

CALIFORNIA COASTAL COMMISSION

NORTH CENTRAL COAST DISTRICT
455 MARKET STREET, SUITE 300
SAN FRANCISCO, CA 94105
PHONE: (415) 904-5260
FAX: (415) 904-5400
WEB: WWW.COASTAL.CA.GOV



Th13b

A-2-MAR-21-0048 (GRONEMAN RESIDENCE)

SEPTEMBER 9, 2021

EXHIBITS

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EXHIBITS

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Exhibit 2 – Project Site Photos

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Exhibit 4 – Marin County Final Local CDP Action Notice

Exhibit 5 – Appeal of County CDP Action





PROPOSED RESIDENCE WOULD BE AT BOTTOM RIGHT IN LOCATION WHERE TREES ARE PRESENT (CRP, 2019)



183 SUNSET WAY MUIR BEACH



VICINITY MAP

PROJECT DIRECTORY	
Owners	Brett and Graham Groneman 183 Sunset Way Muir Beach, CA 94965 415.717.1505
Architect	Michael Heacock, Architect LEED AP CA License No. C32082 129 Miller Ave., Suite 623, Mill Valley CA 94941 415-845-5326 mh@MichaelHeacock.com
Surveyor	Meridian Surveying and Engineering Inc. 777 Grand Avenue #202 San Rafael, CA 94901 415.456.5450 nathan@meridiansurvey.com
Civil	Michael Tarnoff Engineering 1442 A Walnut Street, #428 Berkeley CA 94709 415.279.5996 michael@tarnoffengineering.com
Biological	Huffman-Broadway Group, Inc. 828 Mission Avenue San Rafael CA 94901 415.925.2009 gdeghi@b-hgroup.com
Geotechnical	Miller Pacific Engineering Group Mike Jewett 504 Redwood Blvd., Suite 220 Novato, CA 94947 415.382.3444 MJewett@millerpac.com
Septic	CSW/Stuber-Stroeh Engineering Group, Inc. Rich Souza 45 Leveroni Court Novato, CA 94949 415.883.9850 richs@csowl2.com

PROJECT DATA			
APN:	199-235-66		
Lot Size:	18,372		SF
Zoning:	C-RA-B2		
WUI:	YES		
Flood Zone:	A		
Construction Type:	VB		
Occupancy:	R3		
Slope:	60%		
Area Calculations			
	Req./Allowed	Existing	Proposed
House Upper Floor		0	1,000 SF
House Lower Floor		0	1,160 SF
Subtotal (conditioned)	5,511	0	2,160 SF
Garage	480	0	430.5 SF
Storage (unconditioned)		0	369 SF
Gross Floor Area	6,791	0	2,959.5 SF
Gross Floor Area Ratio	30%	0%	16%
Setbacks			
	Req./Allowed	Existing	Proposed
House (Front)	25'0"	NA	56'-6"
House Side (East)	10'0"	NA	10'-0"
House Side (West)	10'0"	NA	10'-0"
Rear	20% of Lot Depth/25'0" Max	NA	105'-6"
Garage (Front)	3'-0"	NA	3'-0"
Garage Side (East)	3'-0"	NA	6'-1"
Garage Side (West)	3'-0"	NA	7'-8"
Environmental Health			
	50'0" from unstable land form		
	100'0" from water body		
CWP	100'0" from wetlands	NA	
CA Coastal Commission	Jurisdiction within 25' most seaward feet		
LCP	Within 150'0" from bluff top see Geological report		
Height:			
	25'0"	NA	SF
Cut			
			400 CY
Fill			
			5 CY
Import/Off-Haul			
			395 CY
Impervious			
		0	2,528 SF
Pervious			
		18,372	15,844 SF
On-Site Parking:			
	2	0	2

PROJECT DESCRIPTION	
NEW TWO STORY SINGLE FAMILY RESIDENCE AND DETACHED GARAGE	
SEPARATE PERMIT ITEMS	
SEPTIC SYSTEM	
ENCROACHMENT PERMIT - DRIVEWAY	
FIRE SPRINKLERS	
BUILDING CODES	
2019 CBC / CALIFORNIA RESIDENTIAL CODE	
2019 CALIFORNIA ELECTRICAL CODE	
2019 CALIFORNIA PLUMBING CODE	
2019 CALIFORNIA MECHANICAL CODE	
2019 CALIFORNIA ENERGY CODE	
2019 CALGREEN	
WILDLAND URBAN INTERFACE	
COUNTY OF MARIN MUNICIPAL CODE	
SHEET INDEX	
Architectural	
A000	Cover Sheet
	Survey
A001	Construction Management Plan
A100	Site Plan, Utility and Zoning
A101	Story Pole Plan
A200	Floor Plans
A300	Exterior Elevations
A400	Site Section
Civil	
C1	Design Review Title Sheet, Notes & Legend
C2	Design Review Grading & Drainage Plan
C3	Design Review Erosion Control Plan
L1	Landscape Plan
Septic	
SSP	Septic Feasibility Plan 11/18/2020

MICHAEL HEACOCK ARCHITECTS
ECOLOGICAL ARCHITECTURE + GREEN INTERIORS

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GRONEMAN RESIDENCE
183 SUNSET WAY
MUIR BEACH, CA 94965

APN 199-235-66



PLANNING REVIEW

Revision	Description	Date
1	PLANNING SUBMITTAL	12/07/2020
2	EHS SUBMITTAL	12/07/2020
3	PLANNING REVISION	02/17/2021

COVER SHEET

A000

Sheet

Scale: AS NOTED

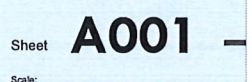


1. The Contractor shall investigate and document local options for diversion (recycling, reuse) of all anticipated major constituents of the project waste stream, including cardboard packaging and household recyclables (beverage containers).
2. The Contractor shall document the diversion rate for construction waste. Record the diversion rate for land clearing and/or demolition, if applicable, separately from the rate for the new construction of the project.
3. The Contractor shall reduce or divert from landfills and incineration waste generated from new construction by a minimum of 75% as measured by weight or volume.

Report Period: _____ to _____

[illegible]

MOBILIZATION	MAY	2021
SEPTIC INSTALL	JUNE	2021
EXCAVATION, GRADING & UNDERGROUND	AUGUST	2021
FOUNDATION	SEPTEMBER	2021
FRAMING	OCTOBER	2021
ROUGH PLUMBING, SPRINKLER, HVAC & ELECTRICAL	NOVEMBER	2021
ROOFING, FLASHING & WATERPROOFING	NOVEMBER	2021
WINDOWS & DOORS	DECEMBER	2021
INSULATION	JANUARY	2022
SHEETROCK	FEBRUARY	2022
CABINETRY	FEBRUARY	2022
FINISH PLUMBING, SPRINKLER, HVAC & ELECTRICAL	MARCH	2022
FINISH CARPENTRY	MARCH	2022
SUBSTANTIAL COMPLETION	APRIL	2022
OCCUPANCY	MAY	2022

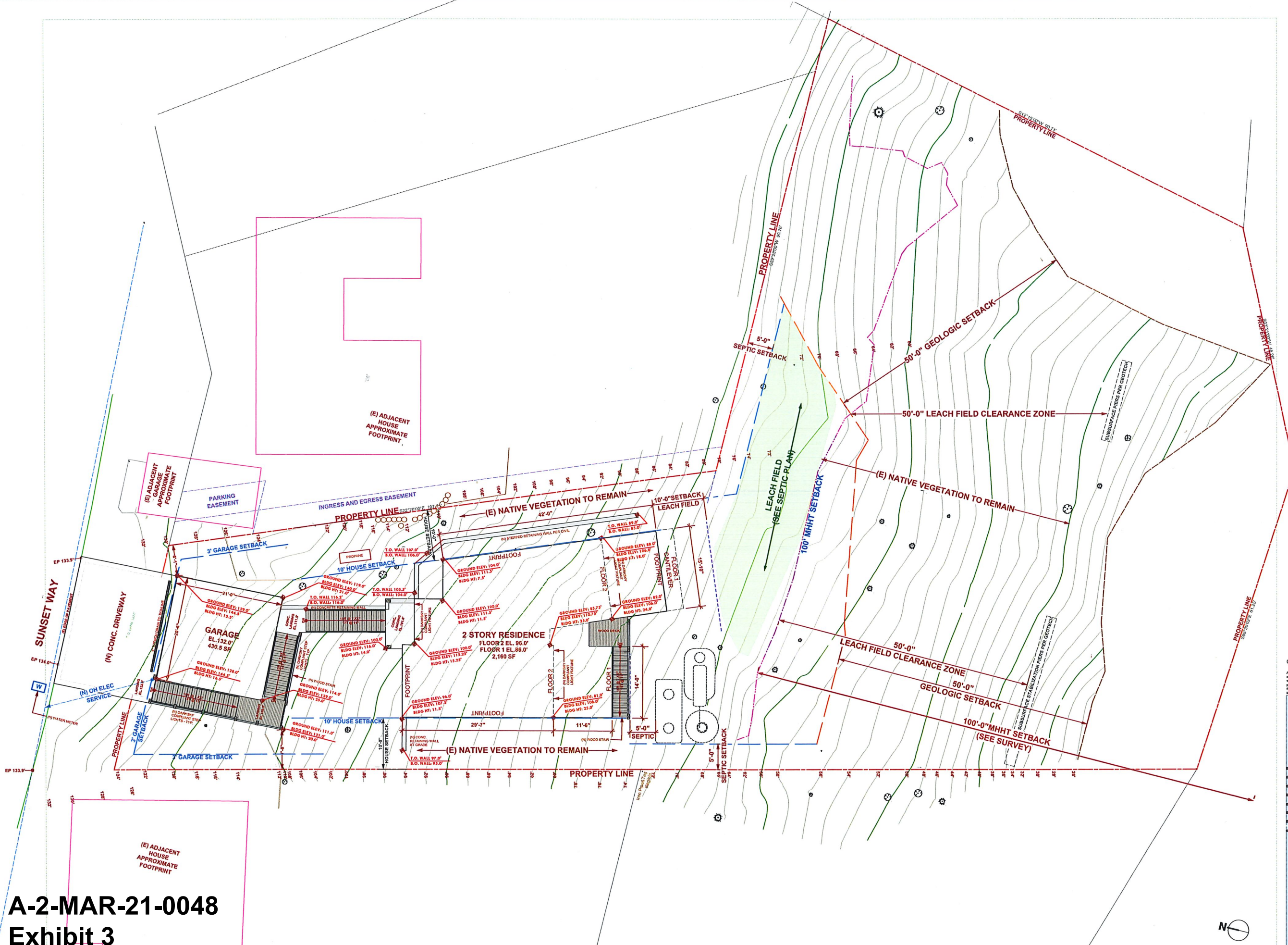


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Exhibit 3

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SITE PLAN UTILITIES AND MAX. HEIGHTS



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SITE PLAN UTILITIES & MAX. HEIGHTS

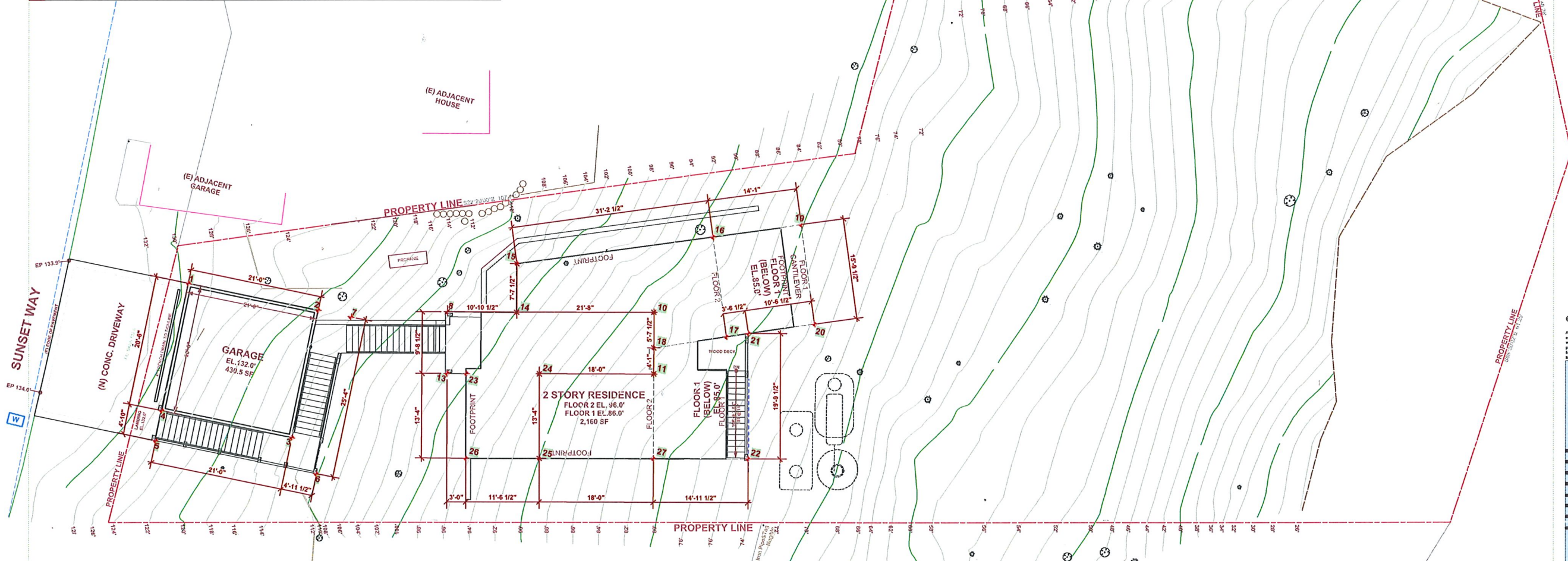
Sheet **A100**

Scale: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

STOREY POLE PLAN						01/21/2021
	POLE NO.	LOCATION	BLDG. ELEV.	GRADE ELEV.	POLE HT.	MAX PER CODE
GARAGE	1	GARAGE	144.17'	129.60'	14.57'	25'-0"
	2	GARAGE	138.75'	119.00'	19.75'	25'-0"
	3	GARAGE	138.75'	113.75'	25.00'	25'-0"
	4	GARAGE	144.17'	127.25'	16.92'	25'-0"
STAIR CANDY	4	STAIR	141.83'	127.25'	14.58'	25'-0"
	5	STAIR	141.83'	126.00'	15.83'	25'-0"
	6	STAIR	131.00'	110.00'	21.00'	25'-0"
	7	STAIR	131.00'	116.20'	14.80'	25'-0"
VOLUME 1	2	STAIR	133.08'	119.00'	14.08'	25'-0"
	8	ENTRY	117.06'	106.00'	11.06'	25'-0"
	9	NOT USED				25'-0"
	10	KITCHEN	113.00'	88.00'	25.00'	25'-0"
VOLUME 2	11	FAMILY ROOM	110.75'	85.75'	25.00'	25'-0"
	12	NOT USED				25'-0"
	13	ENTRY	117.06'	101.75'	15.31'	25'-0"
	14	PANTRY	111.68'	100.00'	11.68'	25'-0"
VOLUME 3	15	CHASE	111.68'	104.50'	7.18'	25'-0"
	16	DINING	106.00'	88.20'	17.80'	25'-0"
	17	DINING	106.00'	81.00'	25.00'	25'-0"
	18	DINING	107.67'	86.50'	21.17'	25'-0"
BACK DECK	16	BACK DECK	96.00'	88.20'	7.80'	25'-0"
	19	BACK DECK	96.00'	80.25'	15.75'	25'-0"
	20	BACK DECK	96.00'	75.60'	20.40'	25'-0"
	21	BACK DECK	96.00'	80.20'	15.80'	25'-0"
VOLUME 4	22	BACK DECK	96.00'	75.00'	21.00'	25'-0"
	27	BACK DECK	96.00'	81.00'	15.00'	25'-0"
	23	POWDER ROOM	110.00'	100.60'	9.40'	25'-0"
	24	FAMILY ROOM	110.00'	93.60'	16.40'	25'-0"
VOLUME 5	25	FAMILY ROOM	107.50'	90.00'	17.50'	25'-0"
	26	PLAY ROOM	107.50'	96.40'	11.10'	25'-0"
	25	FAMILY ROOM	106.00'	90.00'	16.00'	25'-0"
	24	FAMILY ROOM	108.50'	93.60'	14.90'	25'-0"
VOLUME 6	11	FAMILY ROOM	108.50'	85.75'	22.75'	25'-0"
	27	FAMILY ROOM	106.00'	81.00'	25.00'	25'-0"



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APN 199-235-66



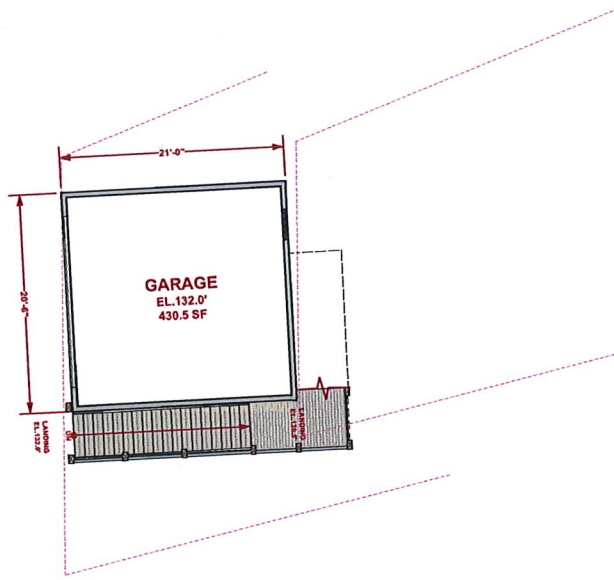
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1	PLANNING SUBMITTAL	12/07/2020
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STORY POLE PLAN

Sheet **A101**

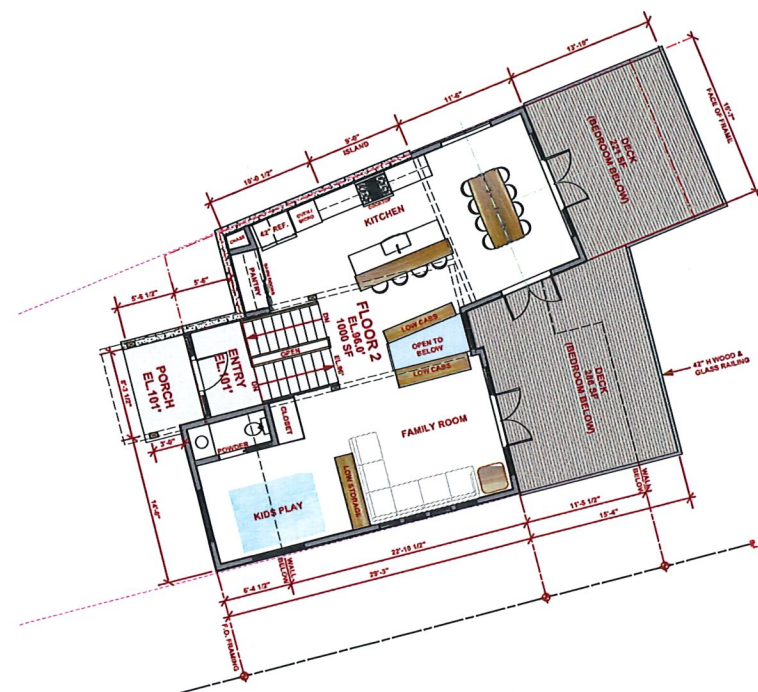
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4 NEW GARAGE FLOOR PLAN



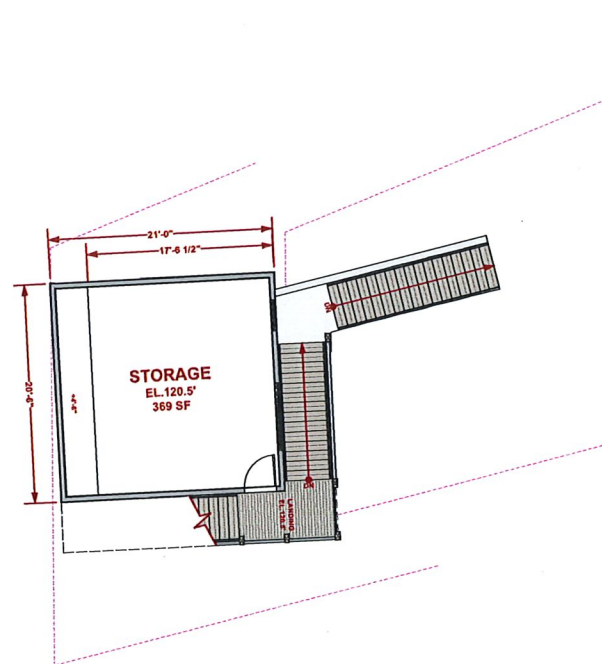
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2 NEW UPPER FLOOR PLAN



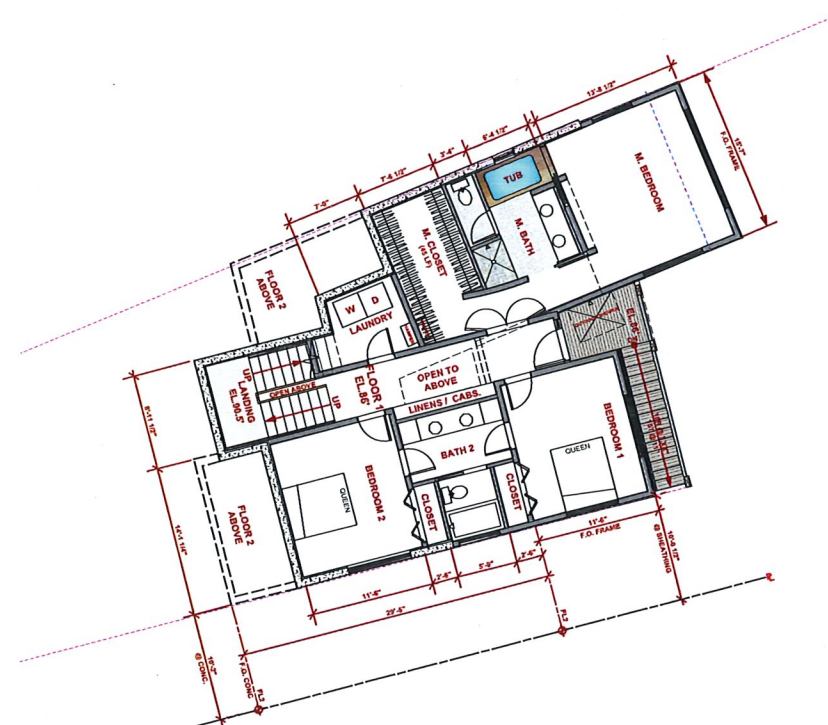
SCALE: 1/8" = 1'-0"



3 NEW STORAGE FLOOR PLAN



SCALE: 1/8" = 1'-0"



1 NEW LOWER FLOOR PLAN



SCALE: 1/8" = 1'-0"

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FLOOR PLANS

Sheet **A200**

Scale: 1/8" = 1'-0"

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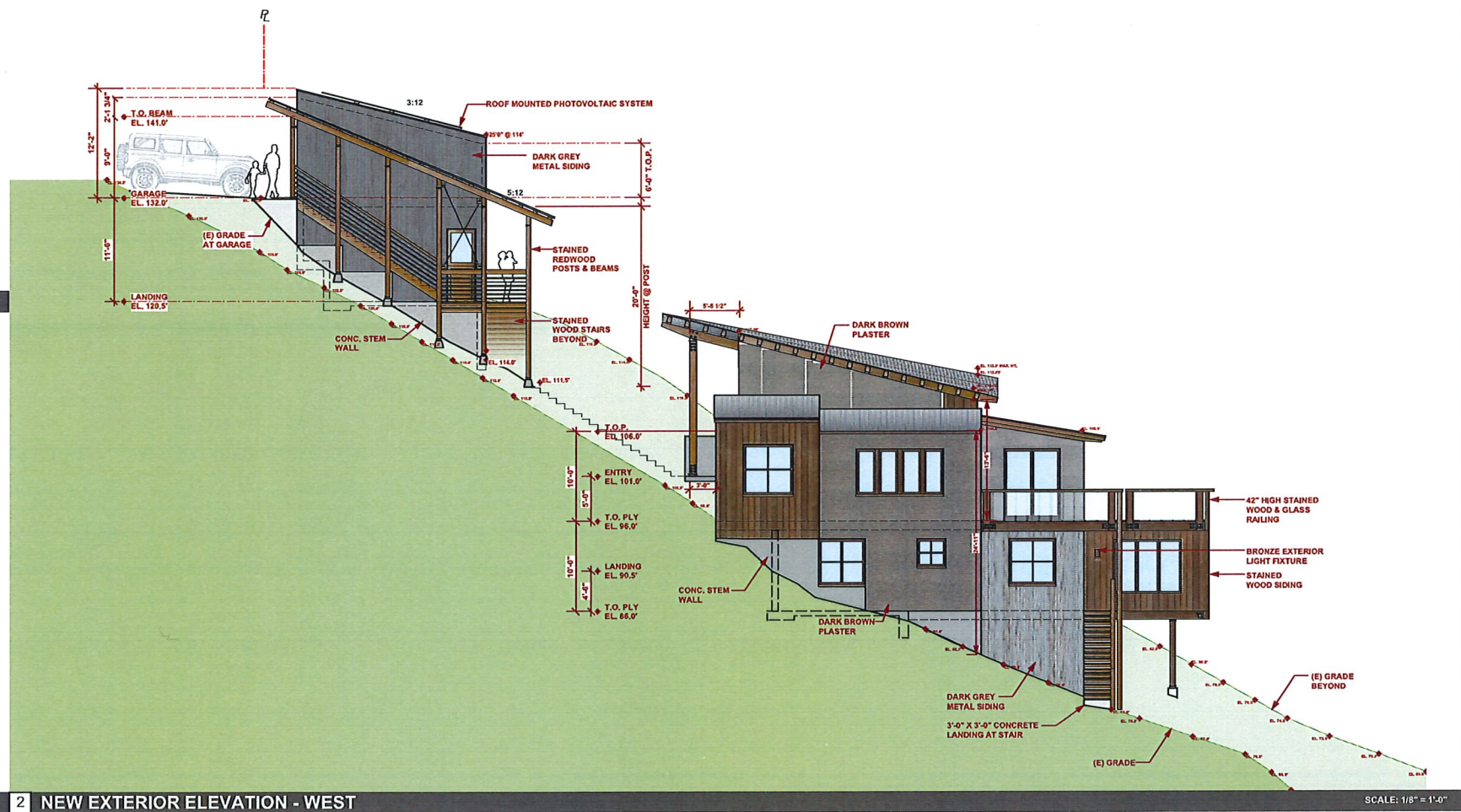
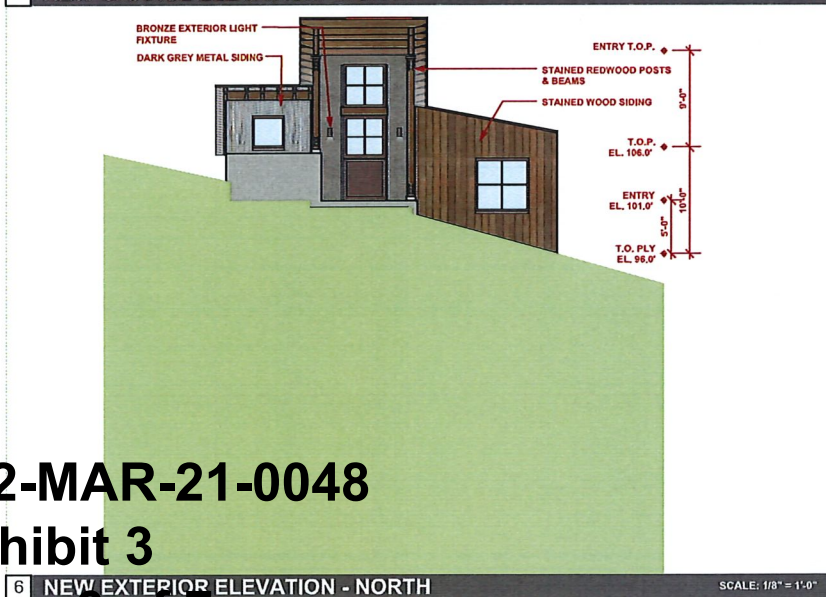
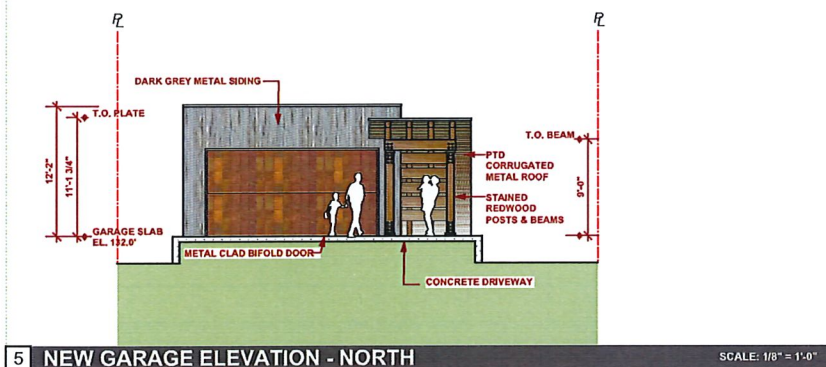
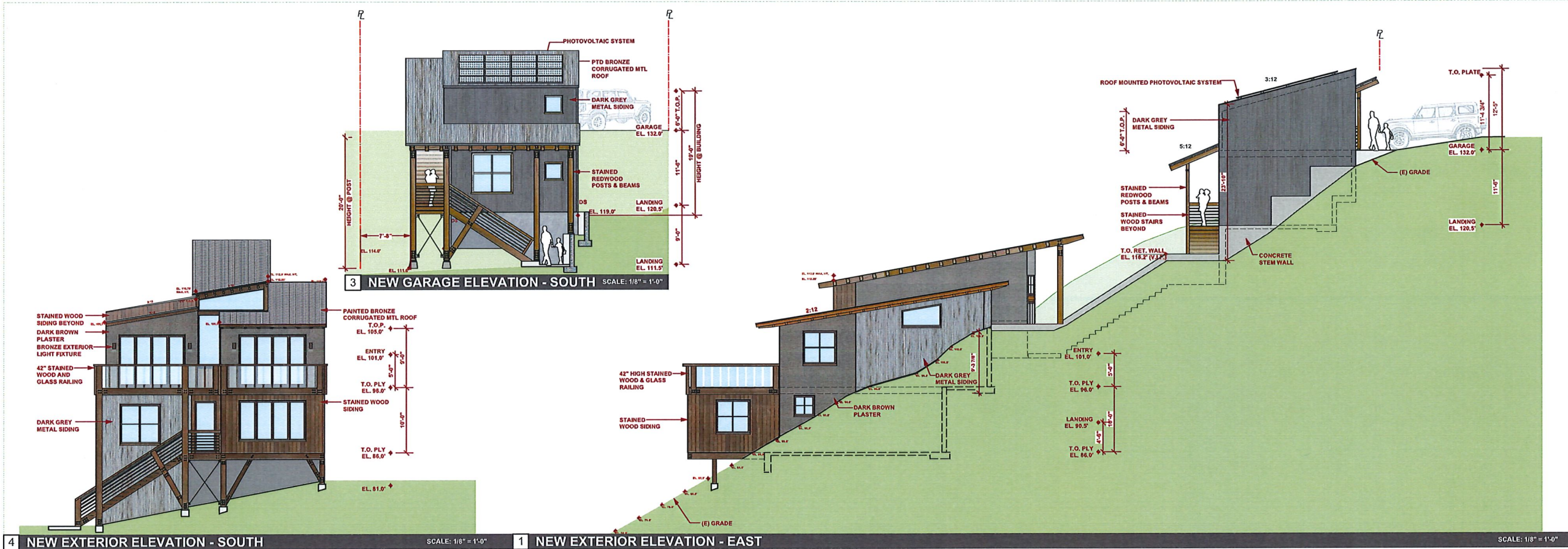
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1	PLANNING SUBMITTAL	12/07/2020
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EXTERIOR ELEVATIONS

Sheet **A300**

Scale: 1/8" = 1'-0"



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Exhibit 3

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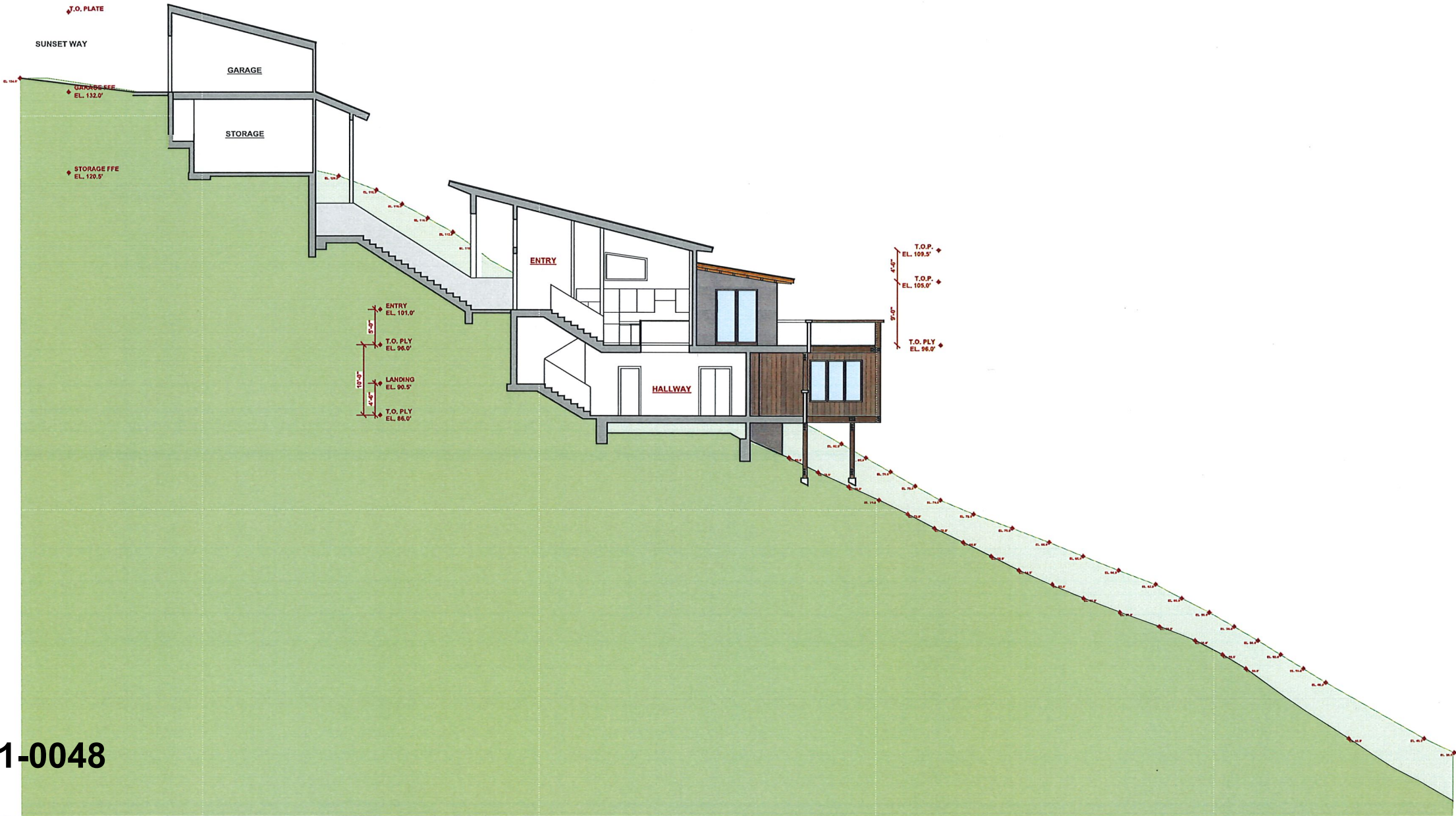
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1	PLANNING SUBMITTAL	12/07/2020
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3	PLANNING REVISION	02/17/2021

SITE SECTION

Sheet **A400**

Scale: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

RECEIVED

JUN 18 2021

CALIFORNIA
COASTAL COMMISSION

MARIN COUNTY
COMMUNITY DEVELOPMENT AGENCY

TOM K. LAI, DIRECTOR

NOTICE OF FINAL LOCAL (DEPUTY ZONING ADMINISTRATOR) DECISION

Pursuant to Coastal Act Section 30603(d), Coastal Commission Regulations Section 13571, and LCP Policy and/or Implementation Plan.

June 4, 2021

California Coastal Commission
45 Fremont Street, #2000
San Francisco, CA 94105

Attention: Coastal Planner

Applicant's Name: **Eric & Madeline Groneman**

Coastal Permit Number: Coastal Permit [P2989]

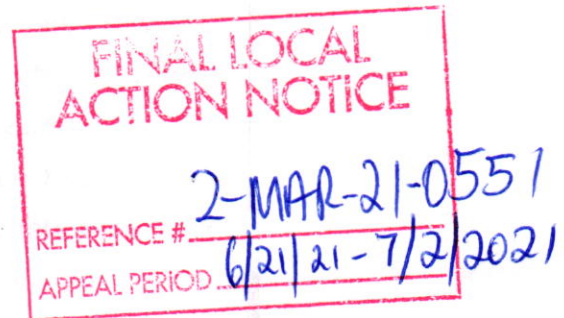
Assessor's Parcel Number: 199-235-66

Project Location: 183 Sunset Way, Muir Beach

Determination: Approved
(Resolution of the May 27, 2021 Deputy Zoning Administrator hearing is attached specifying action.)

Decision Date: May 27, 2021

County Appeal Period: Five (5) Working Days



Local review is now complete.

This permit IS appealable to the California Coastal Commission (see Marin County Code Section 22.56.080 attached); please initiate the California Coastal Commission appeal period.

Any correspondence concerning this matter should be directed to Michelle Levenson, Planner at (415) 473-3615.

Sincerely,

Michelle Levenson
Planner

Attachment1- Resolution

22.56.080 APPEALS TO THE CALIFORNIA COASTAL
COMMISSION

For those coastal project permits which are approved for developments defined as "appealable" under California Public Resources Code, Section 30603 (a), an appeal may be filed with the California Coastal Commission by: (1) an aggrieved party; (2) the applicant; or (3) two members of the coastal commission. Such appeals must be filed in the office of California Coastal Commission not later than 5:00 p.m. of the tenth working day following the date of action from which the appeal is taken. In the case of an appeal by an applicant or aggrieved party, the appellant must have first pursued appeal to the county appellate body (or bodies) as established in Section 22.56.074 of the Marin County Code to be considered an aggrieved party.

MARIN COUNTY DEPUTY ZONING ADMINISTRATOR

RESOLUTION NO. 21-111

**A RESOLUTION APPROVING THE BOLINAS COMMUNITY LAND TRUST (BCLT)
COASTAL PERMIT AND USE PERMIT (P2989)
183 SUNSET WAY, MUIR BEACH
ASSESSOR'S PARCEL: 199-235-66**

SECTION I: FINDINGS

1. WHEREAS, the applicant, Michael Heacock Architects, requests Coastal Permit and Use Permit approval to construct a new, 2,160-square-foot single family residence, a 369-square-foot detached accessory structure (storage area located below a proposed garage) and associated septic system on a vacant lot in Muir Beach. The 2,959 square feet of development would result in a 13.77-percent floor area ratio on the 18,372 square foot lot. The residence would reach a maximum height of 25 feet and the portion of the detached accessory structure where the storage area is located would reach a maximum height of 12 feet as measured from surrounding grade. The structures would maintain the following setbacks: (1) single family residence-41 feet from the north, front property line; over 100 feet from the south, rear property line, and 10 feet from the east, side and west side property lines; and (2) detached accessory structure-3 feet from the north, front property line; over 100 feet from the south; rear property line, 6 feet from the east, side property lines; and 14 feet from the west, side property line. A total of 13 trees would be removed with the project, of which 8 are in poor health. The project site is further identified as APN 199-235-66.

2. WHEREAS, on May 27, 2021, the Marin County Deputy Zoning Administrator held a duly noticed public hearing to take public testimony and consider the project.

3. WHEREAS, the project is Categorically Exempt from the requirements of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the CEQA Guidelines because it involves the construction of a new, single-family residence in an area zoned for residential development that would not result in impacts to sensitive resources

4. WHEREAS, the project is consistent with the goals and policies of the Marin Countywide Plan for the following reasons:

- A.** While 12 trees would be removed with the project, the southern portion of the site contains several large trees that would remain intact with the project and the majority of the site would remain vegetated with the project. Therefore, the project is consistent with the CWP woodland preservation policy (BIO-1.3) because the project would not entail the irreplaceable removal of a substantial number of mature, native trees.
- B.** The applicant provided a Biological Site Assessment prepared by Huffman Broadway Group and dated October 29, 2019 that describes the biological conditions of the project site and assesses the potential for the presence of special-status species and associated habitats. The assessment states that while a search of the California Natural Diversity Database (CNDDB) indicates the potential for special-status plant species to occur on the

site, habitat conditions to support such species are not present on the site where project improvements are proposed.

With regard to animal species, a search of the CNDDDB indicates the potential for the following aquatic species to occur on the site: (1) coho salmon; (2) steelhead trout; (3) California red-legged frog; and (4) western pond turtle. The assessment concluded that due to the distance of the site from aquatic habitats such as Redwood Creek (over 500 feet from the site), the project site does not contain habitat suitable for these aquatic species.

The Biological Assessment also identifies the following species with the potential to occur on the project site as listed in the CNDDDB: (1) monarch butterfly; and (2) northern spotted owl. Monarch butterfly roost sites are located in wind-protected tree groves close to nectar and water sources. The Biological Assessment concluded that the site is not suitable for overwintering monarch butterfly habitat. The nearest northern spotted owl activity center is nearly 2 miles from the project site. Construction activities associated with the project are not expected to affect the owl activity center as the site is located over 0.25 miles from the activity center.

Based on the findings of the Biological Assessment, the project would not result in significant adverse effects to special status species and is therefore consistent with the CWP special-status species protection policy (BIO-2.2).

- C. The Biological Assessment prepared for the project states that no wetlands or streams are present on the project site. Therefore, the project is consistent with the CWP natural transition and connection policies (BIO 2.3 and BIO 2.4) because the project would not substantially alter the margins along riparian corridors, wetlands, baylands, or woodlands.
- B. As indicated above, there are no wetland or streams present on the project site. Therefore, the project is consistent with the CWP stream and wetland conservation policies (BIO-3.1 and BIO-4.1) because the proposed development would not encroach into any Stream Conservation Areas (SCA) or Wetland Conservation Areas (WCA).
- C. The project is consistent with CWP water quality policies and would not result in substantial soil erosion or discharge of sediments or pollutants into surface runoff (WR-1.3, WR-2.2, WR-2.3). The applicant has provided a Storm Water Pollution and Prevention Plan (SWPPP) for the project prepared in accordance with the Bay Area Storm Water Management Agency Association (BASMAA) requirements. The plan includes details regarding the capture of project-related storm water and run off. The County's Department of Public Works (DPW) will review more detailed construction plans prior to the issuance of a building permit for the project. In addition, the building permit issued for the project will require the implementation of best management practices during construction.
- F. The applicant has provided two geotechnical reports for the project. The reports state that there are no active faults that traverse the project site. The report also indicates that the potential for ground surface rupture on site is low. The report recommends and the County would require that the project be constructed in accordance with current earthquake resistance standards. As such, the project is consistent with CWP seismic hazard policies (CWP Policies EH-2.1, EH-2.3, and CD-2.8) because it would be

constructed in conformance with County earthquake standards, as verified during review of the Building Permit application.

- G. The project is consistent with CWP fire hazard management policies (EH-4.1, EH-4.2, EH-4.5) because it would meet all fire safety requirements, as verified by the local fire protection district during review of the Building Permit application.
- H. The project is consistent with CWP aesthetic policies and programs (DES-4.1 and DES-4.e) because it would protect scenic quality and views of ridgelines and the natural environment from adverse impacts related to development.
- I. The project is consistent with CWP residential design policies and programs (DES-3.b and DES-4c) because it would fit within the context of the neighborhood, minimize the perception of mass and bulk, and comply with the Single-family Residential Design Guidelines.

5. WHEREAS, the project is consistent with Muir Beach Community Plan, as discussed below.

The project is within the Muir Beach Community Plan area and is consistent with the plan's provisions including the use of a septic system that would be designed and constructed in accordance with requirements, and the project would be in keeping with the "small residential character" of the community.

6. WHEREAS, the project is consistent with the mandatory findings for Coastal Permit approval (Marin County Code Section 22.56.130I).

A. Water Supply.

The site is currently served by the Muir Beach Community Services District and would continue to be served by the District with the project.

B. Septic System Standards.

The proposed project would involve the construction of a new septic system. On January 14, 2021, the County's Department of Environmental Health Services (EHS) reviewed the project and found the proposed septic system "acceptable" as proposed.

C. Grading and Excavation.

It is estimated that the project would require the excavation of 400 cubic yards of material and would result in the placement of 5 cubic yards of material. A total of 395 cubic yards of excavated material would be hauled off-site for disposal. Grading activities would be the minimum necessary to construct the proposed project in accordance with relevant building codes and regulations. The applicant has provided a Construction Management Plan that indicates that all grading would conform to DPW requirements. As described above, the applicant has prepared a SWPPP that provides for the use of straw wattles during construction that would protect soils that have been exposed during grading activities. Prior to the issuance of a building permit for the project, review and approval of a grading plan will be required by the Department of Public Works.

D. Archaeological Resources

A review of the Marin County Archaeological Sites Inventory indicates that the site is located within a "High Sensitivity" archeological area. Pursuant to Marin County Development Code Article V and Section 22.20.040, in the event that archeological or historical resources are discovered during construction, construction activities shall cease and the County shall be notified so the extent and location of discovered materials may be recorded by a qualified archaeologist and disposition of artifacts may occur in compliance with State and Federal regulations.

E. Coastal Access.

The project site is located between the sea and the first public road, where public access is desirable. However due to the steepness of the project site public access is not feasible and would potentially be unsafe for users.

F. Housing.

The project would have no impact upon the availability of the affordable housing stock within the Muir Beach community because it does not involve removing any existing housing and replaces previously existing housing.

G. Stream and Wetland Resource Protection.

There are no streams or wetlands on the project site.

H. Dune Protection.

There are no natural dunes in the project area.

I. Wildlife Habitat Protection.

The project site is not identified on the adopted natural resource map for the area.

As discussed above, the biological assessment prepared by Huffman-Broadway Group determined that the proposed project would not have an adverse effect on special-status species.

J. Protection of Native Plant Communities.

The portion of the site that would be developed is characterized by non-native, disturbance-adapted vegetation. A significant number of nonindigenous, invasive plant species that would threaten the preservation or establishment of native plant species are not present on the project site.

K. Shoreline Protection.

The 2020 Geotechnical Report prepared for the project establishes a bluff retreat rate of 6 inches per year for the site based on current and interpreted rates of historical bluff retreat. Based on a 100-year structure life, the report recommends a minimum of a 50-

Enclosed in this envelope are the following documents:

foot setback from the edge of the bluff. The structure would be located 81 feet from the bluff edge, more than 31 feet in excess of the minimum setback recommended in the geotechnical report.

L. Geologic Hazardous Area.

As described in the geotechnical investigations prepared for the project, there are no known active faults that cross the project site. The Marin County Community Development Agency- Building and Safety Division will require seismic compliance with the California Building Code prior to issuance of a project building permit. Special condition of project approval III-2-a has been included which requires the applicant to execute and record a waiver of public liability for the project.

M. Public Works Projects.

The proposed project will not affect existing or proposed local public works projects in the area. The project site is located along an existing road, and would not entail the expansion of a public road, flood control project or utility services.

N. Land Division Standards.

No land division or property line adjustment is proposed as part of this project.

O. Visual Resources and Community Character.

The project would not exceed the 25-foot maximum height limit for primary structures and 15 feet for detached accessory structures. The primary structure would be located outside of required setbacks and landscaping is proposed that would soften views of the development while not detracting from the nature feel of the site and overall neighborhood. The project has been sited to follow the natural contours of the site and exterior materials such as wood siding and earthen, dark colored roofing would be used to ensure the development harmonizes with the overall environment.

The proposed project would not impair or obstruct coastal views from Highway One or Panoramic Highway.

P. Recreational/Commercial/Visitor Facilities.

The site is not located within a C-VCR zoning district.

Q. Historic Resource Preservation.

The subject property is not located within designated historic preservation boundary and the proposed project does not entail alterations to a structure that was constructed prior to 1930.

7. WHEREAS, the project is consistent with the mandatory findings for Use Permit approval (Marin County Code Section 22.88.020(3)).

The establishment, maintenance or conducting of the use will not, under the particular case, be detrimental to the health, safety, morals, comfort, convenience or welfare of persons residing or working in the neighborhood of such use and will not, under the circumstances of the particular case be detrimental to the public welfare or injurious to property or improvements in the neighborhood.

The detached accessory structure proposed with the project consists of a garage and a storage area. Because the garage portion of the structure is consistent with Marin County Interim Zoning Code Sections 22.72.055I and 22.70.060I for parking structures, discretionary approval for the garage portion of the structure is not required. However, because the storage portion of the structure is located within a required front setback, Use Permit approval is required to allow this portion of the structure in the proposed location.

The storage area would be located below the portion of the garage used for parking and would not be visible from Sunset Way. By enclosing the space beneath the garage, a more attractive profile of the structure would be provided and a potential fire hazard would be prevented. Due to the location and design of the storage area, the project would not be detrimental to the public welfare or injurious to property or improvements in the neighborhood.

SECTION II: ACTION

NOW THEREFORE, BE IT RESOLVED that the project described in condition of approval 1 is authorized by the Marin County Planning Commission and is subject to the conditions of project approval.

This decision certifies the proposed project's conformance with the requirements of the Marin County Development Code and in no way affects the requirements of any other County, State, Federal, or local agency that regulates development. In addition to a Building Permit, additional permits and/or approvals may be required from the Department of Public Works, the appropriate Fire Protection Agency, the Environmental Health Services Division, water and sewer providers, Federal and State agencies.

SECTION III: CONDITIONS OF PROJECT APPROVAL

NOW, THEREFORE, BE IT RESOLVED that the Marin County Planning Commission hereby approves the Groneman Coastal Permit and Use Permit subject to the conditions as specified below:

CDA-Planning Division

1. This Coastal Permit and Use Permit approval authorizes the construction of a new, 2,160-square-foot single family residence, a 369-square-foot detached accessory structure (storage area located below a proposed garage) and associated septic system on a vacant lot in Muir Beach. The 2,959 square feet of development shall result in a 13.77-percent floor area ratio on the 18,372 square foot lot. The residence shall reach a maximum height of 25 feet and the portion of the detached accessory structure where the storage area is located shall reach a maximum height of 12 feet as measured from surrounding grade. The structures shall maintain the following setbacks: (1) single family residence-41 feet from the north, front property line; over 100 feet from the south, rear property line, and 10 feet from the east, side and west side property lines; and (2) detached accessory structure-3 feet from the north, front property line;

over 100 feet from the south; rear property line, 6 feet from the east, side property lines; and 14 feet from the west, side property line. A total of 13 trees shall be removed with the project, of which 8 are in poor health.

2. Plans submitted for a Building Permit shall substantially conform to plans identified as Exhibit A, entitled "Groneman Residence" consisting of 34 sheets and prepared by Michael Heacock Architects., received in final form on March 5, 2021, and on file with the Marin County Community Development Agency, except as modified by the conditions listed herein.

a. The applicant shall provide height verification of the single-family residence prior to close-in inspection.

b. The project shall conform to the Planning Division's "Uniformly Applied Conditions 2021" with respect to all of the standard conditions of approval as well as the following special conditions: 2, 3, 8, 12, and 17.

SECTION IV: VESTING

NOW THEREFORE, BE IT RESOLVED that unless conditions of approval establish a different time limit or an extension to vest has been granted, any permit or entitlement not vested within two years of the date of the approval shall expire and become void. The permit shall not be deemed vested until the permit holder has actually obtained any required Building Permit or other construction permit and has substantially completed improvements in accordance with the approved permits, or has actually commenced the allowed use on the subject property, in compliance with the conditions of approval.

SECTION V: APPEAL RIGHTS

NOW, THEREFORE, BE IT RESOLVED that this decision is final unless appealed to the Marin County Planning Commission. A Petition for Appeal and the required fee must be mailed to the Community Development Agency, Planning Division, Room 308, Civic Center, San Rafael, and postmarked no later than five business days from the date of this decision (June 3, 2021).

SECTION VI: ADOPTION

ADOPTED at a regular meeting of the Planning Commission of the County of Marin, State of California, on the 27th of May 2021.



IMMANUEL BEREKET
DEPUTY ZONING ADMINISTRATOR

Attest:



Michele Reed
Deputy Zoning Administrator Secretary

CALIFORNIA COASTAL COMMISSION

NORTH CENTRAL COAST DISTRICT OFFICE
455 MARKET STREET, SUITE 300
SAN FRANCISCO, CALIFORNIA 94105-2421
(415) 904-5260 OR (415) 904-5200 FAX (415) 904-5400
WWW.COASTAL.CA.GOV

**COMMISSION NOTIFICATION OF APPEAL**

July 02, 2021

To: Michelle Levenson
Marin County Community Development Agency
3501 Civic Center Drive, Room 308
San Rafael 94903-4157

From: Sara Pfeifer

Re: **Commission Appeal No. A-2-MAR-21-0048**

Please be advised that the coastal development permit decision described below has been appealed to the California Coastal Commission pursuant to Public Resources Code Sections 30603 and 30625. Therefore, the decision has been stayed pending Commission action on the appeal pursuant to the Public Resources Code Section 30623.

LOCAL PERMIT #: **P2989**

APPLICANT(S): **Attn: Eric & Madeline Groneman**

DESCRIPTION: **to construct a new 2,160-square-foot single family residence, a 369-square-foot detached accessory structure (storage area located below a proposed garage) and associated septic system on a vacant lot in Muir Beach. The 2,959 square feet of development would result in a 13.77-percent floor area ratio on the 18,372 square foot lot. The residence would result in a 13.77-percent floor area ratio on the 18,372 square foot lot. The residence would reach a maximum height of 25 feet and the portion of the detached accessory structure where the storage area is located would reach a maximum height of 12 feet as measured from surrounding grade. trees would be removed with the project, of which 8 are in poor health.**

LOCATION: **183 Sunset Way, Muir Beach, Marin County**

A-2-MAR-21-0048

Exhibit 5

Page 1 of 6

COMMISSION NOTIFICATION OF APPEAL

LOCAL DECISION: **Approved with Conditions**

APPELLANT(S): **Linda Escalante, California Coastal Commission
Caryl Hart, California Coastal Commission**

DATE APPEAL FILED: **07/02/2021**

The Commission appeal number assigned to this appeal is A-2-MAR-21-0048. The Commission hearing date has not been scheduled at this time. Within 5 working days of receipt of this Commission Notification of Appeal, copies of all relevant documents and materials used in the Marin County's consideration of this coastal development permit must be delivered to the North Central Coast District Office of the Coastal Commission (California Administrative Code Section 13112). Please include copies of plans, relevant photographs, staff reports and related documents, findings (if not already forwarded), all correspondence, and a list, with addresses, of all who provided verbal testimony.

A Commission staff report and notice of the hearing will be forwarded to you prior to the hearing. If you have any questions, please contact Sara Pfeifer at the North Central Coast District Office.

cc: California Coastal Commission, Attn: Linda Escalante
California Coastal Commission, Attn: Caryl Hart
Attn: Eric & Madeline Groneman

CALIFORNIA COASTAL COMMISSION

455 MARKET STREET, SUITE 300
SAN FRANCISCO, CA 95060
PHONE: (415) 904-5200
FAX: (415) 904-5400
WEB: WWW.COASTAL.CA.GOV



CDP Appeal

Appeal to the California Coastal Commission of a local CDP decision

1. Filing information

Appeal number: A-2-MAR-21-0048
District: North Central Coast District Office
Date appeal filed: 7/2/2021

RECEIVED

JUL 02 2021

2. Commissioner appellant information

Appellants: Commissioners Hart and Escalante

**CALIFORNIA
COASTAL COMMISSION
NORTH CENTRAL COAST**

3. Local CDP decision being appealed

Local government name: Marin County
Local government approval body: Deputy Zoning Administrator
Local government CDP application number: P2989
Local government CDP decision: Approval with conditions
Date of local government CDP decision: May 27, 2021

Location and description of the development that was approved or denied by the local government.

Coastal permit approval to construct a new, 2,160-square-foot single family residence, a 369-squarefoot detached accessory structure (storage area located below a proposed garage) and associated septic system with shoreline protective works on a vacant lot at 183 Sunset Way in Muir Beach, Marin County.

Appeal of local CDP decision
Page 2

4. Grounds for this appeal

See attached.

5. Commissioner Hart certification

I attest that to the best of my knowledge, all information and facts in this appeal are correct and complete.

Commissioner signature:

DocuSigned by:
Caryl Hart

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07/01/2021

Date signed:

Appeal of local CDP decision
Page 2

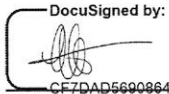
4. Grounds for this appeal

See attached.

5. Commissioner Escalante certification

I attest that to the best of my knowledge, all information and facts in this appeal are correct and complete.

Commissioner signature:

DocuSigned by:


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Date signed:

07/01/2021

Appeal Reasons

Marin County approved a coastal permit to construct a new 2,160 square-foot single family residence, 430 square-foot garage, 369 square-foot storage structure, septic system, and related residential development, all on steep bluffs and all fronted by new proposed shoreline armoring, as well as existing unpermitted armoring seaward of that, at 183 Sunset Way in Muir Beach in Marin County. The County's approval raises issues of consistency with LCP provisions related to development on steep bluffs along an eroding shoreline above the beach.

Specifically, the LCP requires that new development be set back from coastal blufftop edges a sufficient distance to ensure that such development is safe, stable, and won't be threatened by coastal hazards within its expected economic lifetime, and such setbacks are required to be of a sufficient distance to eliminate the need for shoreline armoring, all as measured over at least the development's expected economic life. In addition, the LCP has additional mitigation measure requirements in steep slope/landslide areas such as this.

In this case, the County identified a blufftop edge that appears to actually be a position on the bluff face, and measured setbacks from that point. However, it is not clear that the 'edge' is anything more than a point on the face of the bluff, including as the entire site appears to extend from Sunset Way down to the beach at a roughly 45 degree angle, and thus all of the proposed development may actually be seaward of the blufftop edge here. In addition, the project includes a substantial foundation system (carving the new structures into the bluff), as well as new armoring and a reliance on unpermitted armoring, to establish safety and stability for the development over time.

None of this appears to be LCP consistent, and raises concerns about LCP conformance as it relates to coastal hazards, landform alteration, public views, public access, and related shoreline and beach area coastal resources. These issues and concerns warrant further Commission review and deliberations.