FLOOR AREA *NOTE: NO NEW SQUARE FOOTAGE PROPOSED		
BASEMENT FLOOR AREA		1135 SQ. FT.
MAIN LEVEL FLOOR AREA		9174 SQ. FT.
UPPER LEVEL FLOOR AREA		1154 SQ. FT.
TOTAL EXISTING FLOOR AREA		1448 SQ. FT.
TOTAL PROPOSED FLOOR AREA		1448 SQ. FT.
LANDSCAPE AREA:		
(E) PARKING LOT LANDSCAPE AREA		15%
(N) PARKING LOT LANDSCAPE AREA		18%

VICINITY MAP



a2 design

Architecture

1220 Avenida De La Estrella
San Clemente, ca 92672

Phone: 949. 218. 6472
Email: a2arc@cox.net



PROJECT TITLE

Publik House Tenent Improvement
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE

Title Sheet

REVISIONS:

REVISIONS:	BY:

DRAWN:

CHECKED:

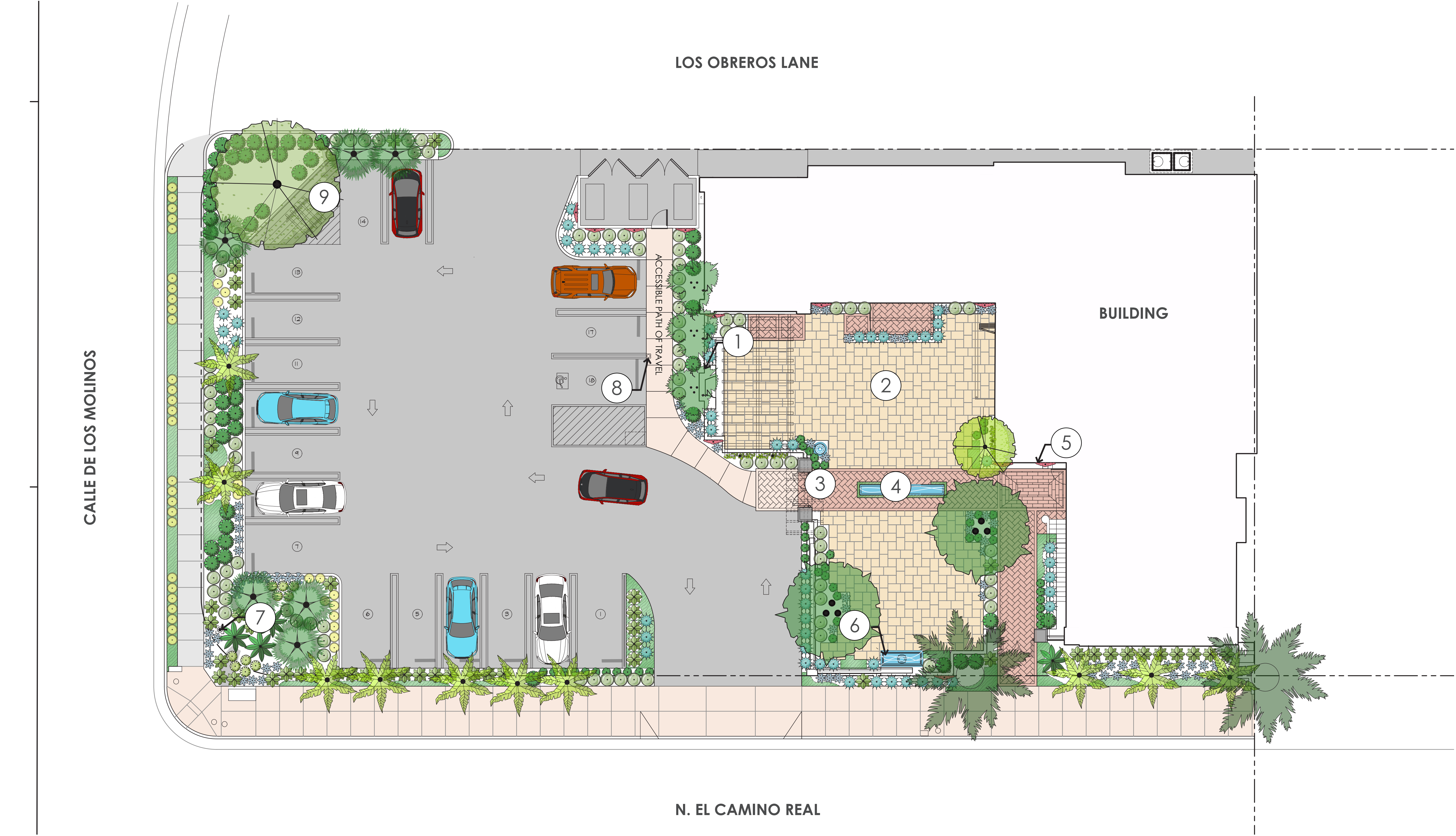
DATE: 5/12/21

SCALE: AS SHOWN

JOB #: ROSE/BOWMAN

SHEET #:

T-1



PLANTING DESIGN CRITERIA

BASED ON THE SAN CLEMENTE CITYWIDE DESIGN GUIDELINES, THE PLANT PALETTE BELOW IS COMPRISED OF PLANT MATERIALS AND TREES KNOWN TO THRIVE IN THE LOCAL CLIMATE AND SOIL CONDITIONS. THE PLANT PALETTE IS COMPRISED OF PLANTS NATIVE TO MEDITERRANEAN CLIMATES. 20% OR LESS OF THE PLANT MATERIAL WILL REQUIRE MODERATE WATER, AND THE REMAINDER WILL REQUIRE LOW TO VERY LOW WATER ONCE ESTABLISHED. THIS PLANT PALETTE COUPLE WITH THE IRRIGATION SYSTEM DESCRIBED AT THE RIGHT WILL MEET OR EXCEED THE STATE AND LOCAL STANDARDS FOR WATER CONSERVATION THROUGH WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN.

ALL ABOVE UTILITIES WILL BE SCREENED WITH VEGETATION.

LANDSCAPE NOTES

1. SITE-SPECIFIC AGRONOMIC SOILS REPORT TO BE PROVIDED.
2. PLANTS SCREENING UTILITY ENCLOSURES AND BACKFLOW PREVENTERS SHALL BE 15 GAL CONTAINER SIZE.
3. LANDSCAPE ARCHITECT SHALL PROVIDE A MINIMUM OF (2) FIELD OBSERVATION VISITS.

IRRIGATION DESIGN CRITERIA

A WEATHER SENSING, 'SMART CONTROLLER' WILL BE USED TO MONITOR THE IRRIGATION WATER AND MANAGE DAILY WATER CONSUMPTION TO THE MINIMUM REQUIREMENTS FOR EACH HYDROZONE.

ALL TREES, POTTERY, SHRUB AND GROUNDCOVER AREAS WILL BE IRRIGATED ON SEPARATE HYDROZONES WITH DRIP OR BUBBLER IRRIGATION, SO THAT ONCE ESTABLISHED, WATER CAN BE REGULATED IN A MORE EFFICIENT MANNER.

I CERTIFY THAT THIS PLANT PALETTE COUPLED WITH THE IRRIGATION SYSTEM DESCRIBED ABOVE WILL MEET OR EXCEED THE STATE MODEL WATER EFFICIENT LANDSCAPE ORDINANCE (MWEL0).

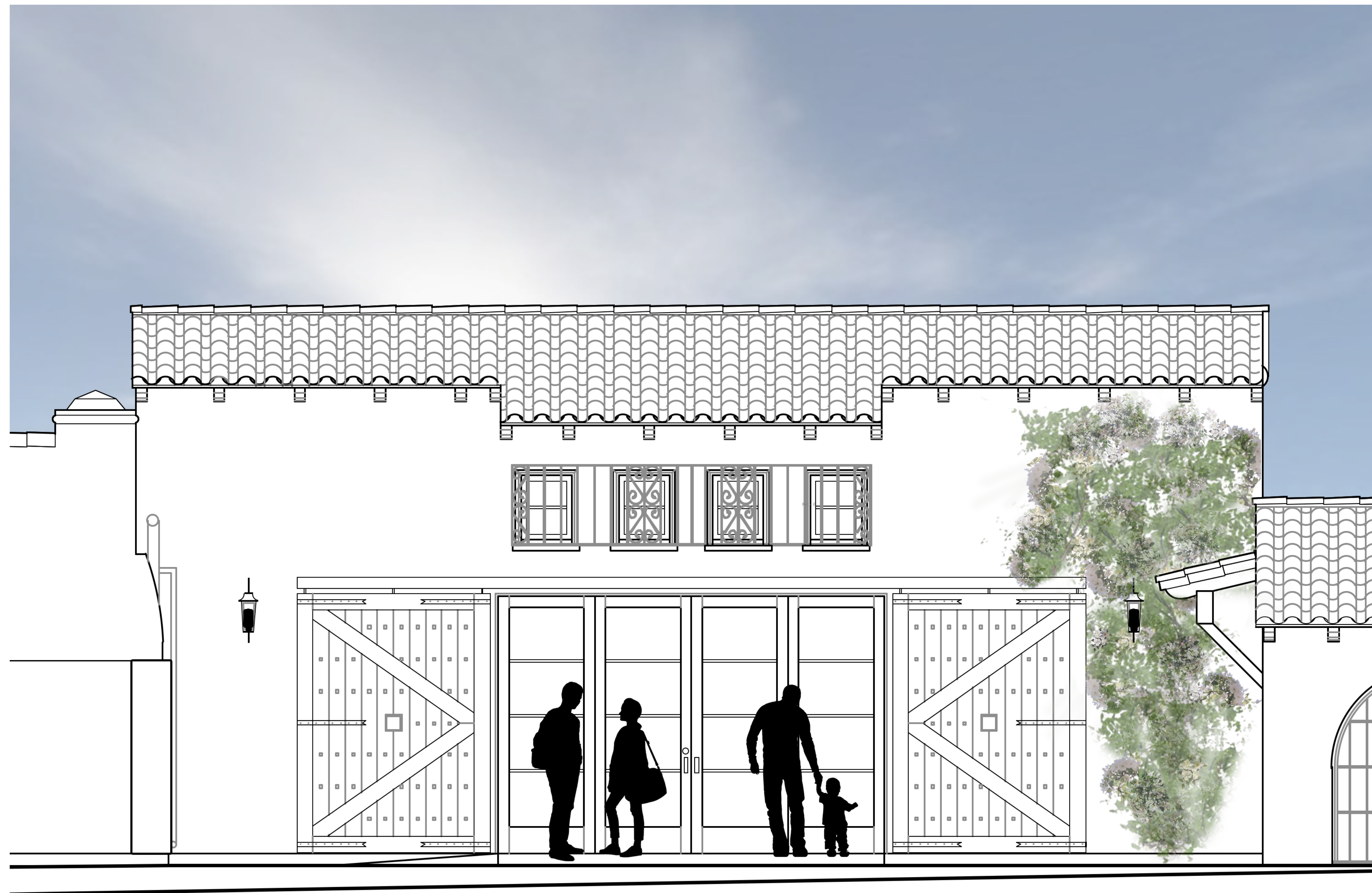
SCOTT NEIMAN
LANDSCAPE ARCHITECT | CA LICENSE NUMBER 6104

LANDSCAPE KEY

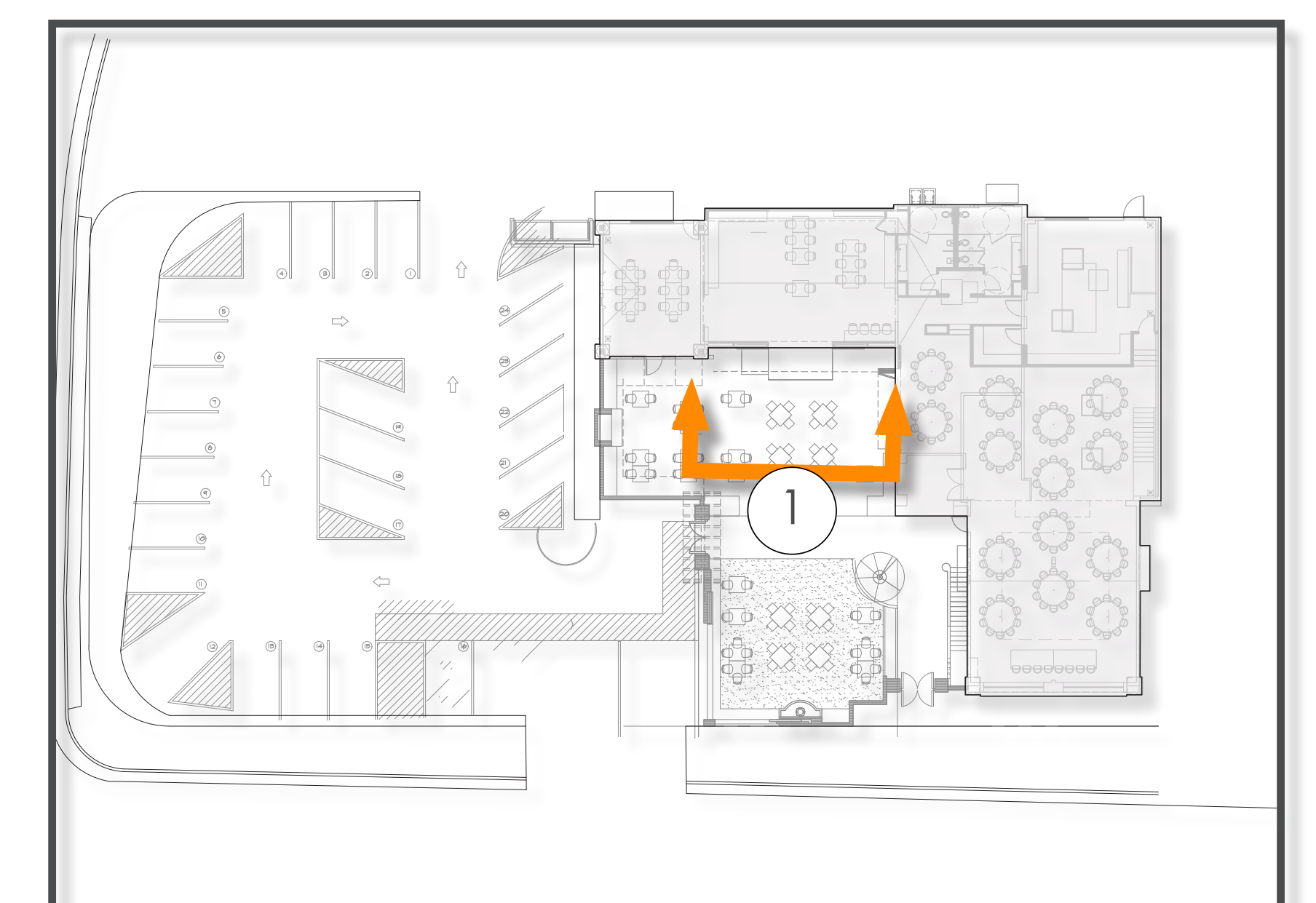
1. OUTDOOR FIREPLACE WITH BENCH SEATING
2. SANDSTONE PAVERS IN ASHLAR PATTERN
3. LINEAR TILE PAVERS IN HERRINGBONE PATTERN
4. LINEAR FOUNTAIN
5. (E) VINE ARCH TO REMAIN
6. ANTIQUE STONE BASIN WITH WALL-MOUNTED SCUPPERS
7. FLAG POLE
8. ELECTRIC VEHICLE CHARGING STATION
9. BIKE RACK

PLANTING SCHEDULE

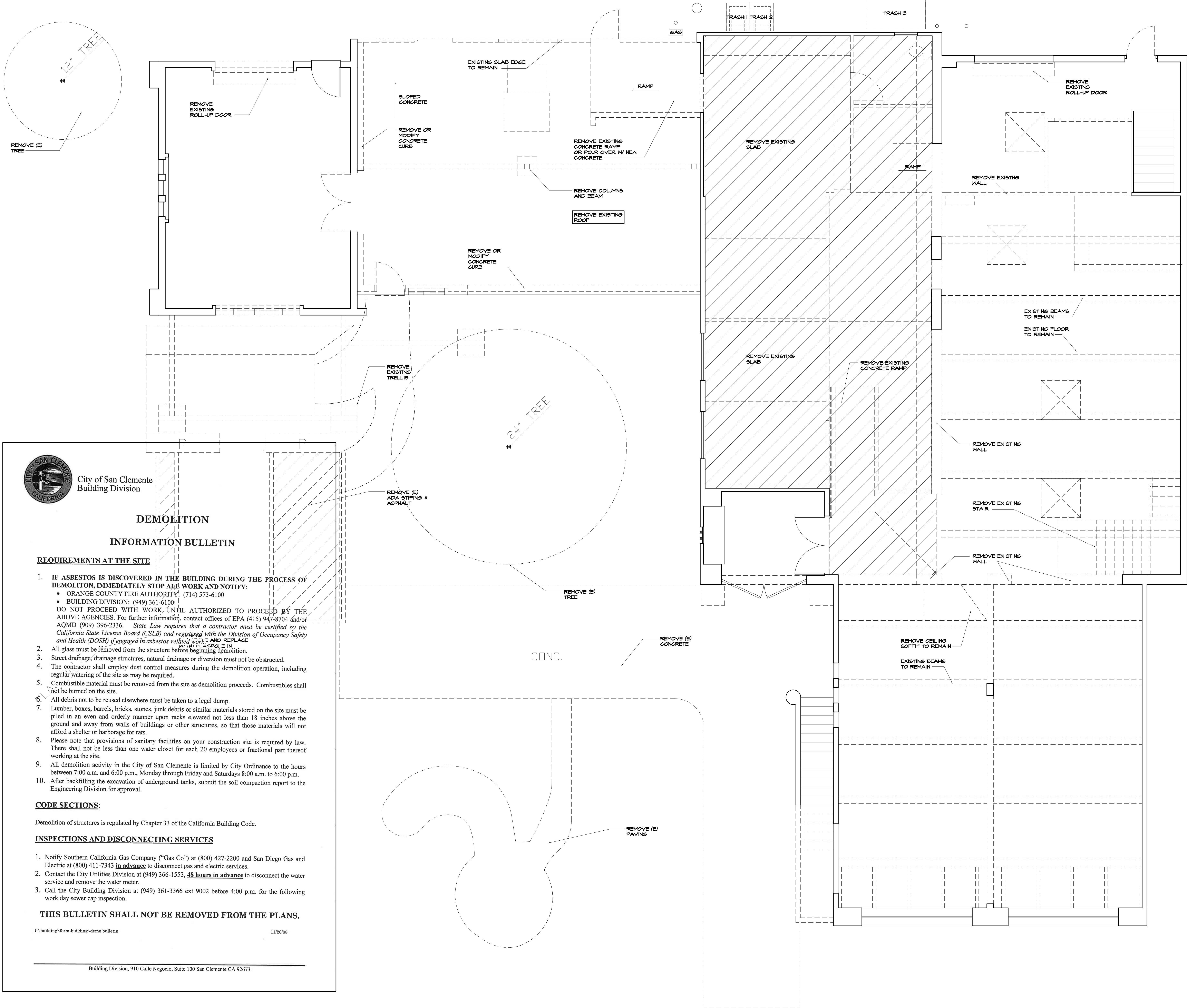
BOTANICAL NAME / COMMON NAME	CONT.	WULCOLS
TREES		
(E) Archontophoenix cunninghamiana / King Palm	N/A	L
(E) Castanospermum australe / Moreton Bay Chestnut	N/A	M
(E) Phoenix canariensis / Canary Island date palm	N/A	L
(E) Syagrus romanzoffiana / Queen palm	N/A	M
(E) Yucca gloriosa / Spanish knife	TRANSPLANT	L
Citrus x Limon / Lemon	36" box	M
Olea europaea / Olive	36" box	L
(E) Phoenix roebelenii/ Pygmy date palm	TRANSPLANT	L
ESPALIERED FRUIT TREES		
Ficus 'mission' / Mission Fig	15 gal	L
Citrus spp. / Citrus		
LARGE ACCENT PLANT		
Agave americana / Century plant	5 gal	L
MEDIUM SIZE SUCCULENT/ACCENT		
Agave 'blue flame' / Blue Flame Agave	5 gal	L
Agave attenuata / Foxtail Agave		
Astelia 'silver spear' / Silver Spear		
Euphorbia Rigida / Yellow Spurge		
SMALL SIZE SUCCULENT		
Agave 'blue glow' / Blue Glow Agave	5 gal	L
Aloe striata / Coral Aloe		
Calandrinia grandiflora / Rock Purslane		
Aeonium X 'Zwartkop' / Zwartkop Aeonium		
UPRIGHT ACCENT PLANT		
Chondropetalum tectorum / Small Cape Rush	5 gal	L
Dianella 'cassa blue' / Flax		
Juncus 'elk blue' / Elk Blue Juncus		
Aspidistra elatior / Cast Iron Plant		
Beaucarnea recurvata / Pony Tail Palm		
MEDIUM HEIGHT GRASS		
Leymus 'canyon prince' / Canyon Prince wild rye	5 gal	L
Muhlenbergia rigens / Deer grass		
Lomandra 'breeze' / Lomandra		
MEDIUM HEIGHT SHRUB		
Olea 'little ollie' / Little Ollie	5 gal	L
Rosmarinus 'roman beauty' / Roman Beauty		
Artemisia 'powis castle' / Wormwood		
Trachelospermum jasminoides / Star Jasmine		
Teucrium 'azureum' / Bush germander		
Lavandula stoechas / Lavender		
LOW GROUNDCOVER		
Senecio mandraliscae / Blue chalk sticks	1 gal	L
Senecio cylindricus / Narrow-leaf chalk sticks		
Carex praegracilis / California field sedge		
Erigeron glaucus / Seaside daisy		
Dymondia margaretae / Silver carpet		
Festuca 'elijah blue' / Blue fescue		
Crassula 'jade blue' / Blue hale jade		
SMALL SHRUBS AND GRASSES		
Bouteloua gracilis / Blue grama	1 gal	L
Westringia fruticosa 'grey box' / Coastal Rosemary		
SMALL EDIBLE SHRUBS		
Mentha spp. / Mint	1 gal	L
Thymus spp. / Thyme		
Origanum spp./ Oregano		
CLIMBING VINES		
Bougainvillea 'Jamaican white' / Bougainvillea	5 gal	L
Vitis californica / California wild grape		
Passiflora / Passion flower		



1 SOUTH COURTYARD



KEY PLAN



DEMOLITION LEGEND

EXISTING TO BE REMOVED

EXISTING TO REMAIN

DEMOLITION NOTES

- CONTRACTOR TO PROTECT THE PUBLIC RIGHT OF WAY AND SIDEWALK AT ALL TIMES. SIDEWALK ALONG BOTH FRONTAGES SHALL REMAIN OPEN AT ALL TIMES, UNLESS A SEPARATE ENGINEERING DEPARTMENT ENCROACHMENT PERMIT IS APPLIED FOR, APPROVED, AND ISSUED.
- ALL STAGING SHALL BE DONE ON-SITE. NO WORK OR STAGING IS ALLOWED IN THE PUBLIC RIGHT OF WAY WITHOUT AN SEPARATE ENGINEERING DEPARTMENT ENCROACHMENT PERMIT.
- ENCROACHMENT PERMIT SHALL BE PROVIDED FOR TEMPORARY SIDEWALK PROTECTION DURING DEMOLITION. PROTECTION SHALL INCLUDE A SCREENED 6'-0" HIGH TEMPORARY CHAIN LINK FENCE WITH CROWS FEET RENTED BY CONTRACTOR.
- TEMPORARY FENCE AND TEMPORARY PASSAGEWAY SHALL BE IN PLACE FOR 2 WEEKS MAXIMUM DURING DEMOLITION. AFTER THE DEMOLITION IS COMPLETE, THE TEMPORARY PASSAGEWAY WILL BE REMOVED AND THE TEMPORARY FENCE WILL BE RELOCATED AT PROPERTY LINE OF 226 AVENIDA DEL MAR.
- THIS DEMOLITION WORK IS BEING DONE CONCURRENTLY WITH DEMOLITION WORK AT 224 AVENIDA DEL MAR (UNDER A SEPARATE PERMIT).

a2 design

Architecture

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PROJECT TITLE:

Publik House TI
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

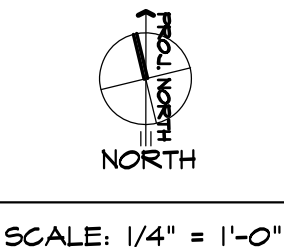
SHEET TITLE:

Main Level
Demolition Plan

REVISIONS:	BY:

DRAWN:	
CHECKED:	
DATE:	5/11/21
SCALE:	AS SHOWN
JOB #:	ROSE/BOWMAN
SHEET #:	

A-2.0



FOLDING & SLIDING DOOR NOTES

PER 2014 CBC, SECTION 1001.4.3 SPECIAL PURPOSE, HORIZONTAL SLIDING, ACCORDION OR FOLDING DOORS, DOORS TO OUTDOOR PATIOS SHALL COMPLY AS FOLLOWS:
NOTE: SPECIAL PURPOSE HORIZONTAL SLIDING, ACCORDION OR FOLDING DOOR ASSEMBLIES PERMITTED TO BE A COMPONENT OF A MEANS OF EGRESS IN ACCORDANCE WITH EXCEPTION 6 TO SECTION 1001.2 SHALL COMPLY WITH ALL OF THE FOLLOWING CRITERIA:

- THE DOORS SHALL BE POWER OPERATED AND SHALL BE CAPABLE OF BEING OPERATED MANUALLY IN THE EVENT OF POWER FAILURE.
- THE DOORS SHALL BE OPENABLE BY A SIMPLE METHOD FROM BOTH SIDES WITHOUT SPECIAL KNOWLEDGE OR EFFORT.
- THE FORCE REQUIRED TO OPERATE THE DOOR SHALL NOT EXCEED 30 POUNDS (15 N) TO SET THE DOOR IN MOTION AND 15 POUNDS (6 N) TO CLOSE OR OPEN THE DOOR TO THE MINIMUM REQUIRED WIDTH.
- THE DOOR SHALL BE OPENABLE WITH A FORCE NOT TO EXCEED 15 POUNDS (6 N) WHEN A FORCE OF 250 POUNDS (100 N) IS APPLIED PERPENDICULAR TO THE DOOR ADJACENT TO THE OPERATING DEVICE. THE DOOR ASSEMBLY SHALL COMPLY WITH THE APPLICABLE FIRE PROTECTION RATING AND, WHERE RATED, SHALL BE SELF-CLOSING OR AUTOMATIC CLOSING BY SMOKE DETECTION IN ACCORDANCE WITH SECTION 716.5.4.5, SHALL BE INSTALLED IN ACCORDANCE WITH NFPA 80 AND SHALL COMPLY WITH SECTION 716.
- THE DOOR ASSEMBLY SHALL HAVE AN INTEGRATED STAND-BY POWER SUPPLY.
- THE DOOR ASSEMBLY POWER SUPPLY SHALL BE ELECTRICALLY SUPERVISED.
- THE DOOR SHALL OPEN TO THE MINIMUM REQUIRED WIDTH WITHIN 10 SECONDS AFTER ACTIVATION OF THE OPERATING DEVICE.
- FOR ALL EXIT DOORS, ALL HAND-ACTIVATED DOOR OPENING HARDWARE SHALL MEET THE FOLLOWING REQUIREMENTS, PER C.B.C. SECTION 103B.2.5.2:
 - LATCHING OR LOCKING DOORS IN A PATH OF TRAVEL ARE OPERATED WITH A SINGLE EFFORT BY LEVER TYPE HARDWARE, BY PANIC BARS, PUSH-PULL ACTIVATING BARS, OR OTHER HARDWARE DESIGNED TO PROVIDE PASSAGE WITHOUT REQUIRING THE ABILITY TO GRASP THE OPENING HARDWARE.
 - IS TO BE CENTERED 3/32" BUT ± 44" ABOVE FLOOR.
- ALL DOORWAYS LEADING TO SANITARY FACILITIES SHALL BE IDENTIFIED, PER SECTION 11B9.6 AS FOLLOWS:
 - AN EQUILATERAL TRIANGLE 1/4" THICK WITH EDGES 12" LONG AND A VORTEX POINTING UPWARD AT MEN'S RESTROOMS.
 - A CIRCLE 1/4" THICK, 12" IN DIAMETER AT WOMEN'S RESTROOMS.
 - A 12" DIAMETER CIRCLE WITH A TRIANGLE SUPERIMPOSED ON THE CIRCLE AND WITHIN THE 12" DIAMETER AT UNISEX RESTROOMS.
 - THE REQUIRED SYMBOLS SHALL BE CENTERED ON THE DOOR AT A HEIGHT OF 60".
 - BRILLE SIGNAGE SHALL ALSO BE LOCATED ON THE WALL ADJACENT TO THE LATCH OUTSIDE OF THE DOORWAYS LEADING TO THE SANITARY FACILITIES, PER SECTION 11B9.5.1.
- THE RATINGS OF ALL DOORS AND RATED DOOR ASSEMBLIES SHALL BE EQUIPPED WITH SMOKE GASKETS AND BE SELF-OR AUTOMATIC-CLOSING. DOORS SHALL BE EQUIPPED ONLY WITH NO-KNOWLEDGE, SINGLE-ACTION HARDWARE, LOCKS THAT REQUIRE KEYS OR ADDITIONAL ACTIONS TO OPERATE (SUCH AS MANUAL BOLTS) ARE NOT PERMITTED. CBC 1008.1.4.4, 1008.1.4.5).
NOTE: PANIC HARDWARE MAY BE OMITTED FROM A SINGLE DOOR OR SET OF DOUBLE DOORS SERVING AS MAIN ENTRY FOR AN OCCUPANCY WITH 500 OR LESS OCCUPANTS IF A SIGN READING "THESE DOORS TO REMAIN UNLOCKED WHEN BUILDING IS OCCUPIED" IS PLACED IN A CONSPICUOUS LOCATION NEAR THE DOOR.

OCFA NOTES

- FIRE ALARM SYSTEM (SERVICE CODE PR500-PR550) - FIRE ALARM SYSTEM W/ NOTIFICATION THROUGHOUT IS REQUIRED IF THE TOTAL OCCUPANT LOAD OF ALL GROUP A OCCUPANCIES IS 500 OR GREATER, OR IF THE OCCUPANT LOAD IS GREATER THAN 100 IN THE BASEMENT OR 2ND STORY.
- EXISTING FIRE SPRINKLER SYSTEM TO REMAIN.
- HOOD AND DUCT EXTINGUISHING SYSTEM SHALL BE PROVIDED (SERVICE CODE PR555).

RESTROOM PLUMBING FIXTURE COUNT

(PER CFC TABLE 422.1)

A-2 OCCUPANCY	WATER CLOSETS		LAVATORIES		URINALS	SERVICE SINK
	MALE	FEMALE	MALE	FEMALE	MALE	
REQUIRED	3 (151-300)	4 (101-200)	2 (151-200)	2 (151-200)	1 (1-200)	1
PROVIDED	3	4	2	2	1	1

B OCCUPANCY	WATER CLOSETS		LAVATORIES		URINALS	
	MALE	FEMALE	MALE	FEMALE	MALE	
REQUIRED	1 (1-50)	1 (1-15)	1 (1-15)	1 (1-50)	1 (1-100)	
PROVIDED	1 SINGLE USER (EXISTING HISTORIC)		1 SINGLE USER (EXISTING HISTORIC)		0 (EXISTING HISTORIC)	

NOTE: EXISTING HISTORIC RESTROOM AT B OCCUPANCY TO REMAIN IN ITS CURRENT LOCATION AND CONFIGURATION AND IS NOT AN ACCESSIBLE LEVEL. EXISTING STAIRCASE IS A CHARACTER DEFINING FEATURE OF HISTORIC STRUCTURE AND WORK AT THIS LEVEL IS COSMETIC ONLY (I.E. PAINT, FLOORING REFINISHING, BASEBOARD, AND CASING) TO KEEP HISTORIC INTEGRITY.

EXITING ANALYSIS

EXITING ANALYSIS (G.F.)
BASEMENT LEVEL: KITCHEN = 200 GROSS OL = 445 / 200 = 5
MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE (FEET) 75'-0" (TABLE 1006.2.1) WITH SPRINKLER SYSTEM
PROVIDED: 55'-8 1/2"
1 EXIT REQ'D, 1 EXIT PROVIDED (STAIRCASE)
(BLOS, SPRINKLERED)

MAIN LEVEL:
BEAR ROOM = 15 NET OL = 2225/15 = 150
COMMON PATH OF EGRESS TRAVEL DISTANCE (FEET) PROVIDED: 55'-8 1/2"
1/3 TRAVEL DISTANCE = 26'-12" MIN.
2 EXITS REQ'D, 2 MIN. EXITS PROVIDED > 26'-12" (END DOOR AT BI-FOLDS, NEW DOOR TO BEAR ROOM)

CAFE AND PRIVATE DINING = 15 NET OL = 1031 / 15 = 64
MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE (FEET) 75'-0" (TABLE 1006.2.1) WITH SPRINKLER SYSTEM
PROVIDED: 58'-10"
1 EXIT REQ'D, 1 MIN. EXIT PROVIDED (DOOR TO ALLEY).

KITCHEN = 200 GROSS OL = 772 / 200 = 4 MAX. OCCUPANT LOAD
MAX. COMMON PATH OF EGRESS TRAVEL DISTANCE PROVIDED 31'-11"
1 EXIT REQ'D.
1 EXIT PROVIDED (DOOR TO ALLEY), 1 RAMP TO BEAR ROOM, 1 DOOR TO HALL

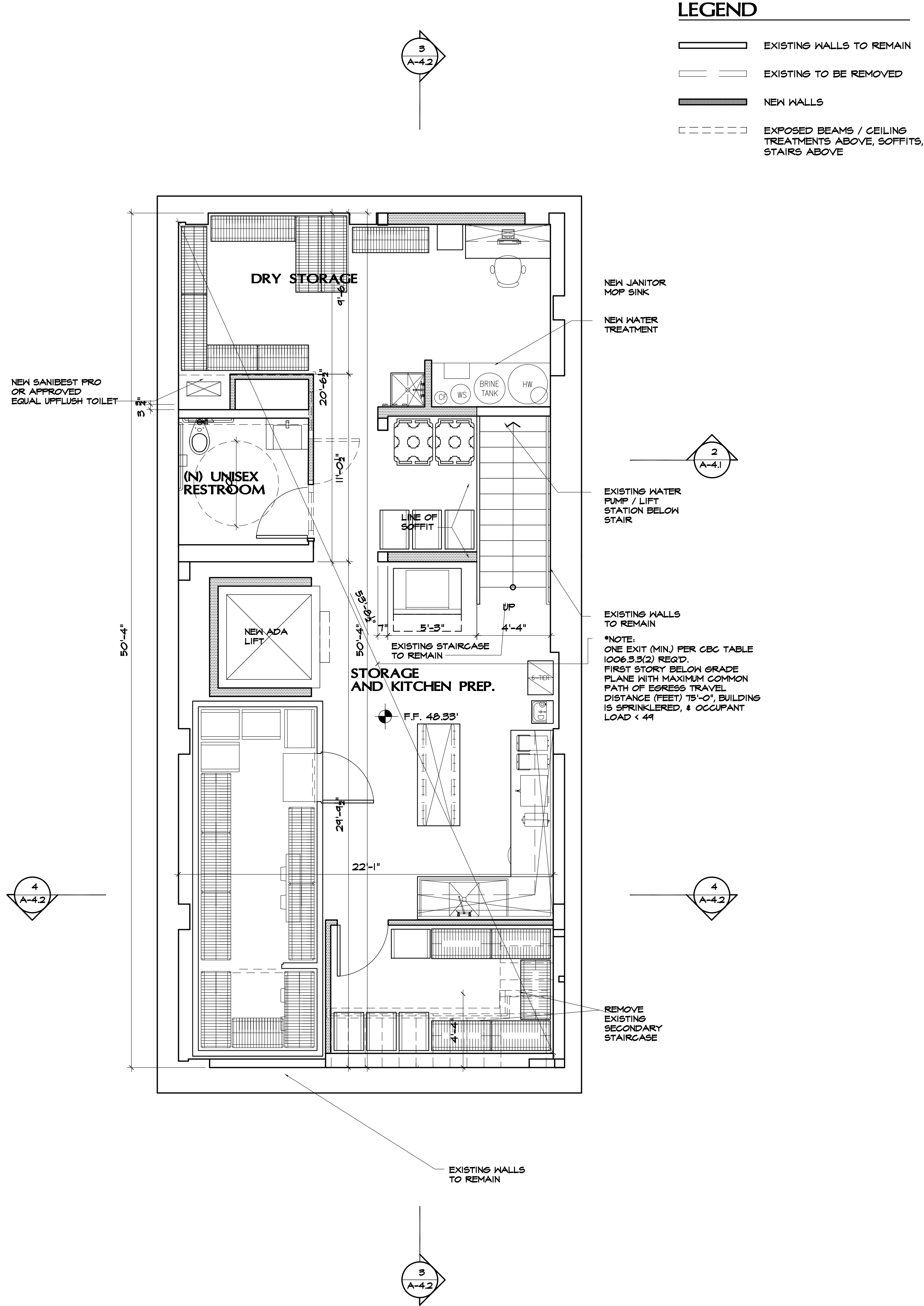
UPPER LEVEL:
OFFICE = 100 GROSS OL = 1154 / 100 = 12 M
COMMON PATH OF EGRESS TRAVEL DISTANCE (FEET) 100'-0" (TABLE 1006.2.1) WITH SPRINKLER SYSTEM PROVIDED 48'-4 1/2"
1 EXIT REQ'D, 1 EXIT PROVIDED (NOT ACCESSIBLE. THIS IS HISTORIC STRUCTURE AND HISTORIC STAIRCASE - EXISTING TO REMAIN)

CAFE / EVENTS SEATING CALCULATION

	CAFE SEATING (11AM-2PM) MON-FRI		EVENTS SEATING (3PM-11PM) MON-FRI	
INDOOR SEATING	CAFE & FLEX SPACE	34 SEATS	EVENTS DINING (INDOOR OR OUTDOOR)	150 SEATS
OUTDOOR SEATING	OUTDOOR COURTYARD	66 SEATS		
TOTAL	100 SEATS		150 SEATS	

	CAFE SEATING (11AM-2PM) SATURDAY		EVENTS SEATING (3PM-11PM) SATURDAY	
INDOOR SEATING	CAFE & FLEX SPACE	34 SEATS	BEAR ROOM OR GARDEN COURTYARD	150 SEATS
OUTDOOR SEATING	OUTDOOR COURTYARD	66 SEATS		
TOTAL	100 SEATS		150 SEATS	

	CHURCH SEATING (11AM-12PM) SUNDAY		EVENTS SEATING (1PM-11PM) SUNDAY	
INDOOR OR OUTDOOR SEATING	BEAR ROOM OR GARDEN COURTYARD	80 SEATS	EVENTS DINING (INDOOR OR OUTDOOR)	150 SEATS
TOTAL	80 SEATS		150 SEATS	



LEGEND

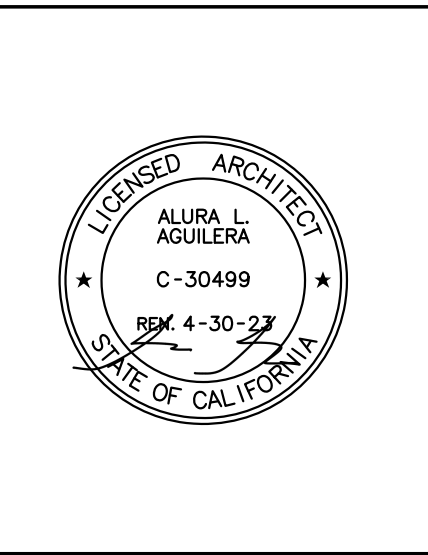
- EXISTING WALLS TO REMAIN
- EXISTING TO BE REMOVED
- NEW WALLS
- EXPOSED BEAMS / CEILING TREATMENTS ABOVE, SOFFITS, STAIRS ABOVE

a2 design

Architecture

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Phone: 949 . 218 . 6472
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PROJECT TITLE:

Publik House TI
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE:

Basement Level
Floor Plan

REVISIONS:

REVISIONS:	BY:

DRAWN:

CHECKED:

DATE: 5/12/21

SCALE: AS SHOWN

JOB #: ROSE/BOWMAN

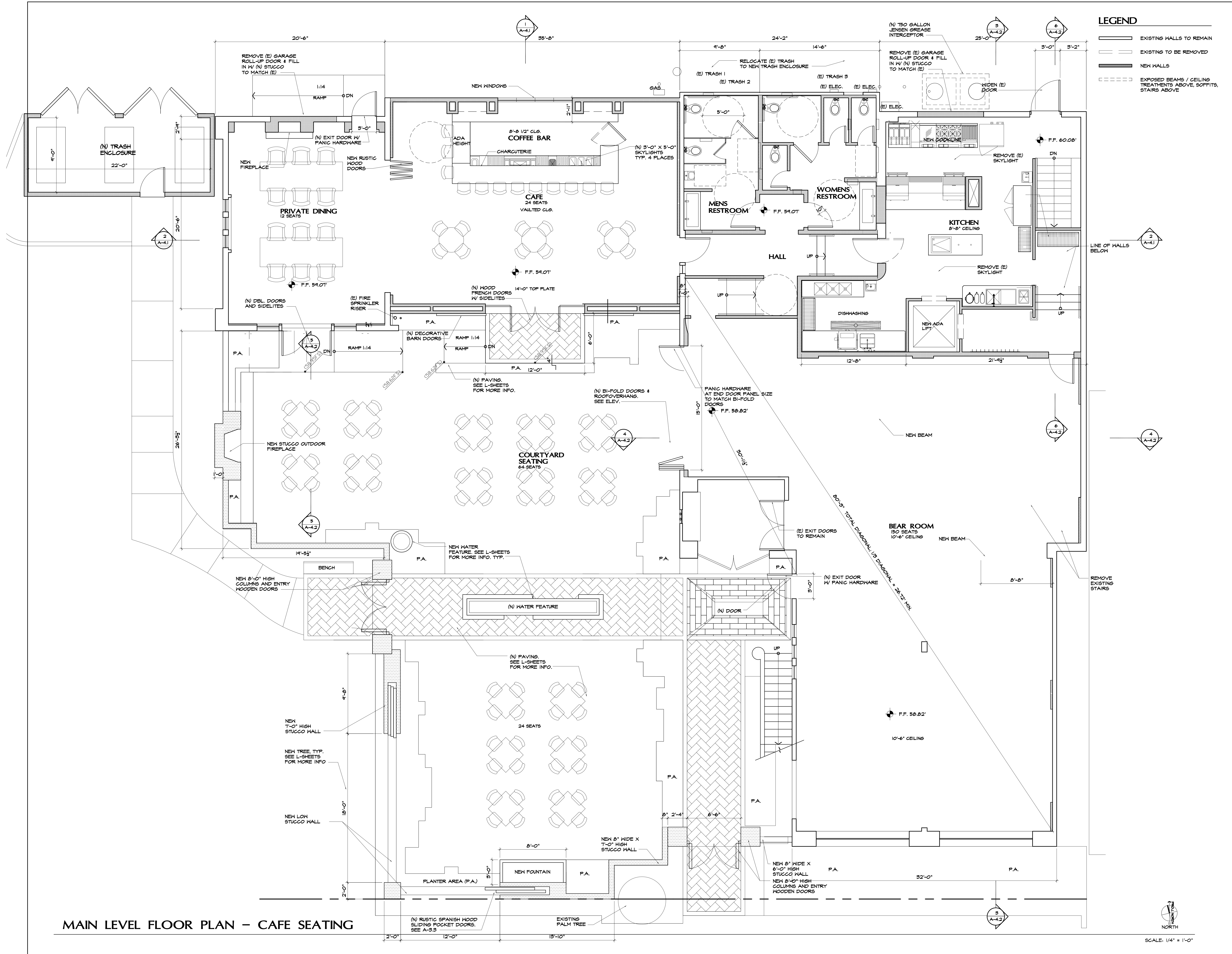
SHEET #:

A-2.1

BASEMENT LEVEL FLOOR PLAN



SCALE: 1/4" = 1'-0"

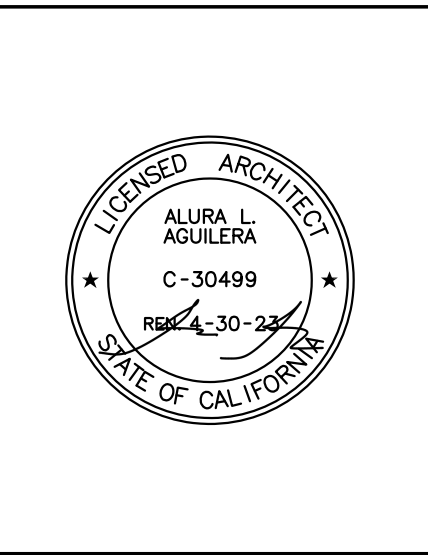


MAIN LEVEL FLOOR PLAN – CAFE SEATING

LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING TO BE REMOVED
- NEW WALLS
- EXPOSED BEAMS / CEILING TREATMENTS ABOVE, SOFFITS, STAIRS ABOVE

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Architecture
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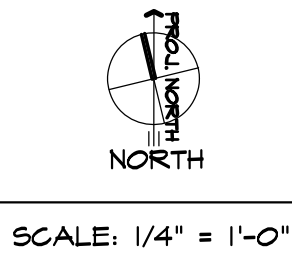
PROJECT TITLE:
**Publik House T1
Events Center and Cafe**
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE:
**Main Level
Floor Plan**

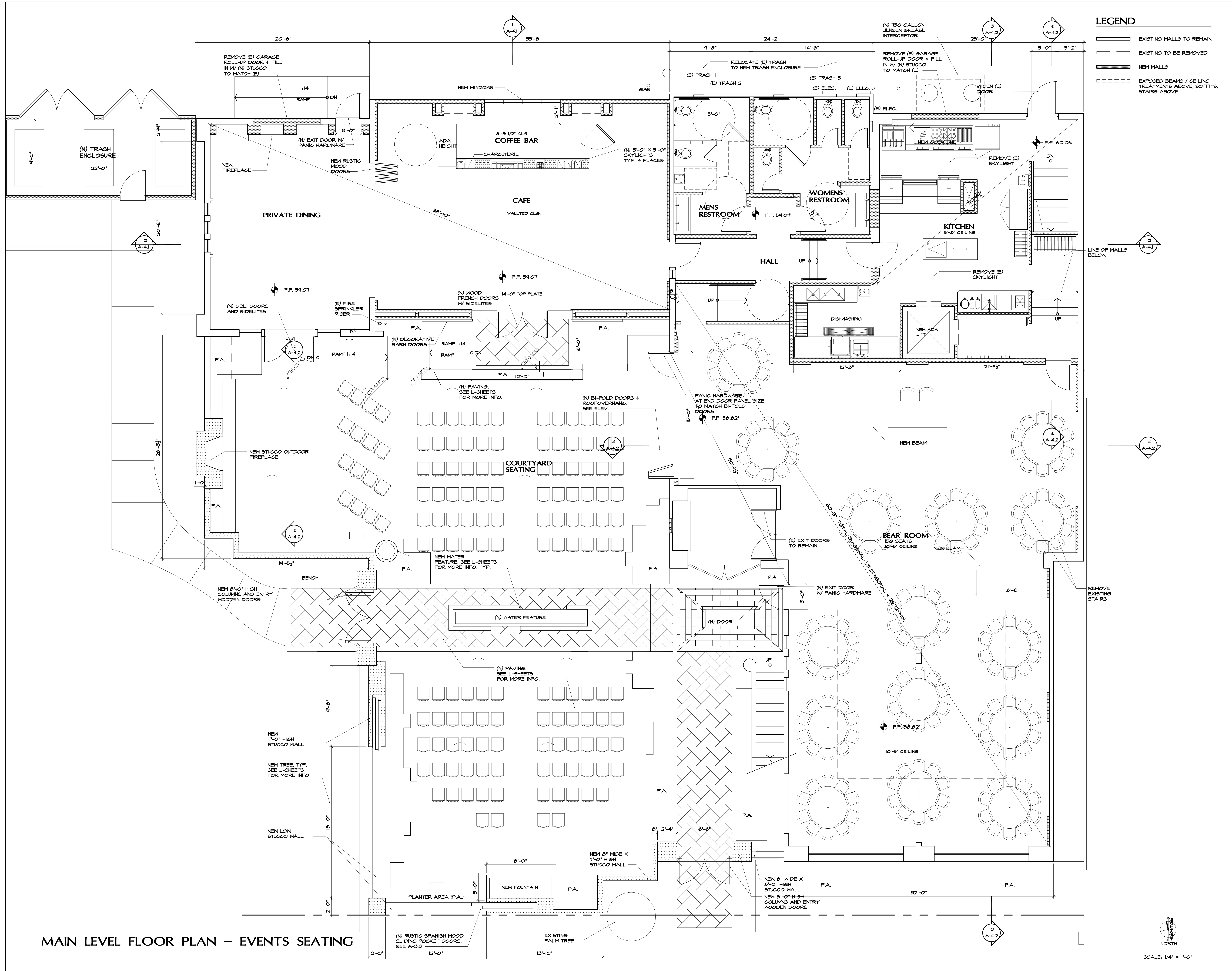
REVISIONS:	BY:
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△ DMT REVIEW 12/1/20	AA
△ DRSC 5/22/21	AA

DRAWN:
CHECKED:
DATE: 5/12/21
SCALE: AS SHOWN
JOB #: ROSE/BOWMAN
SHEET #:

A-2.2



SCALE: 1/4" = 1'-0"



MAIN LEVEL FLOOR PLAN - EVENTS SEATING

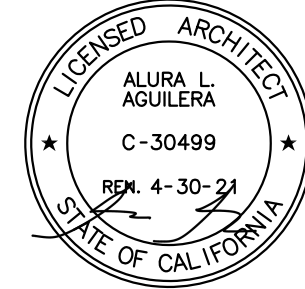
SCALE: 1/4" = 1'-0"

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Architecture

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PROJECT TITLE:

Publik House TI
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE:

Main Level
Floor Plan

REVISIONS: BY:

DRAWN:

CHECKED:

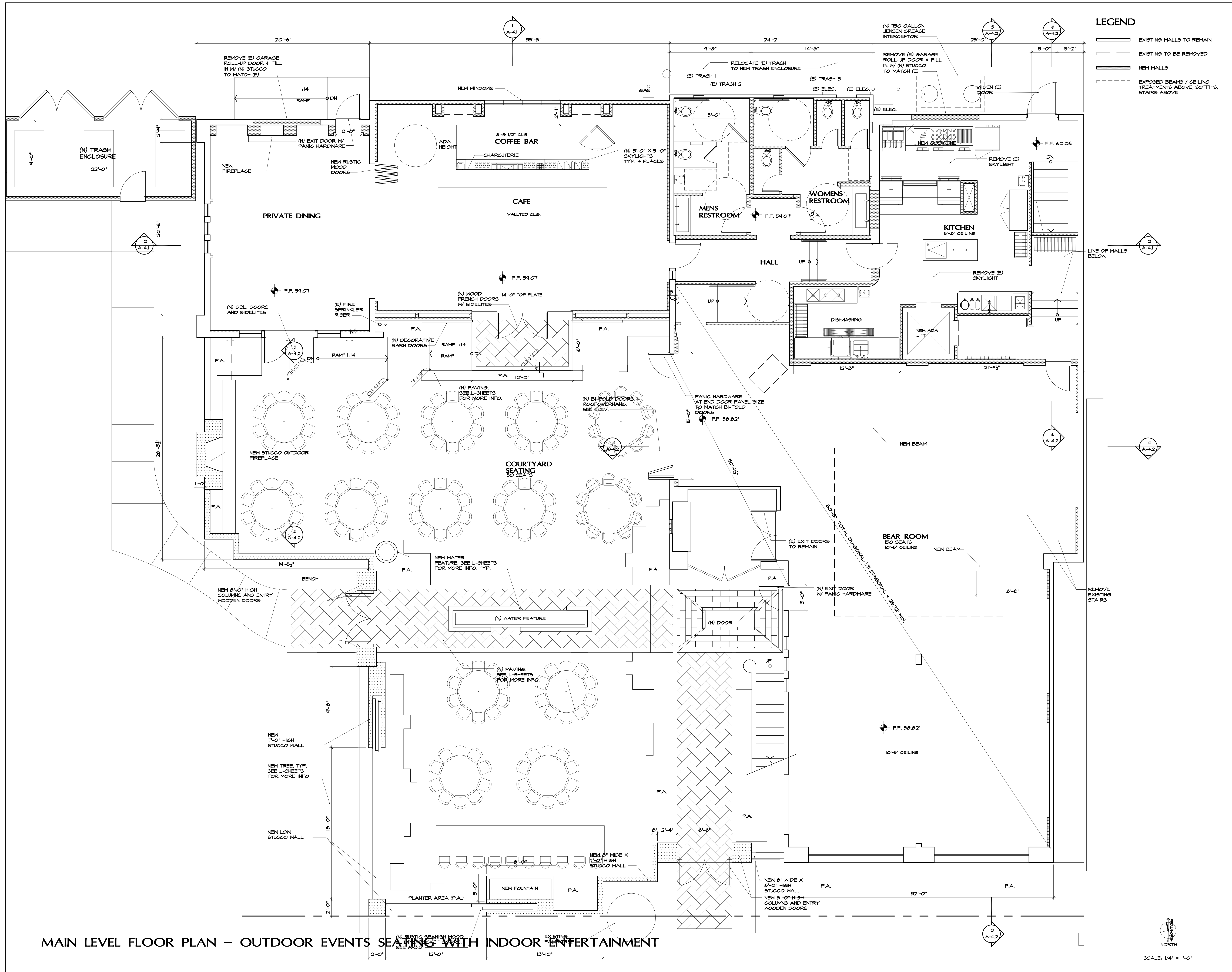
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SCALE: AS SHOWN

JOB #: ROSE/BOWMAN

SHEET #:

A-2.2A

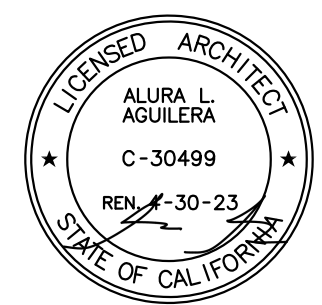


a2 design

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San Clemente, ca 92672

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Email: a2arc@cox.net



PROJECT TITLE:

Publik House TI
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE:

Main Level
Floor Plan

REVISIONS:

BY:

DRAWN:

CHECKED:

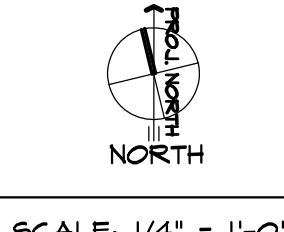
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SCALE: AS SHOWN

JOB #: ROSE/BOWMAN

SHEET #:

A-2.2B



MAIN LEVEL FLOOR PLAN – CHURCH SEATING

LEGEND

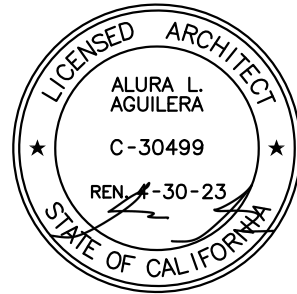
- EXISTING WALLS TO REMAIN
- EXISTING TO BE REMOVED
- NEW WALLS
- EXPOSED BEAMS / CEILING TREATMENTS ABOVE

a2 design

Architecture

1220 Avenida De La Estrella
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PROJECT TITLE:

Publik House TI
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE:

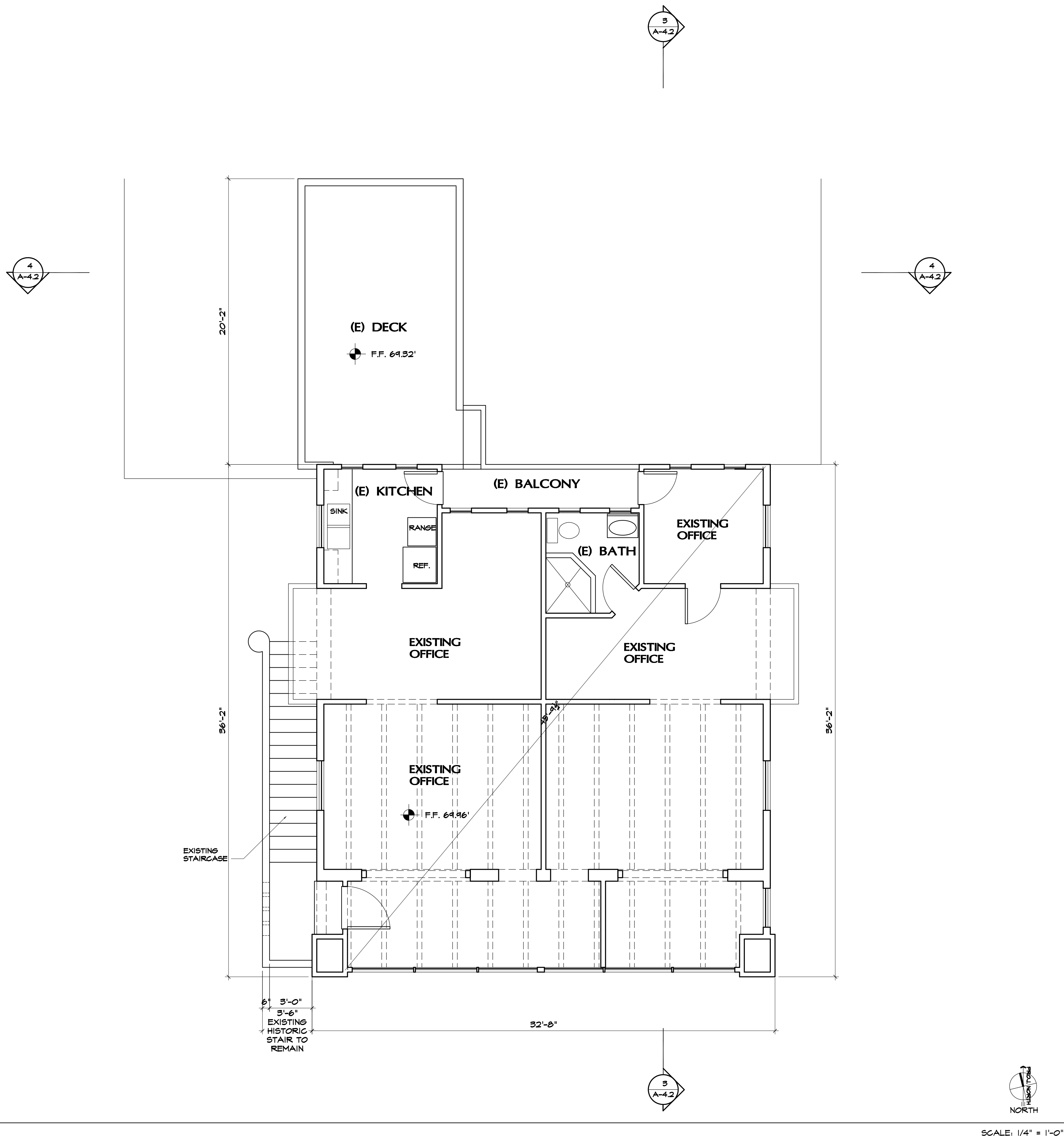
Upper Level
Floor Plan

REVISIONS:	BY:
Δ DMT REVIEW 10/1/20	

DRAWN:
CHECKED:
DATE: 5/12/21
SCALE: AS SHOWN
JOB #: ROSE/BOWMAN
SHEET #:

A-2.3

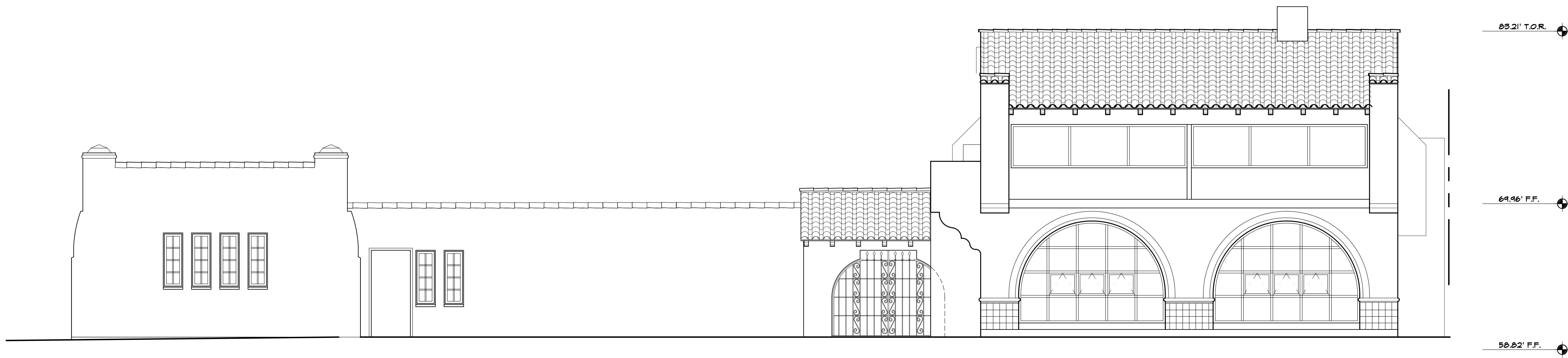
UPPER LEVEL FLOOR PLAN





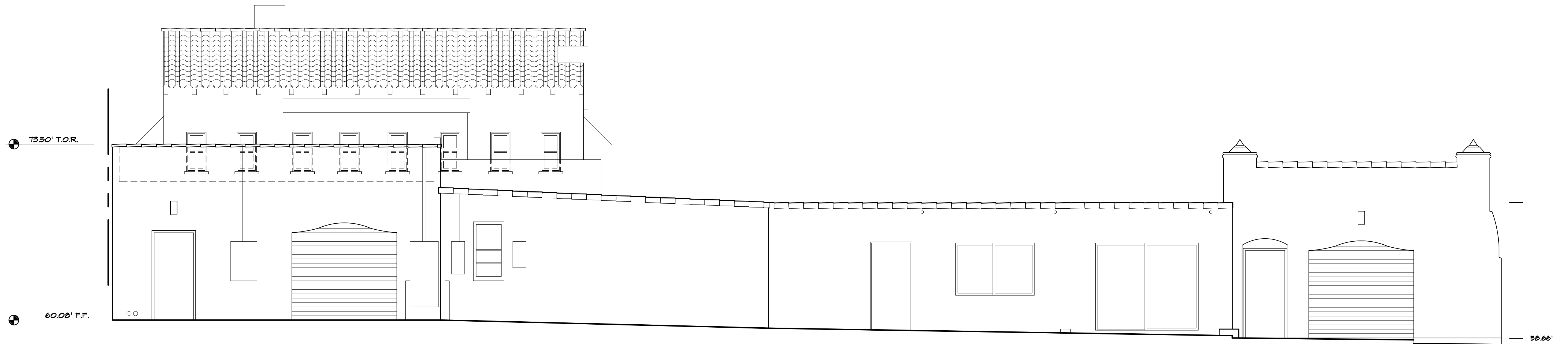
EXISTING WEST ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING SOUTH ELEVATION

SCALE: 1/4" = 1'-0"



EXISTING NORTH ELEVATION

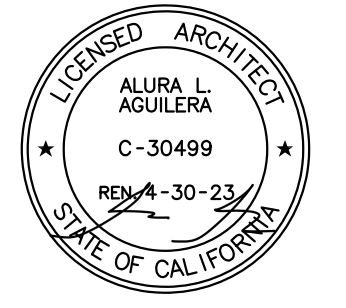
SCALE: 1/4" = 1'-0"

a2 design

Architecture

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San Clemente, ca 92672

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PROJECT TITLE:

Publik House TI
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE:

Existing
Exterior Elevations

REVISIONS:

BY:

DRAWN:

CHECKED:

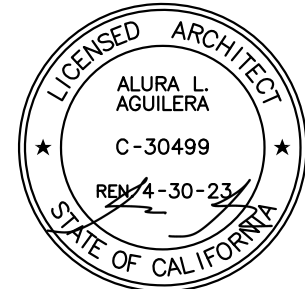
DATE: 5/12/21

SCALE: AS SHOWN

JOB #: ROSE/BOWMAN

SHEET #:

A-3.0



PROJECT TITLE:

Publik House Ti
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE:

Exterior Elevations

REVISIONS: BY:

DRAWN:

CHECKED:

DATE: 5/12/21

SCALE: AS SHOWN

JOB #: ROSE/BOWMAN

SHEET #:

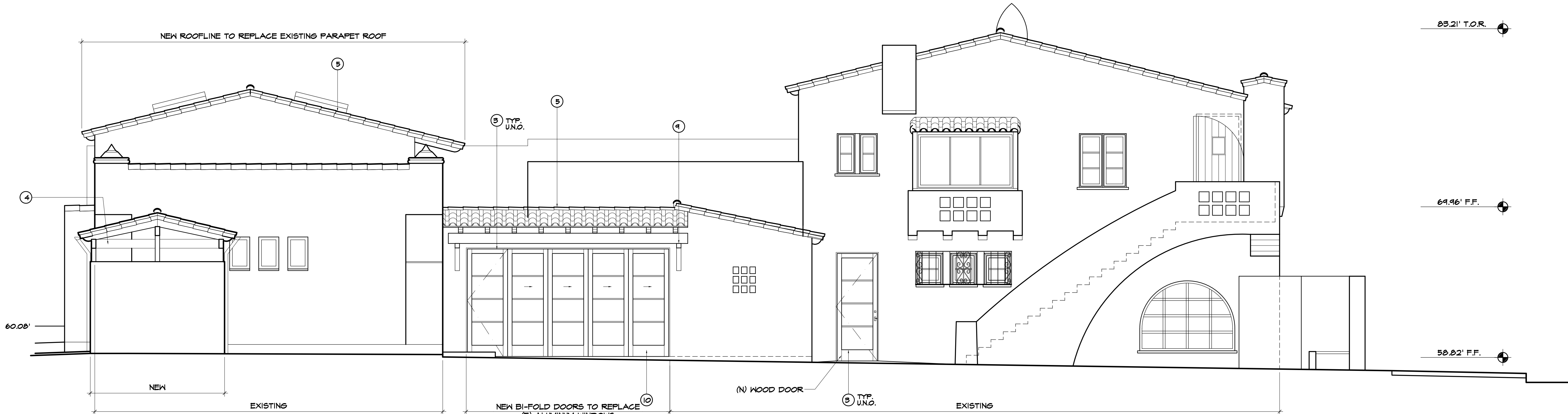
A-3.1

ELEVATION NOTES

- MISSION FINISH STUCCO, LA HABRA STUCCO COLOR, CRYSTAL WHITE.

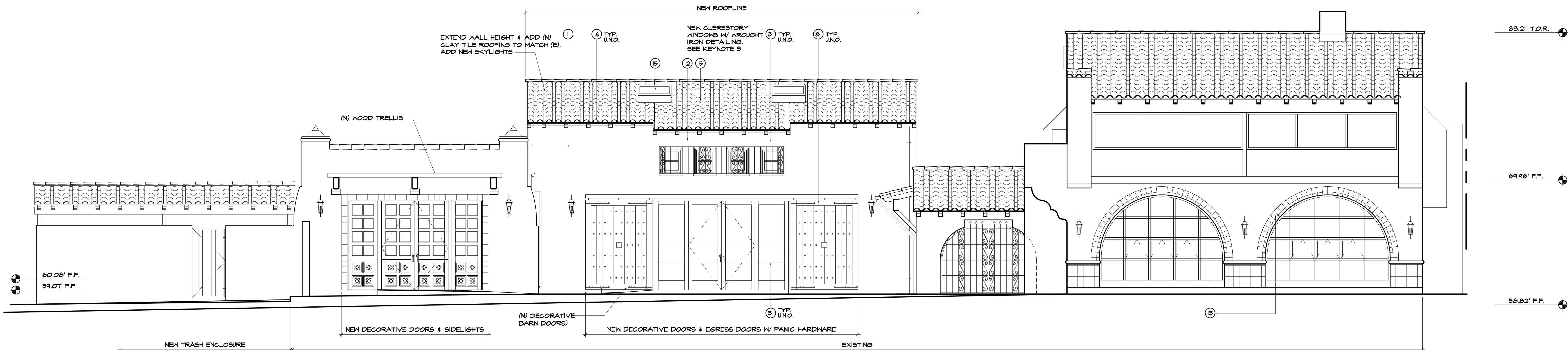
*NOTE: STUCCO WALLS WITH A 'STEEL, HAND TROWEL' (NO MACHINE APPLICATION), SMOOTH MISSION FINISH AND SLIGHT INSULATIONS (APPLIED DURING BROWN COAT) AND BULL-NOSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE) WITH NO CONTROL/EXPANSION JOINTS. [CITATION - CITY OF SAN CLEMENTE DESIGN GUIDELINES, NOVEMBER 1991]
- HAMMERED ANTIQUE BRONZE WROUGHT IRON DECORATIVE ACCENTS TO MATCH EXISTING
- (N) WOOD WINDOWS & DOORS TO MATCH EXISTING. EXTERIOR PAINT COLOR, BENJAMIN MOORE HC-162 GREY/STICK GRAY TYP. UNO.
- (N) TRASH ENCLOSURE W/ STUCCO WALLS & CLAY TILE ROOFING TO MATCH EXISTING WALLS & ROOFING
- TWO-PIECE CLASS 'A' CLAY ROOF TILES BY REDLAND CLAY TILE TO MATCH EXISTING. TWO-PIECE MISSION 2000 SERIES, COLOR, PALMILLA BLEND #22III, ICC, ESR-1494

*NOTE: TWO-PIECE CLAY TILE ROOFING SHALL BE USED WITH BOOSTER TILES ON THE EDGES AND RIDGES AND RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGE LINE, AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE. [CITATION - CITY OF SAN CLEMENTE DESIGN GUIDELINES, NOVEMBER 1991]
- DARK BROWN ALUMINUM HALF ROUND GUTTERS AND DOWNSPOUTS
- SHAPED WOOD OUTLOOKERS SANDED AND STAINED DARK BROWN TO MATCH EXISTING. (E) AND (N) TAG AT UNDERSIDE SHALL BE PAINTED DARK BROWN TO MATCH WOOD OUTLOOKERS
- RUSTIC STAIN GRADE WOOD DECORATIVE BARN DOORS WITH BRONZE CLAVOS & RUSTIC HINGES.
- EXTEND ROOF W/ 2 PIECE CLAY TILE ROOFING TO MATCH (E). ADD WOOD OUTLOOKERS AND SHAPED WOOD KNEE BRACES
- (N) BIFOLD DOORS TO REPLACE (E) ALUMINUM AND VINYL WINDOW
- ANTIQUE BRONZE METAL TRELLIS W/ SPANISH ORNAMENTATION
- BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS IN A POSITION THAT IS PLAINLY VISIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE A MIN. 4" HIGH AND 1/2" STROKE WIDTH.
- REPLACE (E) BROWN PAINTED STUCCO WITH (N) MEXICAN TILES AT MAINSCOTING, AROUND ARCH, AND WITHIN ARCH AT PERPENDICULAR ARCHED SURFACE
- NEW EXTERIOR LIGHTING
*NOTE: EXTERIOR LIGHTING SHALL BE ENERGY-EFFICIENT AND SHIELDED SO THAT DIRECT GLARE AND REFLECTIONS ARE CONTAINED WITHIN THE BOUNDARIES OF THE PARCEL, AND SHALL BE DIRECTED DOWNWARD AND AWAY FROM ADJOINING PROPERTIES AND PUBLIC RIGHT-OF-WAY. NO LIGHTING SHALL BLINK, FLASH, OR BE OF UNUSUALLY HIGH INTENSITY OR BRIGHTNESS. ALL LIGHTING FIXTURES SHALL BE APPROPRIATE IN SCALE, INTENSITY, AND HEIGHT TO THE USE. SECURITY LIGHTING SHALL BE PROVIDED AT ALL ENTRANCES/EXITS. ALL EXTERIOR LIGHTING SHALL COMPLY THE THE CITY OF SAN CLEMENTE LIGHTING ORDINANCE (SCMC IT.24.150) AND SHALL BE NIGHT SKIES COMPATIBLE. ALL LIGHT FIXTURES MUST BE REVIEWED BY PLANNING STAFF PRIOR TO PURCHASE AND INSTALLATION, TO ENSURE COMPLIANCE WITH DESIGN AND DARK SKY STANDARDS.
- NEW SKYLIGHT



WEST ELEVATION

SCALE: 1/4" = 1'-0"

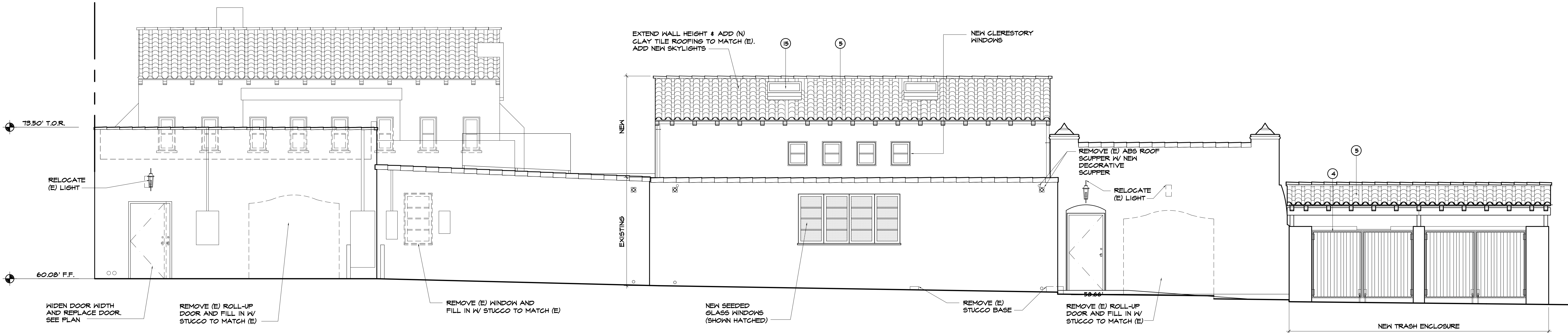


SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

ELEVATION NOTES

- 1 MISSION FINISH STUCCO; LA HABRA STUCCO COLOR; CRYSTAL WHITE
- NOTE: STUCCO WALLS WITH A 'STEEL, HAND TROWEL' (NO MACHINE APPLICATION), SMOOTH MISSION FINISH AND SLIGHT UNDULATIONS (APPLIED DURING BROWN COAT) AND BULL-NOSED CORNERS AND EDGES, INCLUDING ARCHWAYS (APPLIED DURING LATHE) WITH NO CONTROL/EXPANSION JOINTS. [CITATION - CITY OF SAN CLEMENTE DESIGN GUIDELINES, NOVEMBER 1991]
- 2 HAMMERED ANTIQUE BRONZE WROUGHT IRON DECORATIVE ACCENTS TO MATCH EXISTING
- 3 (N) WOOD WINDOWS & DOORS TO MATCH EXISTING, EXTERIOR PAINT COLOR: BENJAMIN MOORE HC-162 BRENKSTER GRAY TYP. UNO.
- 4 (N) TRASH ENCLOSURE W/ STUCCO WALLS & CLAY TILE ROOFING TO MATCH EXISTING WALLS & ROOFING
- 5 TWO-PIECE GLASS 'A' CLAY ROOF TILES BY REDLAND CLAY TILE TO MATCH EXISTING. TWO-PIECE MISSION 2000 SERIES, COLOR: PAUMILLIA BLEND #2211, ICC: ESR-1404
- NOTE: TWO-PIECE CLAY TILE ROOFING SHALL BE USED WITH BOOSTER TILES ON THE EDGES AND RIDGES AND RANDOM MORTAR PACKING. THE MORTAR SHALL BE PACKED ON 100 PERCENT OF THE TILES IN THE FIRST TWO ROWS OF TILES AND ALONG ANY RAKE AND RIDGE- LINE AND SHALL BE PACKED ON 25 PERCENT OF THE TILES ON THE REMAINING FIELD. MORTAR PACKING SHALL SERVE AS BIRD STOPS AT THE ROOF EDGES. THE VOLUME OF MORTAR PACK TO ACHIEVE THE APPROPRIATE THICKNESS SHALL BE EQUIVALENT TO A 6 INCH DIAMETER SPHERE OF MORTAR APPLIED TO EACH TILE. [CITATION - CITY OF SAN CLEMENTE DESIGN GUIDELINES, NOVEMBER 1991]
- 6 DARK BROWN ALUMINUM HALF ROUND GUTTERS AND DOWNGUTS
- 7 SHAPED WOOD OUTLOOKERS SANDED AND STAINED DARK BROWN TO MATCH EXISTING. (E) AND (N) T&G AT UNDERSIDE SHALL BE PAINTED DARK BROWN TO MATCH WOOD OUTLOOKERS
- 8 RUSTIC STAIN GRADE WOOD DECORATIVE BARN DOORS WITH BRONZE CLAVOS & RUSTIC HINGES.
- 9 EXTEND ROOF W/ 2 PIECE CLAY TILE ROOFING TO MATCH (E). ADD WOOD OUTLOOKERS AND SHAPED WOOD KNEE BRACES
- 10 (N) BIFOLD DOORS TO REPLACE (E) ALUMINUM AND VINYL WINDOW
- 11 ANTIQUE BRONZE METAL TRELLIS W/ SPANISH ORNAMENTATION
- 12 BUILDING SHALL HAVE APPROVED ADDRESS NUMBERS IN A POSITION THAT IS PLAINLY VISIBLE FROM THE STREET FRONTING THE PROPERTY. NUMBERS SHALL CONTRAST WITH THEIR BACKGROUND. ADDRESS NUMBERS SHALL BE A MIN. 4" HIGH AND 1/2" STROKE WIDTH.
- 13 REPLACE (E) BROWN PAINTED STUCCO WITH (N) MEXICAN TILES AT MAINSCOTING, AROUND ARCH, AND WITHIN ARCH AT PERPENDICULAR ARCHED SURFACE
- 14 NEW EXTERIOR LIGHTING
- NOTE: EXTERIOR LIGHTING SHALL BE ENERGY-EFFICIENT AND SHIELDED SO THAT DIRECT GLARE AND REFLECTIONS ARE CONTAINED WITHIN THE BOUNDARIES OF THE PARCEL, AND SHALL BE DIRECTED DOWNWARD AND AWAY FROM ADJOINING PROPERTIES AND PUBLIC RIGHT-OF-WAY. NO LIGHTING SHALL BLINK, FLASH, OR BE OF UNUSUALLY HIGH INTENSITY OR BRIGHTNESS. ALL LIGHTING FIXTURES SHALL BE APPROPRIATE IN SCALE, INTENSITY, AND HEIGHT TO THE USE. SECURITY LIGHTING SHALL BE PROVIDED AT ALL ENTRANCES/EXITS. ALL EXTERIOR LIGHTING SHALL COMPLY THE THE CITY OF SAN CLEMENTE LIGHTING ORDINANCE (SCMG 17.24.180) AND SHALL BE NIGHT SKIES COMPATIBLE. ALL LIGHT FIXTURES MUST BE REVIEWED BY PLANNING STAFF PRIOR TO PURCHASE AND INSTALLATION, TO ENSURE COMPLIANCE WITH DESIGN AND DARK SKY STANDARDS.
- 15 NEW SKYLIGHT



NORTH ELEVATION

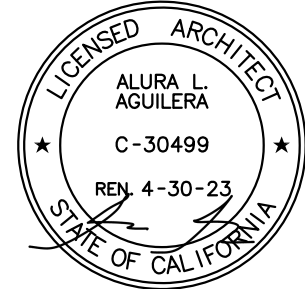
SCALE: 1/4" = 1'-0"

a2 design

Architecture

1220 Avenida De La Estrella
San Clemente, ca 92672

Phone: 949.218.6472
Email: a2arc@cox.net



PROJECT TITLE:

Publik House Tl
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

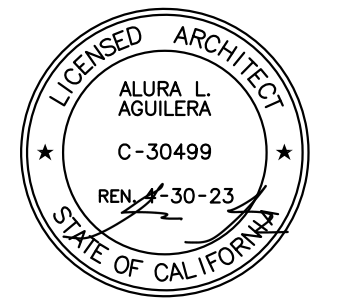
SHEET TITLE:

Exterior Elevations

REVISIONS:	BY:

DRAWN:
CHECKED:
DATE: 5/12/21
SCALE: AS SHOWN
JOB #: ROSE/BOWMAN
SHEET #:

A-3.2



PROJECT TITLE

Publik House TI
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE

Exterior
Courtyard Wall
Elevations

REVISIONS:

BY:

DRAWN:

CHECKED:

DATE: 5/12/21

SCALE: AS SHOWN

JOB #: ROSE/BOWMAN

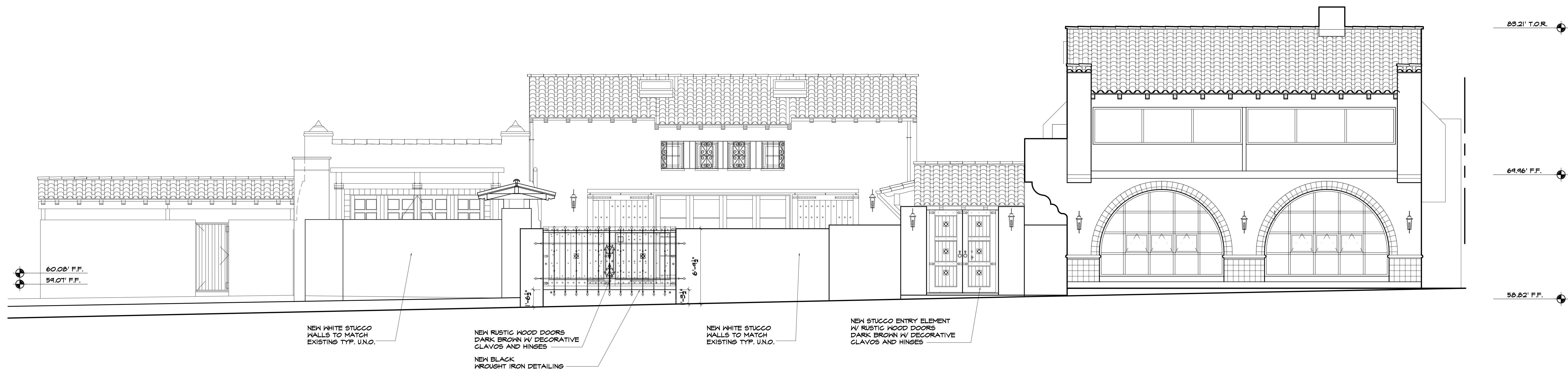
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A-3.3



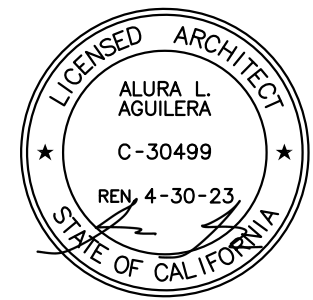
WEST COURTYARD WALL ELEVATION – DOORS CLOSED

SCALE: 1/4" = 1'-0"



SOUTH COURTYARD WALL ELEVATION – DOORS CLOSED

SCALE: 1/4" = 1'-0"



PROJECT TITLE

Publik House TI
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE

Exterior
Courtyard Wall
Elevations

REVISIONS:

BY:

DRAWN:

CHECKED:

DATE: 5/12/21

SCALE: AS SHOWN

JOB #: ROSE/BOWMAN

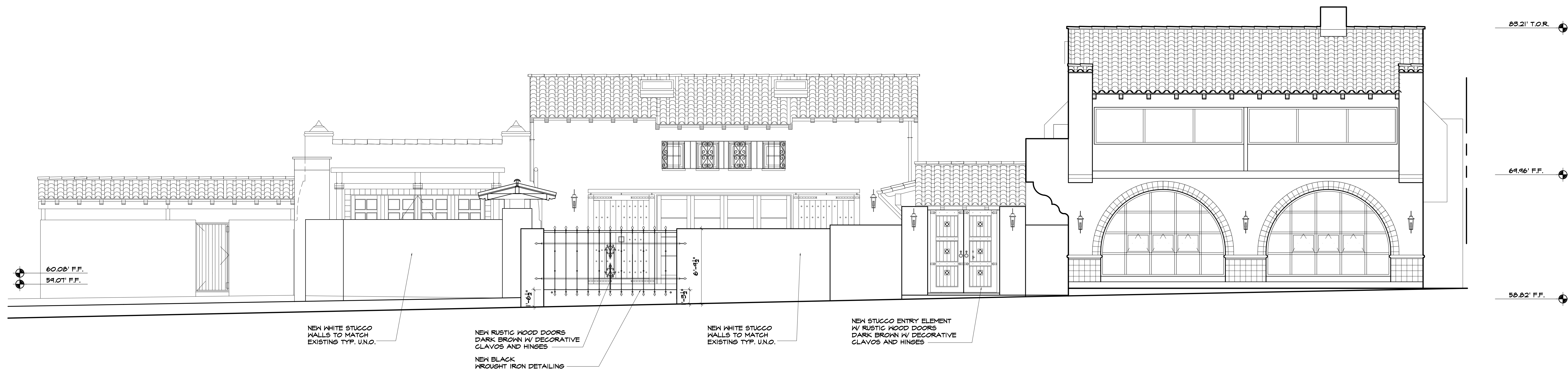
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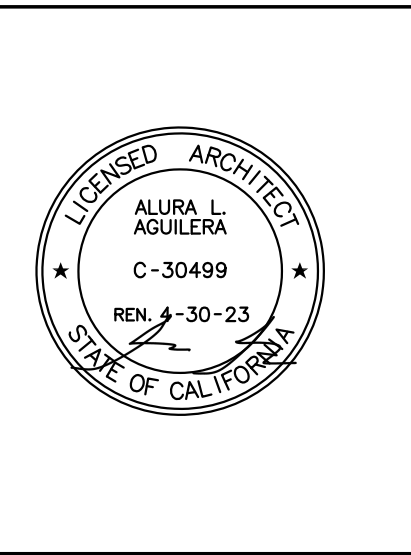
WEST COURTYARD WALL ELEVATION – DOORS OPEN

SCALE: 1/4" = 1'-0"



SOUTH COURTYARD WALL ELEVATION – DOORS OPEN

SCALE: 1/4" = 1'-0"



PROJECT TITLE:

Publik House TI
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE:

Sections

REVISIONS:	BY:
Δ DMT REVIEW 10/1/20	AA

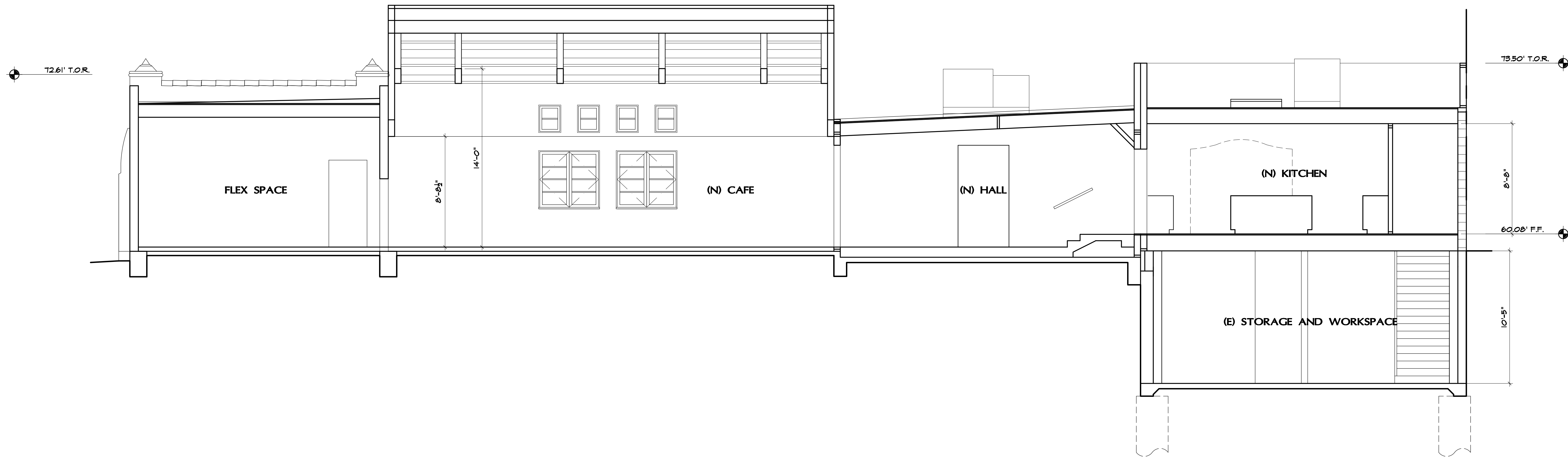
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DATE: 5/11/21
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JOB #: ROSE/BOWMAN
SHEET #:

A-4.1



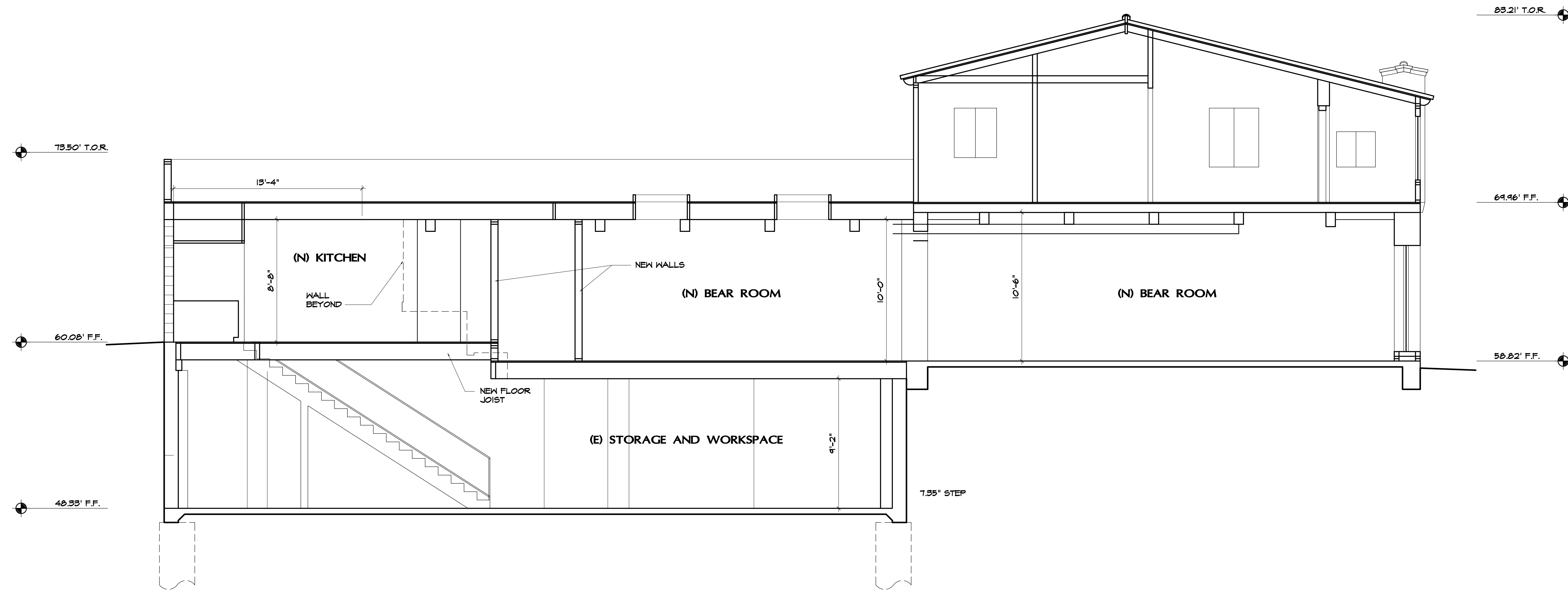
SECTION 1

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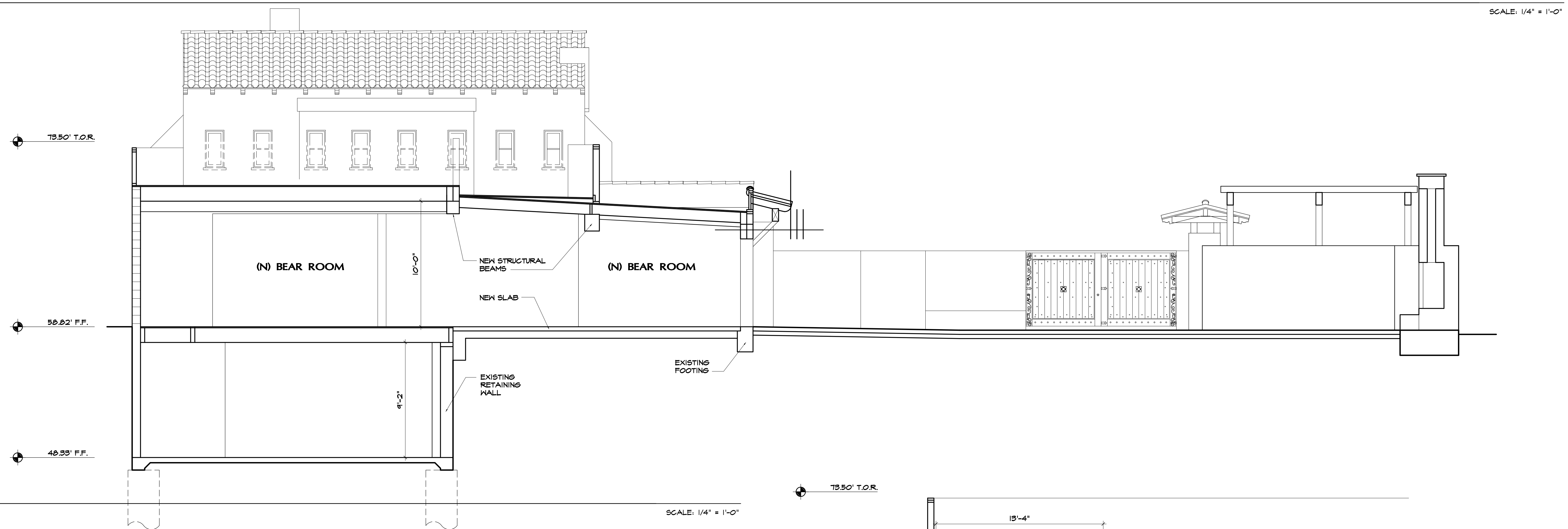


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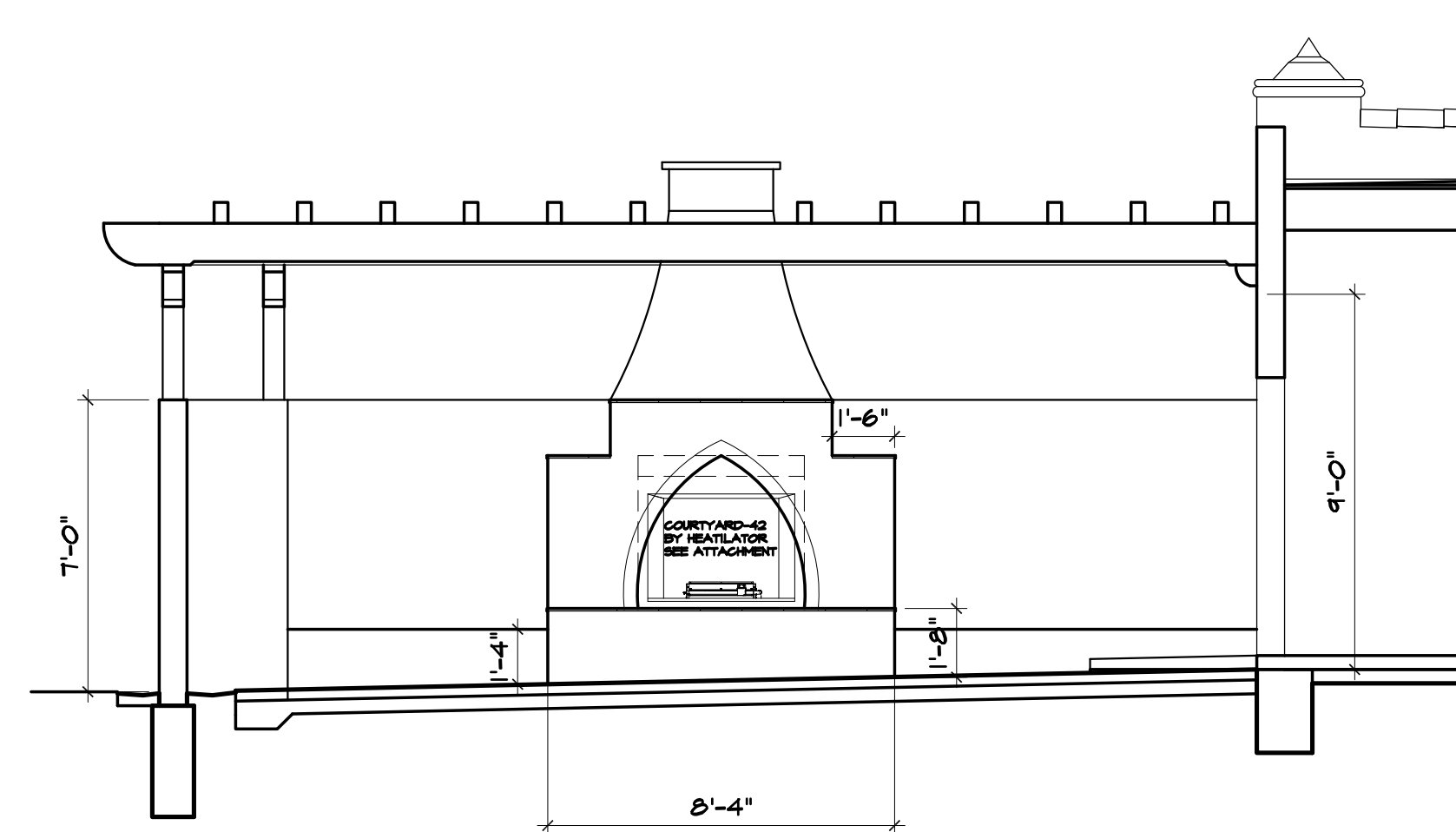
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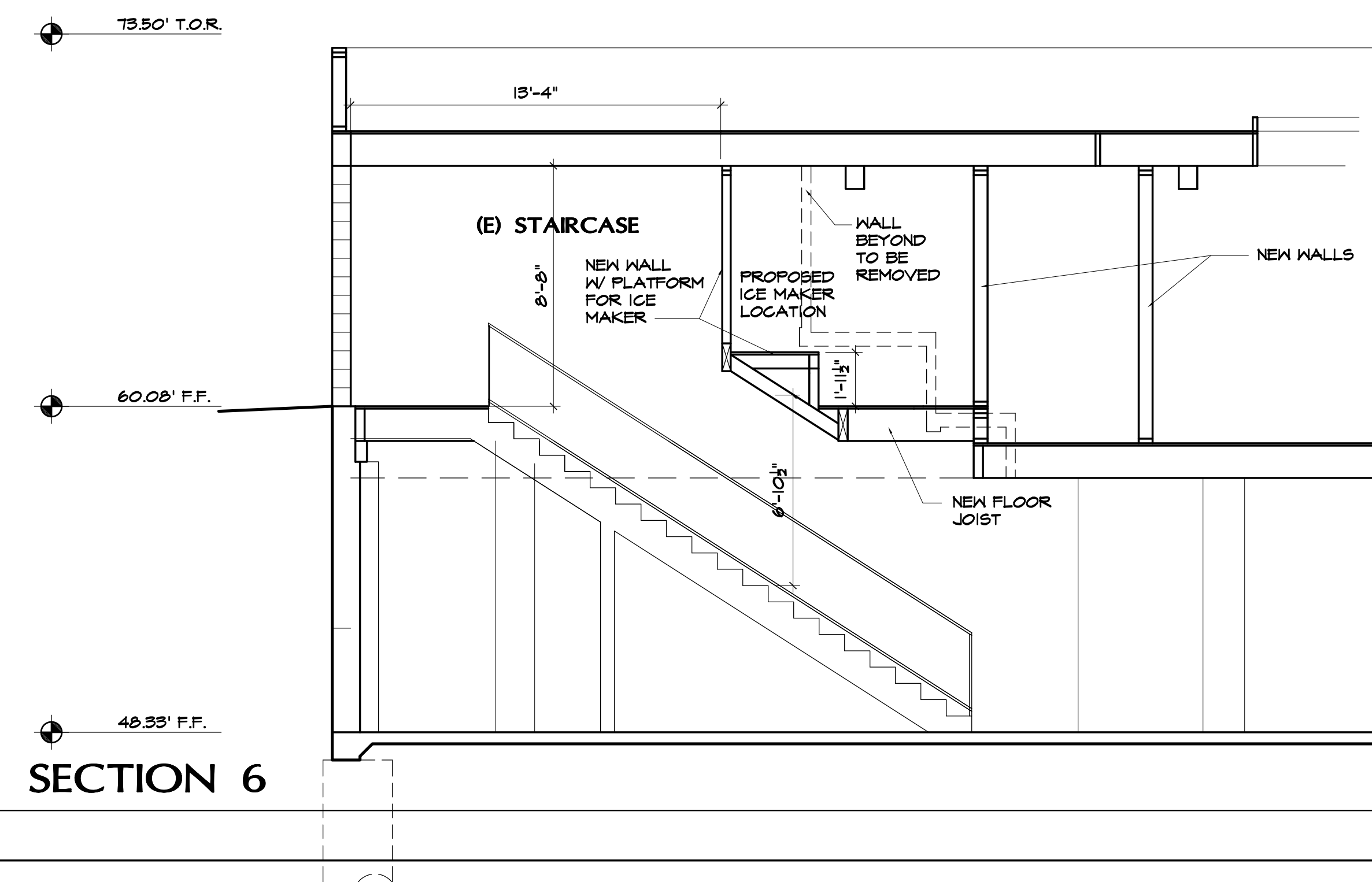
SECTION 3



SECTION 4



SECTION 5



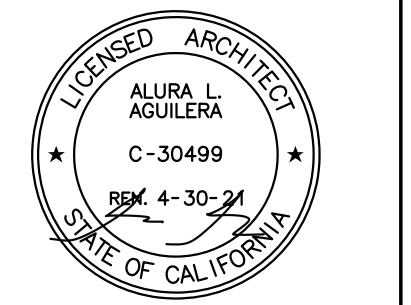
SECTION 6

a2 design

Architecture

1220 Avenida De La Estrella
San Clemente, ca 92672

Phone: 949 . 218 . 6472
Email: a2arc@cox.net



PROJECT TITLE:

Publik House Tl
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE:

Sections

REVISIONS:

BY:

DRAWN:

CHECKED:

DATE: 5/11/21

SCALE: AS SHOWN

JOB #: ROSE/BOWMAN

SHEET #:

A-4.2



Site Plan Details:

- Streets:**
 - CALLE DE LOS MOLINOS:** N10°48'30"E 100.00'
 - ALLEY:** N10°48'30"E 100.00'
 - EL CAMINO REAL:** N10°48'30"E 100.00'
- Building:**
 - Proposed 100,000 sq. ft. building.
 - Rooms include: 10' x 10' (1), 10' x 10' (2), 10' x 10' (3), 10' x 10' (4), 10' x 10' (5), 10' x 10' (6), 10' x 10' (7), 10' x 10' (8), 10' x 10' (9), 10' x 10' (10), 10' x 10' (11), 10' x 10' (12), 10' x 10' (13), 10' x 10' (14), 10' x 10' (15), 10' x 10' (16), 10' x 10' (17), 10' x 10' (18), 10' x 10' (19), 10' x 10' (20), 10' x 10' (21), 10' x 10' (22), 10' x 10' (23), 10' x 10' (24), 10' x 10' (25), 10' x 10' (26), 10' x 10' (27), 10' x 10' (28), 10' x 10' (29), 10' x 10' (30), 10' x 10' (31), 10' x 10' (32), 10' x 10' (33), 10' x 10' (34), 10' x 10' (35), 10' x 10' (36), 10' x 10' (37), 10' x 10' (38), 10' x 10' (39), 10' x 10' (40), 10' x 10' (41), 10' x 10' (42), 10' x 10' (43), 10' x 10' (44), 10' x 10' (45), 10' x 10' (46), 10' x 10' (47), 10' x 10' (48), 10' x 10' (49), 10' x 10' (50), 10' x 10' (51), 10' x 10' (52), 10' x 10' (53), 10' x 10' (54), 10' x 10' (55), 10' x 10' (56), 10' x 10' (57), 10' x 10' (58), 10' x 10' (59), 10' x 10' (60), 10' x 10' (61), 10' x 10' (62), 10' x 10' (63), 10' x 10' (64), 10' x 10' (65), 10' x 10' (66), 10' x 10' (67), 10' x 10' (68), 10' x 10' (69), 10' x 10' (70), 10' x 10' (71), 10' x 10' (72), 10' x 10' (73), 10' x 10' (74), 10' x 10' (75), 10' x 10' (76), 10' x 10' (77), 10' x 10' (78), 10' x 10' (79), 10' x 10' (80), 10' x 10' (81), 10' x 10' (82), 10' x 10' (83), 10' x 10' (84), 10' x 10' (85), 10' x 10' (86), 10' x 10' (87), 10' x 10' (88), 10' x 10' (89), 10' x 10' (90), 10' x 10' (91), 10' x 10' (92), 10' x 10' (93), 10' x 10' (94), 10' x 10' (95), 10' x 10' (96), 10' x 10' (97), 10' x 10' (98), 10' x 10' (99), 10' x 10' (100).
- Parking Lot:**
 - 15 spaces.
 - Drainage: PARKING LOT DRAINS TO LANDSCAPE AREAS.
- Notes:**
 - WARP GUTTER TO DISCHARGE FLOW TO LANDSCAPE AREAS.
 - CURB DRAIN SEE SHEET 2.
- Scale:** 0+00, 1+00, 2+00, 3+00.
- North Arrow:** Points towards the top right.

1. SEDIMENT IS A POTENTIAL POLLUTANT AND THE BMPs WERE SELECTED AND PLACED FOR OPTIMAL EROSION AND SEDIMENTATION CONTROL.
2. THE NEED FOR EROSION CONTROL DEVICES WILL VARY ACCORDING TO THE SEASON DURING CONSTRUCTION. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PLACE BMPs WHEREVER NECESSARY TO PREVENT EROSION AND SEDIMENTATION.
3. TEMPORARY EROSION CONTROL DEVICES ARE TO BE MAINTAINED BY THE CONTRACTOR AND KEPT IN OPERATION UNTIL SUBSEQUENT PROJECT WORK ELIMINATES THEIR NEED. IT MAY BE NECESSARY TO MOVE, ADJUST, REPLACE, OR CHANGE THE SHAPE OF THE EROSION CONTROL DEVICES DURING THE COURSE OF THE PROJECT. EROSION CONTROL DEVICES SHALL NOT BE REMOVED WITHOUT APPROVAL FROM THE ENGINEER OR INSPECTOR.
4. THE CONTRACTOR WILL BE RESPONSIBLE FOR MAINTENANCE OF BMPs. ALL CONTRACTORS AND THEIR PERSONNEL WHOSE WORK CAN CONTRIBUTE TO OR CAUSE POLLUTION OF STORM WATER SHOULD BE MADE FAMILIAR WITH THE POLLUTION PREVENTION PLAN.
5. CHANGES IN CONSTRUCTION OR IN A CONDITION WHICH ARE NOT COVERED BY THIS PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE INSPECTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR UPDATING THE EROSION AND SEDIMENTATION CONTROL PLAN AS REQUIRED TO ADDRESS THE CHANGING SITE CONDITIONS.
6. ALL PROJECTIVE DENSES DIRECTED TO BE INSTALLED SHALL BE IN PLACE AT THE END OF EACH WORK DAY WHEN THE FIVE DAY RAIN PROJECTION EXCEEDS 40%.

1. LOCATE CONCRETE WASHOUT AS DETERMINE IN FIELD BY CONTRACTOR. CONCRETE WASHOUT SHALL BE INSTALLED PER CASQA WM-8
2. LOCATION OF DEBRIS RECEPTACLES, VEHICLE STAGING AREA AND MATERIALS STORAGE AREA TO BE DETERMINED BY CONTRACTOR, INSTALLED PER CASQA WM-5, WM-9.
3. PETROLEUM PRODUCTS, CHEMICALS, AND OTHER POTENTIAL POLLUTANT MATERIAL KEPT ON-SITE IN MINOR QUANTITIES WILL BE STORED IN WATERPROOF CONTAINERS AND CONTINUALLY MONITORED TO PREVENT LEAKS OR ACCIDENTAL RELEASES.

[illegible]

ALL MATERIAL EXCAVATED OR GRADED SHALL BE SUFFICIENTLY WATERED TO PREVENT EXCESSIVE AMOUNTS OF DUST. WATERING SHALL OCCUR AT LEAST TWICE DAILY WITH COMPLETE COVERAGE, PREFERABLY IN THE LATE AFTERNOON WHEN WINDS ARE MOST LIKELY TO PICK UP.

ALL CLEARING, GRADING, EARTH MOVING, OR EXCAVATION ACTIVITIES SHALL CEASE DURING PERIODS OF HIGH WINDS SO AS TO PREVENT EXCESSIVE AMOUNTS OF DUST OR VISIBLE SITE DISTURBANCE.

ALL MATERIAL TRANSPORTED OFF-SITE SHALL BE EITHER SUFFICIENTLY WATERED OR SECURELY COVERED TO PREVENT EXCESSIVE AMOUNTS OF DUST.

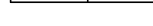



THE AREA DISTURBED BY CLEARING, GRADING, EARTH MOVING, OR EXCAVATION OPERATIONS SHALL BE MINIMIZED SO AS TO PREVENT EXCESSIVE AMOUNTS OF DUST.

PERMANENT DUST CONTROL MEASURES DESCRIBED HEREON SHALL BE IMPLEMENTED AS SOON AS POSSIBLE FOLLOWING COMPLETION OF ANY SOIL DISTURBING ACTIVITIES.

ON-SITE VEHICLE SPEED SHALL BE LIMITED TO 15 MPH FOR ANY UNPAVED SURFACE.

ALL UNPAVED AREAS WITH VEHICLE TRAFFIC SHALL BE WATERED AT LEAST TWICE PER DAY USING NON-POTABLE WATER.

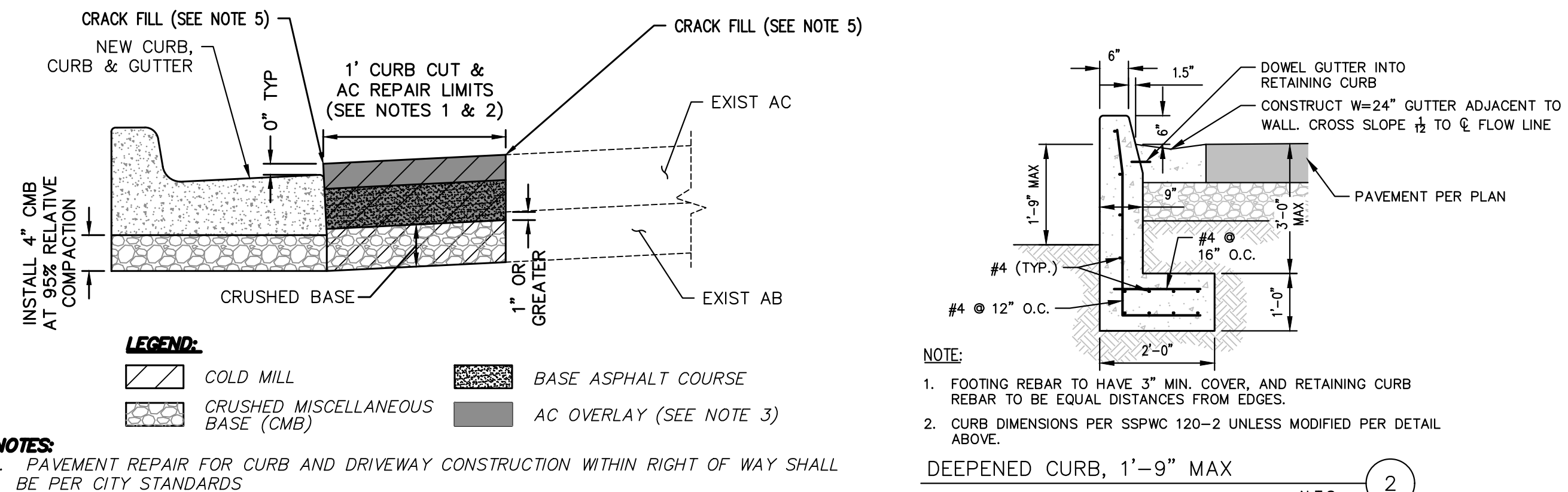
STREETS ADJACENT TO THE PROJECT SITE SHALL BE SWEEP DAILY TO REMOVE SLT WHICH MAY HAVE ACCUMULATED FROM CONSTRUCTION ACTIVITIES SO AS TO PREVENT EXCESSIVE AMOUNTS OF DUST FROM LEAVING THE SITE.

LEGEND	
	DESCRIPTION
(123.45)	MEAS. ELEVATIONS
()	REC. BRG. & DIST.
≡	BRICK
==	DECK
	WALL
	BUILDING
	PROPERTY LINE
X	FENCE
	BENCH MARK
A.C.	ASPHALT
C.F.	CURB FACE
CONC.	CONCRETE
CP	CONTROL POINT
F.F.	FINISH FLOOR
FL	FLOWLINE
F.S.	FINISH SURFACE
G.F.	GARAGE FLOOR
L&T	LEAD & TAG
M.H.	MAN-HOLE
N.G.	NATURAL GRADE
	PLANTER
P.P.	POWER POLE
T.C.	TOP OF CURB
T.G.	TOP-GRADE
T.O.R.	TOP OF ROOF
S&W	SPIKE & WASHER
WM	WATER METER

TOTAL ESTIMATED EARTHWORK:	
CUT:	6 C.Y.
FILL:	35 C.Y.
NET IMPORT:	29 C.Y.

EARLY WORK QUANTITIES ARE RAW ESTIMATES ONLY. FROM 3' BELOW THE EXISTING SURFACE TO 9" BELOW THE PROPOSED SURFACE. PAVEMENT SECTIONS ARE ASSUMED. NO MATERIAL SHRINKAGE OR EXPANSION FACTOR INCLUDED IN THIS ESTIMATE AND DOES NOT REFLECT SUBSIDENCE, OR ANY MATERIAL GENERATED BY UTILITY TRENCHING AND BUILDING FOOTINGS. THE QUANTITIES SHOWN ARE INTENDED FOR USE IN PREPARING BIDDING DOCUMENTS. CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE QUANTITIES FOR BID PURPOSES. ANY EXPORT OR IMPORT REQUIRE TO BALANCE THE SITE SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.

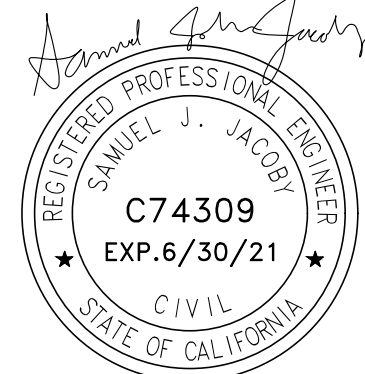
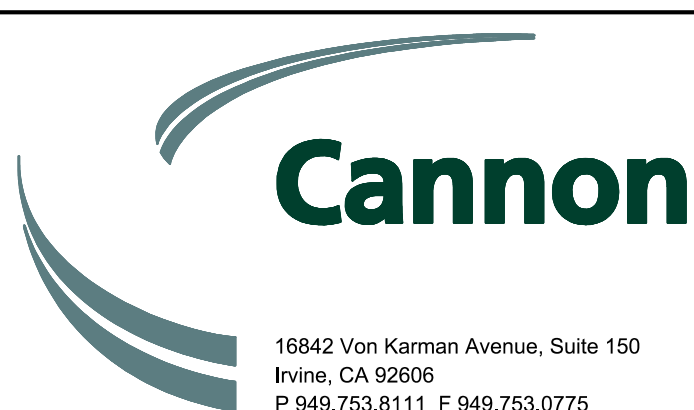
- ① SAWCUT.
- ② REMOVE EXISTING STRIPING.
- ③ CONSTRUCT ASPHALT MATCH EX. PAVEMENT SECTION. WHERE ASPHALT DIRECTLY ADJUTS LANDSCAPING, CONSTRUCT ASPHALT MATCH AGAINST SLOWDOWN HEADER.
- ④ CONSTRUCT SIDEWALK PER ARCH PLANS. CONSTRUCT WITH TURN DOWN EDGE AT ASPHALT TO PROVIDE TYP "4" CURB FACE.
- ⑤ CONSTRUCT PAVING PER ARCH PLANS.
- ⑥ LANDSCAPE PER BUILDING PLANS.
- ⑦ SITE ACCESSIBLE ENTRANCE. GATE PER BUILDING PLANS.
- ⑧ PARKING STRIPING PER BUILDING PLANS.
- ⑨ ACCESSIBLE PARKING, ACCESS AISLE, SIGNAGE PER ARCH PLANS.
- ⑩ "UNAUTHORIZED PARKING" SIGNAGE PER ARCH PLANS.
- ⑪ COURTYARD IMPROVEMENTS, ACCESS, PER ARCH PLANS.
- ⑫ TRASH ENCLOSURE, APRON PER ARCH PLANS.
- ⑬ CONSTRUCT A1-6, 6" CURB PER SPWVC 120-2. SEE DETAIL 3, 5, SHEET. SLOT CUT REPAIR SHALL BE PER DETAIL 3, 5 SHEET.
- ⑭ CONSTRUCT RETAINING CURB WITH ADJACENT GUTTER PER DETAIL 2, 3 SHEET



PAVEMENT REPAIR FOR CURB AND DRIVEWAY CONSTRUCTION WITHIN RIGHT OF WAY SHALL BE PER CITY STANDARDS

1. REPAIR SHALL BE 1 FOOT BEYOND THE LIP OF GUTTER TO DEPTH INDICATED HEREIN
2. REPAIR SHALL BE 1 FOOT BEYOND THE LIP OF GUTTER TO DEPTH INDICATED HEREIN
3. REPAIR LIMIT SHALL BE A MINIMUM OF 1 FEET BEYOND THE CURB CUT LIMIT, UNLESS OTHERWISE APPROVED BY THE ENGINEER.
4. REPAIR SHALL BE 1 FOOT BEYOND THE EXTENDED A MINIMUM OF 1 FOOT BEYOND REPAIR LIMITS, UNLESS OTHERWISE APPROVED BY THE ENGINEER. AS PAVEMENT OVERLAY MATERIAL SHALL BE FULL DEPTH.
5. REPAIR SHALL BE MADE TO THE NEAREST SCORE JOINT OR SAW CUT, IF SAID JOINT IS LESS THAN 4 FEET FROM WORK LIMITS.
6. REPAIR SHALL BE COMPLETELY REMOVED, CLEANED, AND WEED KILLER APPLIED PRIOR TO PLACING PAVING FABRIC.

SLOT CUT – ASPHALT REPAIR

[illegible]

THESE DRAWINGS ARE INSTRUMENTS OF SERVICE AND ARE THE PROPERTY OF CANNON. ALL DESIGNS AND INFORMATION ON THESE DRAWINGS ARE FOR USE OF THE SPECIFIED PROJECT AND SHALL NOT BE USED OTHERWISE OR REPRODUCED WITHOUT THE EXPRESSED WRITTEN PERMISSION OF CANNON.

DRAWN BY AJB	DATE 5/24/2021	CA JOB NO. 210149
CHECKED BY SJJ	SCALE 1" = 10'	SHEET C1 OF 2

SITE PLAN NOTES

- THE FINISH GRADE AROUND THE NEW STRUCTURE/ADDITION SHALL BE SLOPED AWAY FROM THE BUILDING FOR DRAINAGE PURPOSES.
- WATER QUALITY BEST MANAGEMENT PRACTICES FEATURES SHALL BE UTILIZED ON THE SITE.
- THE CITY OF SAN CLEMENTE AS FOLLOWS: WATER WHICH ACCUMULATES ON A ROOF SHALL BE EFFECTIVELY DRAINED AND CONVEYED FROM THE ROOF TO A STORM DRAIN, STREET GUTTER, OR OTHER LOCATIONS APPROVED BY THE BUILDING OFFICIAL. SUCH WATER SHALL BE CONVEYED THROUGH GUTTERS, LEADERS, ASSOCIATED PIPING OR OTHER NON-ERODABLE SURFACE DRAINAGE DEVICES AS APPROVED BY THE BUILDING OFFICIAL.
- ALL ROOFING TO BE CLASS "A". SEE ELEVATION KEYNOTES ON A-3.1-A-3.2 FOR MORE INFO. ARTISTIC ELEMENT SHALL BE PROVIDED IN COURTYARD TO PAY TRIBUTE TO THE STRUCTURE'S ARTS HERITAGE.
- ONE EVCS SHALL BE PROVIDED AT VAN ACCESSIBLE SPACE PER 2016 CBC 5.106.5.3.1) (NOTE: WHEN ONLY A SINGLE CHARGING SPACE IS REQUIRED PER TABLE 5.106.5.3.3, A RACENAY IS REQUIRED TO BE INSTALLED AT THE TIME OF CONSTRUCTION AND SHALL BE INSTALLED IN ACCORDANCE WITH THE CEC. CONSTRUCTION PLANS AND SPECIFICATIONS SHALL INCLUDE, BUT ARE NOT LIMITED TO, THE FOLLOWING:
 - A LISTED RACENAY CAPABLE OF ACCOMMODATING A 208/240-VOLT DEDICATED BRANCH CIRCUIT.
 - THE RACENAY SHALL NOT BE LESS THAN TRADE SIZE 1".
 - THE RACENAY SHALL ORIGINATE AT A SERVICE PANEL OR A SUBPANEL SERVING THE AREA, AND SHALL TERMINATE IN CLOSE PROXIMITY TO THE PROPOSED LOCATION OF THE CHARGING EQUIPMENT AND INTO A LISTED SUITABLE CABINET, BOX, ENCLOSURE OR EQUIVALENT.
 - THE SERVICE PANEL OR SUBPANEL SHALL HAVE SUFFICIENT CAPACITY TO ACCOMMODATE A MINIMUM 40-AMPERE DEDICATED BRANCH CIRCUIT FOR THE FUTURE INSTALLATION OF THE EVSE.

- SHORT-TERM BICYCLE PARKING SHALL BE PROVIDED. SEE SITE PLAN. BICYCLE RACKS SHALL BE PERMANENTLY ANCHORED WITHIN 200 FEET OF THE VISITORS ENTRANCE, READILY VISIBLE TO PASSERS-BY WITH A MIN. OF ONE TWO-BIKE CAPACITY RACK.5.106.4.1.1

HEIGHT ANALYSIS

*NOTE: SEE SITE PLAN ON A-1.1 FOR T.O.R. HEIGHT CALLOUTS

	①	②	③	④
A RIDGE ELEVATION	83.21	83.21	83.21	83.21
FINISH GRADE	58.10	54.05	58.37	58.65
	25.11	24.16	24.84	24.56
				= 18.61'
B RIDGE ELEVATION	71.44	71.44	71.44	71.44
FINISH GRADE	58.27	58.27	58.64	58.64
	14.12	14.12	14.30	14.30
				= 14.31'

SITE PLAN LEGEND

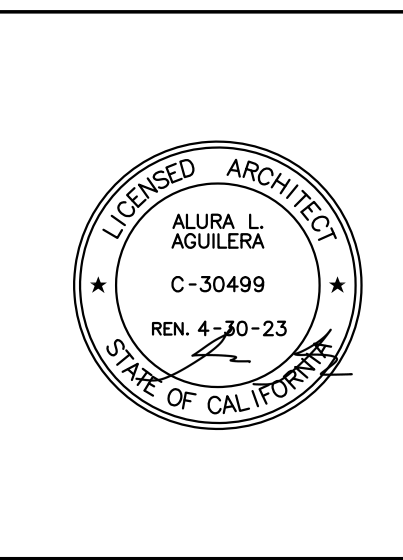
- BUILDING FOOTPRINT
- LANDSCAPING AREAS SEE L-SHEETS
- PROPERTY LINE
- CENTER LINE OF STREET

a2 design

Architecture

1220 Avenida De La Estrella
San Clemente, ca 92672

Phone: 949.218.6472
Email: a2arc@cox.net



PROJECT TITLE

Publik House T1
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE

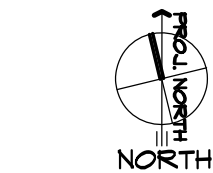
Site Plan

REVISIONS: BY:
CCC 5/12/21 AA

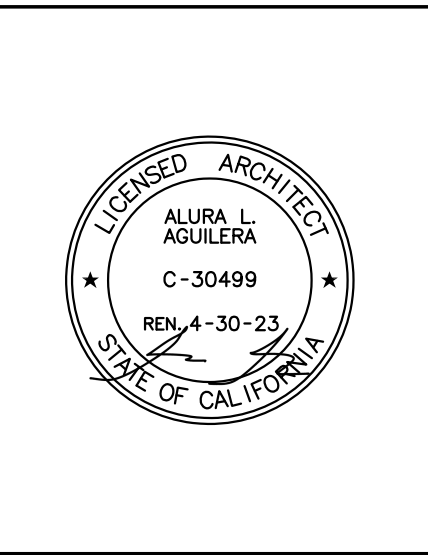
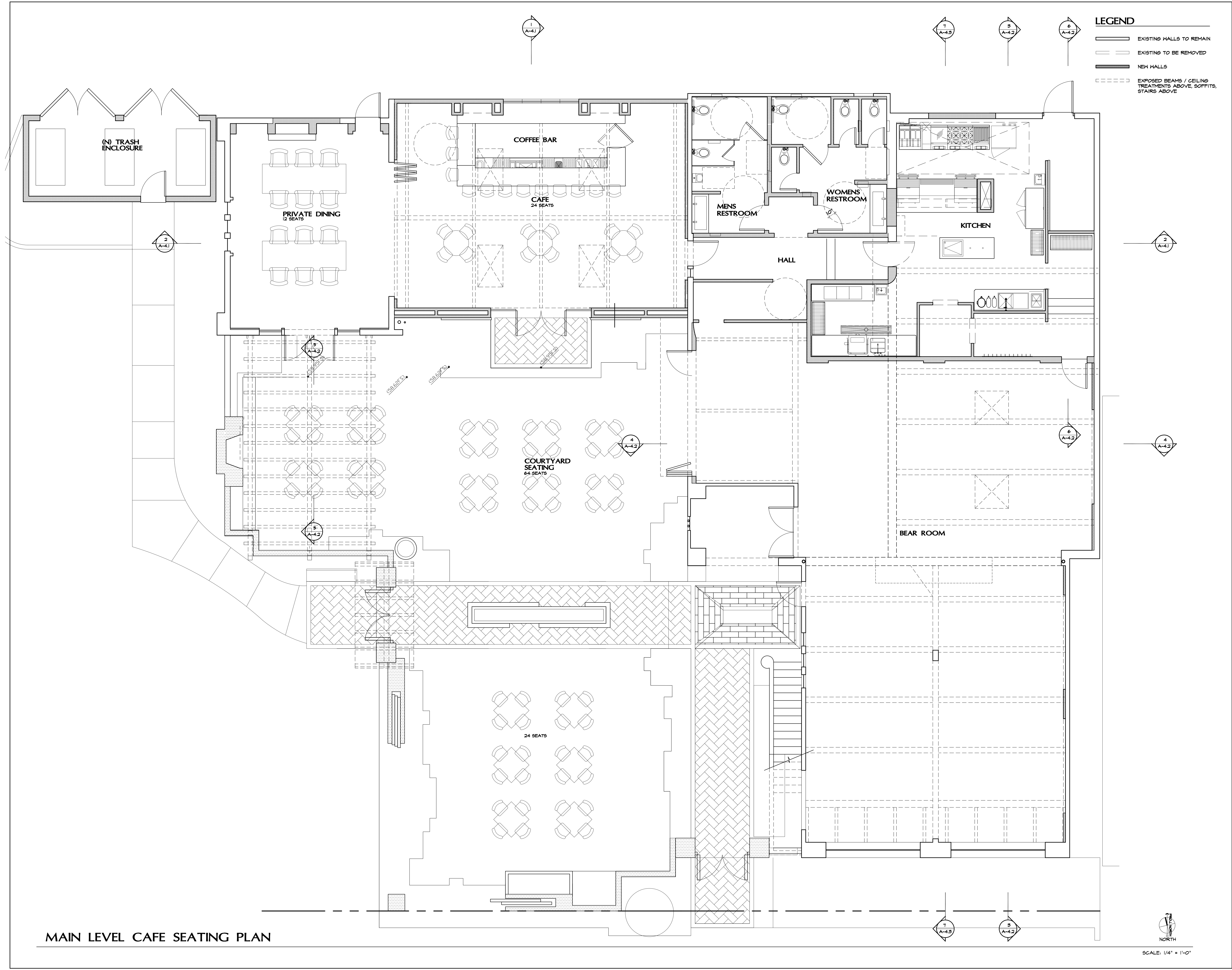
DRAWN:
CHECKED:
DATE: 5/27/21
SCALE: AS SHOWN
JOB #: ROSE/BOWMAN
SHEET #:

A-1.1

SITE PLAN



SCALE: 1/4" = 1'-0"



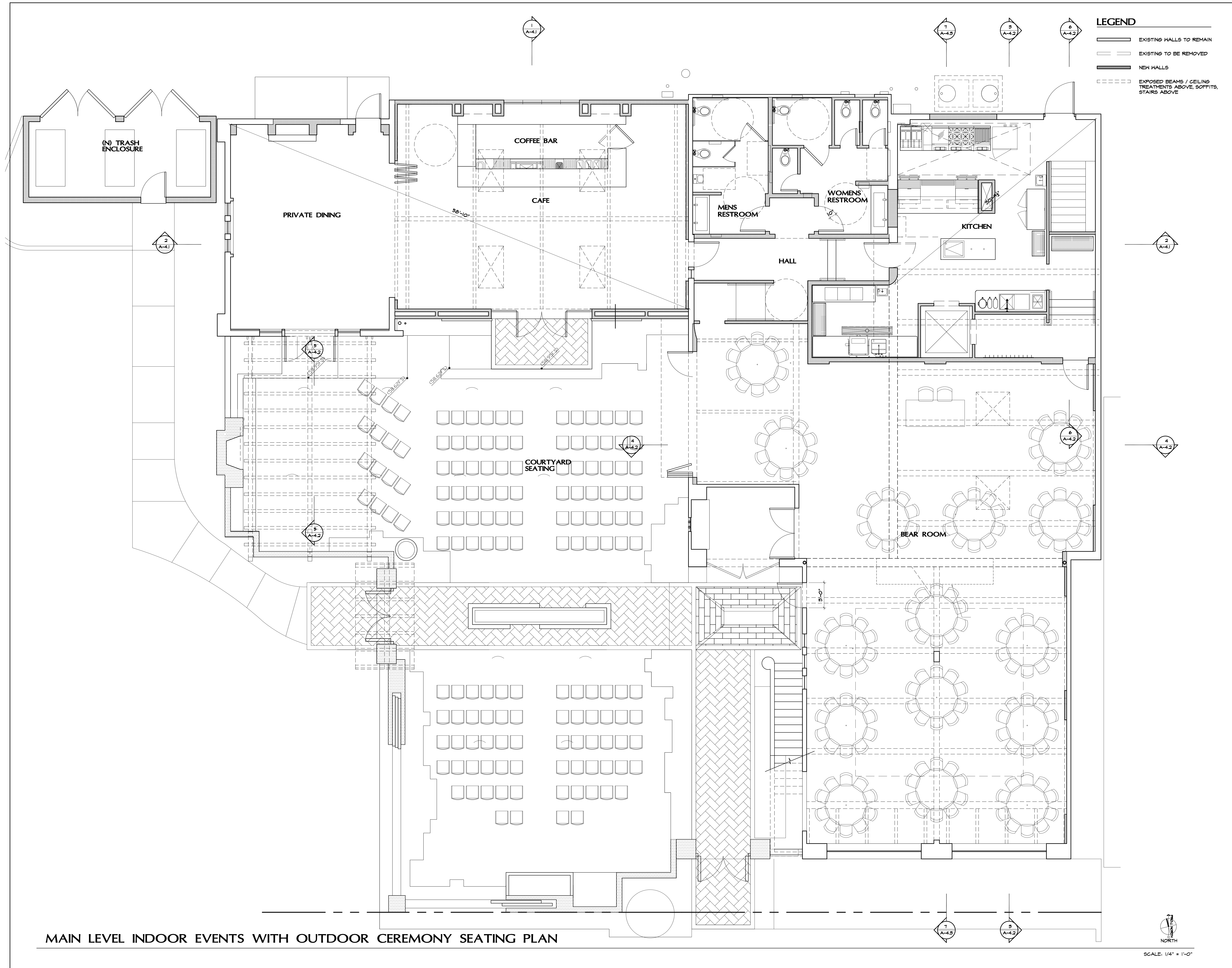
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**Publik House TI
Events Center and Cafe**
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE:
**Main Level
Cafe
Seating Plan**

REVISIONS:	BY:

DRAWN:
CHECKED:
DATE: 5/12/21
SCALE: AS SHOWN
JOB #: ROSE/BOWMAN
SHEET #:

A-2.2A

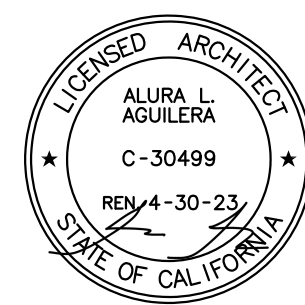


a2 design

Architecture

1220 Avenida De La Estrella
San Clemente, ca 92672

Phone: 949 . 218 . 6472
Email: a2arc@cox.net



PROJECT TITLE:

Publik House TI
Events Center and Cafe
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE:

Main Level
Indoor Events
Seating Plan

REVISIONS: BY:

DRAWN:

CHECKED:

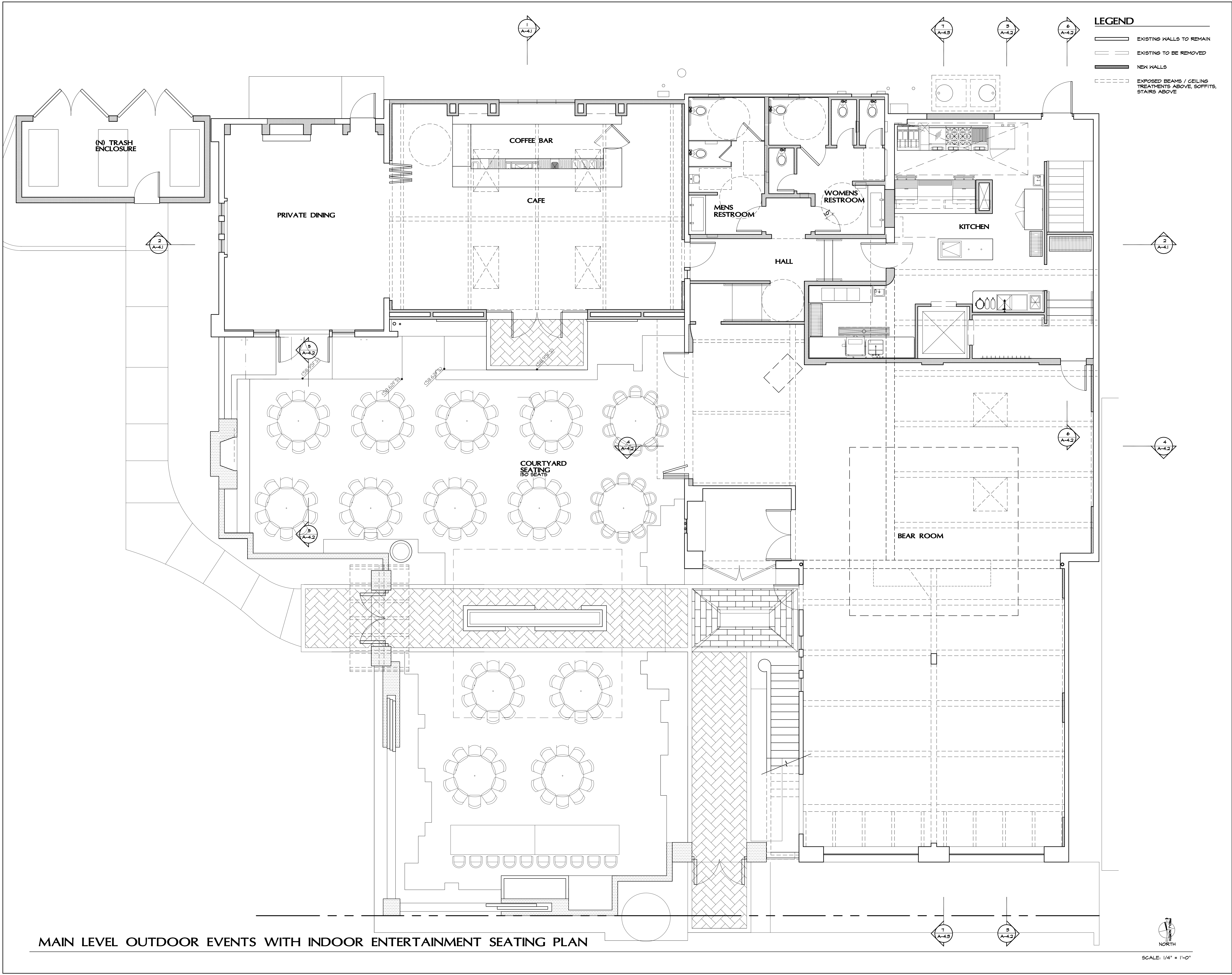
DATE: 5/12/21

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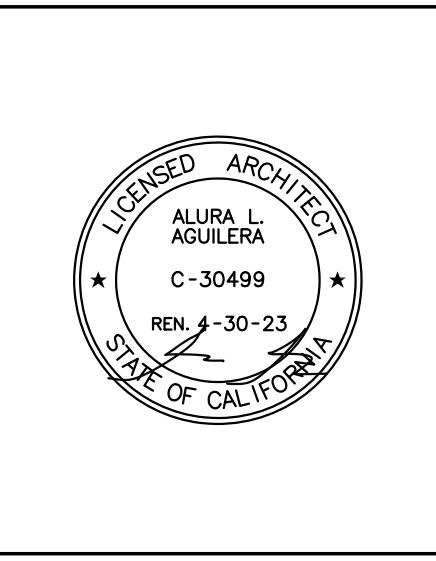
JOB #: ROSE/BOWMAN

SHEET #:

A-2.2B



a2 design
Architecture
1220 Avenida De La Estrella
San Clemente, ca 92672
Phone: 949 . 218 . 6472
Email: a2arc@cox.net



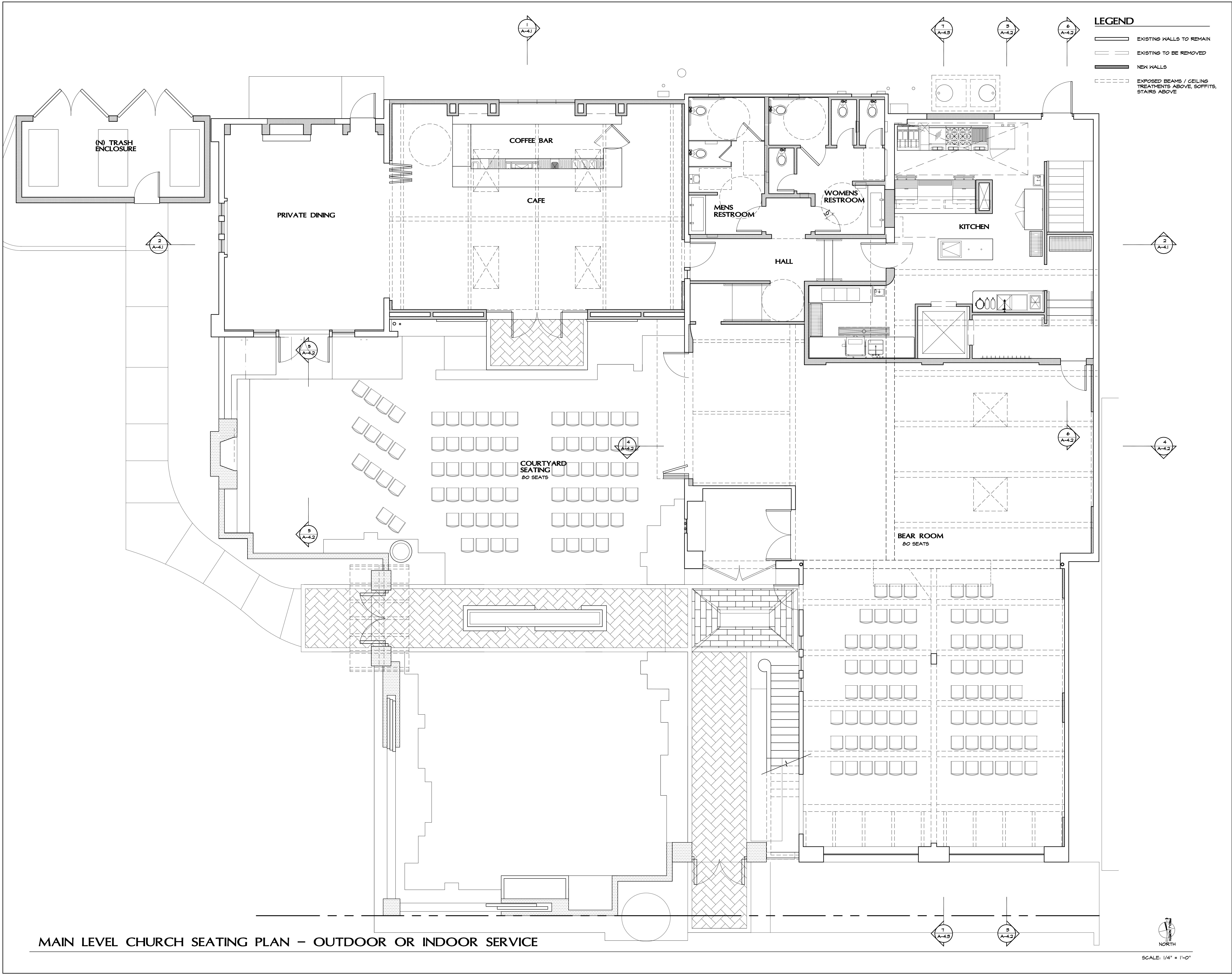
PROJECT TITLE:
**Publik House T1
Events Center and Cafe**
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE:
**Main Level
Outdoor Events
Seating Plan**

REVISIONS:	BY:

DRAWN:
CHECKED:
DATE: 5/27/21
SCALE: AS SHOWN
JOB #: ROSE/BOWMAN
SHEET #:

A-2.2C



PROJECT TITLE:
**Publik House TI
Events Center and Cafe**
1531 N. El Camino Real
San Clemente, Ca 92672
(949) 584-9384

SHEET TITLE:
**Main Level
Church
Seating Plan**

REVISIONS:	BY:

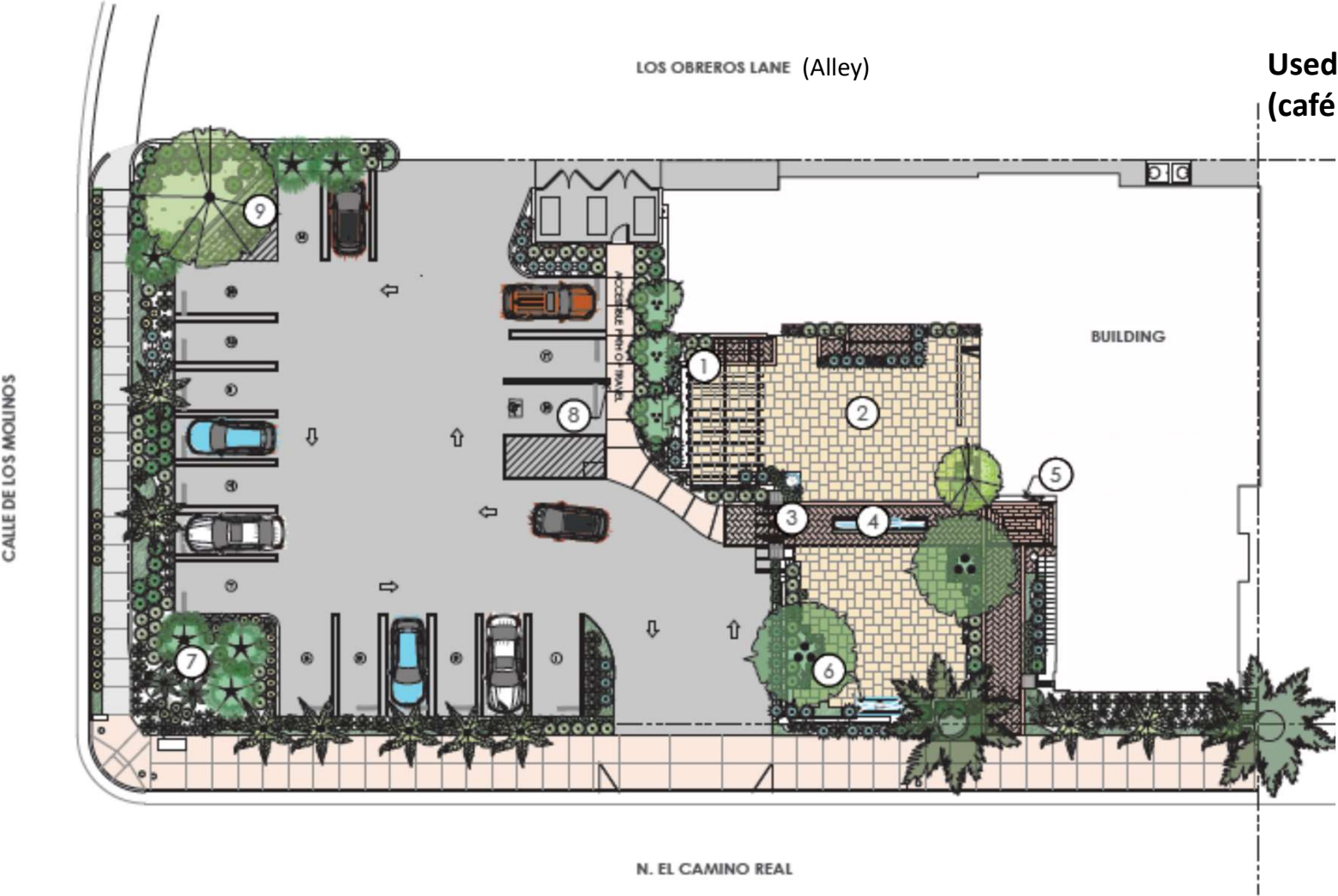
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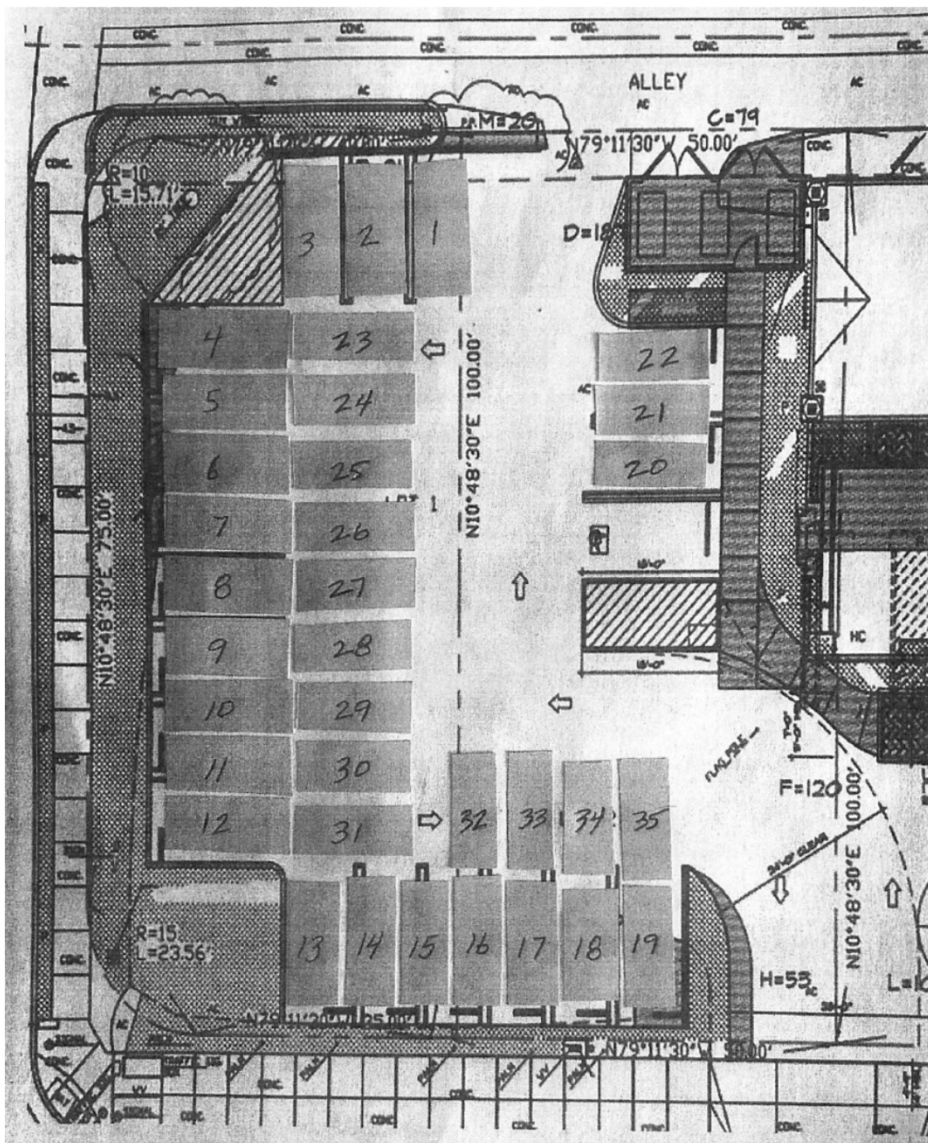
A-2.2D

Proposed Project Parking – No Valet

Non-Valet = 18 spaces

Used with the daytime uses
(café Mon – Sat; church - Sun)





Proposed Project Parking – With Valet

Special Events Valet Parking: **35 spaces on-site**
(evenings, after 5 pm)

5-21-0120 Publik House
Exhibit 5

PARKING ANALYSIS

USE	PARKING CALC.	S/F / # SEATS PROPOSED DURING HOURS OF OPERATION	HOURS OF OPERATION	# PARKING SPACES REQUIRED	# PARKING SPACES PROVIDED
MONDAY-FRIDAY DAYTIME					
CAFE	5 SEATS PER SPACE + 16 OUTDOOR SEATS	96 SEATS	7AM-2PM MON-FRI	16 SPACES	16 SPACES
OFFICE	IN MU ZONES WITHIN THE CB OVERLAY, 1 PER 350 S.F. 1134/350=3.24	1134 SF	8AM-5PM MON-FRI	4 SPACES	2 SPACES
TOTAL DAYTIME			7AM-5PM 7 DAYS PER WEEK	20 SPACES	18 SPACES
MONDAY-FRIDAY EVENING					
EVENT SPACE	5 SEATS PER PARKING SPACE FOR 150 SEATS 150/5 = 30 REQ'D. SPACES	150 SEATS	3PM-11PM MON-FRI	30 SPACES	18 SPACES
TOTAL EVENING			3PM-11PM MON-FRI	30 SPACES	18 SPACES
SATURDAY DAYTIME					
CAFE	5 SEATS PER SPACE + 16 OUTDOOR SEATS	100 SEATS	7AM-2PM SAT	20 SPACES	18 SPACES
TOTAL SATURDAY DAYTIME			7AM-2PM SAT	20 SPACES	18 SPACES
SATURDAY EVENING					
EVENT SPACE	5 SEATS PER PARKING SPACE FOR 150 SEATS 150/5 = 30 REQ'D. SPACES	150 SEATS	3PM-11PM SATURDAY	30 SPACES	18 SPACES
TOTAL SATURDAY EVENING			3PM-11PM SATURDAY	30 SPACES	18 SPACES
SUNDAY - DAYTIME					
CHURCH	4 SEATS PER PARKING SPACE 80 SEATS	80 SEATS	7AM-12PM SUNDAY	20 SPACES	18 SPACES
TOTAL SUNDAY DAYTIME			7AM-12PM SUNDAY	20 SPACES	18 SPACES
SUNDAY EVENING					
EVENT SPACE	5 SEATS PER PARKING SPACE FOR 150 SEATS 150/5 = 30 REQ'D. SPACES	150 SEATS	1PM-11PM SUNDAY	30 SPACES	18 SPACES
TOTAL SUNDAY EVENING			1PM-11PM SUNDAY	30 SPACES	18 SPACES

Uses, hours & parking as approved by the
City of San Clemente
and
Proposed by the Applicant

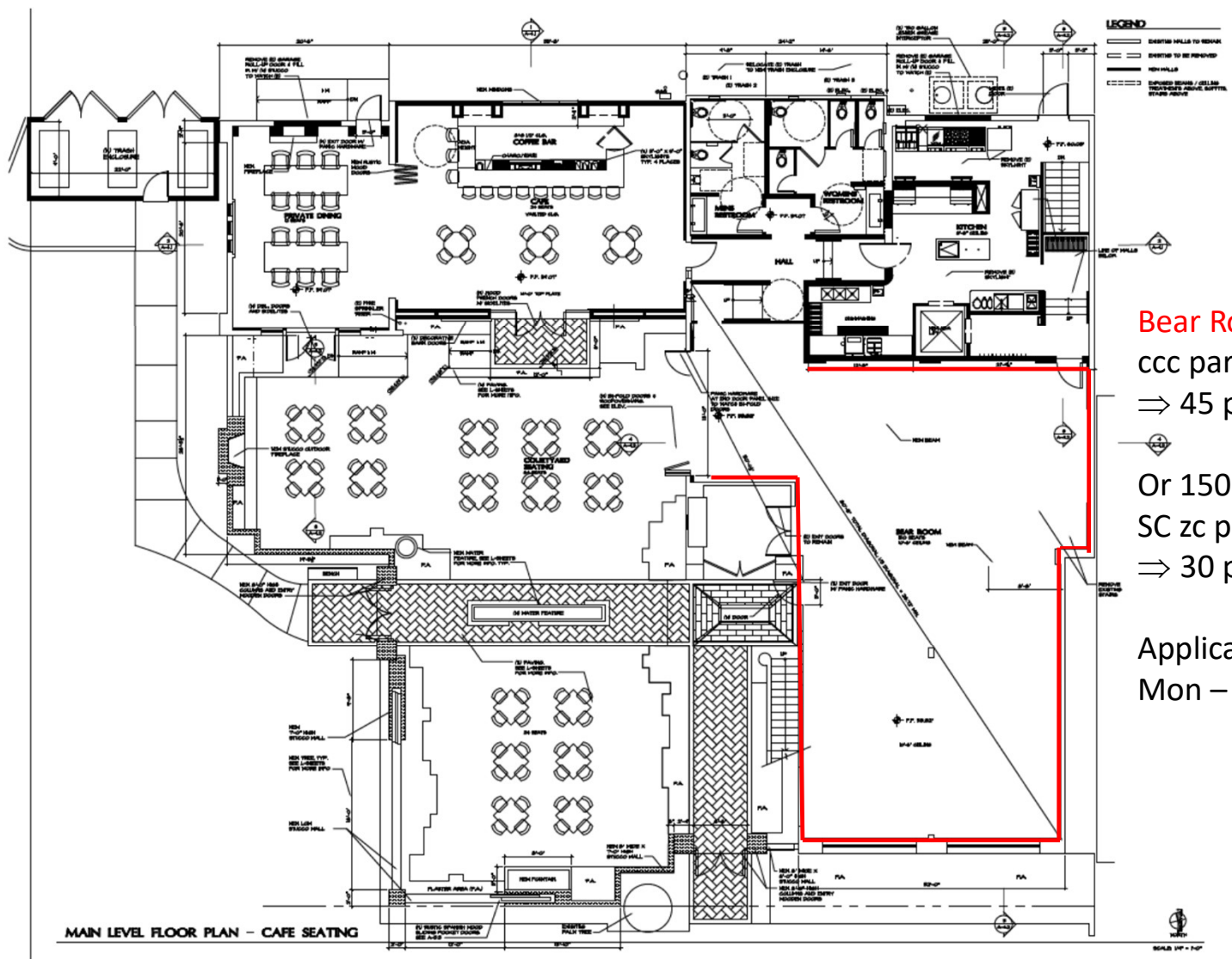
5-21-0120 Publik House
City Approved Parking
Exhibit 6

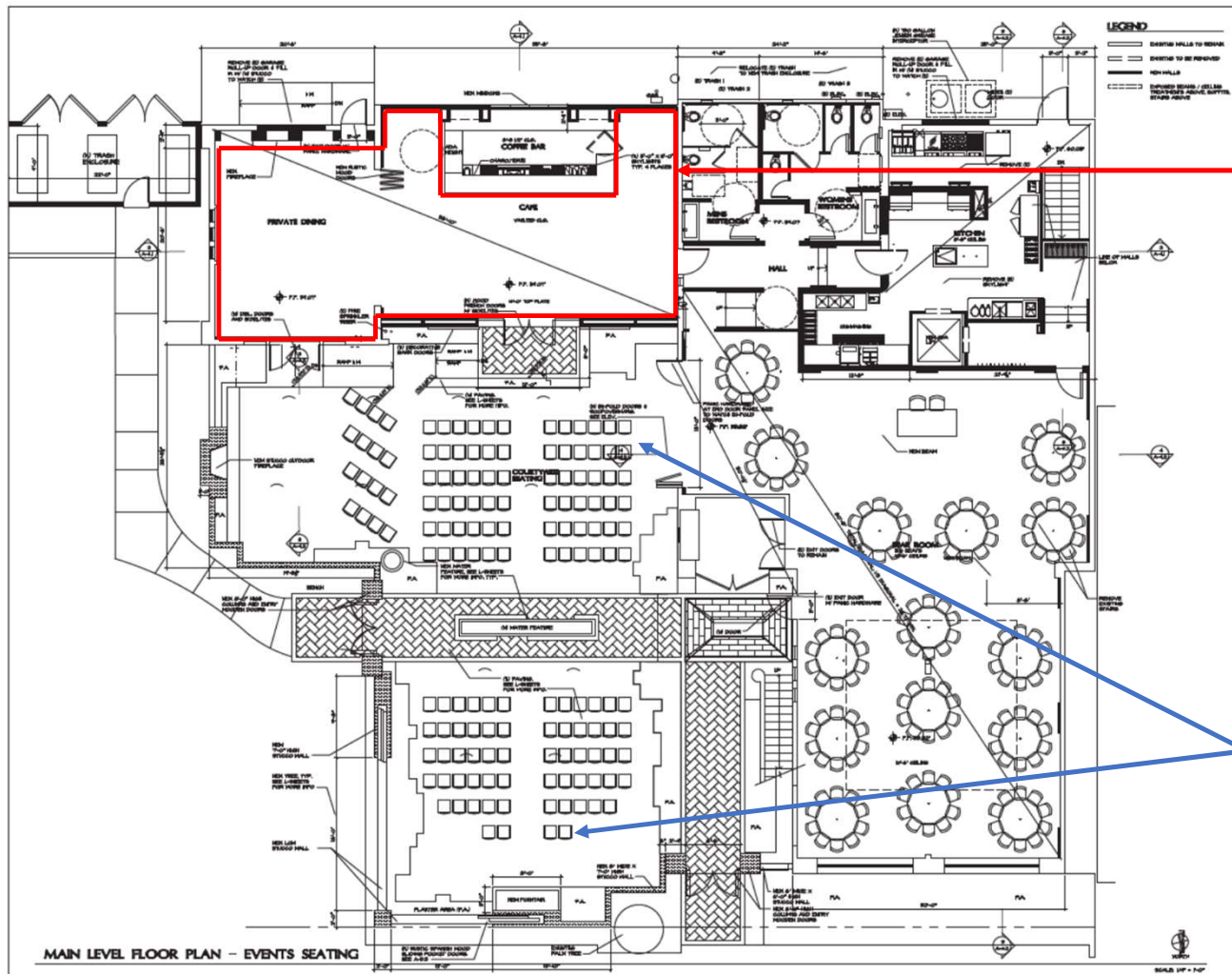
Parking Demand Comparison

	Seats	Parking Req'd by # of seats (City)	Public svc area Sq ftg (CCC)	Parking Req'd By sq ftg/use	# spaces required	Total Public Svc Area*	Prkg spcs prvd'd
						5545 sq ft	
Café	96 (M-F)	1 sp/5 seats 19.2 => 20 spaces	569 - café indoor 462 - private dining <u>2259</u> - Courtyard 3290 – Total pub svc area	1 sp/50 sq ft of pub svc area	Café indoor = 11.38 => 12 Private dng = 9.24 => 10 Courtyard = 45.18 => <u>46</u> Total = 68	110.9 => 111 parking spaces for total public service area including indoor Bear Room (1 space/50 sq ft pub svc area) Note: not all pub svc area prop'd to be used at once	18
	100 (Sat)	20 seats					
church	80	1 sp/4 seats (City) 20 seats 1 sp/3 seats (CCC) 27 seats	2259 – courtyard <u>2255</u> – Bear Room 4514 total church	1 sp/21 sq ft of seating area	Courtyard = 107.5 => 108 Bear Room = 107.3 => 108 Total = 216	264 parking spaces 1 space/ 21 sq ft Note: not all seating area is proposed to be used at once	18
Event	100	1 sp/5 seats 20 seats	2259 - Courtyard <u>2255</u> - Bear Room 4514 – Total pub svc area	1 sp/50 sq ft of Public svc area	Courtyard = 45.18 => 46 Bear Room = 45.1 => <u>46</u> Total = 92		18
	150	1 sp/5 seats 30 seats					35 w/ valet
office	n/a		1134 sq ft office space	1 sp/350 sq ft City 1 sp/250 sq ft ccc	3.24 => 4 spaces 4.5 => 5 spaces		

5-21-0120 Publik House

Parking Demand Comparison Chart
Exhibit 7





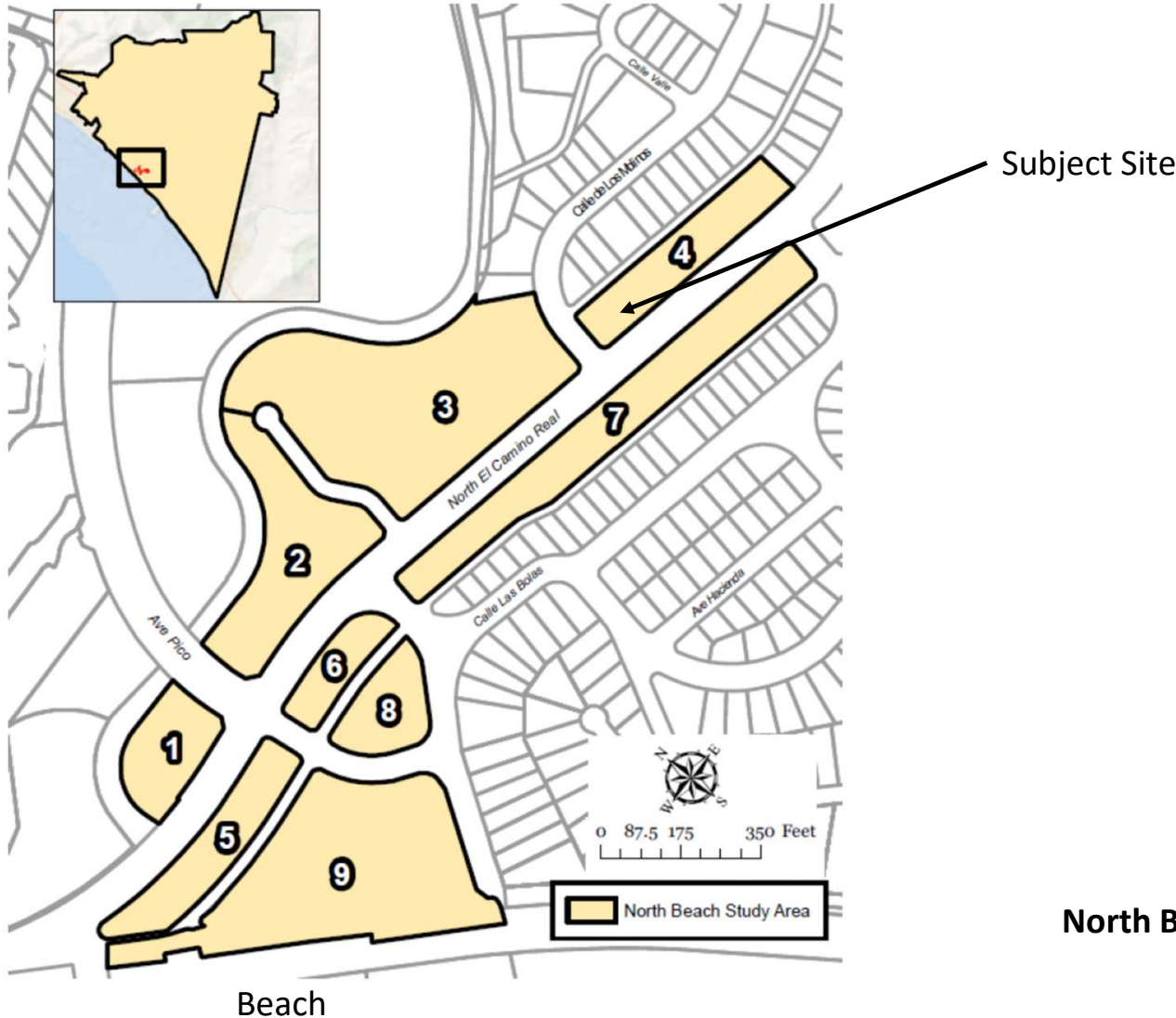
Private Dining = 462 sq ft
 Café Indoor Dining = 569 sq ft
 Total sq ft = **1,039 sq ft**
 Area to be unavailable for evening events

ccc parking ratio 1 sp/50 sq ft public service area
 ⇒ **21** parking spaces
 Applicant proposes not to use this area
 Sun – Sat during evening event use.

Also, appears that rows of seats in patio,
 could potentially be used for dining area in
 addition to the max 150 seats shown
 (once wedding ceremony or other event
 is concluded).

Public Service Closure Areas
Example
Exhibit 8b

Figure 1 – Vicinity Map



City of San Clemente's
North Beach Parking Study Figure 1
Exhibit 9



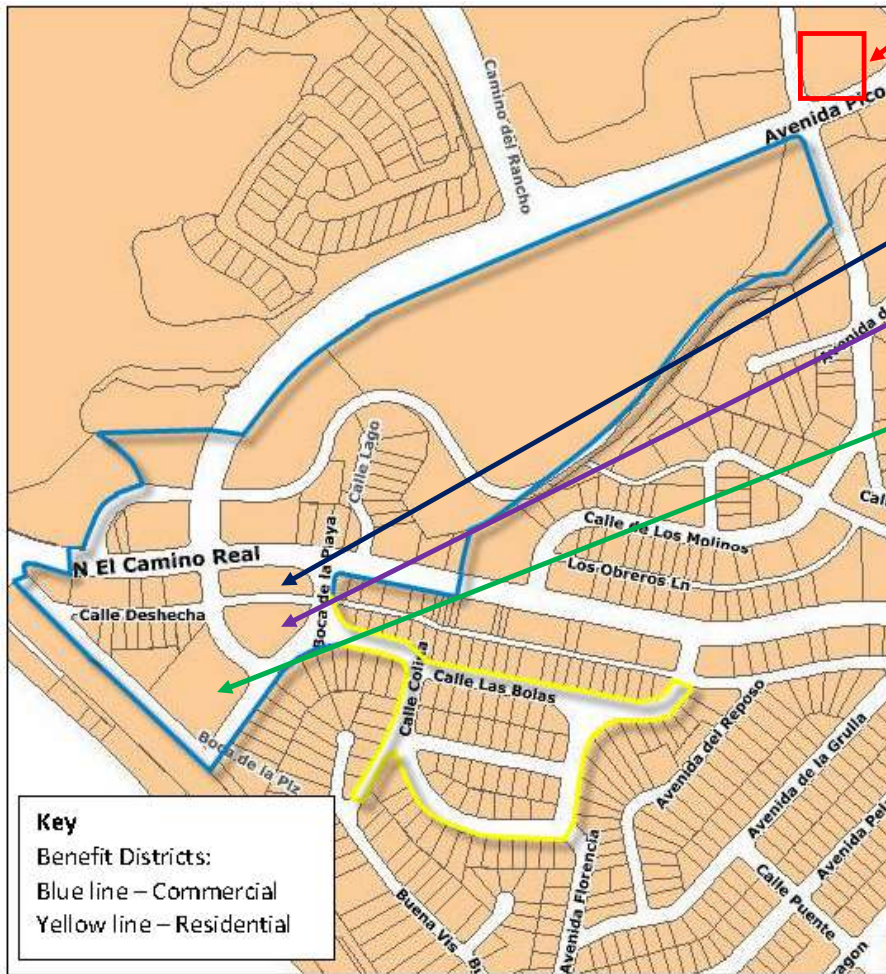
**Proximity of Site to Hotel &
Trolley Stops
Exhibit 10**



San Clemente Free Trolley Routes

Subject Site

San Clemente Free Summer Trolley Routes Map Exhibit 11



Subject Site

Nearby historic structures approved by City & CCC with the following parking deficiencies:

the Miramar Theater – 94 spaces;

the Casino – 62 spaces;

Ole Hanson Beach Club - public facility that uses public parking lot.

City approvals included Historic Property Parking Waiver Incentive Agreements (HPPWIAs).

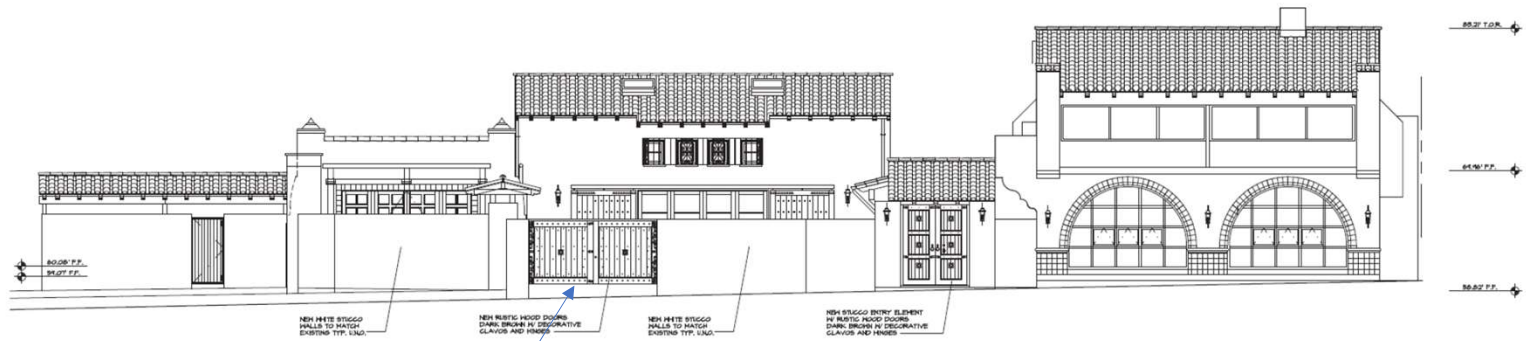
**Location of Approved Historic Structures
In North Beach Area
Exhibit 12**



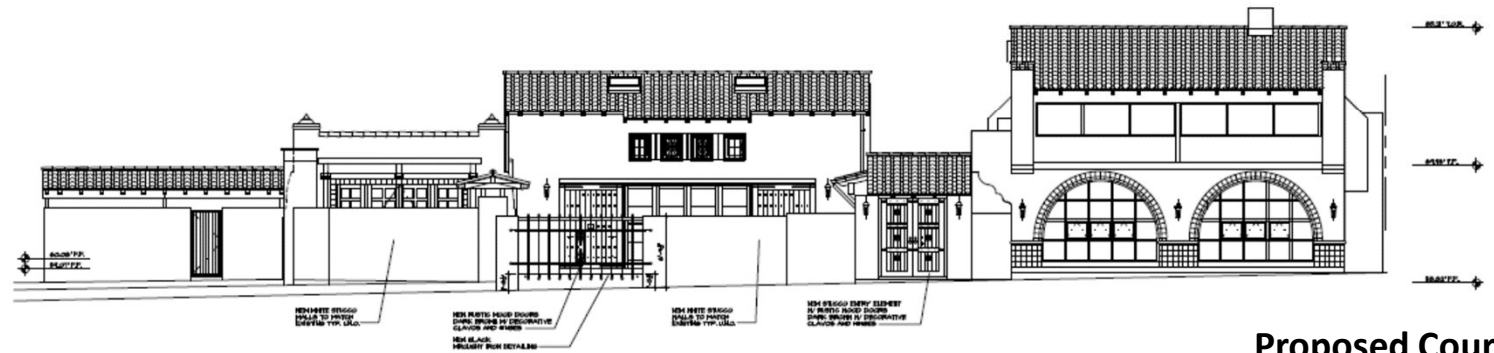
Even if driveway on No. El Camino Real were closed, area would still need to be red to accommodate both travel lanes and median for northbound left turn lane. So no additional parking spaces could be added there.

**Left Turn Land & Medians
North El Camino Real
Exhibit 13**

View from N. El Camino Real (south elevation)



SOUTH COURTYARD WALL ELEVATION gates closed

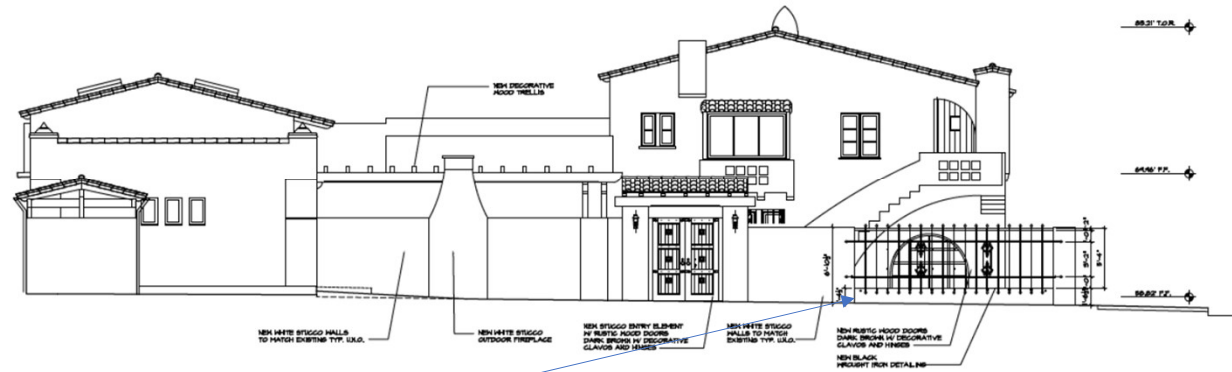


SOUTH COURTYARD WALL ELEVATION gates open

Proposed Courtyard Wall
Exhibit 14a

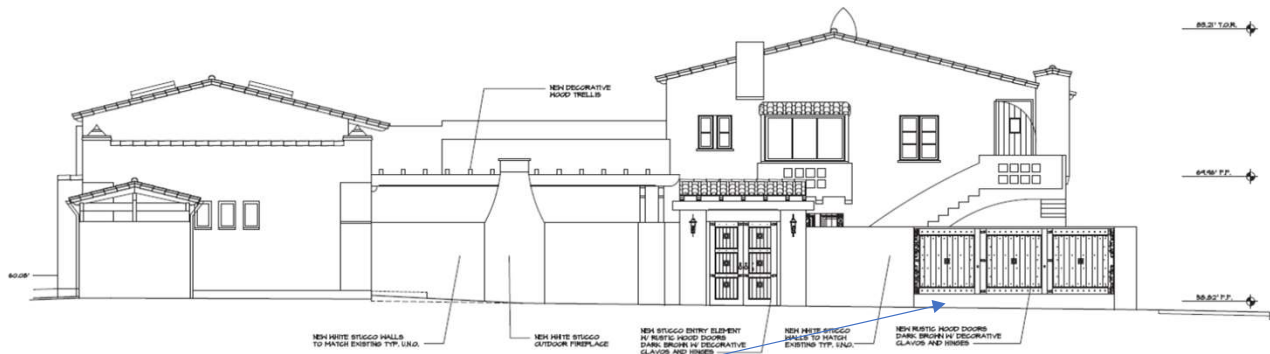
SCALE: 1/4\"/>

West View



WEST COURTYARD WALL ELEVATION – gates open

SCALE: 1/4" = 1'-0"



WEST COURTYARD WALL ELEVATION gates closed

**Proposed Courtyard Wall
Exhibit 14b**

Figure 2 – El Camino Real Street Views (Southbound Traffic)



Sliding pocket doors are shown open;
decorative wrought iron is not shown

**Proposed Courtyard Wall
Exhibit 14c**

3/26/2021 email from Larry Culbertson re 5-21-0128 Publik House

Ms. Vaughn,

Your email got lost in the shuffle.

Regarding your question about whether the vegetation at the site already interferes with the view: Yes it does, but that hardly seems to be justification for allowing a seven foot concrete wall which cannot be trimmed back. Until the last two years the foliage in question was well maintained. Its height and density was controlled so that the historic resource was easily seen. I requested of our Planning Department that they require the applicant to trim back the foliage but that was not done. The applicant seemed to be suggesting, during the discretionary process, that the City would need to allow the wall for the foliage to be trimmed back.

Another concern is the aesthetics of a seven foot wall directly on the front property line. It is unprecedented in this type of area. Residential and pedestrian/automobile areas are suppose to be pedestrian friendly. A person walking on the sidewalk in front of that wall will not be able to see over it or around it. This is in direct conflict with the City's Design Guidelines which encourage "low garden walls" as an attractive pedestrian friendly feature. This creates a feel of exclusion and is not conducive to encouraging pedestrian traffic, which this district is suppose to be doing.

Another concern is the traffic congestion this project would produce. In the 90 years this historic resource has existed there has never been such intensive usage as they are proposing. The event center would most likely produce a traffic nightmare for the surrounding businesses and residences.

Another concern is noise. The very reason the applicant wants that seven foot wall is to keep street noise out and to contain the noise created in the patio behind that wall. There is a three story resident across the street from the wall. That wall will not contain the noise.

I might remind you that the City just obtained National Register Historic District status for North Beach Historic District. That is just one block away. The City is trying to improve the look and feel of the greater North Beach neighborhood. This project will not help that goal.

We love the idea of a coffee shop and even a SMALL event center. But the people, automobiles, and noise need to be contained onsite.

A quiet outdoor patio, surrounded by a low garden wall would be delightful. But a seven foot wall would do lasting damage to an important San Clemente landmark building and harm the entire neighborhood.

Thank You

Larry



Photo of Historic Structure Submitted with Objection Stating that until the last two years the vegetation was maintained and allowed views from the street of the historic structure.

1531 North El Camino Real

Site shown without Courtyard Wall
Exhibit 15b

Figure 1 – South Elevation (Facing El Camino Real)



**Proposed Building
Height Increase
Exhibit 16**